

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1135	Date Applied For: 09/16/2003	CBL: 375 A023001
-----------------------	---------------------------------	---------------------

Location of Construction: 94 Auburn St	Owner Name: 94 Auburn Llc	Owner Address: Po Box 2133	Phone: 207-774-6226
Business Name: n/a	Contractor Name: Allied/Cook Construction	Contractor Address: PO Box 1396 Portland	Phone: (207) 772-2888
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Commercial	

Proposed Use: Office / Adding interior elevator, sprinkler system, stair, corridor and office renovations.	Proposed Project Description: Adding interior elevator, sprinkler system, stair, corridor and office renovations.
---	--

Dept: Zoning      Status: Approved      Reviewer: Marge Schmuckal      Approval Date: 09/23/2003  
 Note:      Ok to Issue:

Dept: Building      Status: Approved with Conditions      Reviewer: Mike Nugent      Approval Date: 10/07/2003  
 Note:      Ok to Issue:   
 1) L & L Structural to fax a Special Inspection Scope with regard to the Steel / Block work MJN

Dept: Fire      Status: Approved with Conditions      Reviewer: Lt. MacDougal      Approval Date: 09/24/2003  
 Note:      Ok to Issue:   
 1) the fire alarm system and sprinkler system shall be tested in accordance with the appropriate standard and the results submitted to the Portland Fire Department  
 2) the sprinkler system shall be installed in accordance with NFPA 13 standards  
 3) the elevator shall have firefighter recall  
 4) the fire alarm system shall be installed in accordance with NFPA 72 standards

**From:** Marge Schmuckal  
**To:** Kandi Talbot  
**Date:** Fri, Aug 15, 2003 12:35 PM  
**Subject:** 34 Blueberry Rd - Logan bldg

Kandi,

Do you have a stamped approved site plan for this new bldg? Is it the same as the original submittal I received in January? They have applied for a building permit and I am essentially ok with it as long as there have been no changes.

Marge

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

2003-0134  
Application I. D. Number  
08/30/2003  
Application Date  
Amendment to Plan - Office/Warehouse  
Project Name/Description

Theodore Logan & Son Inc  
Applicant  
971 Congress St, Portland, ME 04102  
Applicant's Mailing Address

34 - 34 Blueberry Rd, Portland, Maine  
Address of Proposed Site  
238A A008001  
Assessor's Reference: Chart-Block-Lot

Consultant/Agent  
Applicant Ph: (207) 774-6321 Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):  
 New Building    Building Addition    Change Of Use    Residential    Office    Retail  
 Manufacturing    Warehouse/Distribution    Parking Lot    Other (specify) Amendment to Plan

Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_ IM \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

- |  |  |  |  |
|--|--|--|--|
| <input type="checkbox"/> Site Plan (major/minor)         | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                    | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance             |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date: \_\_\_\_\_

**Zoning Approval Status:**

Approved    Approved w/Conditions See Attached    Denied   Reviewer \_\_\_\_\_

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee    Required\*    Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issued	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____





# Application for Construction Permit

Department of Public Safety  
Licensing & Inspections  
164 State House Station  
Augusta, Maine 04333-0164

Tel: 207-624-8744 x1  
Fax: 207-624-8767

SHADED AREAS ARE FOR OFFICE USE ONLY (3-99)

### Project Information

Project Name: LOGAN PAINT  
 Street Location: 34 BLUEBERRY ROAD Town Location: PORTLAND, ME.  
 County: Cumberland

New Building:  Renovation:  Addition:  Occupancy Change:   
 Sprinkler System:  Yes  No Sprinkler System Supervised:  Yes  No

Date of Construction Start-up: \_\_\_\_\_ Estimated Project Cost: \$600,000  
 Date of Construction Completion: \_\_\_\_\_ Construction Permit Fee: \$200.00  
(Fee schedule is on back)

### Occupancy Classification

Apartments <input type="checkbox"/>	Nursing Home <input type="checkbox"/>	Educational <input type="checkbox"/>
Hotel / Motel <input type="checkbox"/>	Industrial <input type="checkbox"/>	Daycare <input type="checkbox"/>
Rooming & Lodging <input type="checkbox"/>	Residential Care Level I <input type="checkbox"/>	Detention <input type="checkbox"/>
Congregate Housing <input type="checkbox"/>	Residential Care Level II <input type="checkbox"/>	Business <input checked="" type="checkbox"/>
Hospital <input type="checkbox"/>	Assembly Class A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/>	Other <input type="checkbox"/>
Limited Care <input type="checkbox"/>	Mercantile A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/>	

### Construction Type

Fire Resistive: Type I (443), (332) <input type="checkbox"/>	Unprotected Ordinary: Type III (200) <input type="checkbox"/>
Protected Non-Combustible: Type II (222), (111) <input type="checkbox"/>	Heavy Timber: Type IV (2HH) <input type="checkbox"/>
Unprotected Non-Combustible: Type II (000) <input checked="" type="checkbox"/>	Protected Wood Frame: Type V (111) <input type="checkbox"/>
Protected Ordinary: Type III (211) <input type="checkbox"/>	Unprotected Wood Frame: Type V (000) <input type="checkbox"/>

### Addresses

Owner's Name: JOHN LOGAN Telephone: 774-6321 Fax: \_\_\_\_\_  
 Mailing Address: 971 CANNON ST  
 Town: PORTLAND ME State: Maine Zip Code: 04101

Design Professional: PHILIP J. DOUGHTY Telephone: 781-5346 Fax: 781-2908  
 Maine Registration Number: 1108 E-mail: PDARCH@MAINE.PR.COM  
 Mailing Address: 362 US RT 1  
 Town: FALMOUTH State: ME Zip Code: 04105

General Contractor: LANFORD & LAW Telephone: 797-5141 Fax: \_\_\_\_\_  
 Mailing Address: 248 WARREN AVENUE  
 Town: PORTLAND, MAINE State: MAINE Zip Code: 04101

Signature of Applicant: Phillip J. Doughty

Preliminary Approval: <input type="checkbox"/>	Date: _____	Approved By: _____
Construction Permit: <input type="checkbox"/>	Date: _____	Approved By: _____
Approval Letter: <input type="checkbox"/>	Date: _____	Approved By: _____

-When a permit is not required

LOG #	DATE PLANS RECEIVED	REVIEW FEE	DATE FEE RECEIVED	CHECK #	PLAN REVIEWER	DATE PERMIT ISSUED	PERMIT #
		200.00	6/19/03	6456	R.M		

200.00  
 200.00  
 -----  
 400.00



AUG 10 '03 (MON) 02:34

PAGE 2/4



**CITY OF PORTLAND  
ACCESSIBILITY CERTIFICATE**

**Designer:** Phillip J. Doughty Associates - Architects

**Address of Project:** 34 Blueberry Rd.

**Nature of Project:** Warehouse and office

**Date:** August 13, 2003

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

*Phillip J. Doughty*  
Phillip J. Doughty

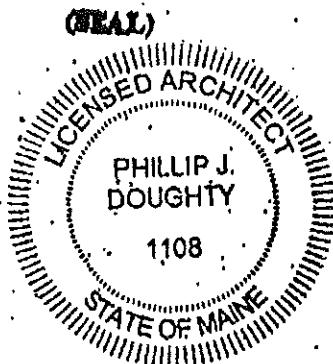
**Signature:** Phillip J. Doughty

**Title:** Principal/Architect

**Firm:** Phillip Doughty Assoc. - Architects

**Address:** 362 U.S. Route One  
Falmouth, ME 04105

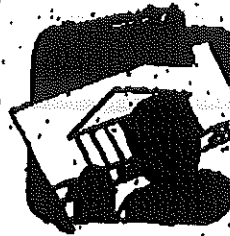
**Telephone:** (207) 781-5346



\*\* 200 3588 78101 \*\*

AUG 10 '03 (MON) 02:34

PAGE 3/4



**CITY OF PORTLAND MAINE**

389 Congress St., Rm 315  
Portland, ME 04101  
Tel. - 207-874-8704  
Fax - 207-874-8716

**TO:** Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

**FROM DESIGNER:** Phillip Doughty Assoc. - Architects

362 U.S. Route One, Falmouth, ME 04105

**DATE:** August 13, 2003

**Job Name:** Office and Warehouse Facility

**Address of Construction:** 34 Blueberry Road, Portland, ME 0

**THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION**

Construction project was designed according to the building code criteria listed below

Building Code and Year: BOCA 1999 Use Group Classification(s): B/S1  
Type of Construction: 2C Bldg. Height: 17'-0" Bldg. Sq. Footage: 10,100 gross s.  
Setback Zone: A = 0.11 Group Class: Business/Storage  
Roof Snow Load Per Sq. Ft.: 42 lbs/sf Dead Load Per Sq. Ft.: 12 psf  
Basic Wind Speed (mph): 85 mph Effective Velocity Pressure Per Sq. Ft.: 18.5 psf  
Floor Live Load Per Sq. Ft.: n/a (Slab on Grade)

Structure has full sprinkler system? Yes X No \_\_\_\_\_ Alarm System? Yes X No \_\_\_\_\_  
Sprinkler & Alarm systems must be installed according to BOCA and NFPA standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building? Yes \_\_\_\_\_ No X

If mixed use, what subsection of 319 is being considered \_\_\_\_\_

List Occupant loading for each room or space, designed thru this Project.

8-10 persons total facility

(Designer Stamp & Signature)



# THEODORE LOGAN AND SON OFFICE AND WAREHOUSE FACILITY 34 BLUEBERRY ROAD PORTLAND, MAINE

Issued for Bid / Construction

February 28, 2003

RELEASED FOR BIDS APRIL 14-2003

RELEASED W/ OWNERS AND MISC CHANGES 7-15-03

Prepared for:

MR. JOHN LOGAN  
OWNER

ARCHITECT:

Phillip J. Doughty Associates - Architects  
362 U. S. Route One  
Falmouth, Maine 04105  
Tel. (207) 781-5346

CIVIL ENGINEER:

SYTdesign Consultants  
Cumberland, Maine  
207-829-6994

MECHANICAL ENGINEER:

Mechanical Systems Engineers  
Yarmouth, Maine  
207-846-1441

STRUCTURAL ENGINEER

Structural Design Consultants  
Falmouth, ME 04105  
878-8038

ELECTRICAL ENGINEER

Elec. Design Consultants  
Long Island Maine  
207-766-5041

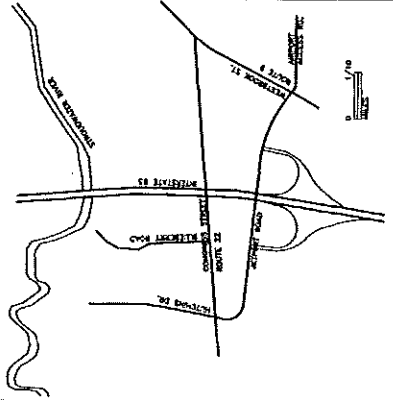
## Abbreviations

1-1	1-2	1-3	1-4	1-5	1-6	1-7	1-8	1-9	1-10	1-11	1-12	1-13	1-14	1-15	1-16	1-17	1-18	1-19	1-20	1-21	1-22	1-23	1-24	1-25	1-26	1-27	1-28	1-29	1-30	1-31	1-32	1-33	1-34	1-35	1-36	1-37	1-38	1-39	1-40	1-41	1-42	1-43	1-44	1-45	1-46	1-47	1-48	1-49	1-50	1-51	1-52	1-53	1-54	1-55	1-56	1-57	1-58	1-59	1-60	1-61	1-62	1-63	1-64	1-65	1-66	1-67	1-68	1-69	1-70	1-71	1-72	1-73	1-74	1-75	1-76	1-77	1-78	1-79	1-80	1-81	1-82	1-83	1-84	1-85	1-86	1-87	1-88	1-89	1-90	1-91	1-92	1-93	1-94	1-95	1-96	1-97	1-98	1-99	1-100
-----	-----	-----	-----	-----	-----	-----	-----	-----	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	-------

## Symbol Legend

1-1	1-2	1-3	1-4	1-5	1-6	1-7	1-8	1-9	1-10	1-11	1-12	1-13	1-14	1-15	1-16	1-17	1-18	1-19	1-20	1-21	1-22	1-23	1-24	1-25	1-26	1-27	1-28	1-29	1-30	1-31	1-32	1-33	1-34	1-35	1-36	1-37	1-38	1-39	1-40	1-41	1-42	1-43	1-44	1-45	1-46	1-47	1-48	1-49	1-50	1-51	1-52	1-53	1-54	1-55	1-56	1-57	1-58	1-59	1-60	1-61	1-62	1-63	1-64	1-65	1-66	1-67	1-68	1-69	1-70	1-71	1-72	1-73	1-74	1-75	1-76	1-77	1-78	1-79	1-80	1-81	1-82	1-83	1-84	1-85	1-86	1-87	1-88	1-89	1-90	1-91	1-92	1-93	1-94	1-95	1-96	1-97	1-98	1-99	1-100
-----	-----	-----	-----	-----	-----	-----	-----	-----	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	-------

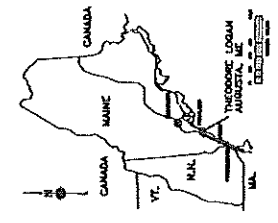
## Vicinity Map



## Drawing Index

- 1- TITLE SHEET
- 2- SITE DRAWINGS AND SPECIFICATIONS
- 3- SITE PLAN AND PROPOSED BY
- 4- SPECIFICATIONS UNDER SEPARATE COVER.
- 11-1 FLOOR PLAN (ALTERNATE)
- 12-1 ROOF PLAN (ALTERNATE)
- 13- BUILDING ELEVATIONS
- 14- MISC DETAILS
- 15- 3/4" WALL SECTIONS
- 16- 3/4" WALL SECTIONS
- 17- 3/4" WALL SECTIONS
- 18- 3/4" WALL SECTIONS
- 19-1 FINISH SCHEDULE (ALTERNATE)
- 20-1 DOOR AND FRAME SCHEDULE (ALTERNATE)
- 21-1 DETAILS
- 22-1 FOUNDATION PLAN (ALTERNATE)
- 23-1 ROOF FRAMING PLAN (ALTERNATE)
- 24-1 ROOF FRAMING PLAN (ALTERNATE)
- 25-1 FOUNDATION EXTERIOR AND DETAILS
- 26- COLUMN SIZES AND FRAMING DETAILS
- 27- MECHANICAL
- 28- MISC FLOOR PLAN / SECTN 1-1, 1-2, 1-3
- 29- CEILING NOTES, SCHEDULES AND DETAILS
- 30- PLUMBING
- 31- PLUMBING FLOOR PLAN
- 32- PLUMBING DETAILS AND SCHEDULES
- 33- ELECTRICAL
- 34- ELECTRICAL SITE PLAN
- 35-1A ELECTRICAL LIGHTING AND FIRE ALARM
- 36-2A POWER DISTRIBUTION PLAN
- 37-3A SCHEDULES NOTES AND SYMBOLS

## Area Map

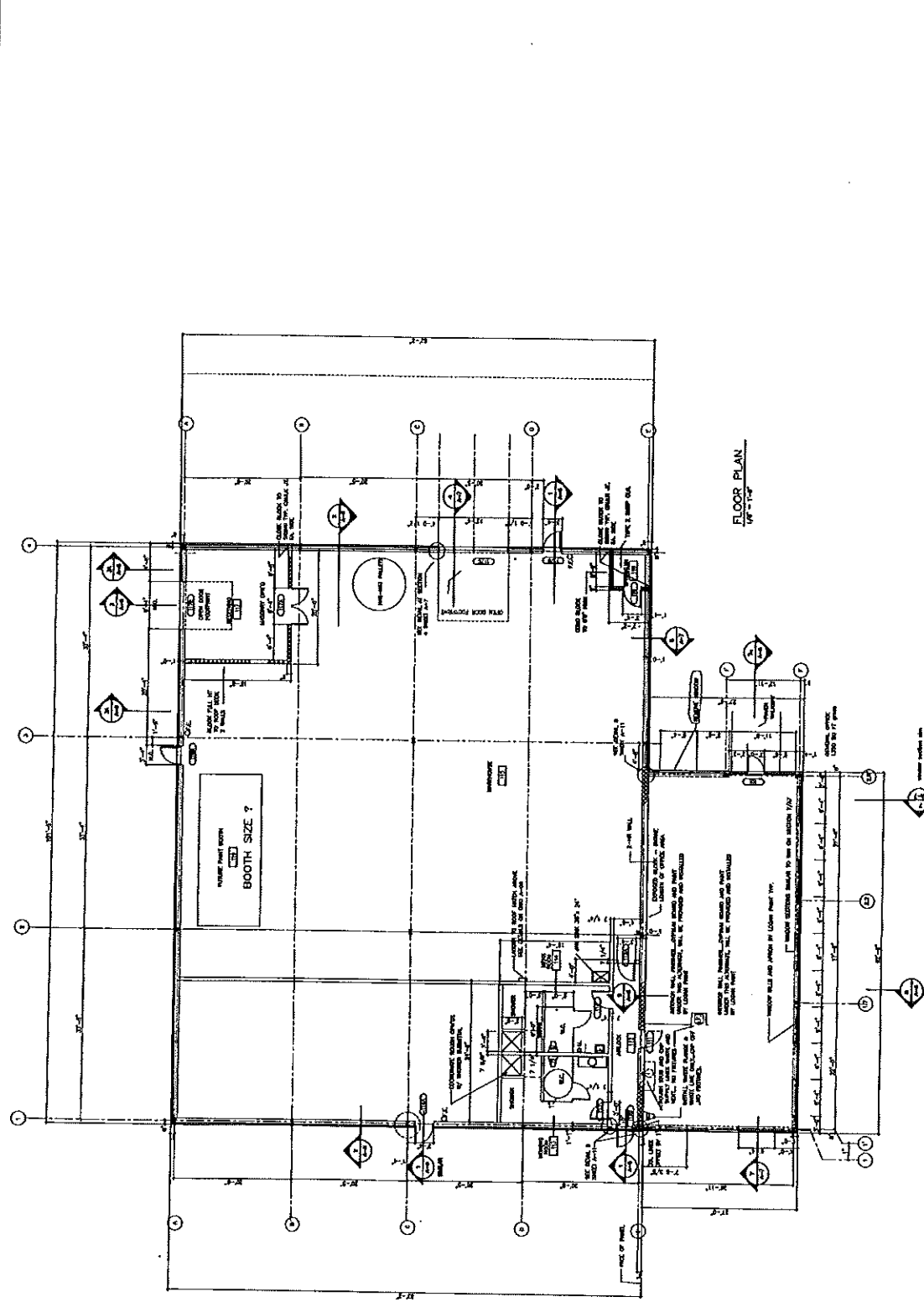


PDA Project No.: 010-013

TITLE: **A-1**  
 PROJECT: **THEODORE LOOM AND SON**  
 OFFICE AND WAREHOUSE FLOOR PLAN  
 24 BLUESHIRT ROAD, PORTLAND, MAINE  
 ARCHITECTS: **PHILIP J. DAUGHTY ASSOCIATES**  
 SCALE: 1/4" = 1'-0"  
 DATE: **11-1-57**  
 DRAWN BY: **J.A.**  
 CHECKED BY: **J.A.**  
 APPROVED BY: **J.A.**



