

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080894

This is to certify that A & D REALTY LLC % WILLOW PROPERTY MGMT/ forhas permission to "Shaw's Northgate" - Interior remodelAT 21 AUBURN ST

375 C001001

provided that the person or persons performing or accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is started or services closed-in. 4 HOUR NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Case

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Carrie Burke 8/28/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

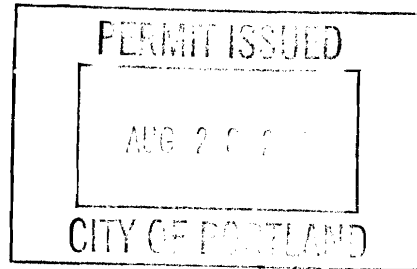
Permit No: 08-0894	Issue Date:	CBL: 375 C001001
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Location of Construction: 21 AUBURN ST	Owner Name: A & D REALTY LLC % WINSLO	Owner Address: 5 MILITIA DR	Phone:
Business Name: Shaw's Northgate	Contractor Name: Langford & Low, Inc.	Contractor Address: PO Box 662 Portland	Phone: 2077975141
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-2

Past Use: Commercial - "Shaw's Northgate"	Proposed Use: Commercial - "Shaw's Northgate" - Interior remodel	Permit Fee: \$3,270.00	Cost of Work: \$325,000.00	CEO District: 5
Proposed Project Description: "Shaw's Northgate" - Interior remodel		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: M Type: IBX-2003 Signature: JMB 8/28/08	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: Idobson	Date Applied For: 07/22/2008	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/23/08	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

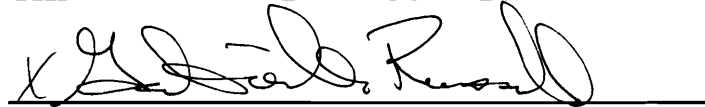
Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work, including health inspection

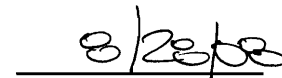
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



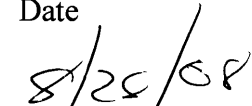
Signature of Applicant/Designee



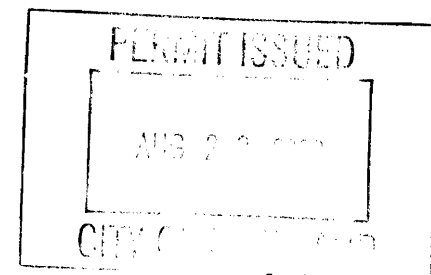
Date



Signature of Inspections Official



Date



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0894	Date Applied For: 07/22/2008	CBL: 375 C001001
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Location of Construction: 21 AUBURN ST	Owner Name: A & D REALTY LLC % WINSLO	Owner Address: 5 MILITIA DR	Phone:
Business Name: Shaw's Northgate	Contractor Name: Langford & Low, Inc.	Contractor Address: PO Box 662 Portland	Phone (207) 797-5141
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - "Shaw's Northgate" - Interior remodel	Proposed Project Description: "Shaw's Northgate" - Interior remodel
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 07/23/2008	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 08/28/2008	Note:	Ok to Issue: <input checked="" type="checkbox"/>
1) Renovation of food service establishment must meet the requirements of the City and State Food Codes 2) Equipment must be installed in compliance with the manufacturer's specifications 3) Separate permits are required for any electrical, plumbing, commercial kitchen hoods or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.					
Dept: Fire	Status: Approved	Reviewer: Capt Greg Cass	Approval Date: 08/14/2008	Note: plans not stamped	Ok to Issue: <input checked="" type="checkbox"/>

Comments: 8/13/2008-ldobson: Gabby L & L dropped stamped plans put on Cpt Cass Desk



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Shows located Northgate</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>SHAW'S SUPER MARKETS</u> Address <u>31 MAIN ST</u> City, State & Zip <u>WESTBROOK ME</u>	Telephone:
<u>101</u> <u>375</u>	<u>(B)</u> <u>C</u>	<u>(29)</u> <u>1</u>
Lessee/DBA (If Applicable) <u>SHAW'S SUPERMARKET</u> <u>AUBURN ST</u> <u>PORTLAND ME</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>325,000.00</u> C of O Fee: \$ Total Fee: \$ <u>3,270</u>
Current legal use (i.e. single family) <u>SUPER MARKET</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Inter Remodel Shows</u>		
Contractor's name: <u>LANGFORD HOW INC</u> Address: <u>P.O. Box 662 - 248 WARREN AVE</u> City, State & Zip <u>PORTLAND MAINE 04104</u> Telephone: <u>7575141</u> Who should we contact when the permit is ready: <u>JIM ELLSWORTH</u> Telephone: <u>7575141</u> Mailing address: <u>P.O. Box 662 PORTLAND ME 04104</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Jim Ellsworth

Date: July 22, 2008

This is not a permit; you may not commence ANY work until the permit is issued.

SCOPE OF WORK

Northgate Minor Remodel

7/10/08

- Floral
 - Removal and disposal of existing island step displays
 - Installation of new nested table and floral cube displays (ALR)

- Produce
 - Disconnect electrical to 48 LF existing upright Produce (closest to prep room) *MOVE DRAINS*
 - Removal and disposal of existing cases from store (Airtemp)
 - Slab demo, relocation of hub drains to accommodate relocated high capacity cases and slab repairs
 - Disconnect electrical to 48 LF existing high capacity Produce; circuits to be terminated and labeled as spare circuits; existing hub drains to be cut, capped and abandoned, slab repaired and VCT installed *DOWN*
 - High capacity Produce cases to be relocated to where upright Produce cases removed (Airtemp); existing electrical circuits to be reconnected; case drains to be installed to relocated hub drains
 - Relocation of existing self contained refrigerated Produce tables (Airtemp)
 - Installation of new self contained refrigerated Produce tables (Airtemp)
 - Removal and disposal of existing dry Produce tables
 - Installation of new dry Produce tables (ALR)
 - Disconnect electrical and plumbing to existing salad bar
 - Removal of existing salad bar and install new (Airtemp); existing electrical and plumbing to be reconnected

- Deli
 - Removal and disposal of shelving display; installation of new self contained Deli promo case (Airtemp); electrical circuit & power pole to be installed as required
 - Installation of new self contained Soup bar & rotisserie chicken case (Airtemp); electrical circuit and power pole to be installed as required
 - Removal of existing chicken cases and installation of new (Airtemp); re-use existing electrical
 - Installation of new shelving (ALR) and gate
 - Installation of new Cheese podium (ALR)

- Meat
 - Relocation of existing prep room equipment as shown on equipment plan (ALR); electrical to be relocated as required
 - Demolition of existing prep room wall as required for new service Meat case; repair existing finishes as required (match existing)
 - Disconnect electrical to 12 LF existing 3 deck Fresh Meat case
 - Removal and disposal of existing 3 deck Meat case from store (Airtemp))
 - Installation of 12 LF new service Meat case (Airtemp)
 - Reconnect existing electrical circuit to new service Meat case
 - Installation of new case drain for service Meat case to existing hub drain
 - Installation of water line and electrical outlet for service Meat case humidification system
 - Removal of existing Frozen Meat cases (Airtemp)
 - Installation of 9 doors of new Frozen Meat cases (Airtemp) *Doors*

- Installation of new case drains for Frozen Meat cases to existing hub drains
- Reconnect existing electrical circuits to new Frozen Meat cases
- Replace quarry tile floor in meat cooler
- Bakery
 - Relocation of existing Carvel Frozen Cake case to end display (Airtemp); new electrical circuit to be installed
 - Relocation of existing self service cream and ambient cake cases (Airtemp); electrical and case drain to be extended/relocated as required
 - Installation of new Service Cream and Ambient Cake case (Airtemp)
 - Installation of new Service Cream case drain to existing hub
 - Connection of new cases to existing circuits
 - Installation of new bakery shelving (ALR)
 - Installation of new island displays & muffin cart (ALR)
 - Installation of electrical circuit for muffin cart
 - Relocation of prep room tables and equipment as required (ALR); relocation of outlets and CAT5 cable as required
- Grocery
 - Installation of new end displays and shelving as shown on Equipment Plan (ALR)
- Frozen Food
 - Installation of new 3 door end case (Airtemp)
 - Electrical circuits to be provided for lights, fans and anit-sweat heaters
 - Case drain to be installed and connected to adjacent frozen food case
- Dairy
 - No scope
- Checkouts
 - Removal and disposal of existing self scans, two production lanes and two express lanes
 - Installation of four new self scans and RAP station (ALR); existing electrical circuits and cabling to be re-used as possible and installed new where necessary
- Wild Harvest
 - Slab demo, underslab drains for new and relocated cases and slab repairs
 - Relocation of 10 doors existing and installation of 5 doors new Frozen Natural cases (Airtemp)
 - Installation of new case drains
 - Installation of new electrical circuits for cases; to be fed overhead
 - Construction of painted box out to conceal electrical and refrigeration lines to cases
 - Installation of new Wild Harvest flooring
 - Relocation of existing trellis and lighting
- General Sales Area
 - Existing graphics and paint to remain except where called out below to be replaced

