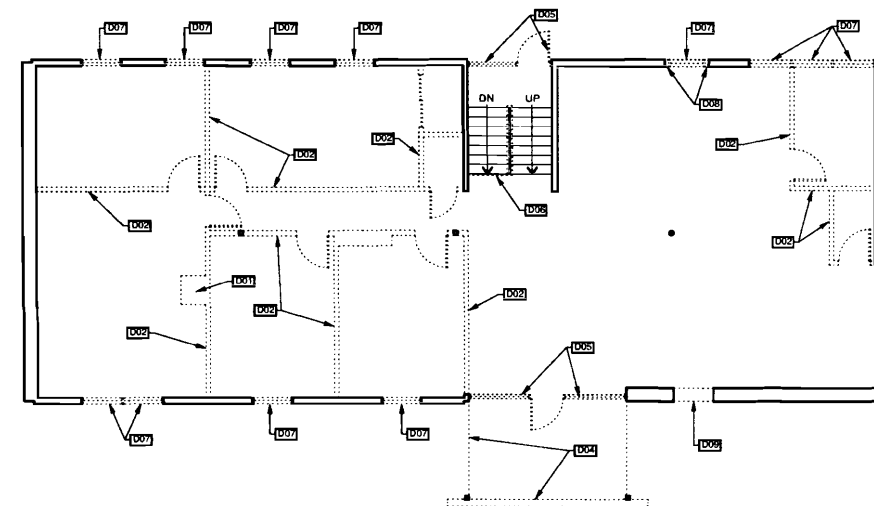


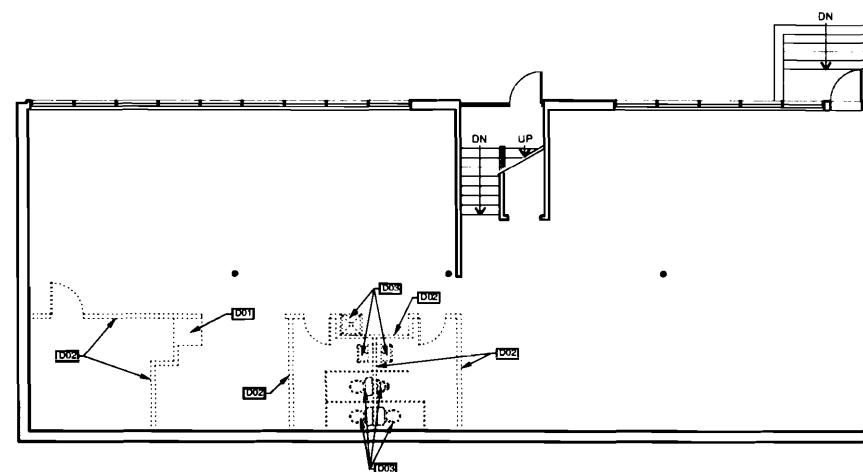
**3 EXTERIOR DEMOLITION ELEVATION**  
SCALE: 1/8" = 1'-0"  
2 4 8 16'

**DEMO PLAN KEY**  
 ——— EXISTING TO REMAIN  
 ..... EXISTING TO BE REMOVED



**2 FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"  
2 4 8 16'

**DEMO PLAN KEY**  
 ——— EXISTING TO REMAIN  
 ..... EXISTING TO BE REMOVED



**1 LOWER LEVEL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"  
2 4 8 16'

**DEMO PLAN KEY**  
 ——— EXISTING TO REMAIN  
 ..... EXISTING TO BE REMOVED

**DEMOLITION KEYNOTES**

- D01 REMOVE CHIMNEY FROM BASEMENT SLAB UP THROUGH ROOF FRAME IN AND DECK OVER HOLES IN FIRST FLOOR AND FLAT ROOF DECK
- D02 REMOVE PARTITION
- D03 REMOVE PLUMBING FIXTURES AND CAP OFF SUPPLY AND WASTE LINES.
- D04 REMOVE SLAB AND RETAINING WALL
- D05 REMOVE STOREFRONT FRAMING, GLASS, AND DOOR
- D06 REMOVE STAIR GUARDRAIL
- D07 REMOVE EXISTING WINDOW
- D08 ENLARGE WINDOW OPENING BACK TO ORIGINAL SIZE
- D09 CUT NEW WINDOW OPENING IN MASONRY WALL. SEE STRUCTURAL DRAWINGS FOR LINTEL DETAILS
- D10 REMOVE ENTRY CANOPY LEAVE EXISTING COLUMNS AND BEAMS TO SUPPORT NEW CANOPY
- D11 REMOVE EXISTING PARAPET AND SOFFIT BACK TO FLUSH WITH EXISTING WALL SURFACE. SEE STRUCTURAL DRAWINGS FOR FRAMING DETAILS

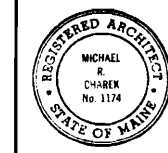
**DEMOLITION GENERAL NOTES**

- 1 ITEMS INDICATED TO BE REMOVED AND SALVAGED REMAIN OWNER'S PROPERTY. REMOVE, CLEAN, AND DELIVER TO OWNER'S DESIGNATED STORAGE AREA.
- 2 COMPLY WITH EPA REGULATIONS AND HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION
- 3 BUILDING WILL NOT BE OCCUPIED DURING CONSTRUCTION ACTIVITIES.
- 4 IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. OWNER WILL REMOVE HAZARDOUS MATERIALS UNDER A SEPARATE CONTRACT.
- 5 LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND CAP OFF UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- 6 PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
- 7 PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN OR CONSTRUCTION BEING DEMOLISHED.