NO.	DATE	DESCRIPTION
1	7-1-57	Initial design for owner's building
2	7-1-57	Final contract for building and plans
3	7-1-57	Final contract for building and plans
4	7-1-57	Final contract for building and plans
5	7-1-57	Final contract for building and plans
6	7-1-57	Final contract for building and plans
7	7-1-57	Final contract for building and plans



THEODORE LOOM AND SON  
 24 BLUESHIRT ROAD, PORTLAND, MAINE  
 ARCHITECTS

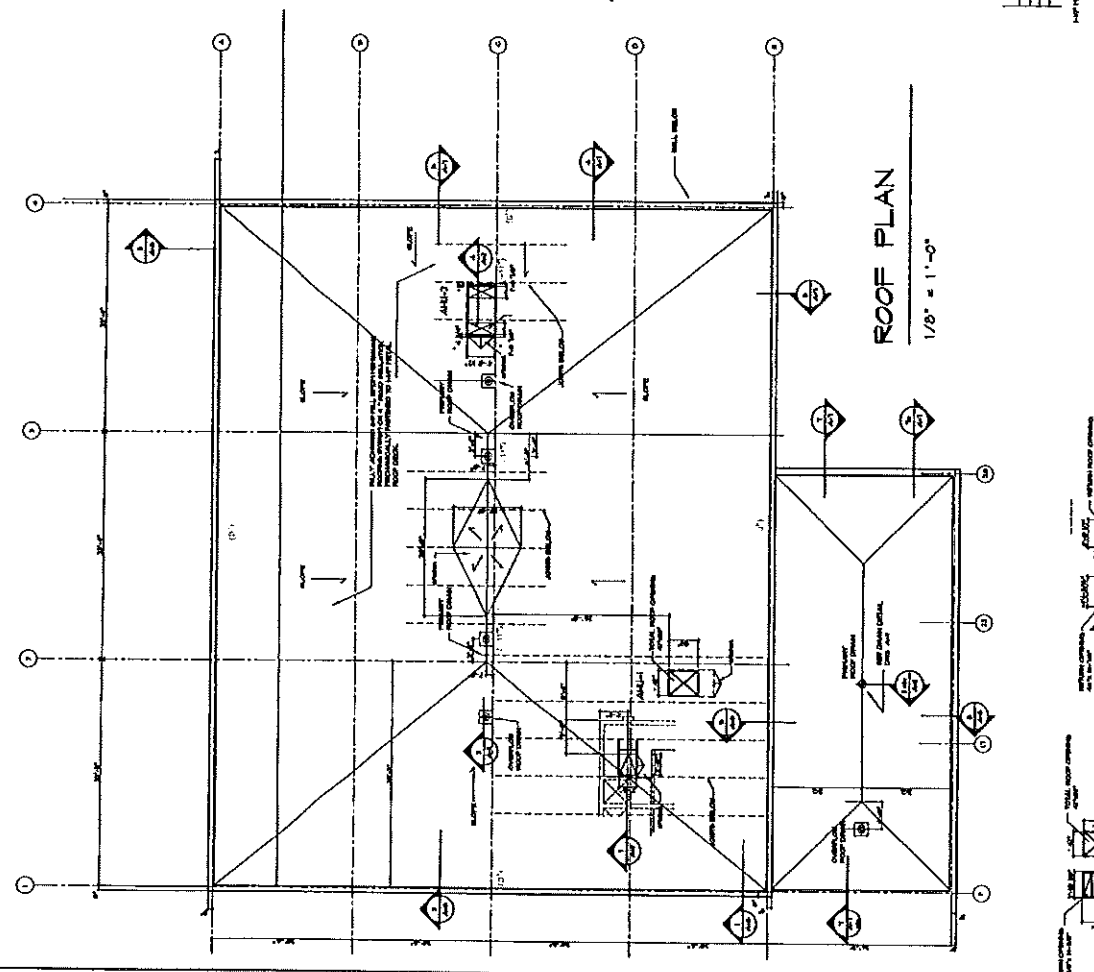
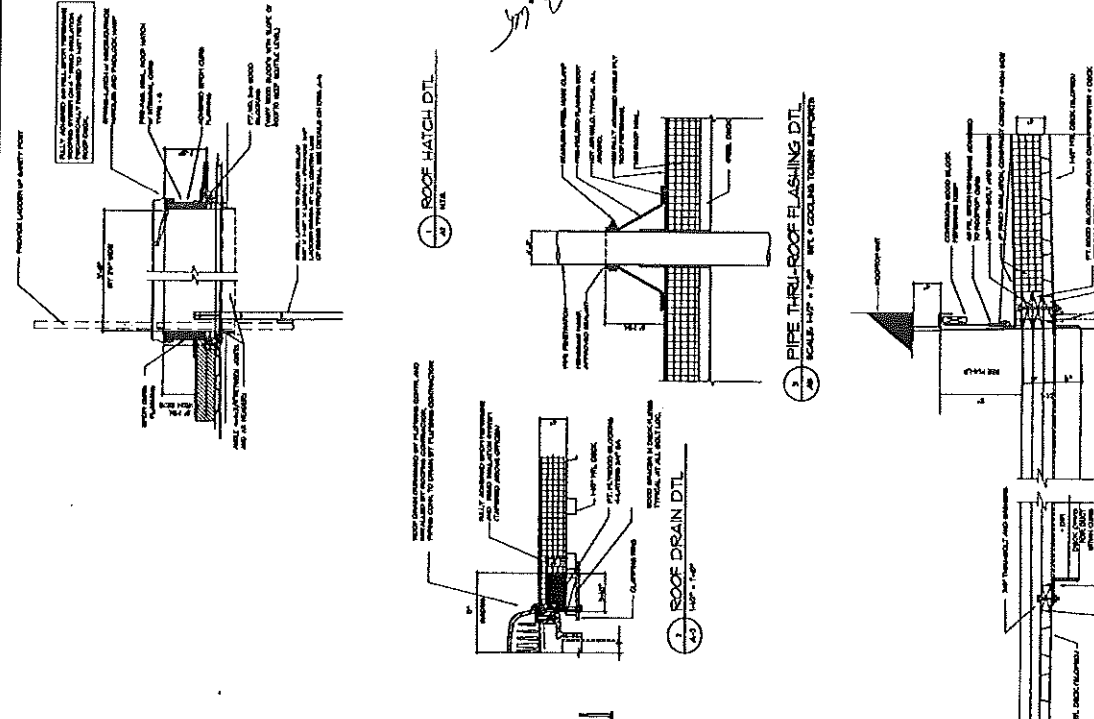
SCALE: AS SHOWN	DATE: 10/10/11
DRAWN BY: J.E.B.	PROJECT NO.: 1100
CHECKED BY: J.E.B.	PROJECT NAME: THEODORE LOOMIS CITY HALL
DESIGNED BY: J.E.B.	PROJECT ADDRESS: 34 ELLERBEY ROAD, PORTLAND, MAINE
PROJECT NO.: 1100	PROJECT NAME: ROOF PLAN AND DETAILS - ALTERNATE #1

THEODORE LOOMIS CITY HALL  
OFFICE AND EXHIBITION FACILITY  
34 ELLERBEY ROAD, PORTLAND, MAINE

DATE: 10/10/11  
DRAWN BY: J.E.B.  
CHECKED BY: J.E.B.  
DESIGNED BY: J.E.B.  
PROJECT NO.: 1100  
PROJECT NAME: ROOF PLAN AND DETAILS - ALTERNATE #1

SCALE: AS SHOWN  
DATE: 10/10/11

**A-2-A**  
ALTERNATE #1



**NOTE:**  
ALL DIMS MAY VARY WITH EQUIPT MANUFACTURERS

**AHU # 1 CURS & OPNG**  
1/8" = 1'-0"

**AHU # 2 CURS & OPNG**  
1/8" = 1'-0"

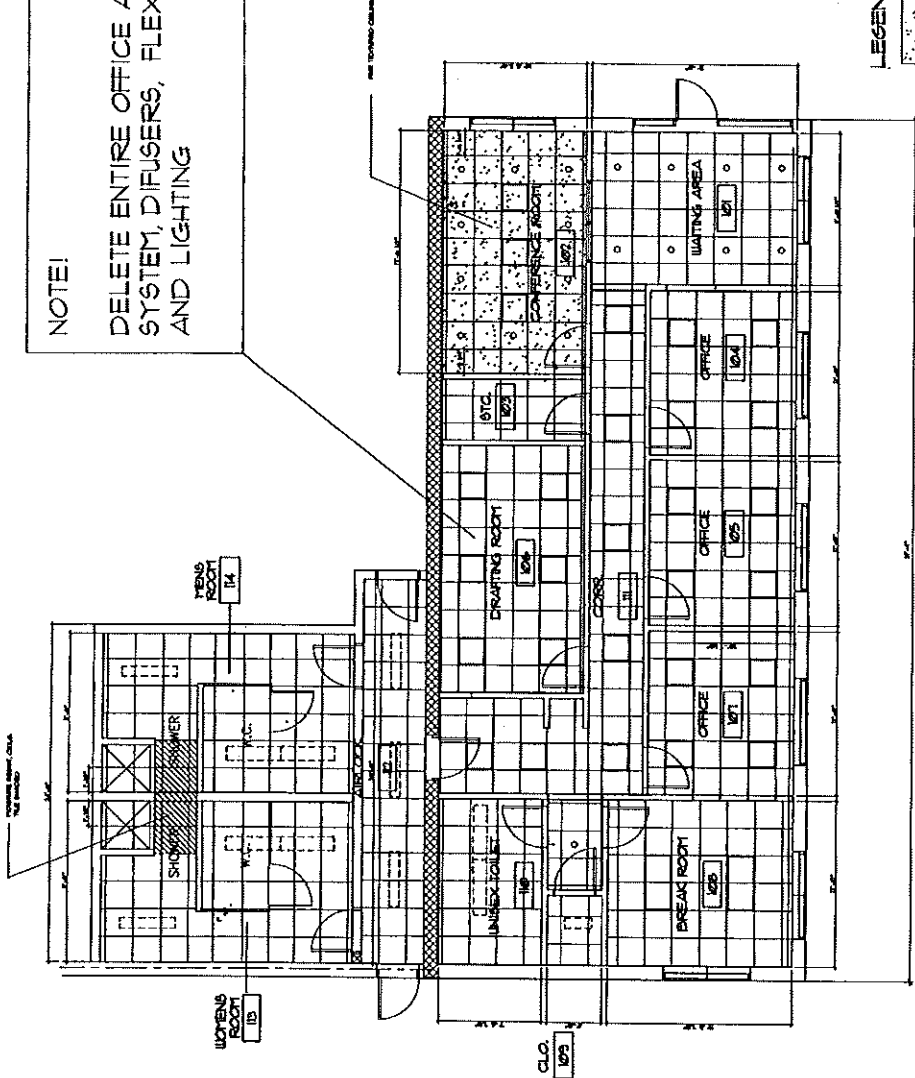
REV	DATE	BY	DESCRIPTION
1	7-18-02	JL	ISSUE FOR PERMITS
2	8-1-02	JL	ISSUE FOR CONSTRUCTION
3			
4			
5			
6			
7			
8			
9			
10			



PHILLIP J. DOUGHTY ASSOCIATES  
 ARCHITECTS  
 34 BLUEBERRY ROAD, PORTLAND, MAINE  
 REFLECTED CEILING PLAN

SHEET NO.	A-3
DATE	7-18-02
SCALE	AS SHOWN
DRAWN BY	JL
CHECKED BY	JL
PROJECT NO.	

**NOTE!**  
 DELETE ENTIRE OFFICE AREA CEILING SYSTEM, DIFFUSERS, FLEX DUCT AND LIGHTING



- LEGEND**
- TYPE 1- CIRCUIS, ANGLED TEGULAR CONFERENCE ROOM
  - TYPE 2- FIGURED, ANGLED TEGULAR BALANCE OF CEILINGS EXCEPT AT SHOWER AREA AS SHOWN
  - TYPE 3- FIGURED/PERFORATED/MOISTURE RESISTANT/CERAMIC AND MINERAL FIBER COMPOSITE CEILING TILE

**REFLECTED CEILING PLAN**

THIS DOCUMENT IS THE PROPERTY OF PHILLIP J. DOUGHTY ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PHILLIP J. DOUGHTY ASSOCIATES.

A-4

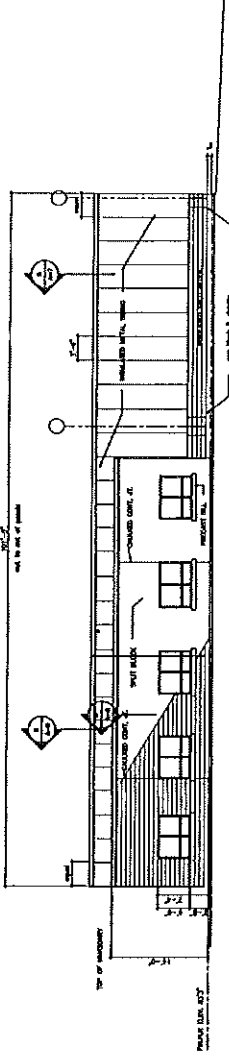
PROJ. NO. 207-781-8848  
SHEET NO.