- New Mannington #717 Venetian Silk VCT to be installed at perimeter of sales area, including checkouts; Mannington #827 Toasted Sesame slip resistant tile to be used in Produce and Floral
- General gondola area floor tile repair per previously budgeted scope of work with Maintenance (J&M worked with Kevin Brown to define scope)
- New Waterhog carpet tile in vestibule, #00154 Charcoal Geometric, ¼ inch pile
- Removal of existing wall finishes in vestibule; installation of new wall finishes
 - Kemlite paneling #7739 Cocoa Maple from existing curb angle up 8 ft high and from curb to underside of sill at storefront
 - Wall above to be painted Benjamin Moore #OC-01, Natural Wicker
- Removal of existing finishes at front wall of store, from outside corner of front end closet to Floral; install same wall finishes as vestibule
- Removal of existing wall finishes in hall at public restrooms up to door to offices and lounge; install same wall finishes as vestibule
- Relaminate customer service desk, face to be Formica #7739 Cocoa Maple, matte finish; top to be Wilsonart #4848-38 Mission Sage, matte finish
- Grocery Back Room
 - Remove existing overhead wood shelving and ladders
 - Relocate baler to wall where floor machine battery charger currently located; relocate existing electrical as required
 - Relocate electrical outlet for floor machine battery charger to wall beside overhead doors (far exterior wall where wood shelving removed)
 - Install three 8 ft sections new warehouse racking (ALR)
 - Replace existing overhead doors with new
 - Repair slab by liquor storage enclosure to have a smooth transition
- Exterior
 - Rear masonry wall by vendor receiving to be re-pointed and painted to match existing; effluorescence on interior walls to be removed and walls painted off white
 - Sidewalk under front canopy (opposite diagonal wall) to be removed and replaced to eliminate low spot

± 10 Wts e-h → 200 ft

Hannah Santora

One Ashcroft Business Park
Portland, Maine 04110

TEL: 207-633-0000
FAX: 207-633-0070
www.harriman.com

Portland Communities
Box 1070

August 12, 2008

Mr. Leslie Evans
Sr. Project Manager
Shaw's Supermarkets, Inc.
31 Main Street
Westbrook, ME 04092

Re: Shaw's Supermarkets, Inc.
Store #7541
Northgate Plaza Remodel
Portland, ME
Project No. 07176
Construction/Permitting Drawings

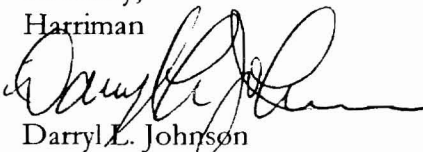
Dear Les:

We are pleased to submit the enclosed half size set of Construction/Permitting Drawings for the above referenced project. A CD with PDFs is also enclosed for Documentum as per Supervalu's current distribution procedure. We have distributed sets of drawings and CDs with files of the drawings to the following:

Cheryl McIntyre – 1/2 size set of Dwgs & CD w/ PDFs
Butch Campbell, Langford & Low – Full size set of Dwgs & CD w/ PDFs
~~Barbara Barby~~ Planning & Development Department, City of Portland –
7 full size sets of Dwgs & 1 – 11" x 17" set
Richard McCarthy, State Fire Marshal Office – 1 full size set, CD w/ PDFs,
2 permit forms, check

Please contact us if you require any additional distribution.

Sincerely,
Harriman


Darryl L. Johnson
Associate

Kmage

Enclosures

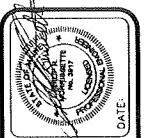
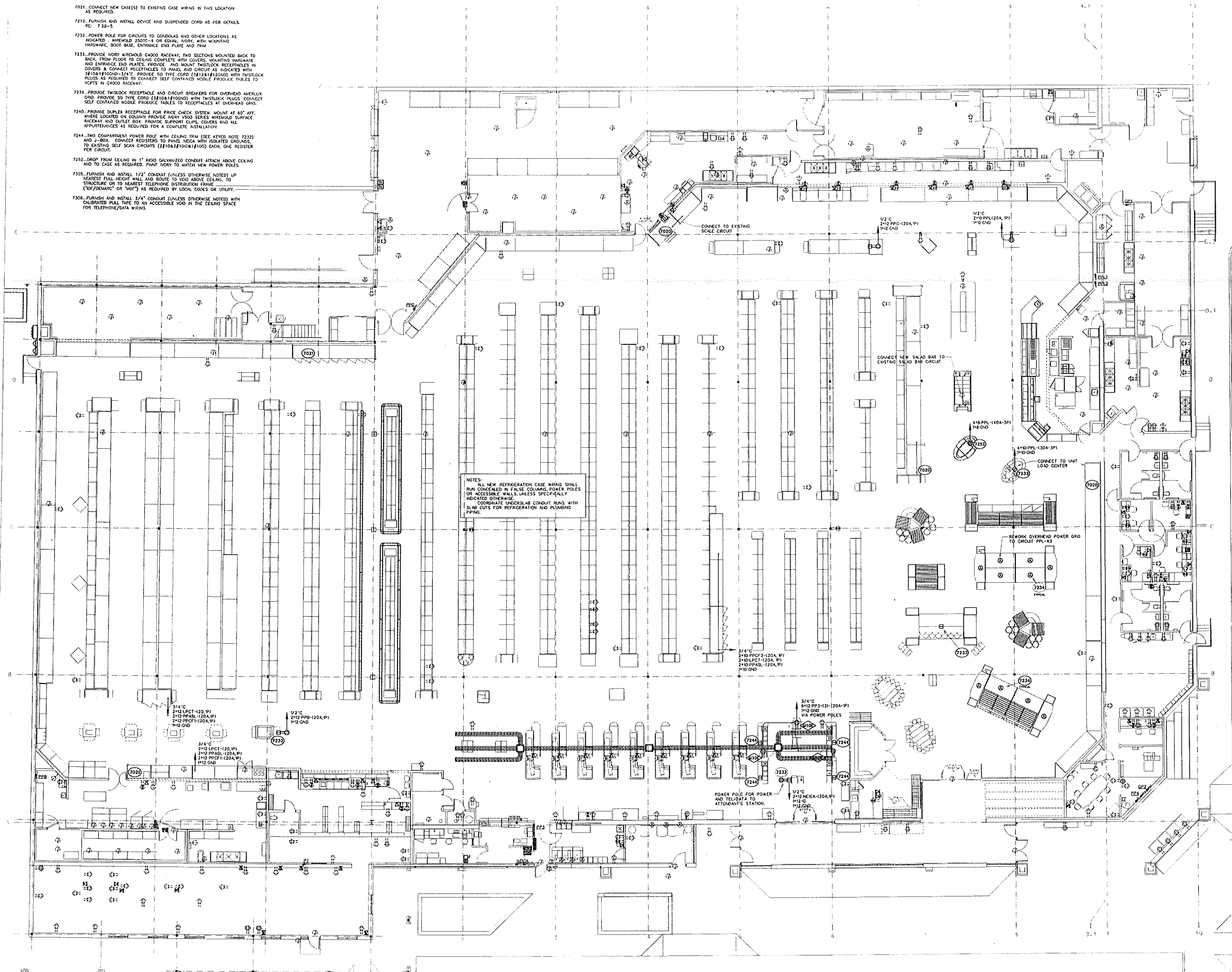
Cc/encs: As listed above

AUG 13 2008

KEY NOTES:

- 7020. CONNECT TO EXISTING CASE WIRING AS REQUIRED
- 7021. CONNECT NEW CASE(S) TO EXISTING CASE WIRING IN THIS LOCATION AS REQUIRED.
- 7212. FURNISH AND INSTALL DEVICE AND SUSPENDED CORD AS PER DETAILS. REF. 7.2B-5.
- 7232. POWER POLE FOR CIRCUITS TO GONDOLAS AND OTHER LOCATIONS AS INDICATED. WIREWELD 250TC-4 OR EQUAL, NORY, WITH MOUNTING HARDWARE, BODY SIDE, ENTRANCE END PLATE AND TRAY.
- 7233. PROVIDE NORY WIREWELD C4000 RACKWAY, TWO SECTIONS MOUNTED BACK TO BACK, FROM FLOOR TO CEILING COMPLETE WITH COVERS, MOUNTING HARDWARE AND ENTRANCE END PLATES. PROVIDE AND MOUNT INSTOCK RECEPTABLES IN COVERS & CONNECT RECEPTABLES TO PANEL AND CIRCUIT AS INDICATED WITH 3/16"Ø 1/16"Ø 2-3/4" L. PROVIDE SO THE CORD (1/2"Ø 1/16"Ø) WITH INSTOCK PLUGS AS REQUIRED TO CONNECT SELF CONTAINED MOBILE PRODUCE TABLES TO RECEPTS IN C4000 RACKWAY.
- 7234. PROVIDE INSTOCK RECEPTABLE AND CIRCUIT BREAKERS FOR OVERHEAD AMERLUX CORD. PROVIDE 50 TYPE CORD (1/2"Ø 1/16"Ø) WITH INSTOCK PLUGS. CONNECT SELF CONTAINED MOBILE PRODUCE TABLES TO RECEPTABLES AT OVERHEAD GRID.
- 7240. PROVIDE DUPLEX RECEPTABLE FOR PRICE CHECK SYSTEM, MOUNT AT 60" AFF. WHERE LOCATED ON COLUMN. PROVIDE NORY 5000 SERIES WIREWELD SURFACE RACKWAY AND OUTLET BOX. PROVIDE SUPPORT CLIPS, COVERS AND ALL APPURTENANCES AS REQUIRED FOR A COMPLETE INSTALLATION.
- 7244. TWO COMPARTMENT POWER POLE WITH CEILING TRIM (SEE KEYED NOTE 7233) AND J-BOX. CONNECT RECEPTS TO PANEL INCHA WITH ISOLATED GROUNDING TO EXISTING SELF SEAN CIRCUITS (2#10A2/10CA1/10G) EACH, ONE RECEPTER PER CIRCUIT.
- 7252. DROP FROM CEILING IN 1" Ø 500 GALVANIZED CONDUIT ATTACH ABOVE CEILING AND TO CASE AS REQUIRED. PAINT NORY TO MATCH NEW POWER POLES.
- 7305. FURNISH AND INSTALL 1/2" CONDUIT (UNLESS OTHERWISE NOTED) UP NEAREST FULL HEIGHT WALL AND ROUTE TO VOID ABOVE CEILING, TO STRUCTURE OR TO NEAREST TELEPHONE DISTRIBUTION FRAME (TOP/DOWNWARD OR "UDF") AS REQUIRED BY LOCAL CODES OR UTILITY.
- 7306. FURNISH AND INSTALL 3/4" CONDUIT (UNLESS OTHERWISE NOTED) WITH CALIBRATED PULL TIE TO AN ACCESSIBLE VOID IN THE CEILING SPACE FOR TELEPHONE/DATA WIRING.

NOTES:
 ALL NEW REFRIGERATION CASE WIRING SHALL RUN CONCEALED IN FALSE WALLS, POWER POLES OR ACCESSIBLE WALLS, UNLESS SPECIFICALLY INDICATED OTHERWISE. COORDINATE UNDERSLAB CONDUIT RUNS WITH SLAB CUTS FOR REFRIGERATION AND PLUMBING PIPING.



STORE NO. 7541
 PORTLAND, ME

DATE

PROJ. NO. 0716
 © 2008

SHAW'S NORTHGATE SHOPPING PLAZA
 HARRIMAN
 ARCHITECTS & ENGINEERS



SUBMITTAL DATE(S)
 OWNER/AGENCY

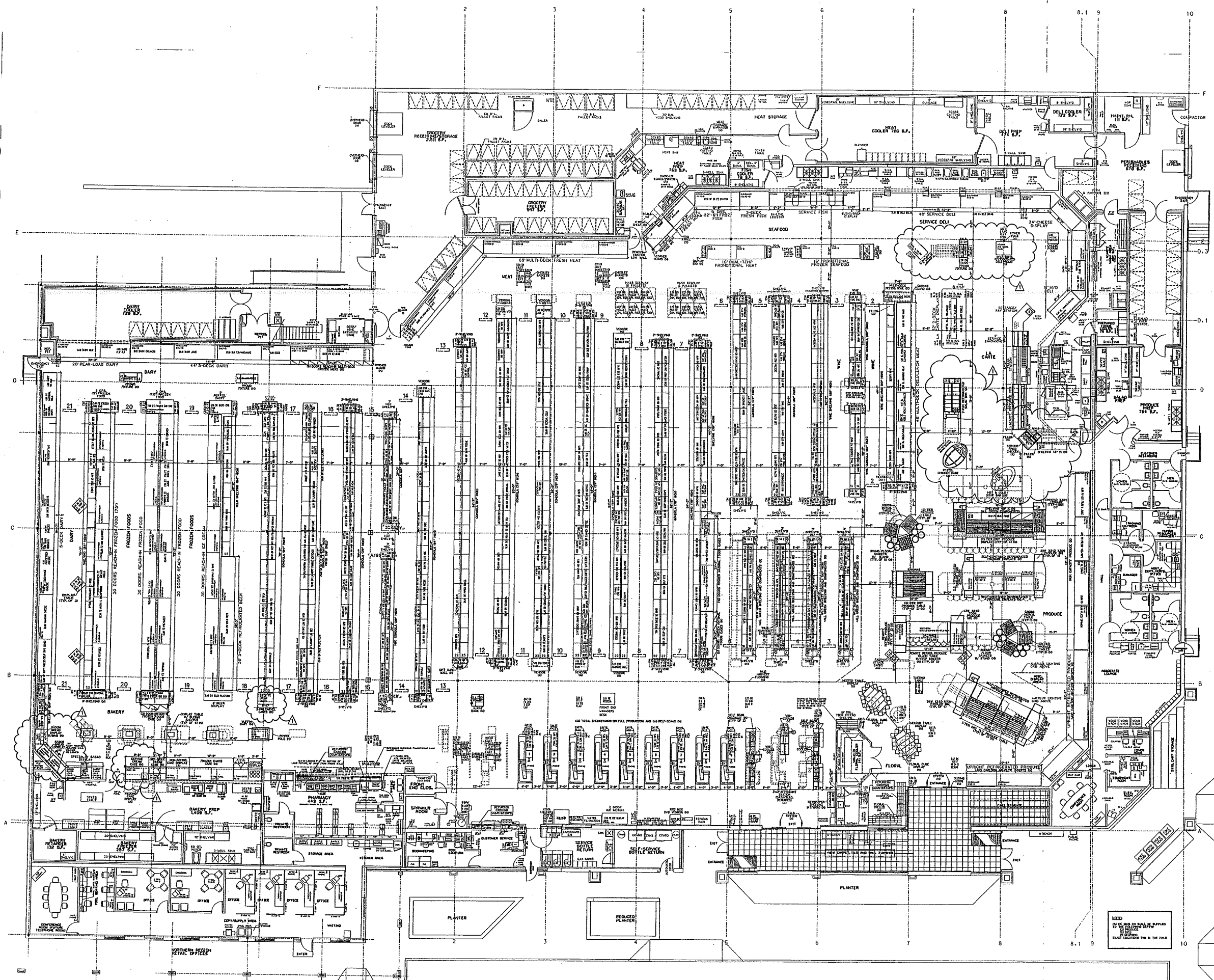
REVISIONS

DRAWN: DSH
 CHECKED: OTB DATE

SHEET TITLE
POWER PLAN

SHEET
 ORIGINAL SHEET: 36 X 48

7.2A



REVISIONS

REVISION: 3.11
DATE: 07-03-2008

APPROVALS

DESIGNER: C. LIGHTYRE
MERCHANT: R. FRETTE
MANAGER: J. ANDREWS

DATE: 06/17/2008
DATE: 06/10/2008
SCALE: 1/4" = 1'-0"