- 8 PROVIDE TEMPORARY WEATHER PROTECTION TO PREVENT WATER LEAKAGE AND DAMAGE TO STRUCTURE AND INTERIOR AREAS.
- 9 PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN. ERECT AND MAINTAIN DUSTPROOF PARTITIONS
- 10 NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.
- 11 PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS
- 12 ITEMS TO BE REMOVED:
  - A. VINYL SIDING, FOAM SHEATHING, WOOD SIDING, AND BUILDING PAPER DOWN TO EXISTING WOOD SHEATHING ON ALL WOOD FRAME WALLS
  - B. FINISH FLOORING DOWN TO SUBFLOOR EXCEPT STAIR TREADS
  - C. SUSPENDED CEILINGS
  - D. ACOUSTICAL TILE CEILINGS
  - E. WOOD PANELING ON ALL WALLS
  - F. GYPSUM BOARD ON EXTERIOR WOOD FRAME WALLS
  - G. HEATING AND PLUMBING SYSTEMS AND EQUIPMENT, INCLUDING BASEBOARD HEAT ELEMENTS, PIPING, BOILER, AND OIL TANK.
  - H. SPECIFIC ITEMS AS INDICATED BY KEYNOTE AND LEGEND

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DEMOLITION PLANS

**Scale:** 1/8" = 1'-0"

**Date:** 7/30/09

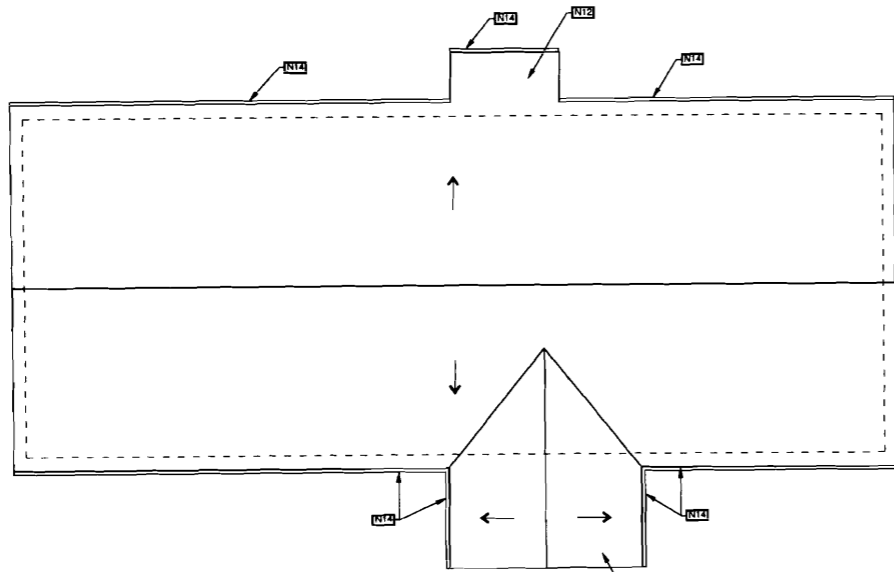
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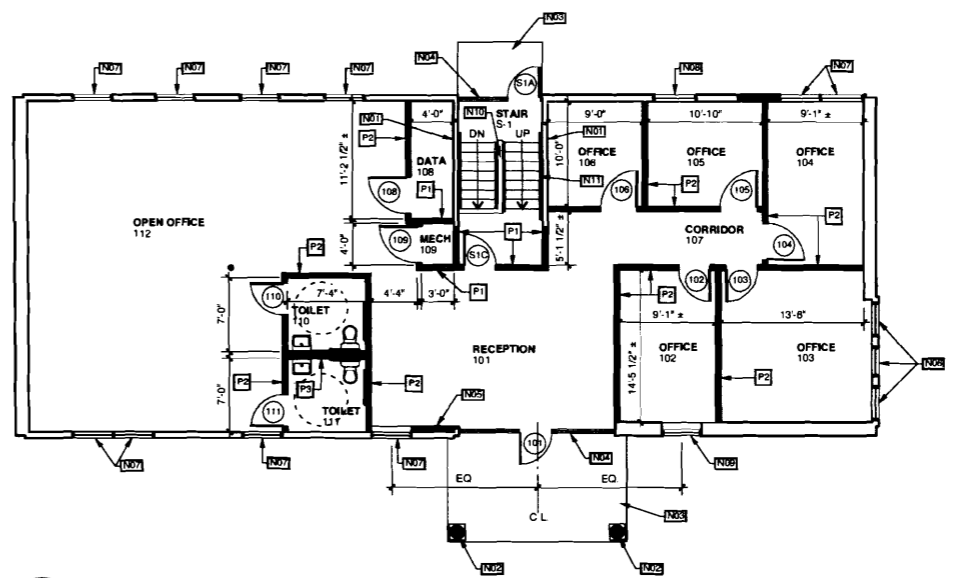
**Sheet**

