



Certificate of Design

Date: July 31, 2009

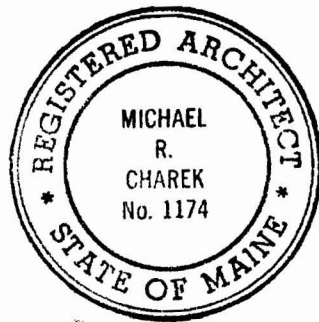
From: Michael Charek Architects

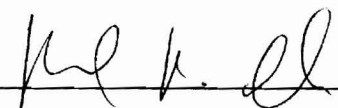
To the best of my knowledge and belief,
These plans and / or specifications covering construction work on:

Offices for H&R Block:

Renovation of existing building into office space for H&R Block.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: 

Title: Principal

Firm: Michael Charek Architects

Address: 25 Hartley Street

Portland, ME 04103

Phone: 207-761-0556

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

From: Marge Schmuckal
To: Jean Fraser
Date: 8/7/2009 11:45:55 AM
Subject: H & R Block

Jean,
I have a building permit application for this lot on Auburn Street. Is it ok to issue the building permit at this time?
Marge

CITY OF PORTLAND, MAINE

PLANNING BOARD

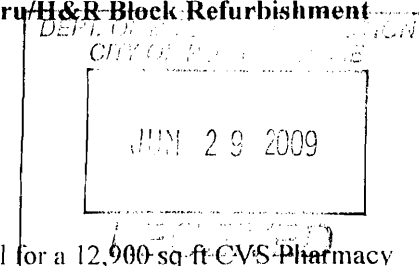
David Silk, Chair
Shalom Odokara, Vice Chair
Bill Hall
Joe Lewis
Lee Lowry, III
Janice Tevanian
Michael J. Patterson

June 23, 2009

A & D Realty LLC
c/o Frank Normandin
Winslow Property Management
5 Militia Drive
Lexington, MA 02421

Bradlee Mezquita
Appledore Engineering, Inc
177 Corporate Drive
Portsmouth, NH 03801

**RE: Northgate Plaza/CVS Expansion with Pharmacy Drive-thru/H&R Block Refurbishment
Vicinity of 125 Auburn Street
Application # 2009-0010
CBL 325 C001 and C023**



Dear Mr. Normandin and Mr. Mezquita:

On June 9, 2009, the Portland Planning Board considered the proposal for a 12,900 sq ft CVS Pharmacy with drive-thru service at the north end of Northgate Plaza, and the refurbishment of the existing building at 125 Auburn Street for H&R Block. The Planning Board reviewed the proposal for conformance with the B2 Conditional Use Standards and Site Plan Ordinance. The Planning Board voted 4-0 (Odokara, Lewis and Tevanian absent) to approve the application with the following motions and conditions as presented below.

CONDITIONAL USE AND SITE PLAN REVIEW

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in the Planning Board Report # 24-09, relevant to Portland's Site Plan Ordinance, Conditional Use Standards and other regulations, and the testimony presented at the Planning Board and other findings, the Planning Board voted 4-0 (Odokara, Lewis and Tevanian absent):

A. Re Lot C-1 Northgate Plaza/CVS Expansion/Drive thru:

That the plan is in conformance with the site plan standards of the land use code, and the proposed conditional use for a drive-thru adjacent to a residential use or zone is in conformance with the standards of the Land Use Code, Section 14-183 for the B2 zone, subject to the following conditions:

- i. That the applicant shall submit copies of the required permits from the MDEP prior to the issuance of a building permit; and
- ii. The applicant shall provide documentation, prior to the issuance of a building permit, that the submitted *Maine Traffic Resources Drive Through Survey* took place during a peak month in terms of seasonal activity and traffic activity at the drive-through. If the supporting documentation indicates that the reported queue estimate is insufficient, the applicant shall submit revised proposals to mitigate or provide adequate stacking, to be reviewed and approved by the Planning Authority prior to the issuance of a building permit; and

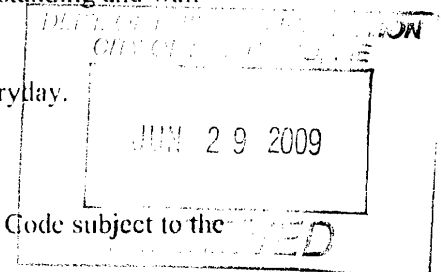
- iii. That the final plan set shall incorporate the submitted Plan of the Drive-thru/Crosswalk Details, dated June 8, 2009 which confirms details of measures and design elements (e.g. signage, sidewalk material, bollards, etc.) along the frontage of the shopping center that would warn pedestrians of potential vehicle conflict; and
- iv. The applicant shall be responsible for contributing \$2,500.00 towards the installation of pedestrian "count-down" signal heads for the shopping center driveway at the Auburn Street/Site Drive intersection, prior to the issuance of a Certificate of Occupancy; and
- v. That the Landscape Plan shall be revised and submitted for review and approval prior to the issuance of a building permit; such revisions to include raising the fence along the rear of the site to 8 feet and extending it 60-75 feet in an easterly direction to screen the Cyr property; tree and other planting along the proposed fencing; and two to three trees in the linear rain garden if compatible with the storm water plan; and
- vi. That the applicant shall submit a revised lighting proposal, including catalog cuts, pole heights and associated photometric plan, for review and approval by the Planning Authority prior to issuance of a building permit; and
- vii. That the applicant shall install wooden guard rails around the rain gardens. The wooden guard rails may allow a reasonable number of openings to allow pedestrian access; and
- viii. All signage, whether included in the approved plan set or not (both free standing and wall mounted) shall be subject to separate sign permits and approvals; and

ix. That the pharmacy drive-thru hours shall be limited to 7am to 11pm every day.