SCALE: 1/4" = 1'-0"  
DATE: 10/18/88  
PROJECT: OFFICE AND WAREHOUSE FACILITY  
OWNER: J. D. BIRD  
ARCHITECT: PHILLIP J. DOUGHY ASSOCIATES

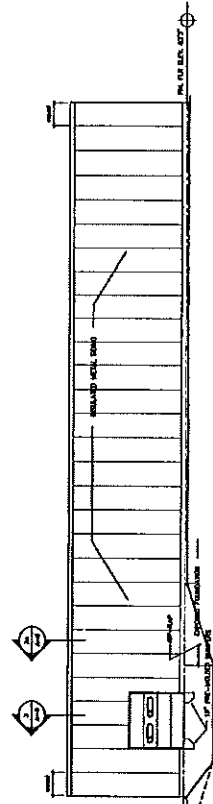
THEODORE LOOMAY AND SON  
OFFICE AND WAREHOUSE FACILITY  
24 BLUEBERRY ROAD, PORTLAND, MAINE  
BUILDING ELEVATIONS



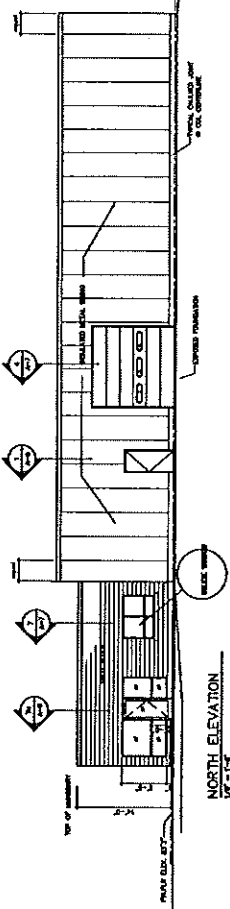
NO.	DESCRIPTION	DATE
1	PRELIMINARY	7-11-88
2	REVISIONS FOR PERMITS	7-11-88
3	REVISIONS FOR PERMITS	7-11-88
4	REVISIONS FOR PERMITS	7-11-88
5	REVISIONS FOR PERMITS	7-11-88
6	REVISIONS FOR PERMITS	7-11-88
7	REVISIONS FOR PERMITS	7-11-88
8	REVISIONS FOR PERMITS	7-11-88
9	REVISIONS FOR PERMITS	7-11-88
10	REVISIONS FOR PERMITS	7-11-88
11	REVISIONS FOR PERMITS	7-11-88
12	REVISIONS FOR PERMITS	7-11-88
13	REVISIONS FOR PERMITS	7-11-88
14	REVISIONS FOR PERMITS	7-11-88
15	REVISIONS FOR PERMITS	7-11-88
16	REVISIONS FOR PERMITS	7-11-88
17	REVISIONS FOR PERMITS	7-11-88
18	REVISIONS FOR PERMITS	7-11-88
19	REVISIONS FOR PERMITS	7-11-88
20	REVISIONS FOR PERMITS	7-11-88



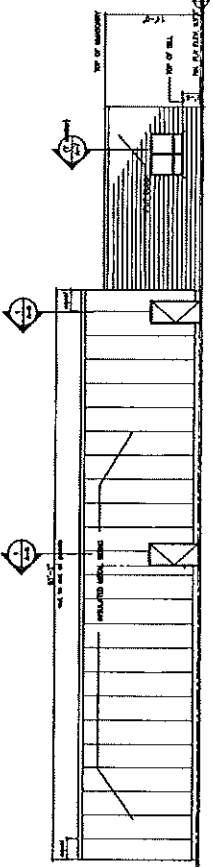
EAST (FRONT) ELEVATION  
VP-1-FR



WEST ELEVATION  
VP-1-FR



NORTH ELEVATION  
VP-1-FR



SOUTH ELEVATION  
VP-1-FR

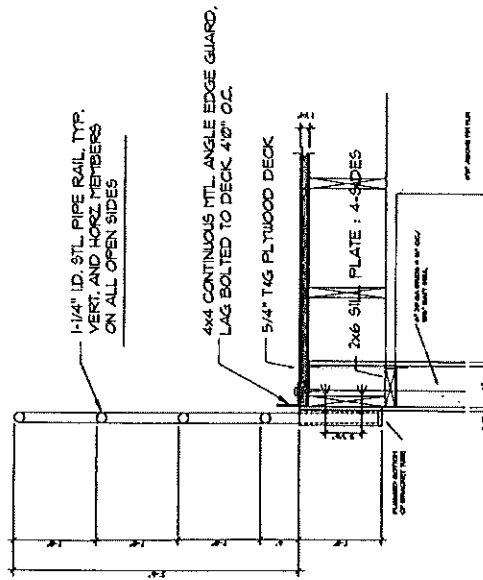
NOT TO SCALE  
FOR CLARITY  
ADJUST TO SCALE

NO.	REV.	DATE	DESCRIPTION
1		7-13-83	PROJECT CHANGE PER OWNER'S REQUEST
2			REVISED FOR BID / CONSTRUCTION
3			
4			
5			
6			
7			
8			
9			
10			

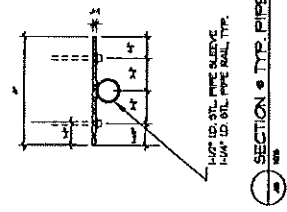
THEODORE LOOMAY AND SON  
OFFICE AND WAREHOUSE FACILITY  
34 BLUEBERRY ROAD, PORTLAND, MAINE

SCALE: 1/8" = 1'-0"  
DATE: JAN 83  
DRAWN BY: J. M. BROWN  
CHECKED BY: J. M. BROWN  
DESIGNED BY: J. M. BROWN  
PROJECT NO. 83-002-073  
SHEET NO. A-5

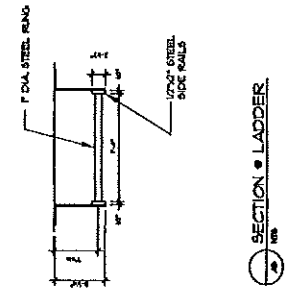
PHILLIP J. DOUGHTY Assoc., Architects  
Address: 342 110 RIVERSIDE DRIVE, PORTLAND, MAINE 04101  
Phone: (603) 761-1111



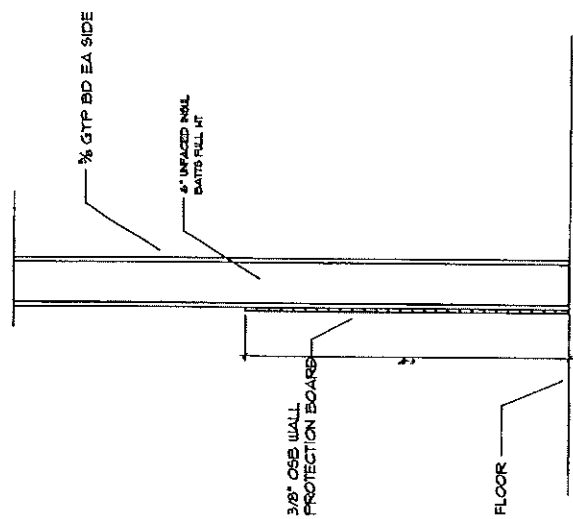
3 MEZZANINE RAIL SECT  
1/8" = 1'-0"



SECTION - TYP. PIPE SLEEVE BRACKET  
1/8" = 1'-0"



SECTION - LADDER  
1/8" = 1'-0"



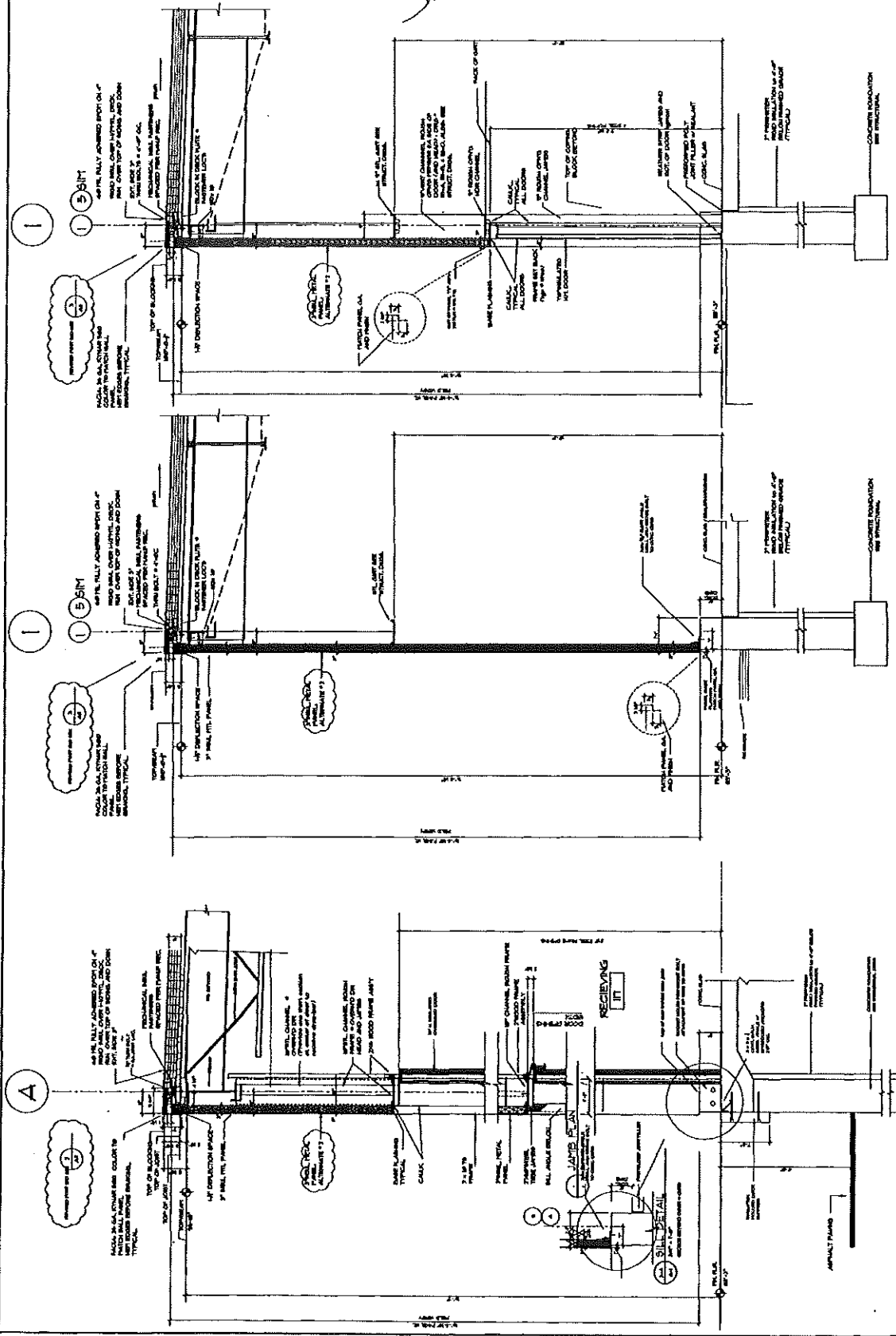
SECTION - LADDER  
1/8" = 1'-0"

NOT TO SCALE  
ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED  
ALL MATERIALS TO BE STANDARD GRADE UNLESS OTHERWISE SPECIFIED  
ALL FINISHES TO BE STANDARD GRADE UNLESS OTHERWISE SPECIFIED  
ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS  
ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS

SECTION THRU PERSONNEL DOOR

WALL SECTION (W/ WAREHOUSE)

WALL SECTION THRU O'H. DOOR



NO.	DESCRIPTION	DATE
1	PROVIDE WEIGHTS FOR STUDS	1-2-64
2	REV. 1-2-64	1-2-64
3	REV. 1-2-64	1-2-64
4	REV. 1-2-64	1-2-64
5	REV. 1-2-64	1-2-64
6	REV. 1-2-64	1-2-64
7	REV. 1-2-64	1-2-64
8	REV. 1-2-64	1-2-64
9	REV. 1-2-64	1-2-64
10	REV. 1-2-64	1-2-64
11	REV. 1-2-64	1-2-64
12	REV. 1-2-64	1-2-64
13	REV. 1-2-64	1-2-64
14	REV. 1-2-64	1-2-64
15	REV. 1-2-64	1-2-64
16	REV. 1-2-64	1-2-64
17	REV. 1-2-64	1-2-64
18	REV. 1-2-64	1-2-64
19	REV. 1-2-64	1-2-64
20	REV. 1-2-64	1-2-64
21	REV. 1-2-64	1-2-64
22	REV. 1-2-64	1-2-64
23	REV. 1-2-64	1-2-64
24	REV. 1-2-64	1-2-64
25	REV. 1-2-64	1-2-64
26	REV. 1-2-64	1-2-64
27	REV. 1-2-64	1-2-64
28	REV. 1-2-64	1-2-64
29	REV. 1-2-64	1-2-64
30	REV. 1-2-64	1-2-64
31	REV. 1-2-64	1-2-64
32	REV. 1-2-64	1-2-64
33	REV. 1-2-64	1-2-64
34	REV. 1-2-64	1-2-64
35	REV. 1-2-64	1-2-64
36	REV. 1-2-64	1-2-64
37	REV. 1-2-64	1-2-64
38	REV. 1-2-64	1-2-64
39	REV. 1-2-64	1-2-64
40	REV. 1-2-64	1-2-64
41	REV. 1-2-64	1-2-64
42	REV. 1-2-64	1-2-64
43	REV. 1-2-64	1-2-64
44	REV. 1-2-64	1-2-64
45	REV. 1-2-64	1-2-64
46	REV. 1-2-64	1-2-64
47	REV. 1-2-64	1-2-64
48	REV. 1-2-64	1-2-64
49	REV. 1-2-64	1-2-64
50	REV. 1-2-64	1-2-64
51	REV. 1-2-64	1-2-64
52	REV. 1-2-64	1-2-64
53	REV. 1-2-64	1-2-64
54	REV. 1-2-64	1-2-64
55	REV. 1-2-64	1-2-64
56	REV. 1-2-64	1-2-64
57	REV. 1-2-64	1-2-64
58	REV. 1-2-64	1-2-64
59	REV. 1-2-64	1-2-64
60	REV. 1-2-64	1-2-64
61	REV. 1-2-64	1-2-64
62	REV. 1-2-64	1-2-64
63	REV. 1-2-64	1-2-64
64	REV. 1-2-64	1-2-64
65	REV. 1-2-64	1-2-64
66	REV. 1-2-64	1-2-64
67	REV. 1-2-64	1-2-64
68	REV. 1-2-64	1-2-64
69	REV. 1-2-64	1-2-64
70	REV. 1-2-64	1-2-64
71	REV. 1-2-64	1-2-64
72	REV. 1-2-64	1-2-64
73	REV. 1-2-64	1-2-64
74	REV. 1-2-64	1-2-64
75	REV. 1-2-64	1-2-64
76	REV. 1-2-64	1-2-64
77	REV. 1-2-64	1-2-64
78	REV. 1-2-64	1-2-64
79	REV. 1-2-64	1-2-64
80	REV. 1-2-64	1-2-64
81	REV. 1-2-64	1-2-64
82	REV. 1-2-64	1-2-64
83	REV. 1-2-64	1-2-64
84	REV. 1-2-64	1-2-64
85	REV. 1-2-64	1-2-64
86	REV. 1-2-64	1-2-64
87	REV. 1-2-64	1-2-64
88	REV. 1-2-64	1-2-64
89	REV. 1-2-64	1-2-64
90	REV. 1-2-64	1-2-64
91	REV. 1-2-64	1-2-64
92	REV. 1-2-64	1-2-64
93	REV. 1-2-64	1-2-64
94	REV. 1-2-64	1-2-64
95	REV. 1-2-64	1-2-64
96	REV. 1-2-64	1-2-64
97	REV. 1-2-64	1-2-64
98	REV. 1-2-64	1-2-64
99	REV. 1-2-64	1-2-64
100	REV. 1-2-64	1-2-64

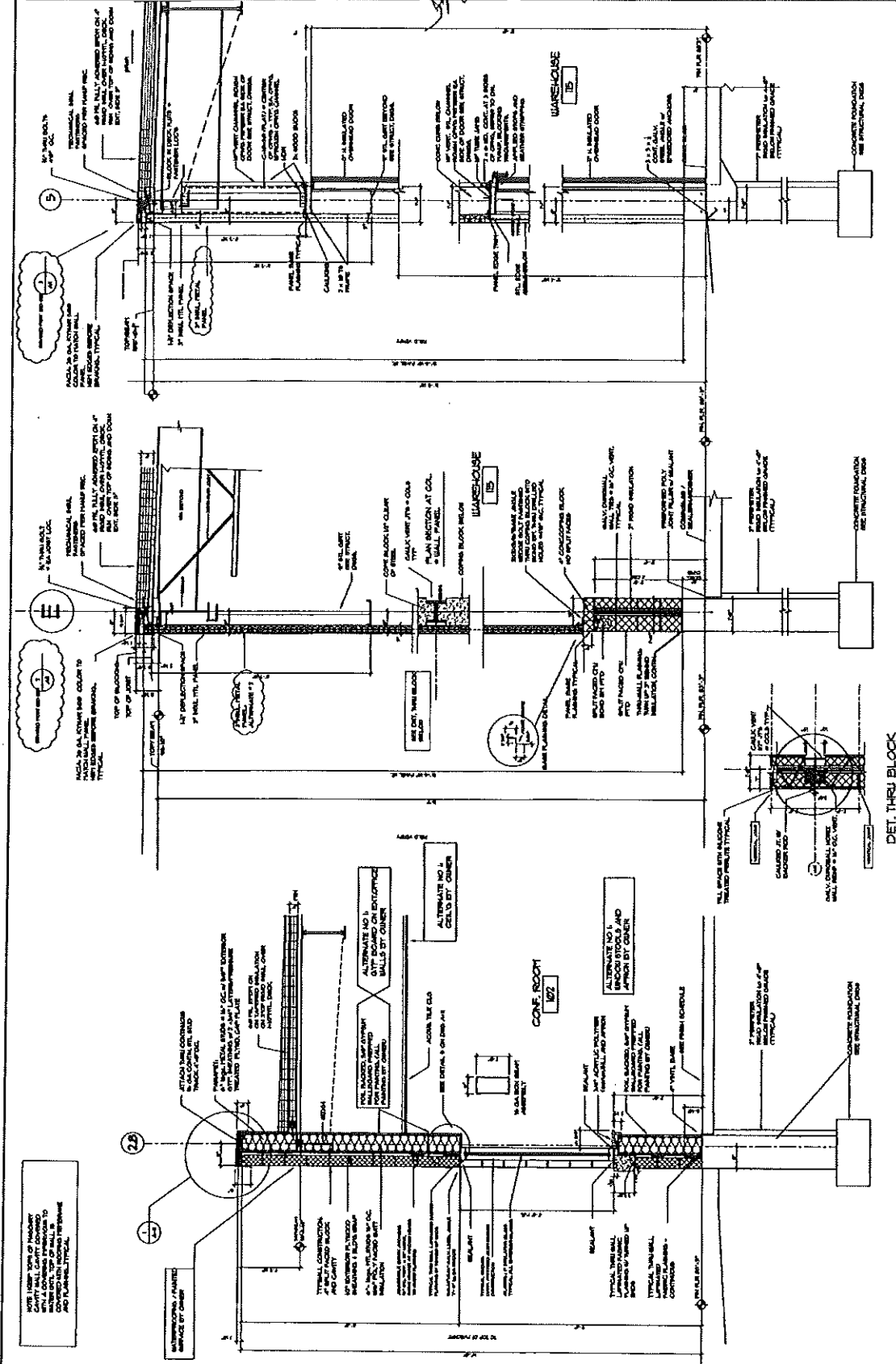
THEODORE LOAN AND BOND  
OFFICE AND WAREHOUSE FACILITY  
34 BLUEBERRY ROAD, PORTLAND, MAINE  
3/4" WALL SECTIONS

PHILLIP J. DOUGHTY ASSOCIATES  
Architects  
207-781-5333  
554 U.S. Route One  
Farmington, ME 04103

SCALE: 1/4" = 1'-0"  
DATE: 1964  
DESIGNED BY: PHJ  
DRAWN BY: PHJ  
CHECKED BY: PHJ  
APPROVED BY: PHJ

SCALE: 1/4" = 1'-0"  
 DATE: JULY 1968  
 DRAWING NO. 100-1000  
 PROJECT: OFFICE AND WAREHOUSE FACILITY  
 34 BULLOCK ROAD, FORTLAND, MAINE  
 ARCHITECT: RDA • Phillip J. Doughty Associates  
 555 U.S. Route One, Fortland, ME. 04105  
 207-781-5145

NO.	DATE	DESCRIPTION
1	7/1/68	FOR BID DRAWING FOR DESIGN PROVISION
2	7/1/68	FOR DESIGN PROVISION
3	7/1/68	FOR DESIGN PROVISION
4	7/1/68	FOR DESIGN PROVISION
5	7/1/68	FOR DESIGN PROVISION
6	7/1/68	FOR DESIGN PROVISION
7	7/1/68	FOR DESIGN PROVISION
8	7/1/68	FOR DESIGN PROVISION
9	7/1/68	FOR DESIGN PROVISION
10	7/1/68	FOR DESIGN PROVISION



1. WALL SECTION THROUGH DOOR

2. WALL SECTION (FRONT WALL)

DET. THRU BLOCK COLUMN TYP.