**D1**





**3 ROOF PLAN**  
SCALE: 1/8" = 1'-0"  
2' 4' 8' 16'



**2 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
2' 4' 8' 16'

**PARTITIONS/WALLS KEY**  
EXISTING TO REMAIN  
NEW PARTITION/WALL

**GENERAL NOTES**

- BEFORE BEGINNING WORK AT THE SITE, AND THROUGHOUT THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO ARCHITECT BEFORE BEGINNING WORK RELATED TO THAT BEING INSPECTED
- THE ARCHITECTURAL DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO PART OF THIS CONTRACT. INSPECT THOSE AREAS, ASCERTAIN WORK NEEDED, AND DO THAT WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST
- DO NOT DRILL OR CUT EXISTING FLOOR JOISTS, BEAMS, COLUMNS, OR OTHER STRUCTURAL MEMBERS UNLESS SPECIFICALLY INDICATED
- PROTECT EXISTING WORK TO REMAIN FROM DAMAGE
- REPAIR, PATCH, AND FINISH, OR REFINISH AS APPLICABLE, TO MATCH ADJACENT EXISTING FINISHES. THOSE EXISTING SURFACES DAMAGED OR NEWLY EXPOSED DURING PERFORMANCE OF THE WORK
- EXCEPT IN SPACES WHERE NO WORK UNDER THIS CONTRACT IS REQUIRED, ENCLOSE EXISTING AND NEW CONDUITS, DUCTS, PIPES, AND SIMILAR ITEMS IN FURRING WHERE SUCH ITEMS PASS THROUGH FINISHED SPACES WHETHER OR NOT FURRING IS INDICATED. INSULATE IN UNHEATED SPACES
- WHERE CONDUITS, WIRES, PIPES, AND SIMILAR ITEMS ARE TO BE INSTALLED IN EXISTING WALLS OR PARTITIONS, NEATLY CHASE THE WALLS OR PARTITIONS. INSTALL THE ITEMS, AND PATCH THE WALLS OR PARTITIONS TO MAKE THE INSTALLATION NOT DISCERNIBLE IN THE FINISHED WORK
- WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES AS APPROPRIATE TO THE NOTE, SHALL MATCH THE EXISTING IN EVERY PARTICULAR
- DIMENSIONS ARE TO FINISH SURFACE AND TO OPENING CENTERLINE UNLESS NOTED OTHERWISE

**PARTITION TYPES (SEE SHEET A4)**

- P1 PARTITION TYPE 1
- P2 PARTITION TYPE 2
- P3 PARTITION TYPE 3

NOTE: PARTITIONS AND WALLS NOT OTHERWISE NOTED BY PARTITION TYPE OR BY NEW WORK KEYNOTE ARE EXISTING TO REMAIN. PATCH AS NECESSARY AND PAINT

**MECHANICAL SYSTEM NOTES**

- PROVIDE COMPLETE NEW HVAC SYSTEM TO PROVIDE ADEQUATE HEAT, COOLING, AND VENTILATION TO ALL SPACES IN BUILDING.

**PLUMBING SYSTEM NOTES**

- PROVIDE SUPPLY AND WASTE PIPING AND NEW PLUMBING FIXTURES IN LAYOUT SHOWN
- PROVIDE NEW SUMP PUMP IN SUMP UNDER STAIR LANDING PIPED TO EXTERIOR LOCATION INDICATED ON SITE PLAN

**ELECTRICAL SYSTEM NOTES**

- PROVIDE POWER SYSTEM INCLUDING OUTLETS, FEEDS, CIRCUITING, AND PANEL PER TENANT REQUIREMENTS
- PROVIDE LIGHTING SYSTEM IN LAYOUT SHOWN ON REFLECTED CEILING PLAN
- TELEPHONE AND DATA WIRING TO BE BY TENANT'S VENDOR

**THERMAL INSULATION NOTES**

- EXISTING THERMAL INSULATION IN WALLS AND CEILINGS TO REMAIN. REMOVE ANY DAMAGED INSULATION AND REPLACE WITH NEW INSULATION TO MATCH
- BLOW IN 12 INCHES OF CELLULOSE INSULATION IN NEW ATTIC SPACE BETWEEN AND OVER NEW WOOD TRUSS BOTTOM CHORDS ON TOP OF EXISTING MEMBRANE ROOF. PROVIDE INSULATION Baffles AT EAVES