B. Re Lot C-23 Refurbishment of existing building for I&R Block:

That the plan is in conformance with the site plan standards of the Land Use Code subject to the following conditions:

- i. That in the event the applicant or his successor sell Lot C-23, a permanent easement that secures additional parking spaces (the number being as necessary to meet zoning requirements in place at that time) located in the Plaza for the dedicated use of Lot C-23, shall be submitted for the City's Associate Corporation Counsel review and approval prior to the sale; and
- ii. That the applicant shall submit a revised lighting proposal, including catalog cuts, pole heights and associated photometric plan, for review and approval by the Planning Authority prior to issuance of a building permit; and
- iii. All signage (both free standing and wall mounted), whether included in the approved plan set or not, shall be subject to separate sign permits and approvals.



Please note the following provisions and requirements for all site plan and subdivision approvals:

- 1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of this article. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation

and impervious surfaces shown on the site plan. No action, other than an amendment approved by the planning authority or Planning Board, and field changes approved by the Public Services authority as provided herein, by any authority or department shall authorize any such modification or alteration.

2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans.
4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater, prior to the issuance of a building permit. At the conclusion of the project, the digital as built plans shall be submitted prior to the issuance of a certificate of occupancy.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

Philip DiPierro, Development Review Coordinator, must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

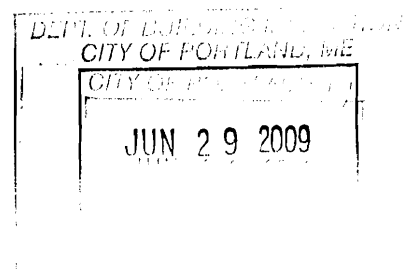
If there are any questions, please contact Jean Fraser, Planner at (207) 874- 8728.

Sincerely,



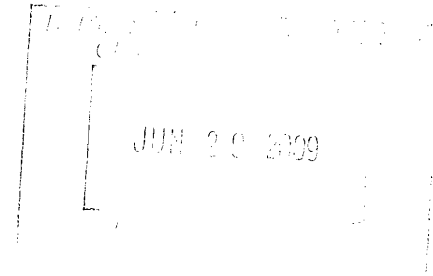
David Silk, Chair
Portland Planning Board

Attachments:
Performance Guarantee Packet



Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Gayle Guertin, Inspections Division
Lisa Danforth, Inspections Division
Lannie Dobson, Inspections Division
Michael Bobinsky, Public Services Director
Kathi Earley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Todd Merkle, Public Services
Greg Vining, Public Services
John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy: Project File



NOTE - The surveyed lot looks Different than the site plan
revised - of
Applicant: Boy Scouts to H&R Block Date: 3/4/09
Address: 125 Auburn St. C-B-L: 375-C-23

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-P

Documentation shows this lot should be completely R-P

me with application on 3/4

Interior or corner lot - corner of Northgate entry

Proposed Use/Work - to change occupancy from Boy Scouts to H&R Block professional offices

5200 sq ft Bldg to be redeveloped

Sevage Disposal - City

Lot Street Frontage - 60' min - 189.83' Now shown

Front Yard - 20' min of Average - 20' + shown

Rear Yard - 20' min 20' + shown

Side Yard - 1 story 10' min - well shown
2 story 12' min - only

Projections -

Width of Lot - 60' min - 60' + shown

Height - 45' MAX - existing - 2 story from rear

Lot Area - 6,000 sq ft min - ~~21545~~ per assessors ~~21657~~ per Survey ~~213478~~ per Survey 3/19/09

Lot Coverage (Impervious Surface) - Abuts R-3 - 70% max imperv, - 57% given more like 67% 38% pervious 62% pervious per survey figures

Area per Family - N/A

Off-street Parking - 5200 sq ft = 400 = 13 req. pkg - 13 spaces shown

Loading Bays - NO Front Yard Parking - All beyond the 20' set back

Site Plan - # 2009-0010

Shoreland Zoning/ Stream Protection - well beyond the 75' stream protection Area

Flood Plains - Panel 2 Zone X

Floor Area Ratio $\pm .55$ MAX = $5200 \div 21657 = .24$ ok

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2009-0010

Date: 3/4/2009

This project consists of two separate developments: 1) The H & R Block building on lot 375-C-23 and 2) The demolition of a couple of the existing buildings with the addition of a new CVS drive-thru building.

H&R Block Bldg located in the R-P Zone: The submittal shows a survey plan configuration and lot size which is different than what is shown on the site plan. The applicant stated that they will submit confirming information supporting what is shown on the site plan. This will change my final analysis. However, the H&R use is considered to be a professional office use and not a retail use. The professional office use is allowable in the R-P Zone. This lot is not located within a Stream Protection Zone. There is only superficial exterior work to the building that does not increase the existing floor area. There is a new 13 space parking lot which abuts a residential use. There is no parking within the required 20' front yard area. There is a 6' fence that is being proposed between the parking and the adjoining residential lot as required under 14-339. The impervious surface and floor area ratio is apparently being met. I await the revised plans.