3. WALL SECTION THRU CONF. RM WINDOW (OFFICE WINDOW SIM.)

NOTE: INTERIOR SURF OF WINDOW AND GLASS PARTITION TO BE FINISHED TO MATCH INTERIOR OF WALLS, CEILING AND FLOORING. TYPICAL.

CONCRETE FOUNDATION SEE STRUCTURAL DRAW

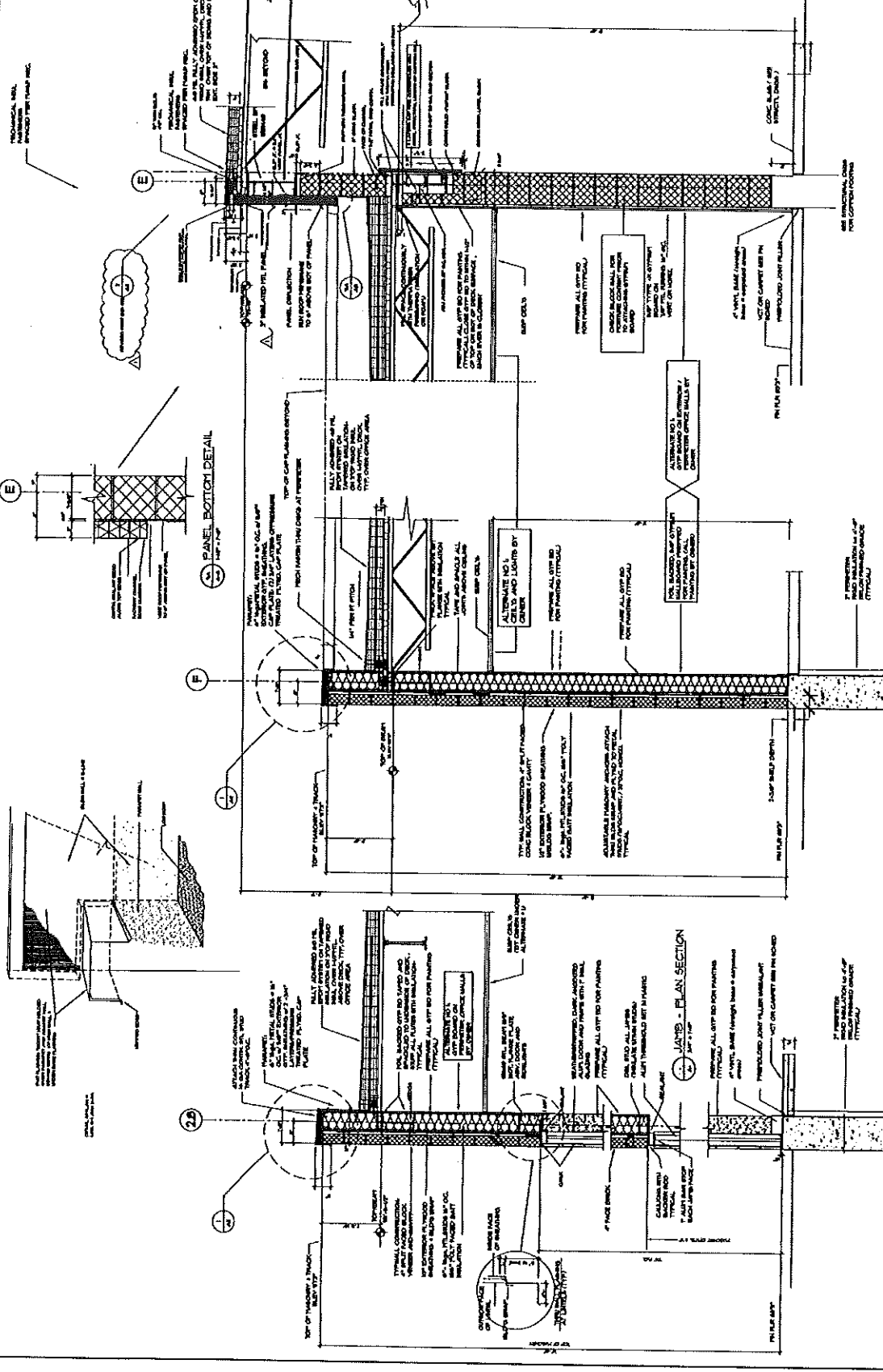


**PDA • Phillip J. Doughty Associates**  
 3555 U.S. Route One  
 Portsmouth, N.H. 02871  
 Architects

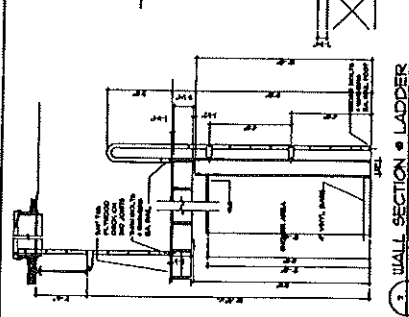
THEODORE LOAN AND SON  
 OFFICE AND WAREHOUSE FACILITY  
 24 BURNBURY ROAD, PORTLAND, MAINE

SCALE: 1/8" = 1'-0"

NO.	DATE	REVISION
1	11-18-83	ISSUE FOR PERMITS
2	12-15-83	REVISED PER ARCHITECT'S COMMENTS
3	01-10-84	REVISED PER ARCHITECT'S COMMENTS
4	02-15-84	REVISED PER ARCHITECT'S COMMENTS
5	03-15-84	REVISED PER ARCHITECT'S COMMENTS
6	04-15-84	REVISED PER ARCHITECT'S COMMENTS
7	05-15-84	REVISED PER ARCHITECT'S COMMENTS
8	06-15-84	REVISED PER ARCHITECT'S COMMENTS
9	07-15-84	REVISED PER ARCHITECT'S COMMENTS
10	08-15-84	REVISED PER ARCHITECT'S COMMENTS
11	09-15-84	REVISED PER ARCHITECT'S COMMENTS
12	10-15-84	REVISED PER ARCHITECT'S COMMENTS
13	11-15-84	REVISED PER ARCHITECT'S COMMENTS
14	12-15-84	REVISED PER ARCHITECT'S COMMENTS
15	01-15-85	REVISED PER ARCHITECT'S COMMENTS
16	02-15-85	REVISED PER ARCHITECT'S COMMENTS
17	03-15-85	REVISED PER ARCHITECT'S COMMENTS
18	04-15-85	REVISED PER ARCHITECT'S COMMENTS
19	05-15-85	REVISED PER ARCHITECT'S COMMENTS
20	06-15-85	REVISED PER ARCHITECT'S COMMENTS
21	07-15-85	REVISED PER ARCHITECT'S COMMENTS
22	08-15-85	REVISED PER ARCHITECT'S COMMENTS
23	09-15-85	REVISED PER ARCHITECT'S COMMENTS
24	10-15-85	REVISED PER ARCHITECT'S COMMENTS
25	11-15-85	REVISED PER ARCHITECT'S COMMENTS
26	12-15-85	REVISED PER ARCHITECT'S COMMENTS
27	01-15-86	REVISED PER ARCHITECT'S COMMENTS
28	02-15-86	REVISED PER ARCHITECT'S COMMENTS
29	03-15-86	REVISED PER ARCHITECT'S COMMENTS
30	04-15-86	REVISED PER ARCHITECT'S COMMENTS
31	05-15-86	REVISED PER ARCHITECT'S COMMENTS
32	06-15-86	REVISED PER ARCHITECT'S COMMENTS
33	07-15-86	REVISED PER ARCHITECT'S COMMENTS
34	08-15-86	REVISED PER ARCHITECT'S COMMENTS
35	09-15-86	REVISED PER ARCHITECT'S COMMENTS
36	10-15-86	REVISED PER ARCHITECT'S COMMENTS
37	11-15-86	REVISED PER ARCHITECT'S COMMENTS
38	12-15-86	REVISED PER ARCHITECT'S COMMENTS
39	01-15-87	REVISED PER ARCHITECT'S COMMENTS
40	02-15-87	REVISED PER ARCHITECT'S COMMENTS
41	03-15-87	REVISED PER ARCHITECT'S COMMENTS
42	04-15-87	REVISED PER ARCHITECT'S COMMENTS
43	05-15-87	REVISED PER ARCHITECT'S COMMENTS
44	06-15-87	REVISED PER ARCHITECT'S COMMENTS
45	07-15-87	REVISED PER ARCHITECT'S COMMENTS
46	08-15-87	REVISED PER ARCHITECT'S COMMENTS
47	09-15-87	REVISED PER ARCHITECT'S COMMENTS
48	10-15-87	REVISED PER ARCHITECT'S COMMENTS
49	11-15-87	REVISED PER ARCHITECT'S COMMENTS
50	12-15-87	REVISED PER ARCHITECT'S COMMENTS
51	01-15-88	REVISED PER ARCHITECT'S COMMENTS
52	02-15-88	REVISED PER ARCHITECT'S COMMENTS
53	03-15-88	REVISED PER ARCHITECT'S COMMENTS
54	04-15-88	REVISED PER ARCHITECT'S COMMENTS
55	05-15-88	REVISED PER ARCHITECT'S COMMENTS
56	06-15-88	REVISED PER ARCHITECT'S COMMENTS
57	07-15-88	REVISED PER ARCHITECT'S COMMENTS
58	08-15-88	REVISED PER ARCHITECT'S COMMENTS
59	09-15-88	REVISED PER ARCHITECT'S COMMENTS
60	10-15-88	REVISED PER ARCHITECT'S COMMENTS
61	11-15-88	REVISED PER ARCHITECT'S COMMENTS
62	12-15-88	REVISED PER ARCHITECT'S COMMENTS
63	01-15-89	REVISED PER ARCHITECT'S COMMENTS
64	02-15-89	REVISED PER ARCHITECT'S COMMENTS
65	03-15-89	REVISED PER ARCHITECT'S COMMENTS
66	04-15-89	REVISED PER ARCHITECT'S COMMENTS
67	05-15-89	REVISED PER ARCHITECT'S COMMENTS
68	06-15-89	REVISED PER ARCHITECT'S COMMENTS
69	07-15-89	REVISED PER ARCHITECT'S COMMENTS
70	08-15-89	REVISED PER ARCHITECT'S COMMENTS
71	09-15-89	REVISED PER ARCHITECT'S COMMENTS
72	10-15-89	REVISED PER ARCHITECT'S COMMENTS
73	11-15-89	REVISED PER ARCHITECT'S COMMENTS
74	12-15-89	REVISED PER ARCHITECT'S COMMENTS
75	01-15-90	REVISED PER ARCHITECT'S COMMENTS
76	02-15-90	REVISED PER ARCHITECT'S COMMENTS
77	03-15-90	REVISED PER ARCHITECT'S COMMENTS
78	04-15-90	REVISED PER ARCHITECT'S COMMENTS
79	05-15-90	REVISED PER ARCHITECT'S COMMENTS
80	06-15-90	REVISED PER ARCHITECT'S COMMENTS
81	07-15-90	REVISED PER ARCHITECT'S COMMENTS
82	08-15-90	REVISED PER ARCHITECT'S COMMENTS
83	09-15-90	REVISED PER ARCHITECT'S COMMENTS
84	10-15-90	REVISED PER ARCHITECT'S COMMENTS
85	11-15-90	REVISED PER ARCHITECT'S COMMENTS
86	12-15-90	REVISED PER ARCHITECT'S COMMENTS
87	01-15-91	REVISED PER ARCHITECT'S COMMENTS
88	02-15-91	REVISED PER ARCHITECT'S COMMENTS
89	03-15-91	REVISED PER ARCHITECT'S COMMENTS
90	04-15-91	REVISED PER ARCHITECT'S COMMENTS
91	05-15-91	REVISED PER ARCHITECT'S COMMENTS
92	06-15-91	REVISED PER ARCHITECT'S COMMENTS
93	07-15-91	REVISED PER ARCHITECT'S COMMENTS
94	08-15-91	REVISED PER ARCHITECT'S COMMENTS
95	09-15-91	REVISED PER ARCHITECT'S COMMENTS
96	10-15-91	REVISED PER ARCHITECT'S COMMENTS
97	11-15-91	REVISED PER ARCHITECT'S COMMENTS
98	12-15-91	REVISED PER ARCHITECT'S COMMENTS
99	01-15-92	REVISED PER ARCHITECT'S COMMENTS
100	02-15-92	REVISED PER ARCHITECT'S COMMENTS



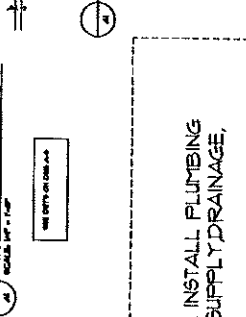
NO.	DATE	BY	DESCRIPTION
1	2-18-84	PH	FINISH SCHEDULE
2	2-18-84	PH	REVISIONS
3	2-18-84	PH	REVISIONS



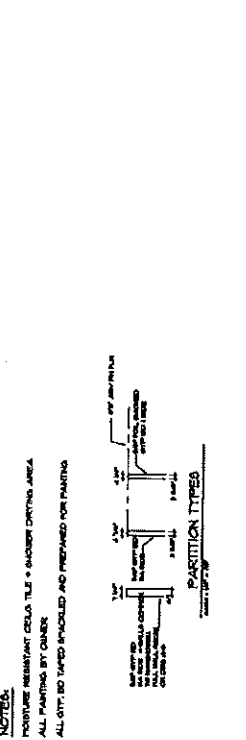
### ROOM FINISH SCHEDULE

RT NO.	ROOM NAME	FLOOR				WALLS				CEILING	MT	REMARKS
		MATERIAL	BASE	NORTH	SOUTH	WEST	EAST	MATERIAL	FINISH			
101	MATERIAL											
102	CONCRETE PT											
103	BRICK											
104	OFFICE											
105	DRYING ROOM											
106	SHOWER ROOM											
107	CLINET											
108	CONCRETE											
109	CONCRETE											
110	CONCRETE											
111	CONCRETE											
112	CONCRETE											
113	CONCRETE											
114	CONCRETE											
115	CONCRETE											
116	CONCRETE											
117	CONCRETE											
118	CONCRETE											
119	CONCRETE											
120	CONCRETE											

**NO ROOM FINISHES UNDER ALTERNATE #1**



**NOTE:**  
 UNDER THIS ALTERNATE INSTALL PLUMBING  
 ROUGH-INS FOR WATER SUPPLY, DRAINAGE,  
 WASTE AND VENT



**NOTES:**  
 PORTLAND RESISTANT CELSA TILE - SHOWER DRIVING AREA  
 ALL PAINTING BY OWNER  
 ALL GYPSUM TAPE HUNG AND PREPARED FOR PAINTING

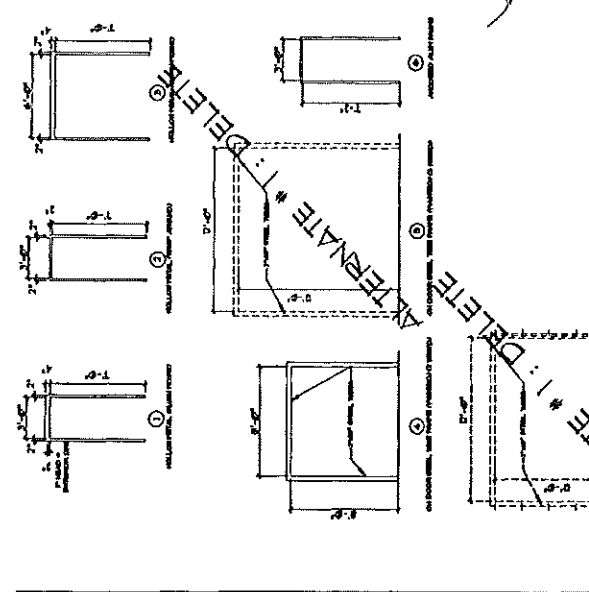
NO.	REV.	DATE	DESCRIPTION
1			ISSUED FOR PERMITS
2			FOR CONSTRUCTION
3			FOR PERMITS
4			FOR CONSTRUCTION
5			FOR PERMITS
6			FOR CONSTRUCTION
7			FOR PERMITS
8			FOR CONSTRUCTION
9			FOR PERMITS
10			FOR CONSTRUCTION