**FINISH NOTES**

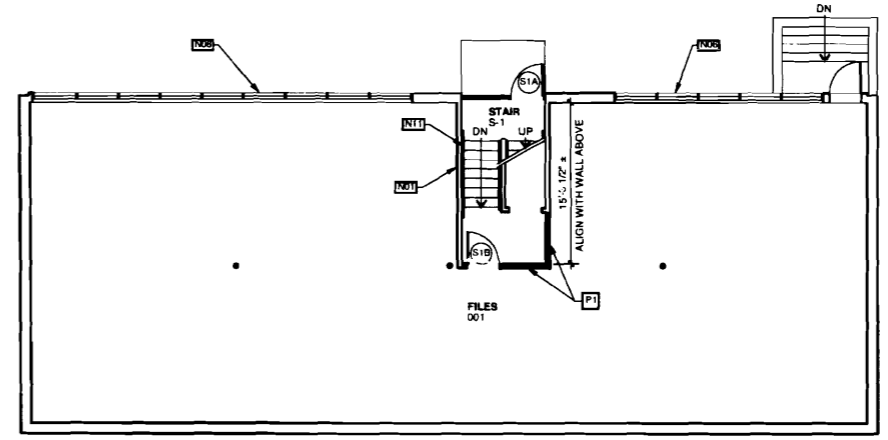
- FINISH MATERIALS AS NOTED BELOW. IN COLORS AND PATTERNS SELECTED BY TENANT:
  - A CEILING: 2 X 4 SUSPENDED ACOUSTICAL TILE ARMSTRONG CORTEGA OR EQUAL
  - B WALLS: GYPSUM BOARD, PAINTED
  - C FLOORS: STAIR S1, RECEPTION 101, OFFICE 102, OFFICE 103, OFFICE 104, OFFICE 105, OFFICE 106, DATA 108, OPEN OFFICE 112, CARPET TOILET 110, TOILET 111, VCT MECHANICAL 109, WOOD SUBFLOOR, FILES 001, CONCRETE SLAB
  - D BASE: 4" VINYL COVE BASE

**NEW WORK KEYNOTES**

- N01 PROVIDE GYPSUM BOARD AT EXISTING STAIR WALLS AS NEEDED TO PROVIDE 1-HOUR RATING OF STAIR ENCLOSURE
- N02 PROVIDE NEW FRP COLUMNS TO COVER EXISTING FRONT CANOPY COLUMNS
- N03 NEW SLAB - SEE SITE PLAN
- N04 NEW INSULATED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLASS
- N05 FURR WALLS AS NEEDED TO ALIGN WITH FACE OF WALL ADJACENT TO AND ABOVE STOREFRONT OPENING
- N06 EXISTING WINDOWS TO REMAIN
- N07 NEW VINYL REPLACEMENT WINDOW IN EXISTING OPENING. SIZE APPROXIMATELY 4'-0" WIDE X 5'-8" HIGH
- N08 NEW VINYL REPLACEMENT WINDOW IN ENLARGED OPENING. SIZE APPROXIMATELY 4'-0" WIDE X 5'-8" HIGH
- N09 NEW VINYL REPLACEMENT WINDOW IN NEW MASONRY OPENING. SIZE APPROXIMATELY 4'-0" WIDE X 5'-8" HIGH - MATCH EXISTING WINDOW SIZE ACROSS FRONT OF BUILDING
- N10 PROVIDE NEW WOOD STUD AND GYPSUM BOARD GUARD RAIL WITH WOOD CAP HEIGHT 3'-6" ABOVE LEADING EDGE OF STAIR NOSING AND TOP LANDING
- N11 PROVIDE NEW HANDRAIL BOTH SIDES OF STAIR. HEIGHT 3'-0" ABOVE LEADING EDGE OF STAIR NOSING
- N12 OVERHANG OVER REAR ENTRY
- N13 FRONT ENTRY CANOPY
- N14 ALUMINUM RAIN GUTTER

**DOOR SCHEDULE**

- DOORS NOT SCHEDULED ARE EXISTING TO REMAIN
- (S1A) (D1) 3'-0" x 7'-0" ALUMINUM STOREFRONT DOOR WITH 3 HINGES, LEVER HANDLE LOCKSET, CLOSER, THRESHOLD WEATHERSTRIP SET IN ALUMINUM STOREFRONT FRAMING. SEE ELEVATIONS FOR FRAME LAYOUT
  - (S1B) (S1C) 3'-0" x 7'-0" SOLID CORE FLUSH WOOD DOOR IN HOLLOW METAL FRAME WITH 3 HINGES, LEVER HANDLE LOCKSET
  - (108) (109) (104) (105) (103) (102) 3'-0" x 7'-0" SOLID CORE FLUSH WOOD DOOR IN HOLLOW METAL FRAME WITH 3 HINGES, LEVER HANDLE LOCKSET
  - (106) 3'-0" x 7'-0" SOLID CORE FLUSH WOOD DOOR IN HOLLOW METAL FRAME WITH 3 HINGES, CLOSER, LOCKSET 1-HOUR RATING ON DOOR & FRAME ASSEMBLY
  - (111) (110) 3'-0" x 7'-0" SOLID CORE FLUSH WOOD DOOR IN HOLLOW METAL FRAME WITH 3 HINGES, LEVER HANDLE PRIVACY SET



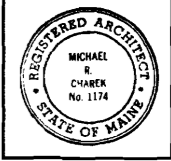
**1 LOWER LEVEL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
2' 4' 8' 16'

**PARTITIONS/WALLS KEY**  
EXISTING TO REMAIN  
NEW PARTITION/WALL



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FLOOR PLANS  
ROOF PLAN

Scale: 1/8" = 1'-0"