Northgate Plaza - new CVS drive-thru: This project is within the B-2 Business Zone. The Northgate Plaza was originally building in 1970, prior to many current regulations. Because a double drive-thru is proposed, and the property abuts a residential zone in the rear, a conditional use approval by the Planning Board is required. All regular setbacks are being met. The applicant states that 78.6% of impervious surface will be created compared to 80% required in the B-2 Zone. The biggest concern is the location of this project abutting an Urban Impaired Stream (Fallbrook) in the rear. Currently the existing pavement abuts the stream. Currently part of their building is within the 75' required setback from the Stream. Currently 19 parking spaces are located within 75' of the stream. The new proposal reduces those 19 parking spaces to 13 parking spaces within 75' of the stream. The new building will have a smaller portion of their building within 75' of the stream. Under 14-453 The planning board may approve alterations to structures in existence as of June 15, 1992. They may be expanded once during the lifetime of the structure up to twenty-five (25) feet toward a stream or tributary stream, provided that the setback is not reduced to less than forty (40) feet and the floor area or volume is not increased by more than thirty (30) percent. The applicant has not submitted all this information at this time. The area of this portion of the lot is not located within a floodplain. (panel 2). The applicant has been asked to further mitigate influences on the impaired stream by not storing snow adjacent to the stream before trucking it out. The applicant has also been asked to consider a raingarden to reduce sheeting run-off to the stream.

Marge Schmuckal
Zoning Administrator

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2009-0010

Date: 3/30/2009

I have reviewed new plans dated March 13, 2009 and received on March 18, 2009.

Regarding the H & R lot: The survey has been revised to show the lot to be 23,478 square feet. This is the figure I have used instead of the rounded up figure that the applicant has used. The new submittal, by my measuring and calculation shows an impervious surface of 62% (38% pervious) which is under the maximum 70% allowed based upon the adjoining R-3 Zone. Section 14-339 States: Where off-street parking for more than six (6) vehicles is required or provided on a lot in any business zone, the project shall provide and maintain a fence not less than 48" height between such off-street parking and that part of the lot line involved. The applicant is proposing a 6' screened fence to meet this requirement as shown on the submitted plans. Any artificial lighting shall be shaded or screened. I am not seeing any such lighting proposed. The revised plans meet the R-P Zone requirements.

Northgate Plaza: The current submittal reduces the double drive-thru to a single drive-thru. The applicant is also stating that snow storage will no longer be stored along the edge of the Fallbrook, but instead will be stored elsewhere before trucking it from the site. The new submittal also addresses the square footage and volume pre and post development. Predevelopment shows an area of 519 sq feet and 10,380 cubic feet 59' from the edge of wetlands of the Fallbrook. The postdevelopment shows a reduction to 430 sq feet and 10,169 cubic feet which is 63 feet from the edge of wetlands of the Fallbrook. The new development has reduced the impact on the Fallbrook.

Marge Schmuckal
Zoning Administrator

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2009-0010

Date: 6/8/2009

I have again reviewed the revised submitted plans received on May 20, 2009. The section of the lot which will house H & R Block is meeting all the R-P residential zone requirements. Please remember that the H & R Bock building and Northgate shopping center is all one lot. There is no proposal to divide the lot with this project. Parking as required under Zoning is being met for H & R Block and Northgate. The Northgate portion of the property is meeting all the Zoning requirements of the B-2 Zone.

Separate permits shall be required for any new signage.

Marge Schmuckal
Zoning Administrator

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2009-0010

Date: 4/1/2009

I've been asked to further explain several previous comments.

First of all, separate permits and approvals are required for any new signage. It should be pointed out at this time that the R-P Residence-Professional Zone only allows free-standing signs. Building signs are not allowed, other than incidental and/or directory signs. Signage Table 2.3 regarding R-P zones allow a maximum area for free-standing signs to be no more than 30 square feet, with a maximum height of 8 feet, and a minimum 5 foot setback from property lines. Only one sign is allowed per lot. The depicted building signs shown on the submitted plans do not meet the criteria of the sign ordinance.

As stated previously, I have determined that H & R Block is a professional office. There is a definition in 14-47 that states that a professional office is "the office of a doctor, dentist, optometrist, psychologist, accountant, lawyer, architect, engineer or similar professional.". The R-6 zone goes further in the definition. It is pointed out that it is valid to use the further description as written in the R-6 zone, because there is only one grouping of professional office. The term professional office does not change from zone to zone. The R-6 zone elaborates further by stating: "Professional offices of member of a recognized profession maintained for the conduct of that profession. Professional office uses exclude personal services, retail services, and veterinarians. The illustrative examples that follow indicate the type of professional offices permitted: health care practitioner, attorney, social worker, engineer, architect, accountant, real estate agent, insurance agent". I consider H & R Block to be a similar profession to an accountant. I do know for a fact that their agents must take courses and pass tests to be certified on a yearly basis in order to work for H & R Block. It is a professional office, not a retail use. The ordinance does not make any restrictions on professional offices for hours of operations, or numbers of clients. It is recognized that all businesses such as retail, professional offices, personal services and other types of uses are always trying to increase their customer service base. That is a standard of our economic system. If anything, with current home computer applications readily accessible, professional services such as H & R Block may be loosing their customer base. If an abutter feels that my determination is flawed, they would have 30 days from the date of this memo to submitted an interpretation appeal to the Zoning Board of Appeals. Failure to appeal within the 30 days renders my decision final and binding and not subject to further appeals.

Marge Schmuckal
Zoning Administrator

Table 2.3

Residence-Professional (R-P) Zone

Freestanding Signs

Area	30 sq. ft.
Height	8'
Setback	5'
# Permitted Per Lot	1 (a)

- (a) Lots fronting on two or more streets are allowed one freestanding sign of equivalent size for each street frontage with vehicular entry, provided such signs are not readily concurrently visible.