STORE NO. 7541
SHEET MERCHANDISE FIXTURE PLAN 3.11

shaws

SHAW'S "NORTHGATE" SHOPPING CENTER
NORTHGATE SHOPPING CENTER
PORTLAND, ME 04103

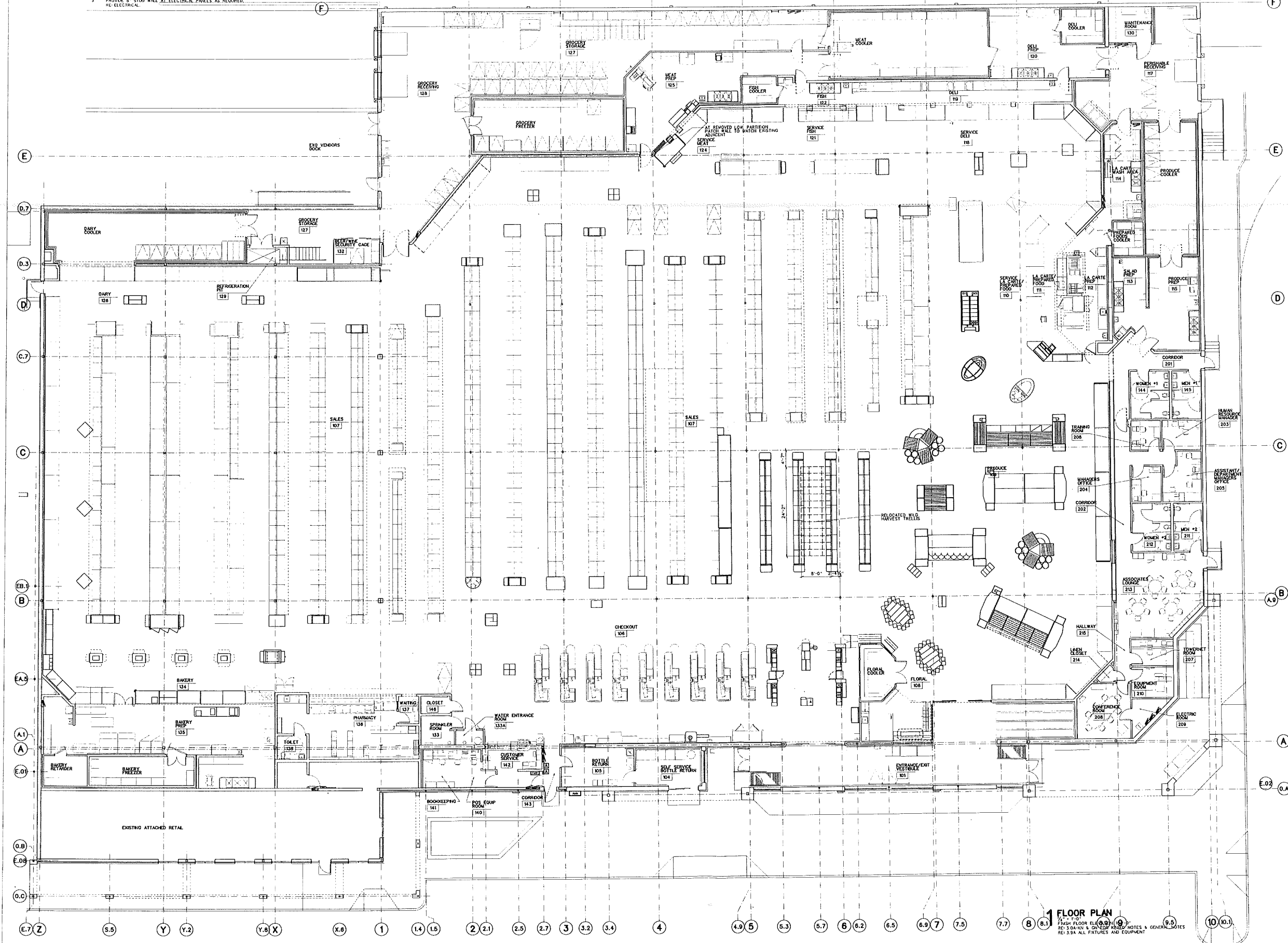
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MANAGER: J. ANDREWS
SCALE: 1/4" = 1'-0"

STORE NO. 7541
SHEET MERCHANDISE FIXTURE PLAN 3.11

REVISION: 3.11
DATE: 07-03-2008

GN SCHEDULE OF GENERAL NOTES
RE: ALL DRAWINGS

1. ALL STUDS ARE AT 24" O.C. ALL MAIN FLOOR METAL STUD SIZE SHALL BE 8" (ACTUAL), UNLESS NOTED OTHERWISE. FLOOR TO ROOF DECK FRAMING SET ON TOP OF COOLER & FREEZER BOXES SHALL BE 3/4" (ACTUAL) FROM TOP OF BOX TO 4'-0" UNLESS NOTED OTHERWISE. ALL STUDS TO EXTEND TO THE ROOF DECK UNLESS NOTED OTHERWISE.
2. FINISH FLOOR ELEVATION 1100.00 IS FOR REFERENCE ONLY.
3. ALL WALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR OTHER SHEATHING AND/OR NOMINAL FACE OF MASONRY.
4. VERIFY DIMENSIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY ALBERTSONS AND ALBERTSONS OUTSIDE CONTRACTORS.
5. PROVIDE 5" STUD WALL AT ELECTRICAL PANELS AS REQUIRED, RE: ELECTRICAL.
6. PROVIDE 4X8X3/4 VERT PLYWOOD ON WALLS BEHIND ANY ELEC PANELS. BOTTOM OF BOARD TO BE 1/2" AFF A TO BE PAINTED #7 FIRE RESISTANT PAINT (2 COATS).
7. PROVIDE BLOCKING, RE: 3.3A-5B.
8. RE: 3.04-1 FOR ADDITIONAL INSTRUCTIONS.
9. PATCH WALLS AT AREA OF REMOVED PARTITION TO MATCH EXISTING ADJACENT (RE: 3.04 FOR DEMOLITION).
10. AT NEW PPING IN EXISTING PARTITIONS, CUT, PATCH AND REPAIR TO MATCH EXISTING ADJACENT.



1 FLOOR PLAN

FINISH FLOOR ELEVATION 1100.00
 RE: 3.04-1 FOR ADDITIONAL INSTRUCTIONS
 RE: 3.04-2 FOR DEMOLITION
 RE: 3.04-3 FOR DEMOLITION
 RE: 3.04-4 FOR DEMOLITION
 RE: 3.04-5 FOR DEMOLITION
 RE: 3.04-6 FOR DEMOLITION
 RE: 3.04-7 FOR DEMOLITION
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 RE: 3.04-61 FOR DEMOLITION
 RE: 3.04-62 FOR DEMOLITION
 RE: 3.04-63 FOR DEMOLITION
 RE: 3.04-64 FOR DEMOLITION
 RE: 3.04-65 FOR DEMOLITION
 RE: 3.04-66 FOR DEMOLITION
 RE: 3.04-67 FOR DEMOLITION
 RE: 3.04-68 FOR DEMOLITION
 RE: 3.04-69 FOR DEMOLITION
 RE: 3.04-70 FOR DEMOLITION
 RE: 3.04-71 FOR DEMOLITION
 RE: 3.04-72 FOR DEMOLITION
 RE: 3.04-73 FOR DEMOLITION
 RE: 3.04-74 FOR DEMOLITION
 RE: 3.04-75 FOR DEMOLITION
 RE: 3.04-76 FOR DEMOLITION
 RE: 3.04-77 FOR DEMOLITION
 RE: 3.04-78 FOR DEMOLITION
 RE: 3.04-79 FOR DEMOLITION
 RE: 3.04-80 FOR DEMOLITION
 RE: 3.04-81 FOR DEMOLITION
 RE: 3.04-82 FOR DEMOLITION
 RE: 3.04-83 FOR DEMOLITION
 RE: 3.04-84 FOR DEMOLITION
 RE: 3.04-85 FOR DEMOLITION
 RE: 3.04-86 FOR DEMOLITION
 RE: 3.04-87 FOR DEMOLITION
 RE: 3.04-88 FOR DEMOLITION
 RE: 3.04-89 FOR DEMOLITION
 RE: 3.04-90 FOR DEMOLITION
 RE: 3.04-91 FOR DEMOLITION
 RE: 3.04-92 FOR DEMOLITION
 RE: 3.04-93 FOR DEMOLITION
 RE: 3.04-94 FOR DEMOLITION
 RE: 3.04-95 FOR DEMOLITION
 RE: 3.04-96 FOR DEMOLITION
 RE: 3.04-97 FOR DEMOLITION
 RE: 3.04-98 FOR DEMOLITION
 RE: 3.04-99 FOR DEMOLITION
 RE: 3.04-100 FOR DEMOLITION