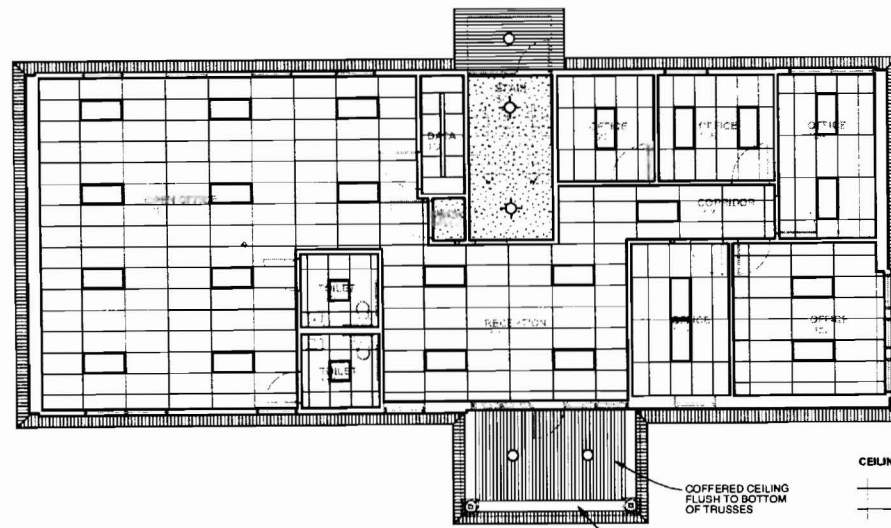
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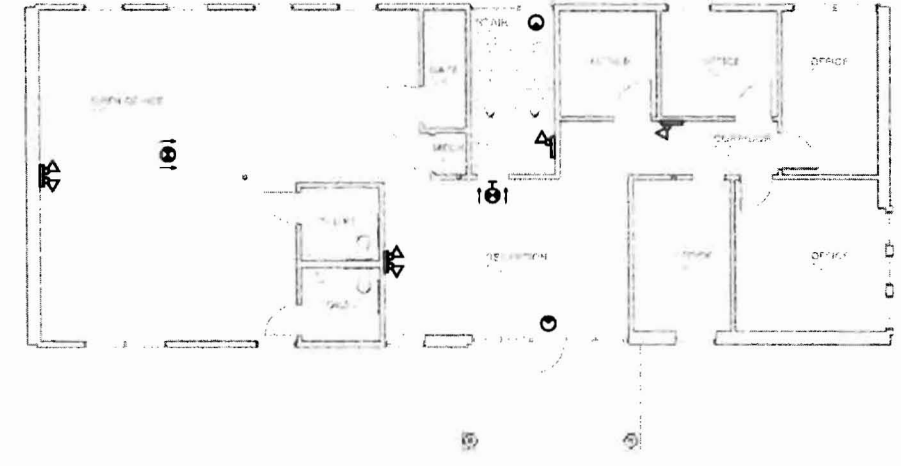
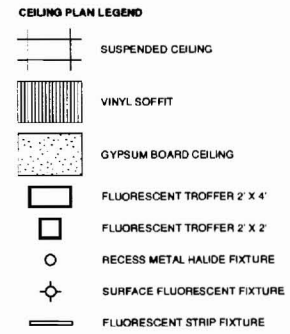
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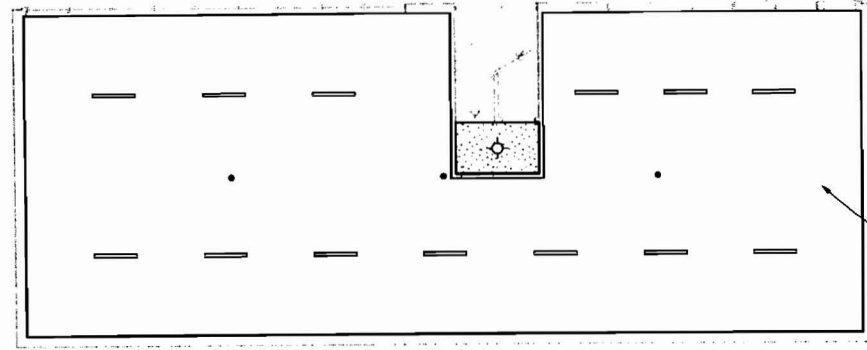
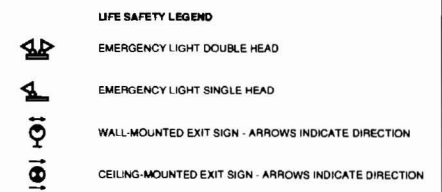
**2 FIRST FLOOR REFLECTED CEILING PLAN**  
 SCALE: 1/8" = 1'-0"  
 2' 4' 8' 16'

- REFLECTED CEILING PLAN NOTES**
- HVAC ELEMENTS NOT SHOWN. FINAL LAYOUT OF DIFFUSERS, GRILLES, AND OTHER ELEMENTS TO BE BY HVAC CONTRACTOR
  - CEILING HEIGHT ON LOWER LEVEL IS EXISTING STRUCTURE TO REMAIN. CEILING HEIGHT ON FIRST FLOOR IS 8'-0" TYPICAL.