**PDA**  
Phillip J. Doughty Associates  
207-281-5242  
Portland, ME, 04103

**RECORD LOAN AND ROOM OFFICE AND WAREHOUSE FACILITY**  
24 ELLERY ROAD, PORTLAND, MAINE

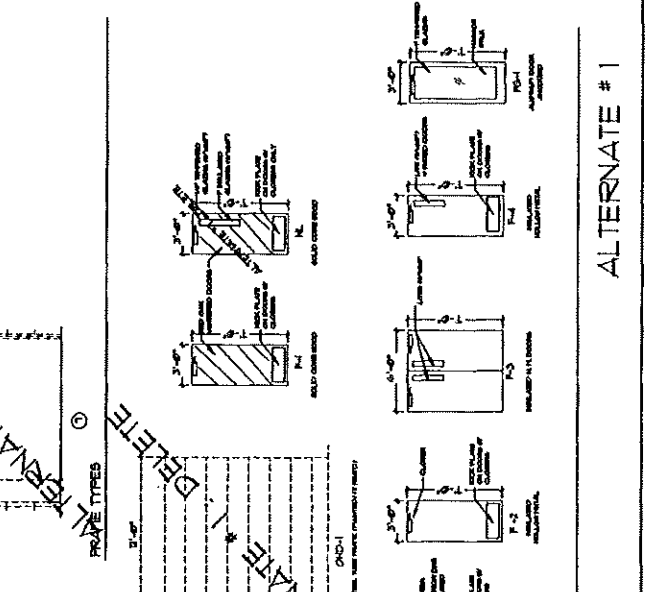
**DOOR AND FRAME SCHEDULE**

SCALE: AS SHOWN  
DATE: JAN 1988  
DRAWN BY: JLD  
CHECKED BY: JLD  
APPROVED BY: JLD



### DOOR AND FRAME SCHEDULE

NO.	DOOR	FRAME		GLASS		INSULATION		FINISH		HOLDING		OPERATION		ELECTRICAL		MARKING	
		TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH
1	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
2	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
3	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
4	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
5	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
6	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
7	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
8	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
9	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
10	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1

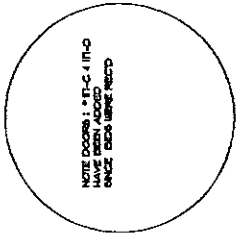


### DOOR AND FRAME SCHEDULE

NO.	DOOR	FRAME		GLASS		INSULATION		FINISH		HOLDING		OPERATION		ELECTRICAL		MARKING	
		TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH
1	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
2	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
3	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
4	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
5	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
6	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
7	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
8	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
9	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
10	6'-0" x 8'-0" HOLLOW METAL	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1

**NOTES:**

- ALL DOORS IN HATCHWAY SHALL HAVE BELIEVED FRAMES
- ALL DOORS IN LIGHT-GAGE WALL CONSTRUCTION SHALL HAVE KID FRAMES
- HP- HOLLOW METAL
- HL- HOLLOW LITE
- F- FLUSH DOOR (HFO)
- F-H- FLUSH DOOR (WOOD)
- H-H- HANGWARE SET
- SL- SOLID CORE
- ALL EXTERIOR HW DOORS ARE INSULATED



ALTERNATE # 1

DOOR TYPES

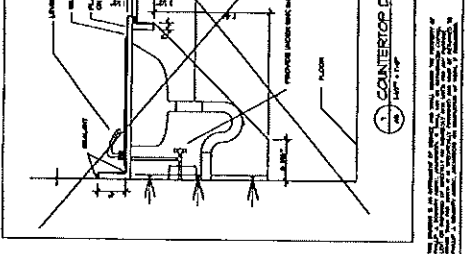
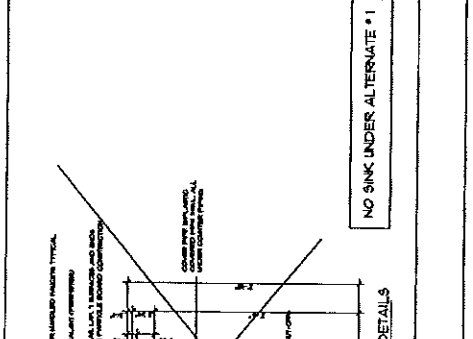
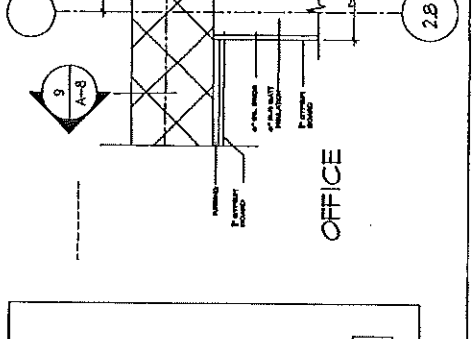
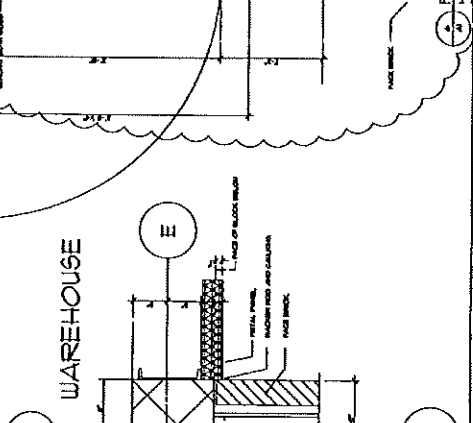
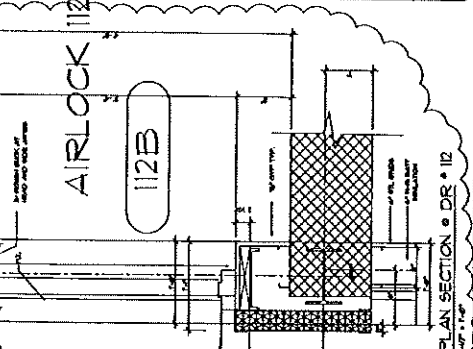
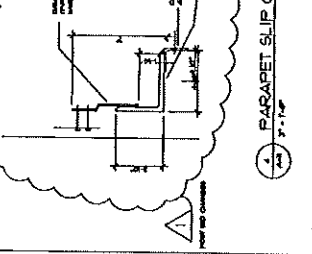
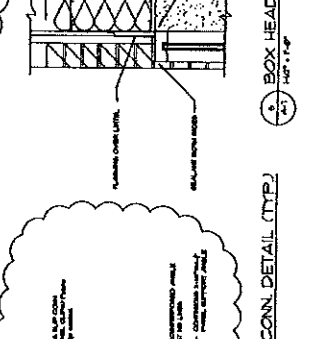
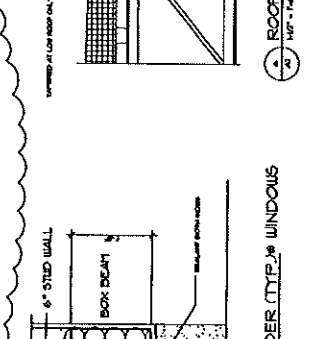
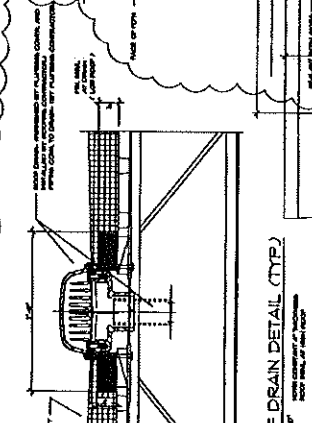
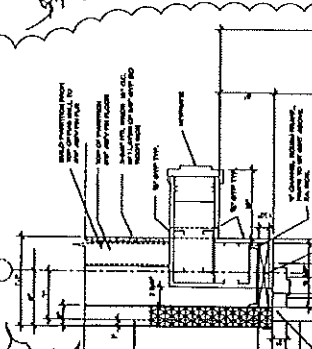
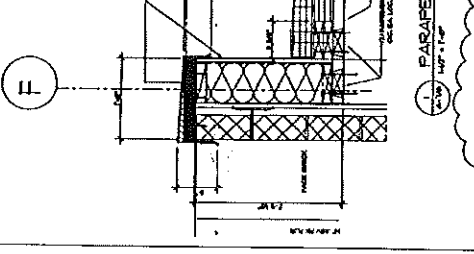
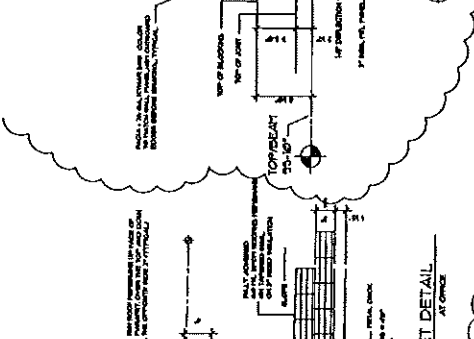
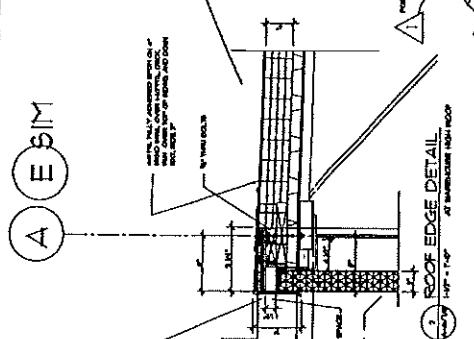
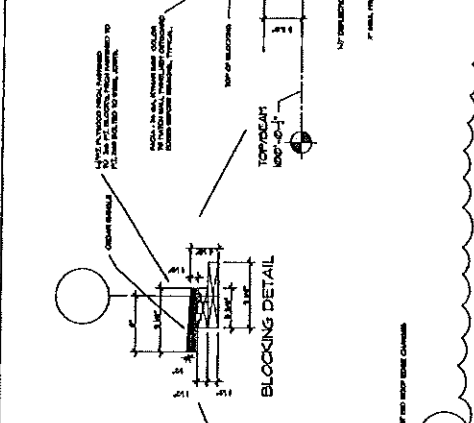
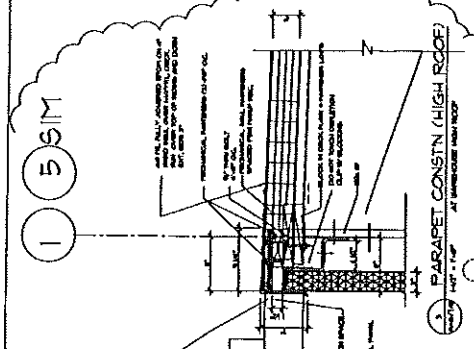
NO. 1	DATE	BY	DESCRIPTION
1	11-11-53	J.D.	FOR NO CHANGE NO OTHER SECTION
2		J.D.	REDESIGN FOR NO. 1 CONSTRUCTION
3		J.D.	REVISION



THEODORE LOOMIS AND SON  
 OFFICE AND WAREHOUSE FACILITY  
 31 BLUEBERRY ROAD, PORTLAND, MAINE  
 DETAILS

PROJECT NO.	002-012
DATE	11-11-53
SCALE	AS SHOWN
DESIGNED BY	J.D.
CHECKED BY	J.D.
APPROVED BY	J.D.

A-11  
 SHEET NO.



NO SINK UNDER ALTERNATE # 1

16 WAREHOUSE AND OFFICE  
 1/2" x 1/2" x 1/2"



S-2A

SHEET NO.

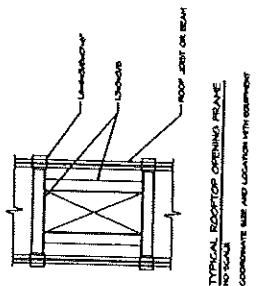
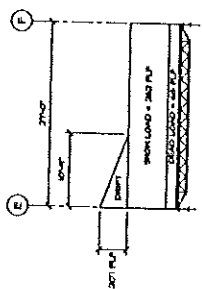
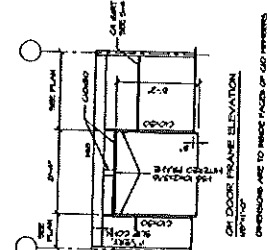
PROJ: [Blank]  
SCALE: 1/8" = 1'-0"  
DATE: 12/15/11  
SHEET NO. [Blank]

THEODORE LOGAN AND SON  
ARCHITECTS

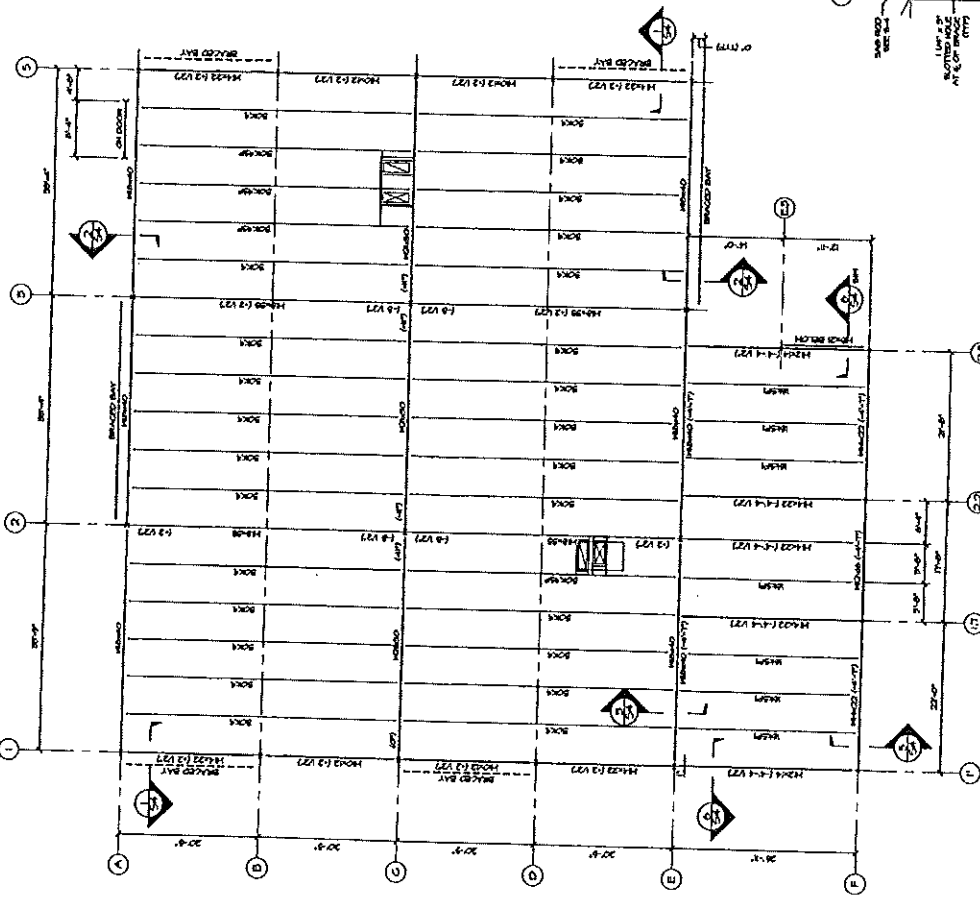


Phillip J. Doughty Assoc. Architects  
Address: 553 U.S. Route One, Patuxent Farm, MD 21122  
Tel: 410.326.2222

NO.	DATE	REVISION
1	12/15/11	PRELIMINARY



NO.	DATE	REVISION
1	12/15/11	PRELIMINARY



NOTE: ALL ROOF FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE 2011 IRC AND 2011 IBC. ALL ROOF FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE 2011 IRC AND 2011 IBC. ALL ROOF FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE 2011 IRC AND 2011 IBC. ALL ROOF FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE 2011 IRC AND 2011 IBC.