SHAW'S NORTHGATE SHOPPING PLAZA
 PORTLAND, ME

shaws star
market

Albertsons

SUBMITTAL DATE(S)
 OWNER/AGENCY
 08/12/08 08/12/08

REVISIONS

DRAWN MJW	PROJECT 7541
CHECKED DLJ	DATE 08/12/08
SHEET TITLE FLOOR PLAN	
SHEET ORIGINAL SHEET 26 X 48 3.0A	

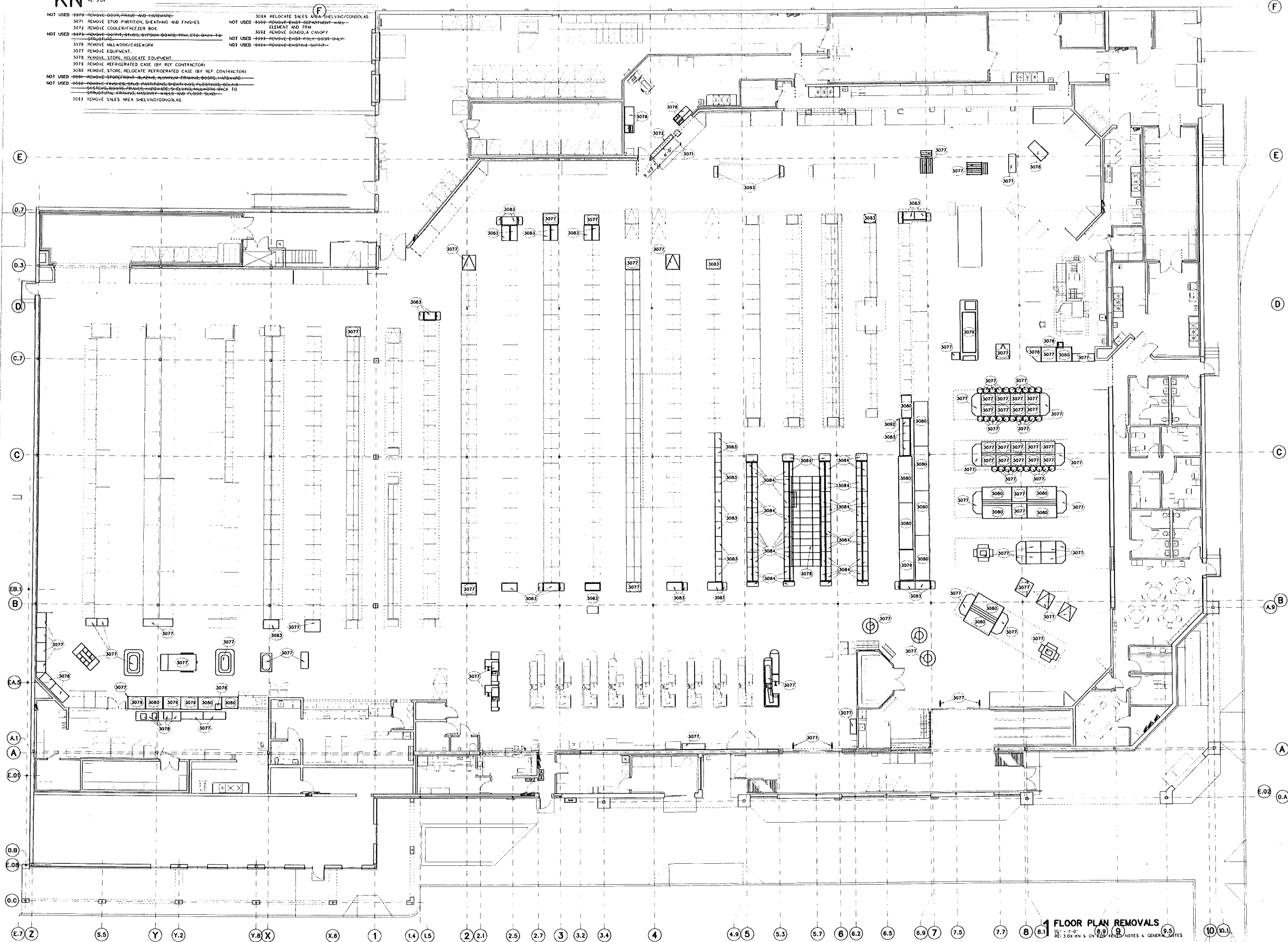
DATE 08/12/08
 CONTRACT NO. 7541
 DESIGN TYPE: GOOD

GN SCHEDULE OF GENERAL NOTES
RE: ALL DRAWINGS

1. COORDINATE RELOCATION OF EXISTING SHELVING, GONDOLAS, REFRIGERATED CASES, EQUIPMENT, ETC. WITH THE OWNER'S PROJECT MANAGER.
2. REMOVE EXISTING FLOOR FINISHES AT AREAS OF NEW TILE.
3. EXISTING MECHANICAL MEZZANINE TO REMAIN.
4. ALL ITEMS TO BEING REMOVED ARE TO BE REMOVED AND DISPOSED OF UNLESS NOTED TO BE STORED AND/OR RELOCATED.

KN SCHEDULE OF KEYED NOTES
RE: 3.0X

- | | |
|--|--|
| NOT USED - 3079 REMOVE - 00001 FRAME AND HARDWARE | 3084 RELOCATE SALES AREA SHELVING/GONDOLAS |
| 3071 REMOVE STUD PARTITION, SHEATHING AND FINISHES | NOT USED - 3093 REMOVE EXIST. DEPARTMENT - WALL ELEMENT AND TRIM |
| 3072 REMOVE COOLER/FREEZER BOX | 3032 REMOVE GONDOLA CANOPY |
| NOT USED - 3073 REMOVE - 00044 SHOPS - 00001 - 00001 - 00001 - 00001 - 00001 | NOT USED - 3095 REMOVE EXIST. FRAMING - 00001 - 00001 |
| 3076 REMOVE WALLWORK/CASEWORK | NOT USED - 3094 REMOVE EXIST. FRAMING - 00001 - 00001 |
| 3077 REMOVE EQUIPMENT | |
| 3078 REMOVE STORES, RELOCATE EQUIPMENT | |
| 3079 REMOVE REFRIGERATED CASE (BY REF CONTRACTOR) | |
| 3080 REMOVE STORE, RELOCATE REFRIGERATED CASE (BY REF CONTRACTOR) | |
| NOT USED - 3081 REMOVE - 00001 - 00001 - 00001 - 00001 - 00001 - 00001 - 00001 - 00001 - 00001 - 00001 | |
| NOT USED - 3082 REMOVE - 00001 - 00001 - 00001 - 00001 - 00001 - 00001 - 00001 - 00001 - 00001 - 00001 | |
| 3083 REMOVE SALES AREA SHELVING/GONDOLAS | |



SHAW'S NORTHGATE SHOPPING PLAZA
 PORTLAND, ME
 STORE NO. 7541
 PROJECT No. 0716
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shaws star
 HARRIMAN
 ARCHITECTS + ENGINEERS

SUBMITTAL DATE(S)
 OWNER/AGENCY
 08/12/08 08/12/08

REVISIONS

DRAWN MJW	PROJECT 7541
CHECKED DLJ	DTB DATE 08/12/08

SHEET TITLE
FLOOR PLAN DEMOLITION

SHEET
 ORIGINAL SHEET: 35 X 45
3.0X

1 FLOOR PLAN REMOVALS
1/8" = 1'-0"
RE: 3.0X-KN & ON 2.0X-GENERAL NOTES & GENERAL NOTES

GN SCHEDULE OF GENERAL NOTES
3.9A.1

1. REF. TO 3.9A-SB SCHEDULE OF BLOCKING FOR MOUNTING AND BLOCKING HEIGHTS.
2. REUSE EXISTING FIRE EXTINGUISHER LOCATIONS.

ES EQUIPMENT SCHEDULE
3.9A.1

EACH PIECE OF EQUIPMENT ON THE 3.9A.1S GIVEN AN EQUIPMENT DESIGNATION WHICH HAS AN EQUIPMENT CATEGORY, GIVING THE DESCRIPTION OF AND ALL PROVIDE THE EQUIPMENT, COORDINATE, AND INSTALL THE EQUIPMENT.