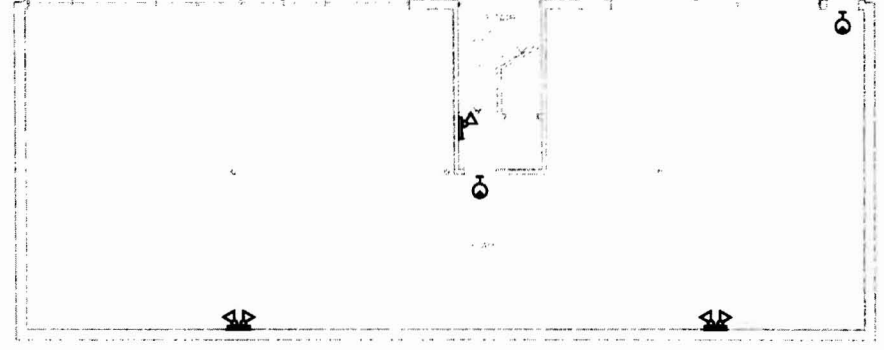


**4 FIRST FLOOR LIFE SAFETY PLAN**  
 SCALE: 1/8" = 1'-0"  
 2' 4' 8' 16'

- LIFE SAFETY PLAN NOTES**
- PROVIDE LIFE SAFETY SYSTEM ELEMENTS AS SHOWN ON LIFE SAFETY PLANS: EXIT SIGNS AND EMERGENCY LIGHTING.



**1 LOWER LEVEL REFLECTED CEILING PLAN**  
 SCALE: 1/8" = 1'-0"  
 2' 4' 8' 16'



**3 LOWER LEVEL LIFE SAFETY PLAN**  
 SCALE: 1/8" = 1'-0"  
 2' 4' 8' 16'



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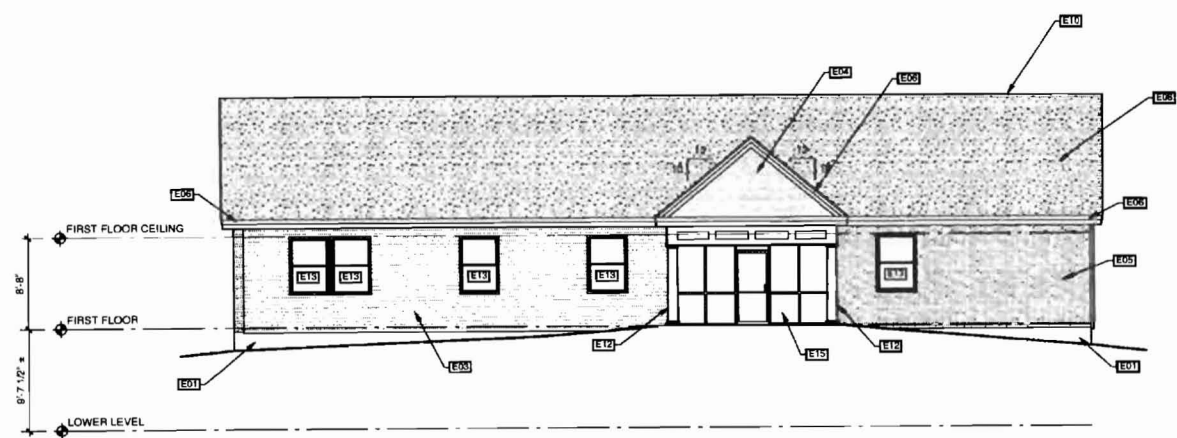
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 CEILING AND LIFE SAFETY PLANS

**Scale:** 1/8" = 1'-0"  
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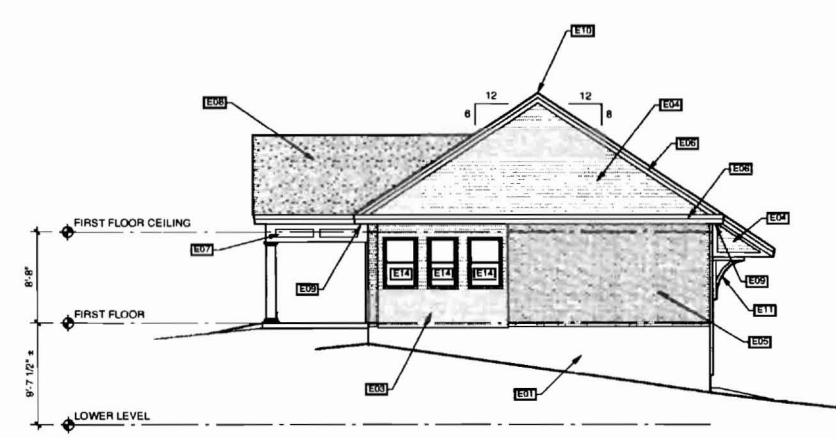
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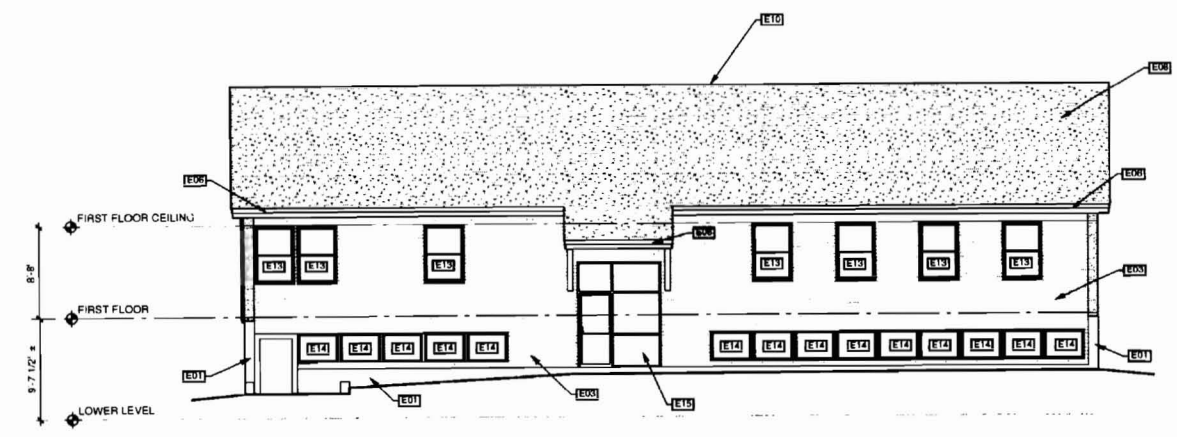