THEODORE LOGAN AND SON ARCHITECTS  
553 U.S. ROUTE ONE, PATUXENT FARM, MD 21122  
TEL: 410.326.2222  
WWW.TLOGANARCHITECTS.COM

C-3

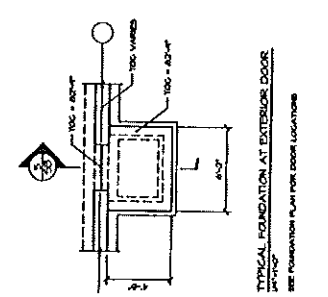
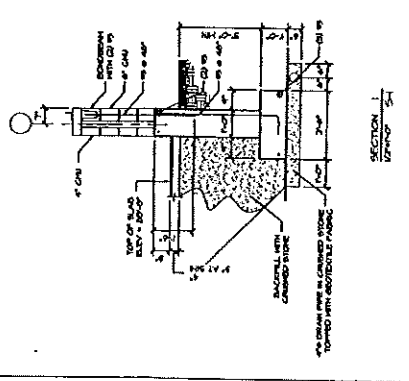
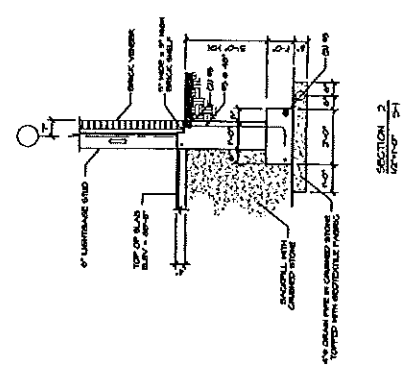
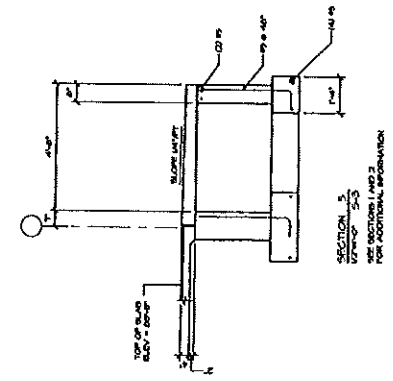
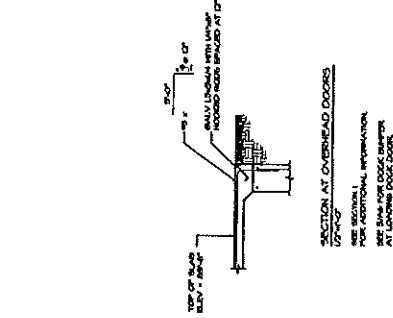
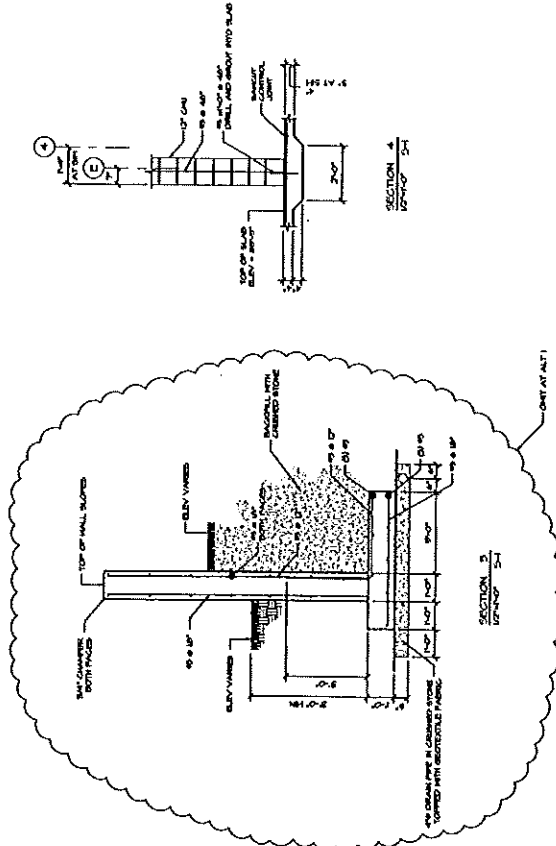
PROJ. NO. 100-100  
SHEET NO.

FOUNDATION SECTIONS AND DETAILS  
THEODORE LOOM AND SON



Phillip J. Dougherty Assoc., Architects  
Address: 202 U.S. Route One, Fairport, N.Y. 11731 • 207, 761, 3343

REV.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

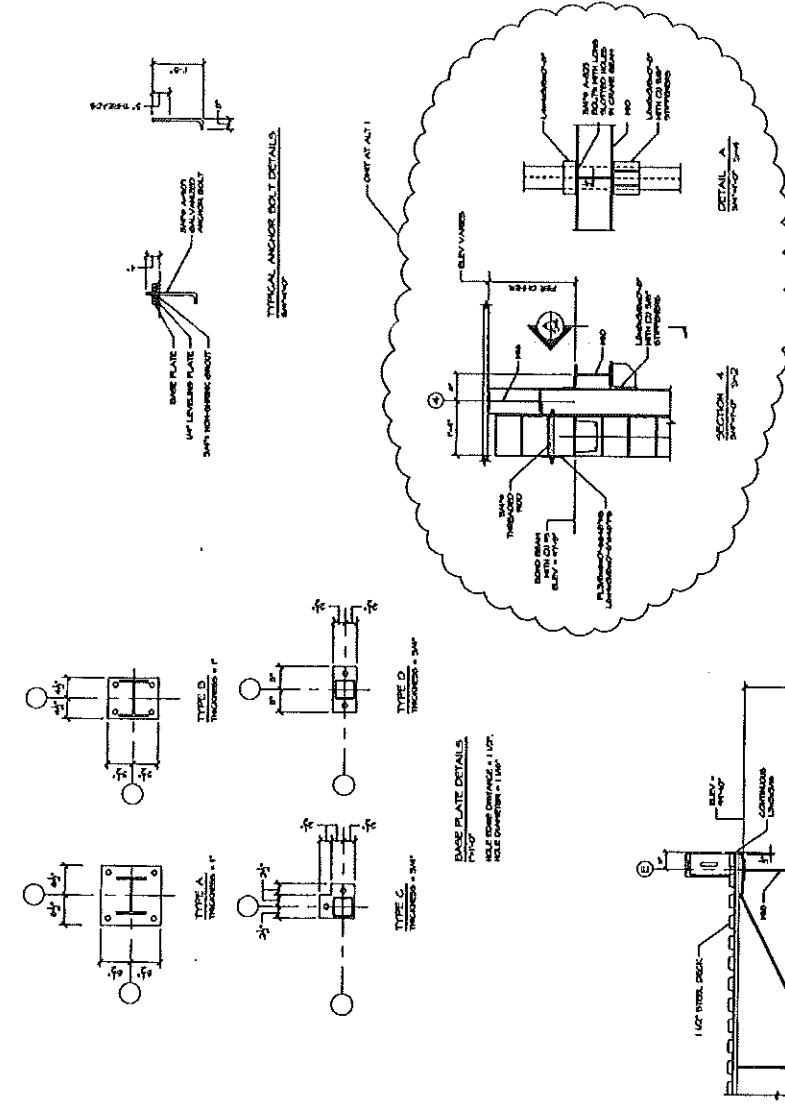
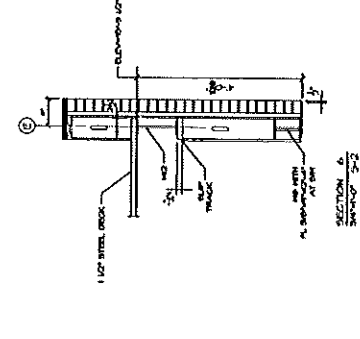
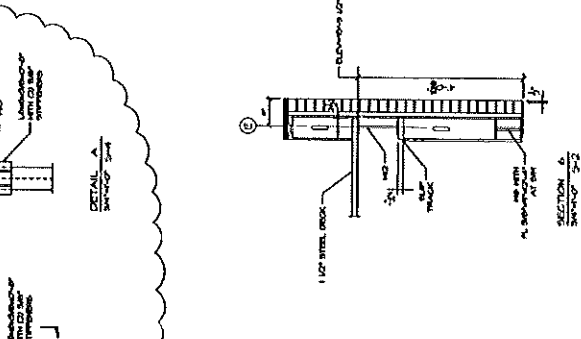
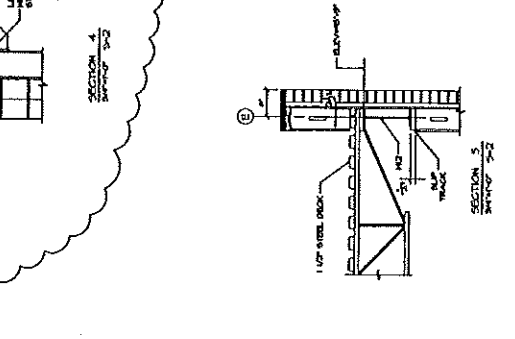
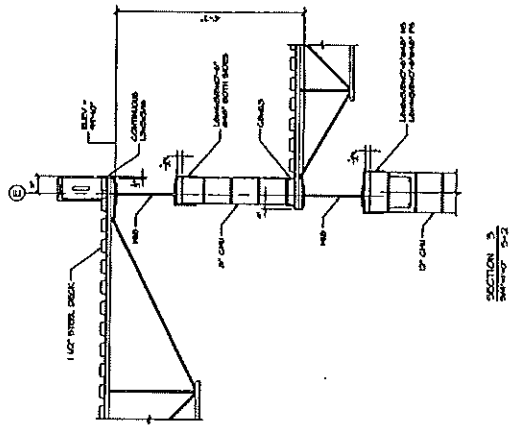
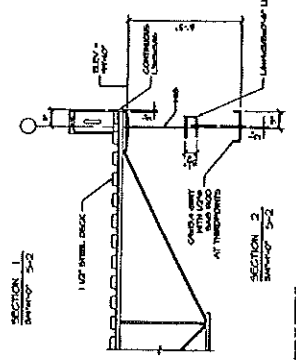
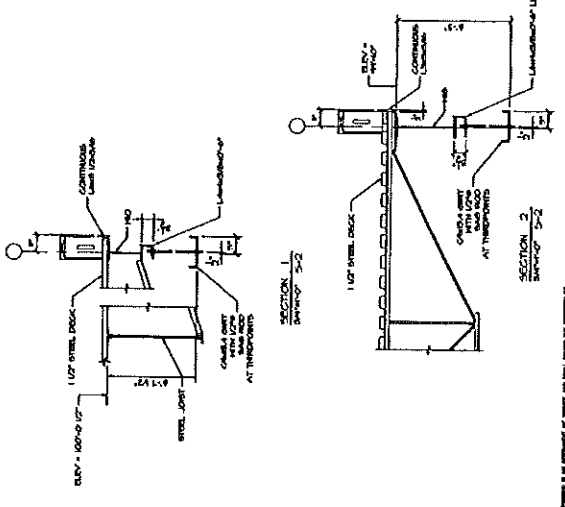


NOT TO SCALE  
ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED  
CONCRETE SHALL BE 3000 PSI  
STEEL SHALL BE A36  
WOOD SHALL BE SYP  
FINISHES SHALL BE AS SHOWN  
ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS  
ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT

**COLUMN SCHEDULE**

COLUMN NAME	SIZE	SET OF BASE PL. TYPE	BASE PL. TYPE	TOP OF COLUMN	COMMENTS
A-1	H30X1	3/4x7	B	100x10 ICF	
A-2	H30X1	3/4x7	D	100x10 ICF	
A-3	H30X1	3/4x7	B	100x10 ICF	
A-4	H30X1	3/4x7	D	100x10 ICF	
A-5	H30X1	3/4x7	D	100x10 ICF	
B-1	H30X1	3/4x7	A	100x10 ICF	
B-2	H30X1	3/4x7	A	100x10 ICF	
B-3	H30X1	3/4x7	B	100x10 ICF	
B-4	H30X1	3/4x7	B	100x10 ICF	
B-5	H30X1	3/4x7	A	100x10 ICF	
B-6	H30X1	3/4x7	A	100x10 ICF	
B-7	H30X1	3/4x7	A	100x10 ICF	
B-8	H30X1	3/4x7	B	100x10 ICF	
B-9	H30X1	3/4x7	B	100x10 ICF	
B-10	H30X1	3/4x7	B	100x10 ICF	
B-11	H30X1	3/4x7	B	100x10 ICF	
B-12	H30X1	3/4x7	B	100x10 ICF	
B-13	H30X1	3/4x7	B	100x10 ICF	
B-14	H30X1	3/4x7	B	100x10 ICF	
B-15	H30X1	3/4x7	B	100x10 ICF	
B-16	H30X1	3/4x7	B	100x10 ICF	
B-17	H30X1	3/4x7	B	100x10 ICF	
B-18	H30X1	3/4x7	B	100x10 ICF	
B-19	H30X1	3/4x7	B	100x10 ICF	
B-20	H30X1	3/4x7	B	100x10 ICF	

COLUMNS NOTED: ALL STEEL POINTS AS NOTED AT OTHER VIEWS. BRACKETED BASE PLATE THICKNESS IS FOR TYPICAL BASE PLATE THICKNESS. ALL OTHER BASE PLATE THICKNESSES ARE NOTED TO DRAWING.



**PHILLIP J. DOUGHTY ASSOC., ARCHITECTS**  
 323 S. ROUTE ONE, PORTLAND, MAINE 04106 • TEL 761-8348

**THEODORE LOSH AND SON**

**PROJECT DATA**

NO.	1
TITLE	COLUMN SCHEDULE AND FRAMING DETAILS
DATE	11/15/88
PROJECT	
NO.	
TITLE	
DATE	
PROJECT	
NO.	
TITLE	
DATE	
PROJECT	

S-4

ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN INCHES. UNLESS OTHERWISE NOTED, ALL ANGLES ARE 90 DEGREES. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS INDICATED OTHERWISE.



PROJ	DWC-2000
SCALE	AS NOTED
DATE	FEB 22, 2003
CDS	BR: P.D.
DES	BR: P.D.
CHK	BR: K.L.P.
APP'D	BR: P.D.

**PDA • Philip J. Daughtry Associates**  
 588 U.S. Route One  
 Portsmouth, NH 03103  
**Architects**

MECHANICAL FLOOR PLAN  
 SECTION A-A & B-B  
 THEODORE LOOM AND SON

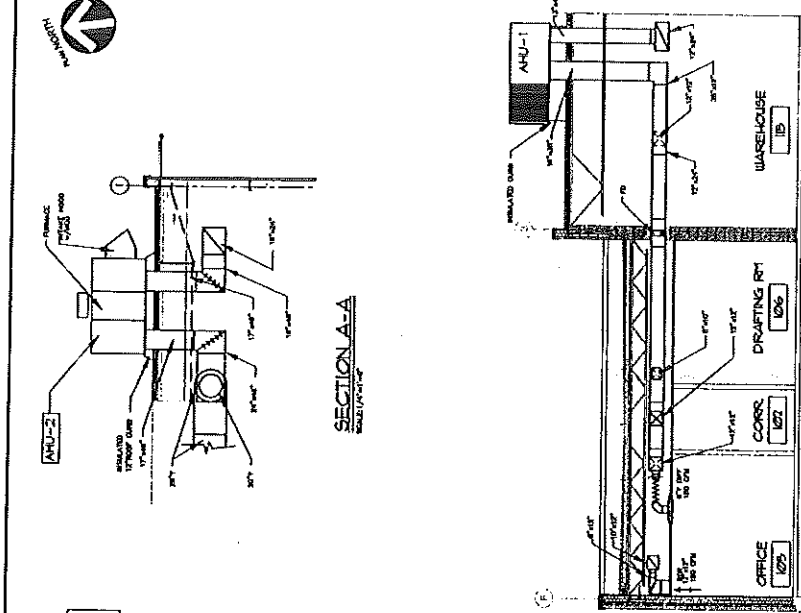
NO.	DESCRIPTION	DATE	BY	CHKD
01	ISSUED FOR BID/CONSTRUCTION	11/22/03		

MECHANICAL SYSTEMS ENGINEERS  
 REGISTERED PROFESSIONAL ENGINEERS  
 STATE OF NEW HAMPSHIRE  
 LICENSE NO. 1405 & 1406



**SECTION A-A**  
 1'-0" TO 4'-0"

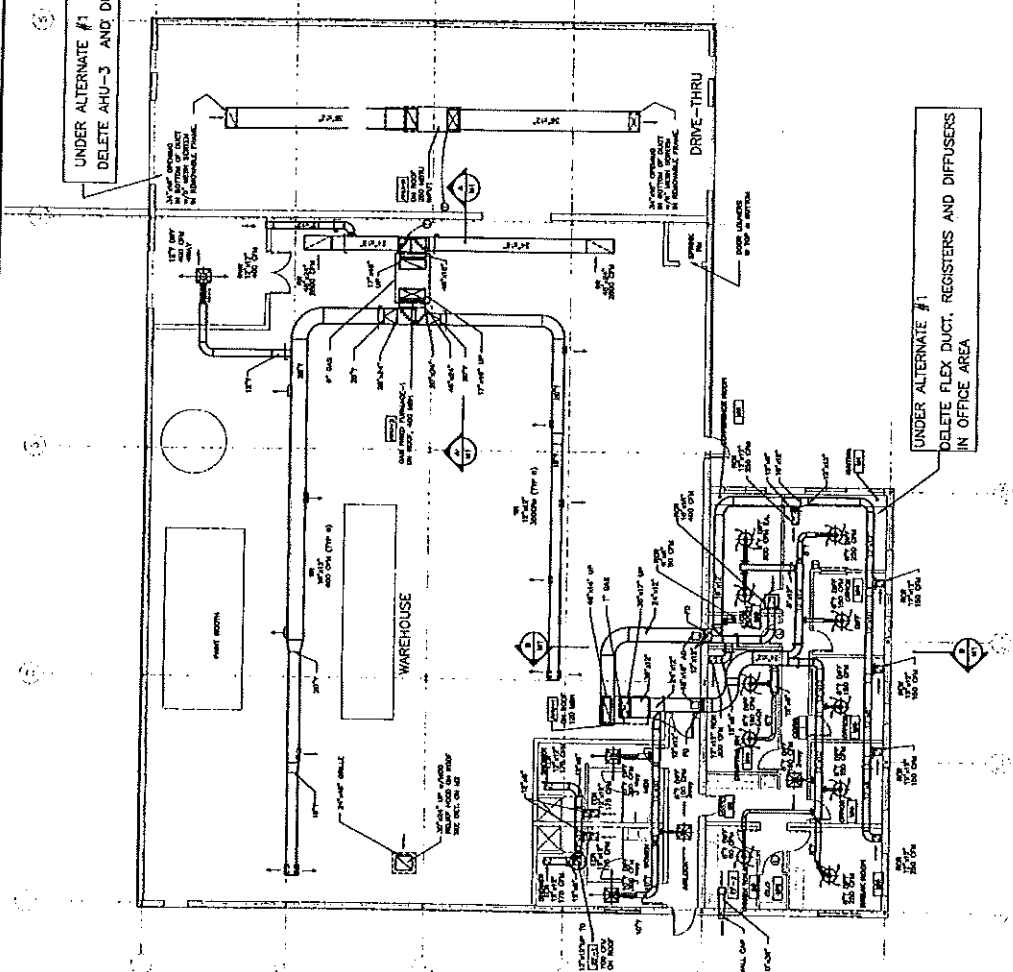
**SECTION B-B**  
 1'-0" TO 17'-0"



**UNDER ALTERNATE #1**  
 DELETE AHU-3 AND DUCTWORK

**UNDER ALTERNATE #1**  
 DELETE FLEX DUCT, REGISTERS AND DIFFUSERS IN OFFICE AREA

**HVAC FLOOR PLAN**  
 1'-0" TO 17'-0"



THIS DRAWING IS THE PROPERTY OF P.J. DAUGHTRY ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF P.J. DAUGHTRY ASSOCIATES. THE INFORMATION CONTAINED HEREIN IS SOLELY THE PROPERTY OF P.J. DAUGHTRY ASSOCIATES AND IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE.