EQUIPMENT DESIGNATION	EQUIPMENT CATEGORY	EQUIPMENT DESCRIPTION
A	A	FURNISHED BY ALBERTSONS & INSTALLED BY FIXTURE INSTALLER FINAL HOOK-UP BY CONTRACTOR
B	B	FURNISHED & INSTALLED BY CONTRACTOR
C	C	FURNISHED BY ALBERTSONS & INSTALLED BY FIXTURE INSTALLER
D	D	FURNISHED BY ALBERTSONS RECEIVED UNCRATED & INSTALLED BY CONTRACTOR FINAL HOOK-UP BY CONTRACTOR

EQUIPMENT DESIGNATION	EQUIPMENT CATEGORY	EQUIPMENT DESCRIPTION
E	E	FURNISHED BY ALBERTSONS & INSTALLED BY REFRIGERATION INSTALLER FINAL HOOK-UP BY CONTRACTOR
F	F	FURNISHED & INSTALLED BY ALBERTSONS FINAL HOOK-UP BY CONTRACTOR
G	G	FURNISHED & INSTALLED BY ALBERTSONS

EL EQUIPMENT LEGEND
3.9A.1

- 1. FIRE EXTINGUISHER HOOK-UP
- 2. EQUIPMENT TAG
- 3. EQUIPMENT DIM SHEETS

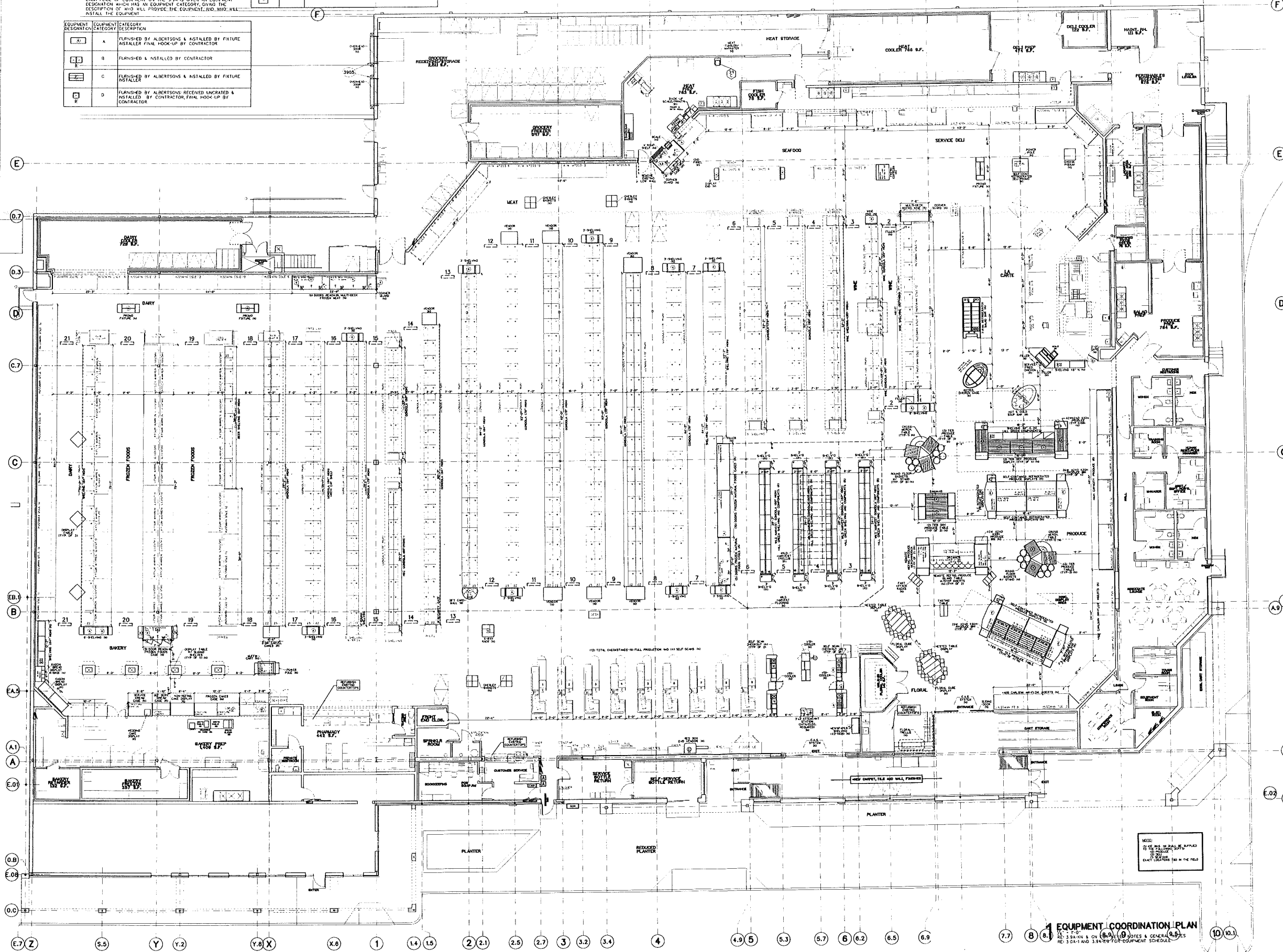
KN SCHEDULE OF KEYED NOTES
3.9A.1

3305 DOCK SEAL, RE: SPECIFICATIONS

SB SCHEDULE OF BLOCKING
3.9A.1

10. BLOCKING HEIGHTS AND BLOCKING HEIGHTS 10.10.10 AS A GENERAL GUIDE FOR THE MOUNTING OF EQUIPMENT AT THE REQUIRED HEIGHT. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EQUIPMENT AND BLOCKING WITH THE ALBERTSONS CONSTRUCTION MANAGER. CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL MOUNTING HEIGHTS WITH LOCAL CODES AND JURISDICTION.

EQUIPMENT	EQUIPMENT MOUNTING HEIGHT	BLOCKING MOUNTING HEIGHT
FIRE EXTINGUISHERS	5'-4" ± 3/4"	5'-0" 7/8" ± 6"
SERVICE CASE HANDICERS	AS DIRECTED	PER MFG.



shaw's star market

Albertsons

SUBMITTAL DATE(S)
OWNER/AGENCY
08/12/08 08/12/08

REVISIONS

DRAWN MJW	PROJECT 7541
CHECKED DLJ	DATE 08/12/08

SHEET TITLE
EQUIPMENT PLAN

SHEET ORIGINAL SHEET 36 X 48
3.9A

EQUIPMENT COORDINATION PLAN
3.9A.1

STORE NO. 7541
 PORTLAND, ME
 DATE 08/12/08

SHAW'S NORTHGATE SHOPPING PLAZA
 HARRISMAN
 ARCHITECTS • ENGINEERS

PROJECT NO. 08-074
 DATE 08/12/08

10. BLOCKING HEIGHTS AND BLOCKING HEIGHTS 10.10.10 AS A GENERAL GUIDE FOR THE MOUNTING OF EQUIPMENT AT THE REQUIRED HEIGHT. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EQUIPMENT AND BLOCKING WITH THE ALBERTSONS CONSTRUCTION MANAGER. CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL MOUNTING HEIGHTS WITH LOCAL CODES AND JURISDICTION.