1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"  
2' 4' 8' 16'

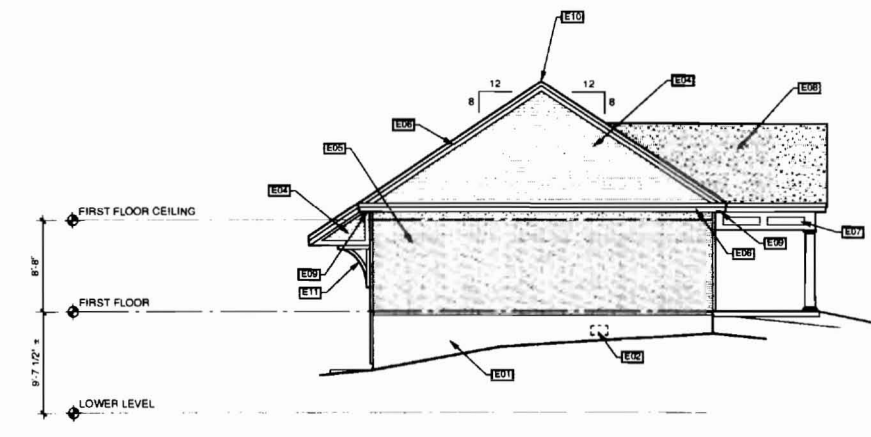


2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"  
2' 4' 8' 16'

- EXTERIOR FINISH KEYNOTES**
- E01 EXISTING CONCRETE FOUNDATION
  - E02 FILL IN VENT OPENING WITH CONCRETE
  - E03 WOOD FRAME WALL: EXISTING STUD FRAMING, EXISTING WOOD SHEATHING, NEW HOUSEWRAP, INSULATED SHEATHING, VINYL SIDING
  - E04 WOOD FRAME GABLE: NEW WOOD STUD FRAMING, NEW WOOD SHEATHING, NEW HOUSEWRAP, VINYL SIDING
  - E05 MASONRY WALL: EXISTING BRICK MASONRY
  - E06 1X AZAK TRIM
  - E07 AZAK PANELING
  - E08 ROOF SYSTEM: NEW WOOD TRUSS FRAMING, NEW ROOF SHEATHING, ICE & WATER SHIELD OVER ENTIRE ROOF, ARCHITECTURAL GRADE ASPHALT SHINGLES, ALUMINUM DRIP EDGE. SEE STRUCTURAL DRAWINGS FOR FRAMING DETAILS
  - E09 CONTINUOUS SOFFIT VENT
  - E10 CONTINUOUS RIDGE VENT
  - E11 DECORATIVE BRACKETS AT SIDES OF REAR CANOPY
  - E12 NEW FRP COLUMN OVER EXISTING STEEL COLUMN
  - E13 NEW WINDOW
  - E14 EXISTING WINDOW
  - E15 NEW ALUMINUM STOREFRONT FRAMING, GLASS, AND DOOR



3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"  
2' 4' 8' 16'



4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"  
2' 4' 8' 16'