Building Signs

None allowed, other than incidental and/or directory signs.

site through more efficient utilization of land or buildings, and will not cause significant physical encroachment into established residential areas; and

- b. The proposed use will not cause significant displacement or conversion of residential uses existing as of June 1, 1983, or thereafter; and
- c. In the case of a use or use expansion which constitutes a combination of the above-listed uses with capacity for concurrent operations, the applicable minimum lot sizes shall be cumulative.

(c) *Other:*

- 1. Utility substations, such as water and sewage pumping stations and standpipes, electric power substations, transformer stations, and telephone electronic equipment enclosures and other similar structures, provided that such uses are suitably screened and landscaped so as to ensure compatibility with the surrounding neighborhood;
- 2. Professional offices of a member of a recognized profession maintained for the conduct of that profession. Professional office uses exclude personal services, retail services, and veterinarians.

The illustrative examples that follow indicate the type of professional offices permitted: health care practitioner, attorney, social worker, engineer, architect, accountant, real estate agent, insurance agent.

Professional office uses shall meet the following standards in addition to provisions of section 14-474, except that subsections a., b., c. and d. of this section 14-137(c)2 shall not apply to the use of any building not designed or constructed for residential use, which was not in actual use as a

bona fide guests accompanying them, in order to promote fellowship, social living, proper recreation, civic responsibility, neighborhood responsibility, community welfare or other endeavors. It shall be permissible to serve food and meals on such premises provided adequate dining room space and kitchen facility are available and are provided within all regulations of this article and other applicable codes and ordinances.

Processing: Any operation changing the nature of material or materials such as chemical composition or physical qualities. Does not include operations described as fabrication.

Professional office: The office of a doctor, dentist, optometrist, psychologist, accountant, lawyer, architect, engineer or similar professional.

Recent flood plain soils: Recent flood plain soils include the following soil series as described and identified by the National Cooperative Soil Survey:

Alluvial	Medomak
Charles	Ondawa
Cornish	Podunk
Fryeburg	Rumney
Hadley	Saco
Limerick	Suncook
Lovewell	Winooski

Recreation facilities: Any establishment designed or equipped for the conduct of sports or indoor leisure-time recreational activities.

Restaurant: Any food service establishment, as defined by section 11-16 of this Code, with indoor seating capacity for ten (10) or more patrons.



PORTLAND MAINE

Planning Division
Jean Fraser, Planner

8-20-2009

Marge

Re: Northgate - H+R Block +
CVS Expansion
2009-0010

Further to my update AUG 25 2009
yesterday;

- ① Attached are the key drawings as approved + OK to use to review Building Permit(s) (one landscape note is missing - rest of this "approved" set is in 'O' drive 125 Auburn Post approval 2002 C SITE PLAN REVIEW 8-18-09)
- ② You will see from the attached e-mail to the applicant's engineers that the lighting seems to be problematic for them. Planning sign-offs for the H+R Block Bldg permit will depend on getting better photometric + final elevation facing neighbors (proposed windows to be omitted)
- ③ When they submit for CVS New build Building Permit (after a demo permit) Planning sign-offs will also depend on the lighting proposals being approved.
- ④ Stamped set will be brought down ^{once Per/Grai/} _{insp fee are paid. dan}

389 Congress Street, 4th floor • Portland, ME • (207) 874-8728 • Fx 756-8258

Email: jf@portlandmaine.gov

From: Jean Fraser
To: GYoung@appledoreeng.com
Date: 8/20/2009 2:29:27 PM
Subject: Fwd: Progress re final review on Northgate

AUG 25 2009

Gretchen,

This e-mail confirms the current status re the plans and conditions:

H& R Block

The proposals re the drive and sidewalk are approved as diminimus amendments.

The proposed lighting for the H&R Block area is basically OK but yesterday I did not notice that this plan 1) does not show the light levels at the property line with the Scotts- which I need, especially as the average for the parking area next to the Scotts is above the average we usually require (its 1.7; our standard is 1.25); and 2) shows the wrong lamp fixture for the 2 lights in the parking area (shows wall mounted here); and 3) the wall mounted lights (H810 100S) shown on the building can tilt upward and therefore are not full cut off as required by our standards (copy attached); nor does the spec mention the inclusion of "House Side Shield" which might be needed for external glare control. Given the proximity to the Mercy building, these building mounted lights must be full cut off in type. I think that the parking lot lights should be on a timer so that they are not on overnight next to the residential property.

We also need the revised landscape plan (adding note re the preservation of all the trees to match the demo plan, particularly the one that the narrowing of the drive was intedned to save) and the submission of the revised elevations.

CVS part of the site

I have just heard from Tom Errico and he has confirmed (in a formal e-mail) that your recent submission regarding traffic data meets the condition of approval (Aii).

As I indicated in yesterday's e-mail, the relocation of the catchbasins and amendments re utilities are acceptable diminimus amendments.

If there are any proposed alterations to the outside elevations of the CVS building, please send the revised elevations to us for review and approval; again I believe that these would be considered diminimus but we need to see them and document the changes asap and preferrably before a building permit application is made.

The wooden railings along the raingarden (ref conditions Avii) are acceptable as shown on the plans submitted 8.19.09, as is the extention of the 8 foot high fencing along the rear of the site as mentioned in condition Av and the revisions to the Landscape Plan along the buffer/stream and in the rain garden (which address condition Av.).