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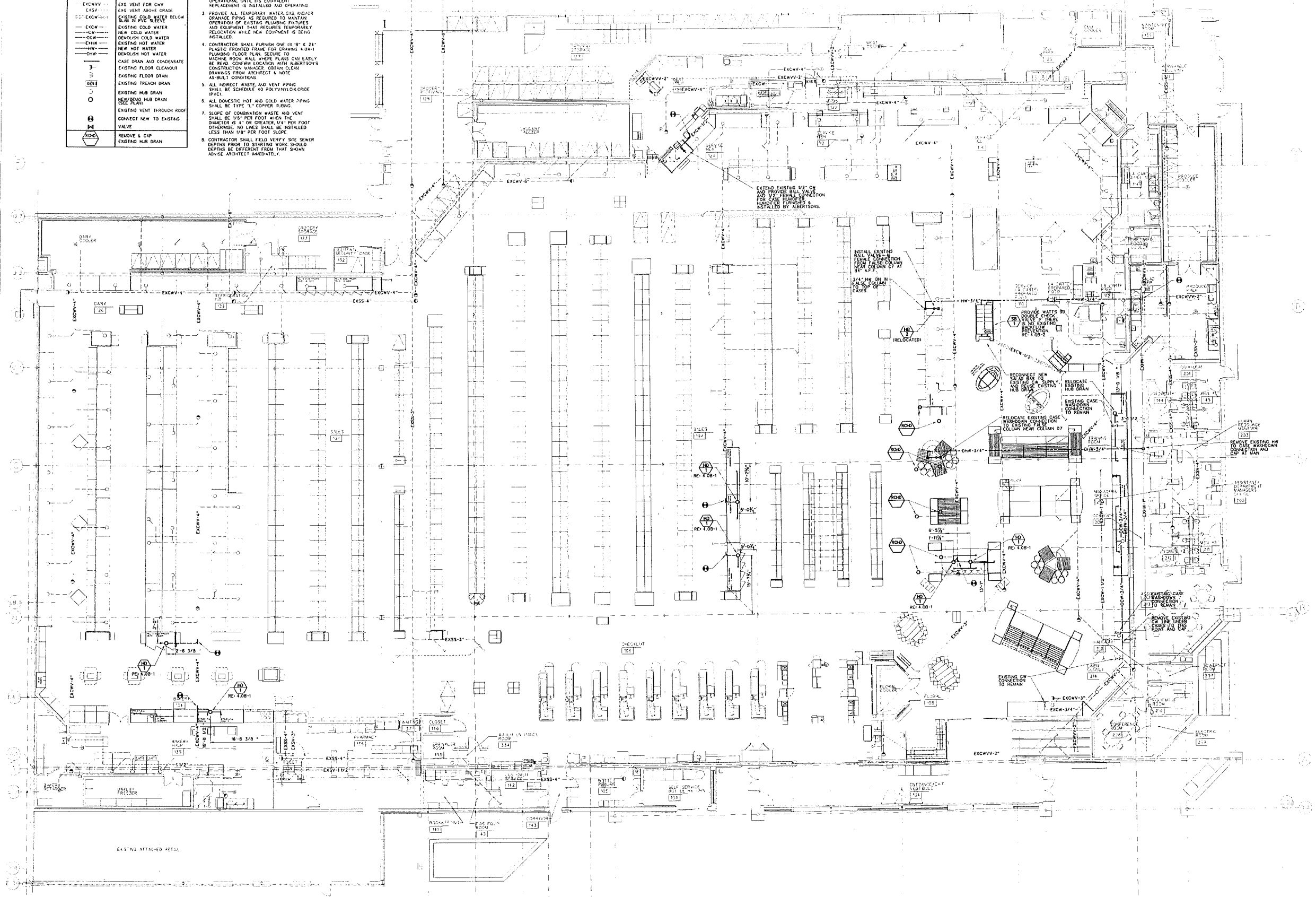
10. BLOCKING HEIGHTS AND BLOCKING HEIGHTS 10.10.10 AS A GENERAL GUIDE FOR THE MOUNTING OF EQUIPMENT AT THE REQUIRED HEIGHT. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EQUIPMENT AND BLOCKING WITH THE ALBERTSONS CONSTRUCTION MANAGER. CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL MOUNTING HEIGHTS WITH LOCAL CODES AND JURISDICTION.

LEGEND

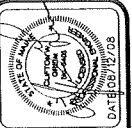
SYMBOL	DESCRIPTION
---	EXISTING SANITARY BELOW GRADE
---	EXISTING COMBINATION WASTE AND VENT BELOW GRADE
---	COMBINATION WASTE AND VENT BELOW GRADE
---	EXISTING VENT FOR CHW
---	EXISTING VENT ABOVE GRADE
---	EXISTING COLD WATER BELOW GRADE
---	EXISTING COLD WATER
---	NEW COLD WATER
---	DEMOLISH COLD WATER
---	EXISTING HOT WATER
---	NEW HOT WATER
---	DEMOLISH HOT WATER
---	CASE DRAIN AND CONDENSATE
---	EXISTING FLOOR CLEANOUT
---	EXISTING FLOOR DRAIN
---	EXISTING FRENCH DRAIN
---	EXISTING HUB DRAIN
---	NEW/RELOCATE HUB DRAIN (SEE PLAN)
---	EXISTING VENT THROUGH ROOF
---	CONNECT NEW TO EXISTING
---	REMOVE & CAP
---	EXISTING HUB DRAIN

GN SCHEDULE OF GENERAL NOTES

- PLUMBING INSTALLATION SHALL CONFORM TO THE MAINE STATE INTERNAL PLUMBING CODE 2008, AS WELL AS ALL LOCAL CODES, REGULATIONS, AND ORDINANCES.
- THE INTENT IS FOR ALL EXISTING PLUMBING FIXTURES AND EQUIPMENT TO REMAIN OPERATIONAL, UNLESS OTHERWISE INDICATED. REPLACEMENT IS INSTALLED AND OPERATING OPERATIONAL, UNLESS OTHERWISE INDICATED.
- PROVIDE ALL TEMPORARY WATER, GAS, AND/OR DRAINAGE PIPING AS REQUIRED TO MAINTAIN OPERATION OF EXISTING PLUMBING FIXTURES AND EQUIPMENT THAT REQUIRES TEMPORARY RELOCATION WHILE NEW EQUIPMENT IS BEING INSTALLED.
- CONTRACTOR SHALL FURNISH ONE (1) 18" X 24" PLASTIC FRONTED FRAME FOR DRAWING 4.0A-1 PLUMBING FLOOR PLAN. SECURE TO MACHINE ROOM WALL WHERE PLANS CAN EASILY BE READ. CONFIRM LOCATION WITH SUBMITTER'S CONSTRUCTION MANAGER. OBTAIN CLEAN DRAWINGS FROM ARCHITECT & NOTE AS-BUILT CONDITIONS.
- ALL DOMESTIC WASTE AND VENT PIPING SHALL BE SCHEDULE 40 POLYETHYLENE GLYCOL (PEX).
- ALL DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE "L" CORNER PIPING.
- SLOPE OF COMBINATION WASTE AND VENT SHALL BE 1/8" PER FOOT WHEN THE DIAMETER IS 4" OR GREATER, 1/4" PER FOOT OTHERWISE. NO LINES SHALL BE INSTALLED LESS THAN 1/8" PER FOOT SLOPE.
- CONTRACTOR SHALL FIELD VERIFY SITE SEWER DEPTHS PRIOR TO STARTING WORK. SHOULD DEPTHS BE DIFFERENT FROM THAT SHOWN, ADVISE ARCHITECT IMMEDIATELY.



1 PLUMBING PLAN
 4.0A
 11-1-08
 11-1-08





DATE: 08/12/08

STORE NO. 7541
 PORTLAND, ME

SHAW'S NORTHGATE SHOPPING PLAZA

MARK E. MAN
 ARCHITECT & ENGINEER





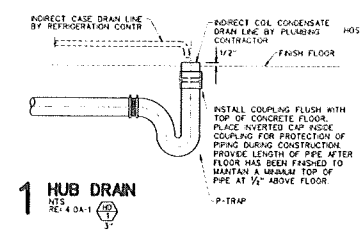
SUBMITTAL DATE(S)
 OWNER/AGENCY
 08/12/08 08/12/08

REVISIONS

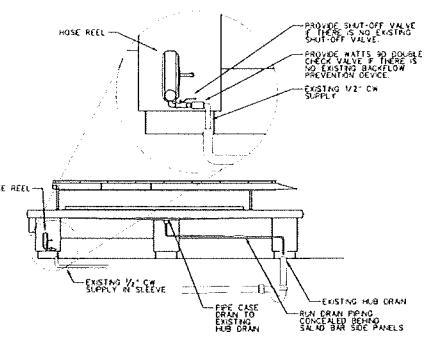
DRAWN CDG	PROJECT 7541
CHECKED CWG	DATE 08/12/08

SHEET TITLE
PLUMBING PLAN

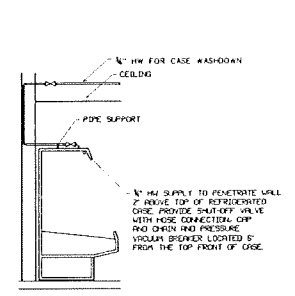
SHEET
 ORIGINAL SHEET: 36 X 48
4.0A



1 HUB DRAIN
 NTS
 REF: 4.0A-1

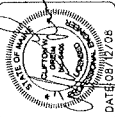


2 SALAD BAR
 NTS
 REF: 4.0A-1



3 WATER SUPPLY FOR REFRIGERATED CASES
 NTS
 REF: 4.0A-1


FS FIXTURE SCHEDULE											
CONTRACTOR FURNISHED AND INSTALLED					OWNER FURNISHED & CONTRACTOR INSTALLED						
SYMBOL	DESCRIPTION	MANUFACTURER, CATALOG # & SIZE	TRIM & DETAIL REFERENCE	PLUMBING FEATURE CONNECTIONS (IN.)	NOTES	SYMBOL	DESCRIPTION	MANUFACTURER, CATALOG # & SIZE	TRIM & DETAIL REFERENCE	PLUMBING FEATURE CONNECTIONS (IN.)	NOTES
				IN. CM W Y G						IN. CM W Y G	
	HOT WATER HOSE BIBB	RELOCATED	REF: 4.0B-3	3/4"			SALAD BAR	REF: 4.0B-2		1/2" 1/2"	
	HUB DRAIN	FIELD PROVIDED	REF: 4.0B-1		3						