**GENERAL NOTES**

- MVAC Contractor shall coordinate work with all other trades.
- All piping and ductwork shall be run unobstructed and on warm side of building insulation unless noted otherwise.
- All ductwork is shown diagrammatically. Exact locations are to be determined in the field.
- All duct sizes indicated are actual metal (outside) dimensions.
- All cutting and patching shall be provided by the General Contractor.
- All square elbows in ductwork SHALL HAVE dirt/turning vanes, registers, grilles and diffusers.
- Refer to reflected ceiling plan for exact location of all ceiling registers, grilles and diffusers.
- All fire dampers and motor operated dampers shall have access doors on large as possible up to 15" x 15".
- All dimensions are approximate and one to be field verified.

**AIR HANDLING UNIT SCHEDULE**

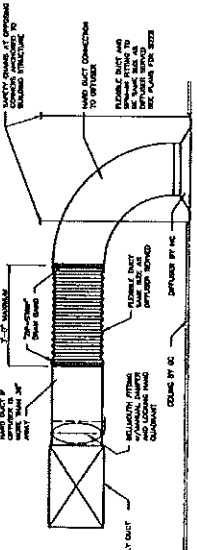
TAG	AREA SERVED	KW	CFM	SP	RPM	HP	COOLING CAP				REMARKS											
							ELECTRIC	EDGE LOAD	MINI	ENTRIT		MECH	EDR	ENR	ENR							
AHU-1	OFFICES	6.8	2500	1.25	1154	2.0	208/80/39	2	208/150	166/722	84	67	45.8	72.5	3/4	1100	208/80/39	1/20	208/80/39	120/60/77		
AHU-2	WAREHOUSE	N/A	6000	1.0	1040	3.0	208/80/39	1	400		308				2	1725	208/80/39					
AHU-3	DRIVE-THRU	N/A	2700	1.0	965	1.0	208/80/39	1	250		197.5									120/60/77	DELTE UNDER	

**FAN SCHEDULE**

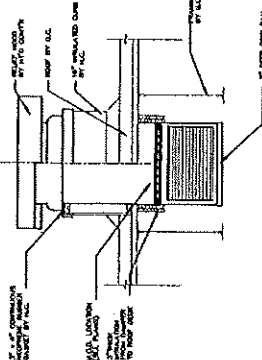
TAG	AREA SERVED	TYPE	CFM	SP	RPM	HP	ELECTRIC	REMARKS
EF-1	TOILET 113.14	ROOF CENTRIFUGAL	700	.5	1100	5.8	1/4	120/80/17
EF-2	TOILET 110	CEILING IN-LINE	100	.25	1500		100	120/80/77

**SYMBOLS AND ABBREVIATIONS**

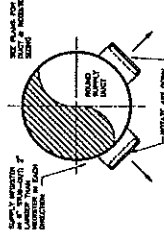
AS	ASBESTOSING	AT	ATMOSPHERIC AIR	BT	BURNER	CD	CENTRIFUGAL DAMPER	CT	CONDENSING AIR TEMPERATURE	DA	DAMPERS	DR	DRY BULB TEMPERATURE	EA	EXHAUST AIR	EL	ELECTRIC	EM	EXHAUST MOTOR	EP	EXHAUST PRESSURE	FA	FAN	FD	FLEXIBLE DUCT	FL	FLOOR	FR	FRESH AIR	FS	FRESH AIR SUPPLY	GA	GAS ANALYZER	GR	GRILLE	HA	HEATING AIR	HC	HEATING CONTRACTOR	HL	HEATING LOAD	HM	HEATING MOTOR	HT	HEATING TEMPERATURE	IB	INDOOR AIR	IC	INDOOR COIL	IE	INDOOR ENTHALPY	IS	INDOOR STATIC PRESSURE	IT	INDOOR TEMPERATURE	JA	JUNCTION BOX	KB	KITCHEN BLOWER	KE	KITCHEN EXHAUST	KL	KITCHEN LINE	LA	LOAD AIR	LB	LOAD BLOWER	LC	LOAD CONTRACTOR	LD	LOAD DIFFUSER	LE	LOAD EXHAUST	LF	LOAD FAN	LG	LOAD GRILLE	LH	LOAD HEATING	LI	LOAD INLET	LJ	LOAD JUNCTION BOX	LK	LOAD KITCHEN	LL	LOAD LINE	LM	LOAD MOTOR	LN	LOAD NUT	LO	LOAD OUTLET	LP	LOAD PRESSURE	LQ	LOAD QUANTITY	LR	LOAD REGISTER	LS	LOAD STATIC PRESSURE	LT	LOAD TEMPERATURE	LU	LOAD UNIT	LV	LOAD VALVE	LW	LOAD WEIGHT	LX	LOAD X-RAY	LY	LOAD Y-RAY	LZ	LOAD Z-RAY
----	-------------	----	-----------------	----	--------	----	--------------------	----	----------------------------	----	---------	----	----------------------	----	-------------	----	----------	----	---------------	----	------------------	----	-----	----	---------------	----	-------	----	-----------	----	------------------	----	--------------	----	--------	----	-------------	----	--------------------	----	--------------	----	---------------	----	---------------------	----	------------	----	-------------	----	-----------------	----	------------------------	----	--------------------	----	--------------	----	----------------	----	-----------------	----	--------------	----	----------	----	-------------	----	-----------------	----	---------------	----	--------------	----	----------	----	-------------	----	--------------	----	------------	----	-------------------	----	--------------	----	-----------	----	------------	----	----------	----	-------------	----	---------------	----	---------------	----	---------------	----	----------------------	----	------------------	----	-----------	----	------------	----	-------------	----	------------	----	------------	----	------------



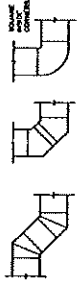
**FLEXIBLE DUCT & DIFFUSER CONNECTION DETAIL**  
NO SCALE



**ROOF EXHAUST FAN**  
NO SCALE



**WAREHOUSE SUPPLY REGISTER DETAIL**  
NO SCALE



**UNACCEPTABLE DUCT FITTINGS**  
NO SCALE



M2  
DWG. NO. 020001  
SCALE AS NOTED  
DATE: 12/22/00  
DESIGNED BY: P.J.D.  
CHECKED BY: H.L.P.  
APP'D BY: P.J.D.

MECHANICAL GENERAL NOTES, ABBREVIATION SCHEDULES AND DETAILS  
THEODORE LOGAN AND SON  
PDA • Phillip J. Doughty Associates  
388 U.S. Route One • Farmington, CT 06030  
203-251-3448



REV	DATE	DESCRIPTION
0	12/22/00	AS NOTED

DWG. NO. **P1**

0200007

DATE: 02.22.2013

SCALE: AS NOTED

DES BY: ELP

CHEK BY: ELP

THEODORE LOGAN AND SON

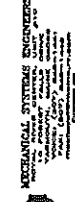
Architects  
384 U.S. Route One  
Plymouth, ME 04103  
207-781-5348

NO.	DATE	DESCRIPTION

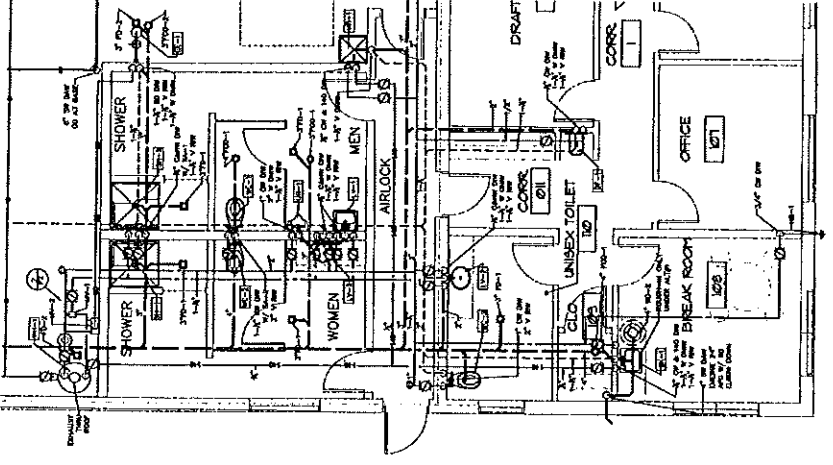
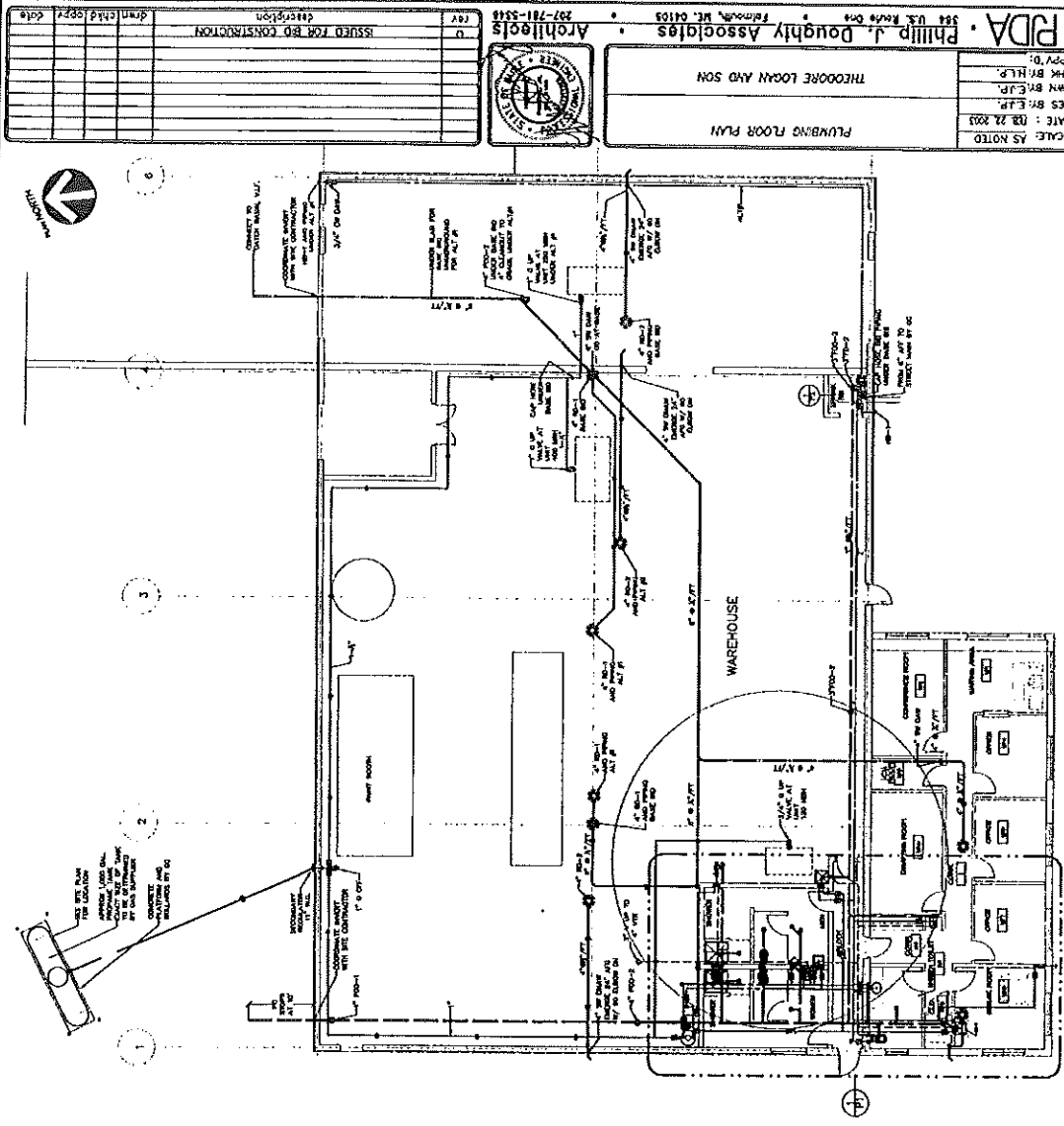
ISSUED FOR RD CONSTRUCTION

drawn by: ELP

check by: ELP



**PLUMBING FLOOR PLAN #1**  
SCALE: 1/8" = 1'-0"



**ENLARGED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

THIS DOCUMENT IS THE PROPERTY OF THEODORE LOGAN AND SON. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THEODORE LOGAN AND SON WILL NOT BE RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS DOCUMENT.



NO.	DESCRIPTION	DATE
1	AS-BUILT FOR INSTALLATION	1-15-72



**RDA • Phillip J. Doughty Associates**  
 ARCHITECTS

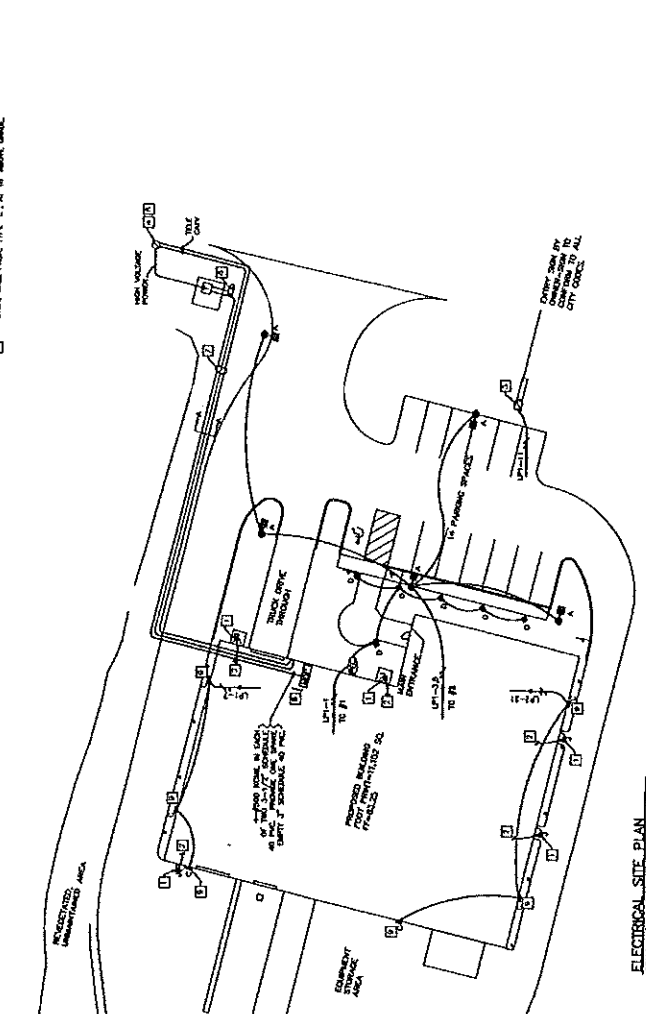
207-781-5515  
 207 U.S. ROUTE ONE  
 PETHAM, MD. 04133

**THEODORE LOCKY AND SON**  
 ELECTRICAL SPT PLAN

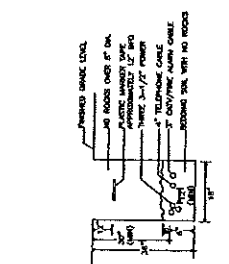
DATE: 11-1-71  
 DRAWN: JFB  
 CHECKED: JFB  
 APPROVED: JFB

SCALE: 1/8" = 1'-0"  
 SHEET NO. E-5

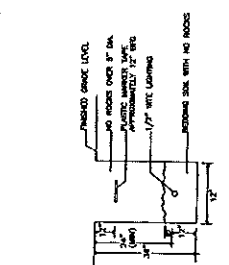
- CONSTRUCTION NOTES:**
1. CONDUIT SHALL BE INSTALLED AT 18" FROM FACE OF WALL AND SHALL BE PROTECTED BY CONCRETE OR METAL BUSHING AT ALL PENETRATIONS.
  2. ALL CONDUIT SHALL BE RATED TO WITHSTAND THE FULL SHORT-CIRCUIT CURRENT AVAILABLE AT THE POINT OF INSTALLATION.
  3. PROVIDE TYPE 1 CONDUIT AT ALL PENETRATIONS.
  4. VERIFY LOCATION OF EACH POLE.
  5. PROVIDE CONDUIT RINGS ON UTILITY POLE FOR POWER, TELLER, AND GUY.
  6. VERIFY EXACT LOCATION OF SERVICE ENTRANCE FROM POWER, TELLER, AND GUY.
  7. PROVIDE EXACT LOCATION OF AUTOMATIC TRANSFORMER, CONDUITS TO SERVICE ENTRANCE AND ALL PENETRATIONS AT POINT OF SERVICE ENTRANCE.
  8. PROVIDE CONDUIT, MOUNTING AND SUPPORT STRUCTURE FOR UTILITY METERS AT ALL PENETRATIONS.
  9. PROVIDE WALL MOUNT, TYPE 1, AT 18" FROM BRICK.