The Photometric Plan needs to be resolved before the Building Permit for CVS new construction is issued. I suggest you write a letter to me (that I can show to the Director of Planning) that explains why the areas that exceed the City's max of 5 footcandles can not be avoided; it would help if this letter is cross referenced to the plan (each light should be numbered; just after the Hearing you showed me where the pole height is listed, but the poles are not numbered on the plan and also need to be identified as existing or proposed). The Drive through area has some very high levels and the question is whether these will cause glare for drivers or pedestrians. Also, at the property line with the Mercy buidling the levels should be 0.1 footcandles and the plan indicates these are at 1.3 footcandles- which may be an exisiting situation resulting from a previous site plan approval but I would like to confirm.

An explanation re these issues would allow us (or our lighting consultant) to determine if the lighting

proposals are acceptable, given the need to integrate with an existing system. You may feel a meeting would be a better way to resolve the lighting questions and we could set that up for early September if you would prefer that approach.

I note that conditions Aiv has been met ie payment of the \$2500 towards pedestrian signal heads at the access.

Please note that building permits will not be issued until the payment of the Performance Guarantee and Inspection Fee for the entire project; Phil diPierro (207-874-8632) is the contact for these and has spoken to Frank Normandin.

I think that covers all of the issues; please telephone me if you have any questions (I am out of the office tomorrow but in Mon-Thur of next week).

Jean

Jean Fraser, Planner
City of Portland
(207) 874 8728

>>> "Gretchen Young, P.E." <GYoung@appledoreeng.com> 8/19/2009 10:37:38 AM >>>
Jean,

Attached is the photometrics plan for H&R Block, along with the cut sheets for the fixtures.

I am looking forward to hearing how the meeting went, please e-mail me or give me a call if you need anything else.

-Gretchen

TAX MAP 375
LOT C-1
SITE DATA
 LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE
 (A PORTION OF THE LOT IS IN THE SP-STREAM PROTECTION ZONE)
 PERMITTED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES, RETAIL ESTABLISHMENTS, RESTAURANTS
 CONDITIONAL USE: DRIVE-THRU WHICH IS ADJACENT TO ANY RESIDENTIAL USE OR ZONE

DIMENSIONAL REQUIREMENTS:	COMMUNITY BUSINESS (B-2)	
	REQUIRED	PROVIDED
MINIMUM LOT AREA:	10,000 SF	573,009 SF
MINIMUM STREET FRONTAGE:	50 FT	>900 FT
MINIMUM YARD SETBACK:	-	424 FT
FRONT SETBACK:	0 FT	±26 FT
SIDE SETBACK:	0 FT	±62 FT
REAR SETBACK:	20 FT	±82 FT
REAR ADJUTING RESIDENTIAL:	80 %	±77%
MAXIMUM LOT COVERAGE:	45 FT	<45 FT
MAXIMUM HEIGHT:	45 FT	<45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
SHAW'S	59,950 ± SF (1)	1/200 SF	300 SPACES	
STARBUCKS	1,870 ± SF	1/150 SF	13 SPACES	
OLYMPIA SPORTS	3,300 ± SF	1/200 SF	17 SPACES	
ROMARD'S HALLMARK	6,570 ± SF	1/200 SF	33 SPACES	
THE KENNEL SHOP	7,320 ± SF	1/200 SF	37 SPACES	
KEYBANK	1,780 ± SF	1/334 SF	6 SPACES	
VACANT (2)	7,165 ± SF	1/200 SF	36 SPACES	
UPS	3,270 ± SF	1/334 SF	10 SPACES	
TOWN AND COUNTRY	3,030 ± SF	1/334 SF	10 SPACES	
PROPOSED CVS	12,900 ± SF	1/200 SF	65 SPACES	
PROPOSED ATM	49 ± SF	1/334 SF	1 SPACE	

TOTAL: 528 SPACES 583 SPACES (3) (4)
 BICYCLE SPACES: 42 SPACES (5)
 ADA ACCESSIBLE SPACES: 12 SPACES 13 SPACES

NOTES:
 (1) SHAW'S CALCULATION ALSO INCLUDES THE 2,000 SF DEDUCTION ALLOWED UNDER SECTION 14-332(H)
 (2) VACANT USE ASSUMED AS A RETAIL ESTABLISHMENT
 (3) PARKING PROVIDED IN NORTGATE PLAZA ASSUMES SHARED PARKING BETWEEN LESSORS
 (4) TOTAL PARKING EXCLUDES 13 SPACES WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-39 (MEDICAL OFFICE BUILDING) AND 5 SPACES WHICH SHALL BE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.
 (5) TWO BICYCLE PARKING SPACES FOR EVERY TEN MOTOR VEHICLE PARKING SPACES FOR THE FIRST ONE HUNDRED REQUIRED MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY TWENTY MOTOR VEHICLE PARKING SPACE OVER ONE HUNDRED. TWENTY-TWO BICYCLE SPACES HAVE BEEN PROVIDED WITHIN LIMIT OF WORK.

PARKING REQUIREMENTS FOR MEDICAL OFFICE BUILDING WITH PARKING EASEMENT ON SITE:

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
MEDICAL OFFICE	9,941 ± SF	1/400 SF	25 SPACES	

SPACES PROVIDED ON TAX MAP 375, LOT C-39: 12 SPACES
 PARKING PROVIDED ON SITE WITH EASEMENT: 13 SPACES (1)
 TOTAL: 25 SPACES 25 SPACES

NOTES:
 (1) 13 SPACES ON NORTGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.