DATE: 08/12/08

STORE NO. 7541
 PORTLAND, ME

SHAW'S
 NORTHGATE SHOPPING PLAZA
 HARRISMAN
 ARCHITECTS + ENGINEERS





SUBMITTAL DATE(S)
 OWNER/AGENCY
 08/12/08 08/12/08

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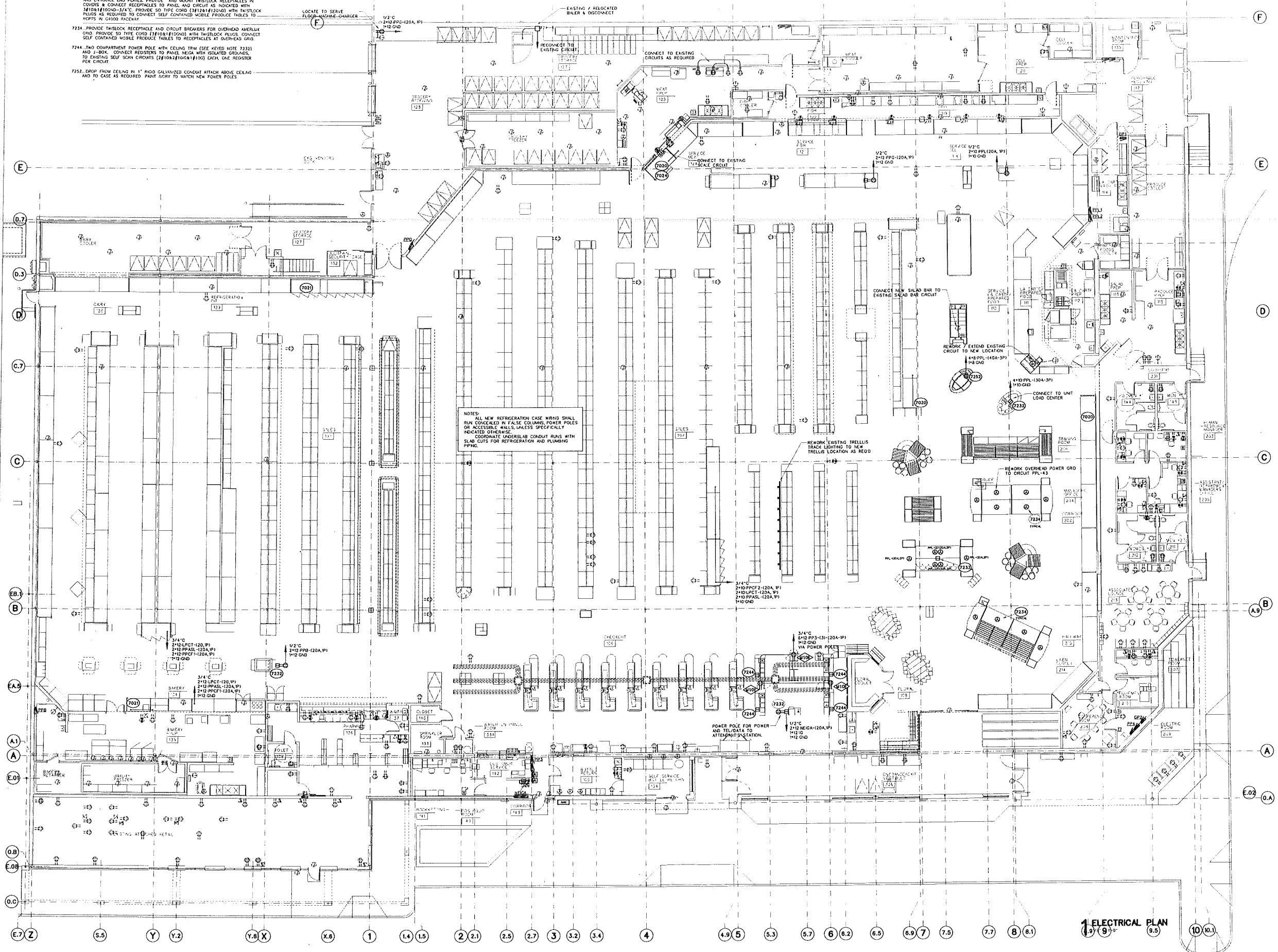
DRAN: CDC PROJECT: 7541
 CHECKED: CWG DATE: 08/12/08

SHEET TITLE
**PLUMBING
 DETAILS**

SHEET
 ORIGINAL SHEET: 35 X 45
4.0B

KEY NOTES:

- 7200. CONNECT TO EXISTING CASE WIRING AS REQUIRED
- 7201. CONNECT NEW CASE(S) TO EXISTING CASE WIRING IN THIS LOCATION AS REQUIRED
- 7204. PROVIDE AND INSTALL DUPLEX REPT AT EACH SERVICE SEAFOOD / MEAT CASE FOR CASE IDENTIFICATION. CONNECT TO FAN CIRCUIT AS REQUIRED
- 7232. POWER POLE FOR CIRCUITS TO GONDOLAS AND OTHER LOCATIONS AS INDICATED - W/RELOC. TRUCK-4 OR EQUAL, W/RY. WITH MOUNTING HARDWARE, BOOT BASE, ENTRANCE END PLATE AND TRIM
- 7233. PROVIDE W/RY W/RELOC. 04000 RACEWAY. TWO SECTIONS MOUNTED BACK TO BACK, FROM FLOOR TO CEILING COMPLETE WITH GONDERS, MOUNTING HARDWARE AND ENTRANCE END PLATES. PROVIDE AND MOUNT TWISTLOCK RECEPTABLES IN GONDAS & CONNECT RECEPTABLES TO PANEL AND CIRCUIT AS INDICATED WITH 1/2" (1/2" @ 180°) - 3/4" C. PROVIDE 50 TYPE CORD (1/2" @ 180°) WITH TWISTLOCK PLUGS AS REQUIRED TO CONNECT SELF-CONTAINED MOBILE PRODUCE TABLES TO REPT'S IN GONDAS ONLY
- 7234. PROVIDE TWISTLOCK RECEPTABLE AND CIRCUIT BREAKERS FOR OVERHEAD AMERLUK GRID. PROVIDE 50 TYPE CORD (1/2" @ 180°) WITH TWISTLOCK PLUGS. CONNECT SELF-CONTAINED MOBILE PRODUCE TABLES TO RECEPTABLES AT OVERHEAD GRID
- 7244. TWO COMPARTMENT POWER POLE WITH CEILING TRIM (SEE NOTE 7233) AND J-BOX. CONNECT RECEPTORS TO PANEL NEGA WITH ISOLATED GROUND, TO EXISTING SELF-SCAN CIRCUITS (2#10A2#10GA#1100) EACH, ONE RECEPTOR PER CIRCUIT
- 7252. DROP FROM CEILING IN 1" RIGID GALVANIZED CONDUIT ATTACH ABOVE CEILING AND TO CASE AS REQUIRED. PAINT AGRY TO MATCH NEW POWER POLES



NOTES:
 ALL NEW REFRIGERATION CASE WIRING SHALL RUN CONCEALED IN FALSE CEILING, POWER POLES OR ACCESSIBLE WALLS, UNLESS SPECIFICALLY INDICATED OTHERWISE.
 COORDINATE OVERHEAD CONDUIT RUNS WITH SLAB CUTS FOR REFRIGERATION AND PLUMBING PIPING.

1 ELECTRICAL PLAN
 1/9" = 1' 0"

DATE: 08/12/08

STORE NO. 7541
PORTLAND, ME

SHAW'S NORTHGATE SHOPPING PLAZA
 HARRIMAN
 Architects + Engineers

SUBMITTAL DATE(S)
 OWNER/AGENCY
 08/12/08 08/12/08

REVISIONS

DRAWN PROJECT
 DSH 7541
 CHECKED OIB DATE
 PRM 08/12/08

SHEET TITLE
ELECTRICAL PLAN

SHEET
 ORIGINAL SHEET 35 X 45
7.1A