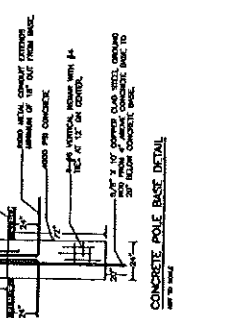
**SITE LIGHTING CONTROL AND WIRING DETAIL**  
 NOTE: ALL WIRING SHOWN IS 3/4\"/>



**SERVICE TRENCH DETAIL A-A**  
 SEE IS. SHEET



**SITE LIGHTING TRENCH DETAIL**  
 SEE IS. SHEET



**CONCRETE POLE BASE DETAIL**  
 SEE IS. SHEET

NO. 20  
 11/15/71

E-1A

PROJECT NO.

DATE

SCALE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

THEODORE LOOM AND SON  
LIGHTING AND FIRE ALARM PLAN

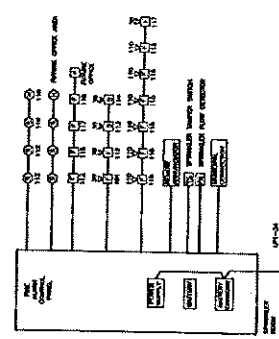


Architects  
257-781-5318

NO.	DATE	DESCRIPTION
1	7-11-58	READ FOR FIRE ALARM PLAN
2	7-11-58	READ FOR FIRE ALARM PLAN
3	7-11-58	READ FOR FIRE ALARM PLAN
4	7-11-58	READ FOR FIRE ALARM PLAN
5	7-11-58	READ FOR FIRE ALARM PLAN
6	7-11-58	READ FOR FIRE ALARM PLAN
7	7-11-58	READ FOR FIRE ALARM PLAN
8	7-11-58	READ FOR FIRE ALARM PLAN
9	7-11-58	READ FOR FIRE ALARM PLAN
10	7-11-58	READ FOR FIRE ALARM PLAN

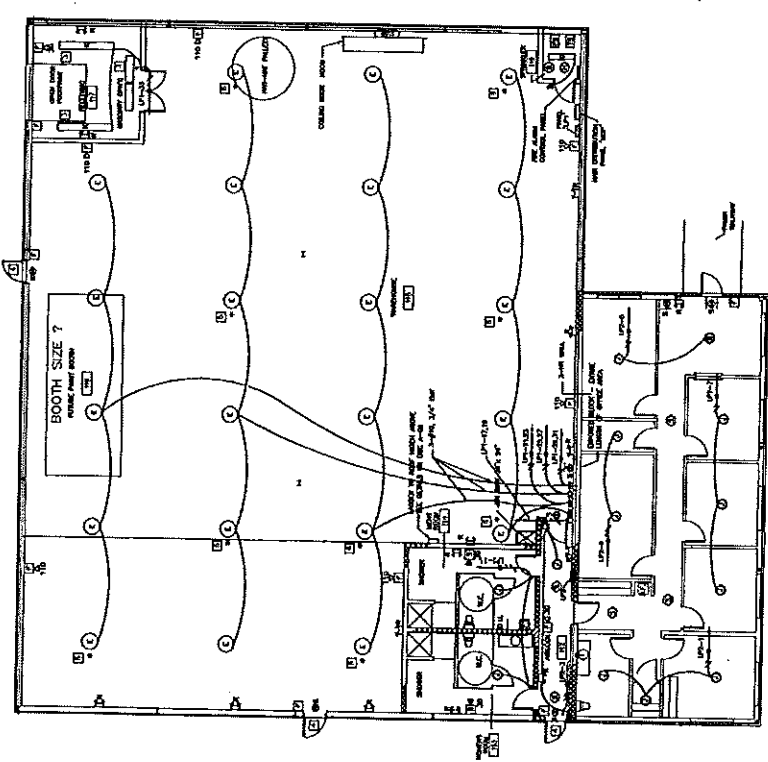
NOTES:  
1. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.

LIGHTING AND FIRE ALARM PLAN  
SCALE: 1/8" = 1'-0"



FIRE ALARM SYSTEM ELECTRICAL BLOCK DIAGRAM

- CONSTRUCTION NOTES:**
- 1. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.
  - 2. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.
  - 3. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.
  - 4. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.
  - 5. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.
  - 6. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.
  - 7. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.
  - 8. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.
  - 9. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.
  - 10. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.



NOTES:  
1. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.

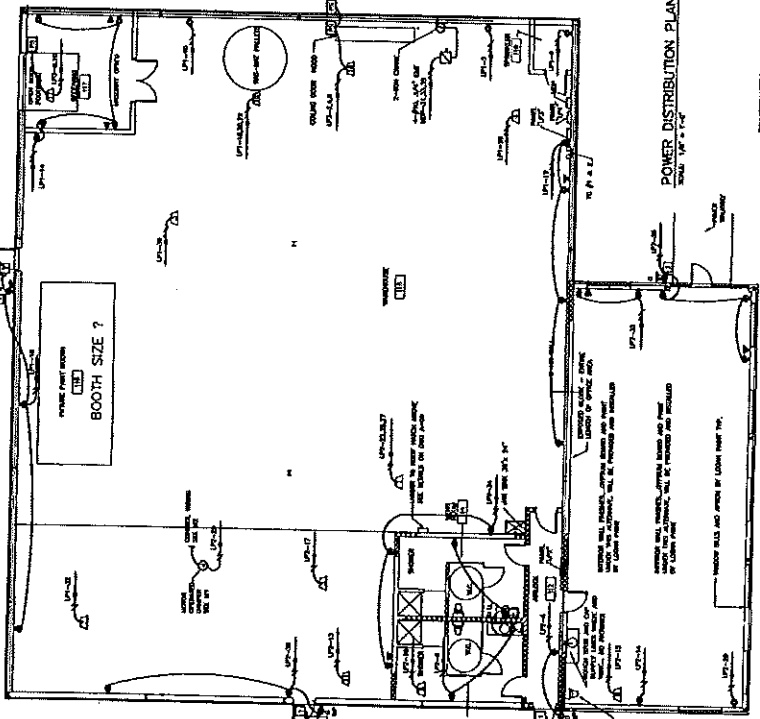
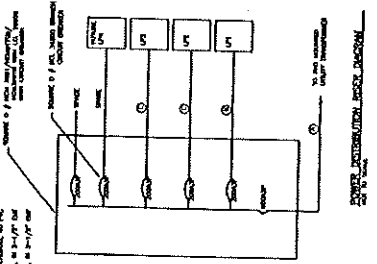
NOTES:  
1. REFER TO THE GENERAL NOTES ON THE DRAWING FOR THE LIGHTING PLAN.

PHILIP J. DAUGHTY ASSOCIATES  
ARCHITECTS  
1000 RIVERVIEW DRIVE  
ANN ARBOR, MI 48106  
TEL: 734/769-1234



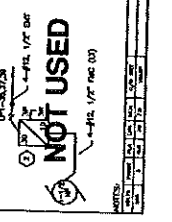
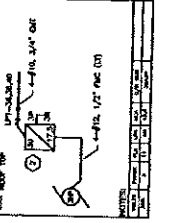
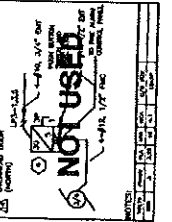
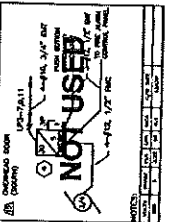
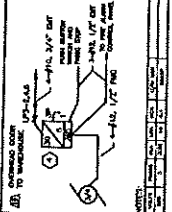
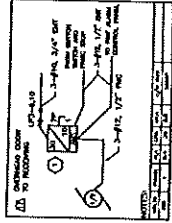
NO.	DATE	DESCRIPTION
1	10/10/00	PRELIMINARY POWER PLAN
2	11/15/00	REVISED POWER PLAN
3	12/10/00	FINAL POWER PLAN

NO.	DESCRIPTION	AMOUNT	UNIT	DATE
1	120V 15A BRK	1	EA	10/10/00
2	120V 20A BRK	1	EA	10/10/00
3	120V 30A BRK	1	EA	10/10/00
4	120V 40A BRK	1	EA	10/10/00
5	120V 50A BRK	1	EA	10/10/00
6	120V 60A BRK	1	EA	10/10/00
7	120V 75A BRK	1	EA	10/10/00
8	120V 100A BRK	1	EA	10/10/00
9	120V 150A BRK	1	EA	10/10/00
10	120V 200A BRK	1	EA	10/10/00



POWER DISTRIBUTION PLAN  
SCALE: 1/8" = 1'-0"

- CONSTRUCTION NOTES:
- 1. ALL PANELS TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
  - 2. ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
  - 3. ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).



**From:** window window  
**To:** jodinea  
**Date:** Fri, Jan 9, 2004 12:46 PM  
**Subject:** RE: GA: 38 Bolton St, apt 1, flr 1 tenant Robert Alexander

Date: 1/9/2004 Time: 12:44:01 PM

Property Addr: 38 BOLTON ST Parcel ID: 186 C032001

Complaint Desc: Pleae inspect 38 Bolton St, apt 1, flr 1 Robert Alexander  
Contact James Helms 415-6132 874-2175

Complainant:  
Phone1: Phone2: Best Time To Contact:  
Addr:  
Response to Complainant:  
Complainant Mood:

Owner Name: KARGAR MOHAMMED &  
Owner Addr: SHAMAYEL KARGAR JTS , 38

**CC:** Gayle Guertin; Karen Dunfey; Lannie Dobson; Mik...



# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 9/17/03  
 Permit # 2003-4879  
 CBL# 238 AA006

LOCATION: 34 Blueberry Road METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER \_\_\_\_\_  
 TENANT Logan & Sons PHONE # \_\_\_\_\_

OUTLETS	RECEPTACLES	SWITCHES	SMOKE DETECTOR	TOTAL EACH FEE	
	36			.20	
FIXTURES	Incandescent	34	Fluorescent	Strips	.20
SERVICES	Overhead	1	Underground	TTL AMPS <800	15.00
	Overhead		Underground	TTL AMPS >800	25.00
Temporary Service	Overhead		Underground	TTL AMPS	25.00
METERS	(number of)				25.00
MOTORS	(number of)				1.00
RESID/COM	Electric units				2.00
HEATING	oil/gas units	Interior	Exterior		1.00
APPLIANCES	Ranges	Cook Tops	Wall Ovens		5.00
	Insta-Hot	Water heaters	Fans		2.00
	Dryers	Disposals	Dishwasher		2.00
	Compactors	Spa	Washing Machine		2.00
	Others (denote)				2.00
MISC. (number of)	Air Cond/win				3.00
	Air Cond/cent				10.00
	HVAC	EMS	Pools		5.00
	Signs		Thermostat		10.00
	Alarms/res				5.00
	1 Alarms/com				15.00
	Heavy Duty(CRKT)				2.00
	Circus/Carnv				25.00
	Alterations				5.00
	Fire Repairs				15.00
	12 E Lights				1.00
	E Generators				20.00
PANELS	Service	3 Remote	Main		4.00
TRANSFORMER	0-25 Kva				5.00
	25-200 Kva				8.00
	Over 200 Kva				10.00
MINIMUM FEE/COMMERCIAL 45.00			TOTAL AMOUNT DUE		116.00
			MINIMUM FEE	35.00	

CONTRACTORS NAME EASTERN ELECTRICAL CORP MASTER LIC. # MCLE0011182  
 ADDRESS 20 Bedford St, Portland 04101 LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 772-47762

SIGNATURE OF CONTRACTOR James J. Varney (David Bradbury)  
 White Copy - Office • Yellow Copy - Applicant



*State of Maine*  
 Department of Public Safety  
 Construction Permit



Reviewed  
 for Barrier  
 Free

# 13484

Sprinkled  
 Sprinkler Supervised

**LOGAN PAINT**  
 Located at: 34 BLUEBERRY ROAD  
**PORTLAND**  
 Occupancy/Use: BUSINESS

*238A A 006001*

Permission is hereby given to:  
 JOHN LOGAN

971 CONGRESS STREET  
 PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.  
 No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.  
 Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 2nd of March 2004*

Dated the 3rd day of September A.D. 2003

*Michael P. Cantara*

Commissioner

**Copy-3 Code Enforcement Officer**

Comments:

Code Enforcement Officer  
 PORTLAND, ME

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JA **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

NA **Footing/Building Location Inspection:** Prior to pouring concrete

NA **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

X **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

X **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

X If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]  
Signature of Applicant/Designee

2/6/04  
Date

[Signature]  
Signature of Inspections Official

2/6/04  
Date

CBL: 238AA066 Building Permit #: 04 0090

Department of Planning & Development  
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

August 11, 2003

Mr. Theodore Logan  
Theodore Logan & Son, Inc.  
971 Congress Street  
Portland, ME 04102

RE: Logan Paint Revision, 34 Blueberry Road  
ID #2003-0134, CBL #238A-A-006

Dear Mr. Logan:

This letter is to confirm the revision to the approved site plan of the project located at 34 Blueberry Road. The approved revision includes the reduction of the building size. The revised plan has been reviewed and approved by the project review staff including representatives of the Planning, Public Works, Building Inspections, Fire and Parks Departments.

If you have any questions regarding the revision please contact Kandice Talbot at 874-8901.

Sincerely,

Alexander Jaegerman  
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director  
Sarah Hopkins, Development Review Services Manager  
Kandice Talbot, Planner  
Jay Reynolds, Development Review Coordinator  
✓ Marge Schmuckal, Zoning Administrator  
Karen Dunfey, Inspections  
Michael Bobinsky, Public Works Director  
Larry Ash, Traffic Engineer  
Tony Lombardo, Project Engineer  
Eric Labelle, City Engineer  
Jeff Tarling, City Arborist  
Penny Littell, Associate Corporation Counsel  
Lt. Gaylen McDougall, Fire Prevention  
Don Hall, Appraiser, Assessor's Office  
Approval Letter File

O:\PLAN\DEVREVW\BLUEBERRY34\REVISIONLETTER.DOC

TO: Inspections Department  
FROM: Jay Reynolds, Development Review Coordinator  
DATE: May 13, 2004  
RE: C. of O. for #40 Blueberry Road, Logan Paint  
(CBL 3388AA006) (ID 2002-0231)

---

After visiting #40 Blueberry Road, I have the following comments:

Site work incomplete:

1. Landscaping.
2. Loam and Seed.
3. Sign Installation.
4. Misc.

I anticipate this work will be completed by **June 15, 2004**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Please contact me if you have any questions or comments.

Cc: Sarah Hopkins, Development Review Services Manager  
Mike Nugent, Inspection Services Manager

File: O:\plan\drc\loganpaint1.doc

# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 3/2/04  
 Permit # 2004-4193  
 CBL# 238 AA 006 001

LOCATION: 34 BLUEBERRY RD METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER THEODORE LOYAN & SON INC  
 TENANT THEODORE LOYAN & SON INC PHONE # 774-6321  
 B.P. # 040070

						TOTAL EACH FEE		
OUTLETS	14	Receptacles	10	Switches		Smoke Detector	.20	4.80
FIXTURES		Incandescent	46	Fluorescent	3	Strips	.20	9.40
SERVICES		Overhead		Underground		TTL AMPS <800	15.	
		Overhead		Underground		>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
							25.00	
METERS		(number of)					1.00	
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units		Interior		Exterior	5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-Hot		Water heaters		Fans	2.00	
		Dryers		Disposals		Dishwasher	2.00	
		Compactors		Spa		Washing Machine	2.00	
		Others (denote)					2.00	
MISC. (number of)		Air Cond/win					3.00	
		Air Cond/cent				Pools	10.00	
		HVAC		EMS		Thermostat	5.00	
		Signs					10.00	
		Alarms/res					5.00	
		Alarms/com					15.00	
		Heavy Duty(CRKT)					2.00	
		Circus/Carnv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
		E Lights					1.00	
		E Generators					20.00	
PANELS		Service		Remote		Main	4.00	
TRANSFORMER		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	
						TOTAL AMOUNT DUE		
						MINIMUM FEE/COMMERCIAL	45.00	
						MINIMUM FEE	35.00	

CONTRACTORS NAME CONEY ELECTRIC INC MASTER LIC. # MS60003630  
 ADDRESS 184 DEAD ST LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 775-1380

SIGNATURE OF CONTRACTOR

ck# 1007