TAX MAP 375
LOT C-23
SITE DATA
 LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: R-P RESIDENTIAL PROFESSIONAL
 PERMITTED USE: BUSINESS SERVICES AND PROFESSIONAL OFFICES

DIMENSIONAL REQUIREMENTS:	RESIDENTIAL PROFESSIONAL (R-P)	
	REQUIRED	PROVIDED
MINIMUM LOT AREA:	6,000 SF	23,480 SF
MINIMUM STREET FRONTAGE:	60 FT	100± FT
MINIMUM LOT WIDTH:	60 FT	106± FT
MINIMUM YARD SETBACK:	20 FT*	50± FT
FRONT SETBACK:	12 FT	32± FT
SIDE SETBACK:	20 FT	43± FT
REAR SETBACK:	70 %	±53 %
MAXIMUM IMPERVIOUS SURFACE:	10% OF PARKING AREA	±0%
MINIMUM INTERIOR OPEN SPACE:	55 %	±22 %
MAXIMUM FLOOR AREA RATIO:	45 FT	<45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

OFFICES:	1/400 SF	13 SPACES	13 SPACES (1)
ADA ACCESSIBLE SPACES:	1 SPACE	2 SPACES	5 SPACES
BICYCLE SPACES:	2 SPACES	2 SPACES	5 SPACES

NOTE:
 (1) TOTAL PARKING INCLUDES 5 SPACES LOCATED ON TAX MAP 375, LOT C-1 WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.

- SITE NOTES:**
1. STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
 2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
 3. SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
 4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
 5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
 6. THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.
 7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
 9. WORK WITHIN AUBURN STREET SHALL BE COORDINATED WITH CITY OF PORTLAND AND THE MEDOT.
 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
 11. SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
 12. ALL WORK SHALL CONFORM TO THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
 13. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
 14. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
 15. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
 16. SNOW THAT CAN NOT BE ACCOMMODATED IN THE LOCATIONS SHOWN SHALL BE TAKEN OFF-SITE.

LEGEND

---	PROPERTY LINE
- - - - -	75' STREAM PROTECTION ZONE
- · - · -	ABUTTER LOT LINE
---	BUILDING SETBACK
---	EDGE OF WETLAND
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	PROPOSED CONCRETE SIDEWALK/PAD
---	PROPOSED SIGN
---	PROPOSED BOLLARD
---	PROPOSED LIGHT POLE BASE
---	PROPOSED ACCESSIBLE PARKING SPACE
---	PROPOSED VAN ACCESSIBLE PARKING SPACE
---	PROPOSED CROSSWALK
---	PROPOSED PAINTED ARROW
---	PROPOSED BIKE RACK
---	DOUBLE YELLOW LANE LINE
---	PROPOSED CURB
---	VERTICAL GRANITE CURB
---	SLOPED GRANITE CURB
---	DOOR LOCATION
---	PROPOSED CURB STOP

REVISIONS

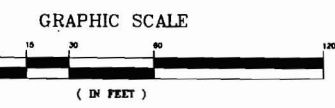
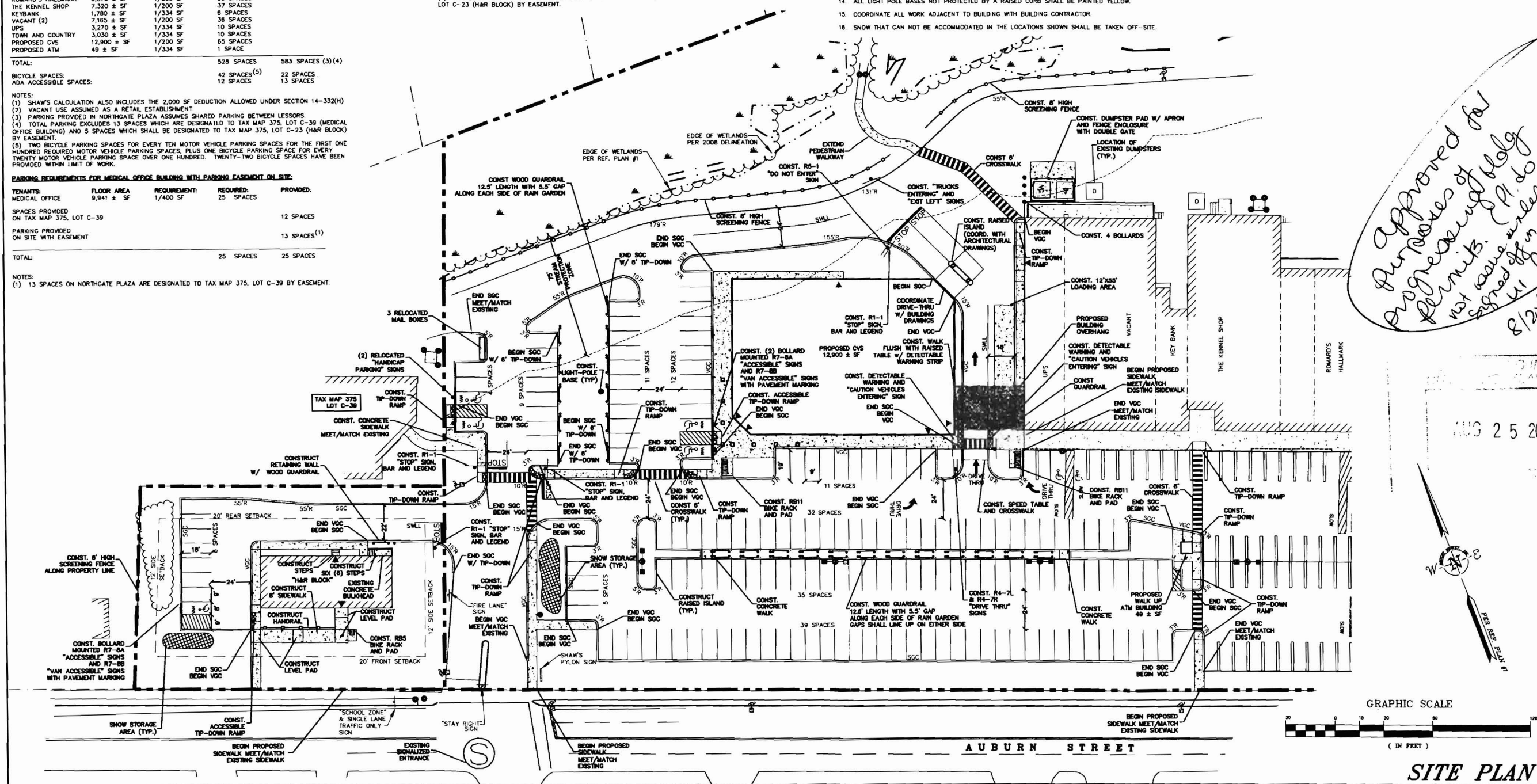
No.	Description	Date