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Title  
ELEVATIONS

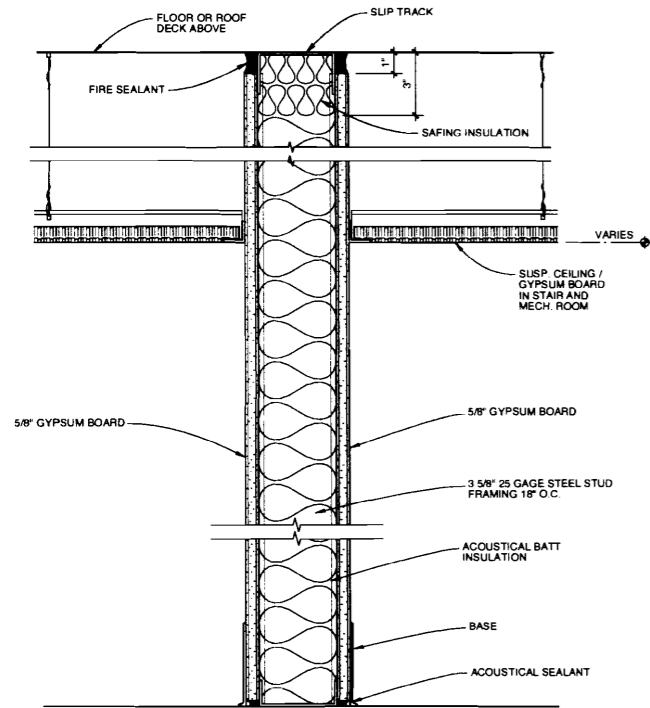
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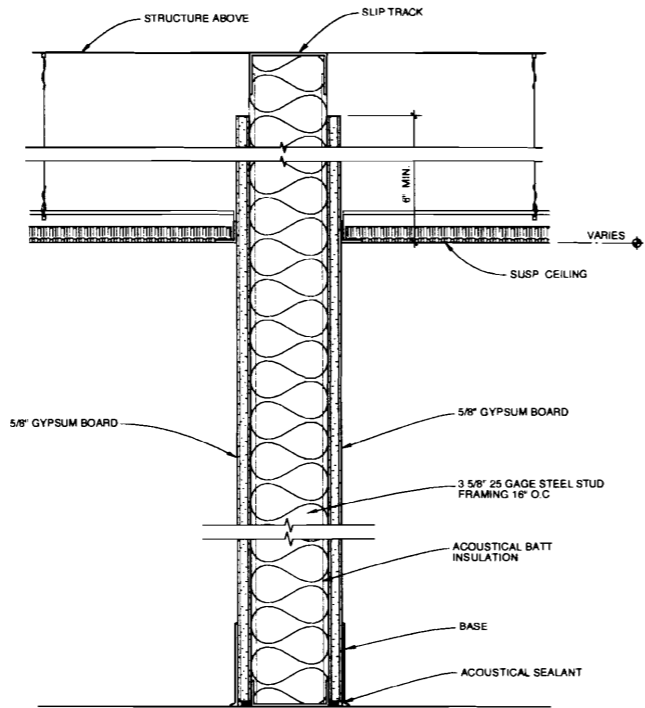
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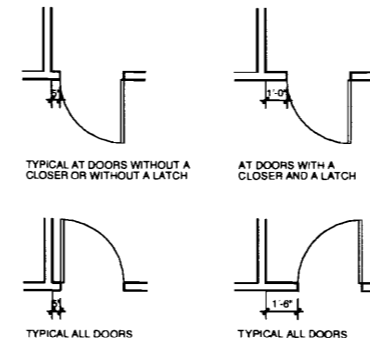
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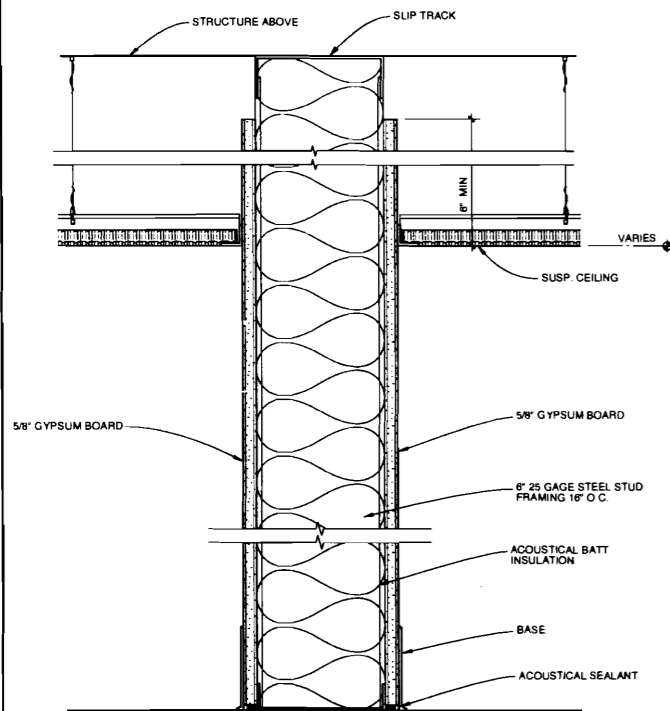
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SCALE: 3" = 1'-0"  
1' 2' 4' 8'



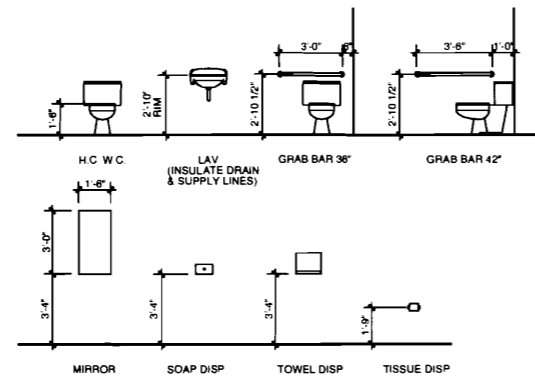
**2 PARTITION TYPE P2**  
SCALE: 3" = 1'-0"  
1' 2' 4' 8'



**5 TYPICAL DOOR JAMB CLEARANCES**  
SCALE: 1/4" = 1'-0"  
1' 2' 4' 8'



**3 PARTITION TYPE P3**  
SCALE: 3" = 1'-0"



**4 TOILET FIXTURE MOUNTING HEIGHTS**  
SCALE: 1/4" = 1'-0"  
1' 2' 4' 8'

NOTE:  
PROVIDE SOLID WOOD  
BLOCKING IN WALL FOR  
MOUNTING OF ALL  
WALL-MOUNTED ITEMS  
OPTION: PROVIDE 6"  
WIDE 18 GAGE METAL  
STRIP INSTEAD OF  
WOOD FOR ALL BUT  
GRAB BARS

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**Title**

DETAILS

**Scale:** AS NOTED

**Date:** 7/30/09

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**A4**