DATE: AUGUST 18, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: GY/BJM
 PROJECT NO.: 20428
 FILE NO.: 20428-CONSTDWG

Approved for purposes of blog permits. (P) to not leave unless signed off on 8/25/09

NORTGATE PLAZA
AUBURN STREET
PORTLAND, MAINE

APPLEDORE ENGINEERING
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 ae@appledoreeng.com

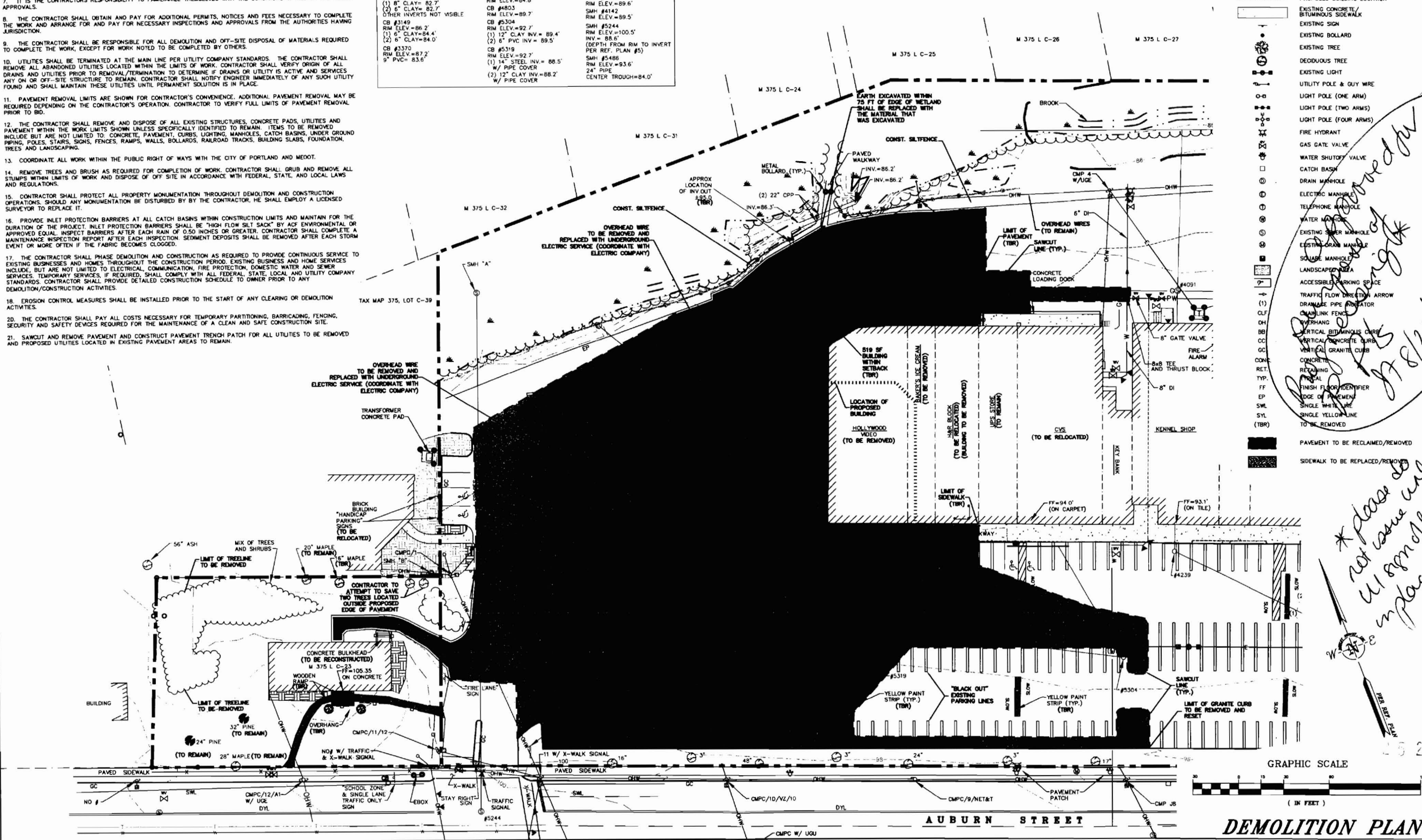


SITE PLAN C-2A

DEMOLITION NOTES:

1. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
6. SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
10. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
11. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, RAILROAD TRACKS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
13. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTLAND AND MEDOT.
14. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
15. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED SURVEYOR TO REPLACE IT.
16. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS AFTER EACH RAIN OF 0.50 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.
17. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO: ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
18. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
20. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
21. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.

SEWER & DRAINAGE STRUCTURE TABLE		
CB #1318 RIM ELEV.=88.4' 12" CPP=85.6'	CB #3441 RIM ELEV.=86.9' HOODED	SMH "A" LOCATION PER REF. PLAN #5
CB #2470 RIM ELEV.=91.0' 12" OO CLAY W/ TRAP= 95.6'	CB #4237 RIM ELEV.=91.7' (1) 8" OPP=83.8' (2) 8" CLAY=84.7' (3) 12" CPP=83.9' (4) 8" CLAY=84.7' SUMP=82.6'	SMH "B" LOCATION PER REF. PLAN #5
CB #2570 RIM ELEV.=88.5' (1) 8" OPP=83.8' (2) 8" CLAY=84.7' (3) 12" CPP=83.9' (4) 8" CLAY=84.7' SUMP=82.6'	CB #4238 RIM ELEV.=87.6' 9" PVC=82.7'	SMH #1223 RIM ELEV.=85.5' TOP OF PIPE IN= 77.5' TOP OF PIPE OUT= 76.9' INV. IN 12" AP= 77.9'
CB #2892 RIM ELEV.=87.6' 9" PVC=82.7'	CB #4239 RIM ELEV.=92.1' (1) 6" CLAY= 83.9' (2)	SMH #1224 RIM ELEV.=86.0' (1) 6" CLAY= 76.6' (2) 8" CLAY= 76.5'
CB #3124 RIM ELEV.=87.7' (1) 8" CLAY= 82.7' (2) 6" CLAY= 82.7' OTHER INVERTS NOT VISIBLE	CB #4273 RIM ELEV.=89.7' CB #4666 RIM ELEV.=84.8' CB #4803 RIM ELEV.=89.7'	SMH #1226 RIM ELEV.=83.5' TOP OF PIPE IN=76.8' TOP OF PIPE OUT=76.3'
CB #3149 RIM ELEV.=86.2' (1) 6" CLAY=84.4' (2) 6" CLAY=84.0' CB #3370 RIM ELEV.=87.2' 9" PVC= 83.6'	CB #5304 RIM ELEV.=92.7' (1) 12" CLAY INV.= 89.4' (2) 6" PVC INV.= 89.5' CB #5319 RIM ELEV.=92.7' (1) 14" STEEL INV.= 88.5' W/ PIPE COVER (2) 12" CLAY INV.=88.2' W/ PIPE COVER	SMH #4091 RIM ELEV.=90.3' SMH #4131 RIM ELEV.=89.6' SMH #4142 RIM ELEV.=89.5' SMH #5244 RIM ELEV.=100.5' INV.= 88.6' (DEPTH FROM RIM TO INVERT PER REF. PLAN #5) SMH #5486 RIM ELEV.=93.6' 24" PIPE CENTER TROUGH=84.0'



LEGEND

	PROPERTY LINE
	EDGE OF WETLAND
	EXISTING TREE LINE
	EXISTING FENCE
	EXISTING DRAINAGE
	EXISTING ELECTRIC/TELEPHONE/CABLE
	EXISTING OVERHEAD WIRE
	EXISTING WATER
	EXISTING SEWER
	EXISTING GAS
	EXISTING CONTOUR
	EXISTING 10' CONTOUR
	SAWCUT LIMIT
	PROPOSED SILT FENCE
	PROPOSED BUILDING LOCATION
	EXISTING CONCRETE/ BITUMINOUS SIDEWALK
	EXISTING SIGN
	EXISTING BOLLARD
	EXISTING TREE
	DECIDUOUS TREE
	EXISTING LIGHT
	UTILITY POLE & GUY WIRE
	LIGHT POLE (ONE ARM)
	LIGHT POLE (TWO ARMS)
	LIGHT POLE (FOUR ARMS)
	FIRE HYDRANT
	GAS GATE VALVE
	WATER SHUTOFF VALVE
	CATCH BASIN
	DRAIN MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	WATER MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING DRAIN MANHOLE
	SQUARE MANHOLE
	LANDSCAPED AREA
	ACCESSIBLE PARKING SPACE
	TRAFFIC FLOW DIRECTION ARROW
	DRAINAGE PIPE INDICATOR
	CHAIN LINK FENCE
	OVERHANG
	VERTICAL BITUMINOUS CURB
	VERTICAL CONCRETE CURB
	VERTICAL GRANITE CURB
	CONCRETE
	RETAINING WALL
	TYP.
	FINISH FLOOR IDENTIFIER
	EDGE OF PAVEMENT
	SINGLE WHITE LINE
	SINGLE YELLOW LINE
	PAVEMENT TO BE RECLAIMED/REMOVED
	SIDEWALK TO BE REPLACED/REMOVED

Approved by [Signature]

**place to use with [Signature]*

STATE OF MAINE
Professional Seal

DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: GY/BLM
PROJECT NO.: 20428
FILE NO.: 20428-CONSL.DWG

DATE: AUGUST 18, 2009

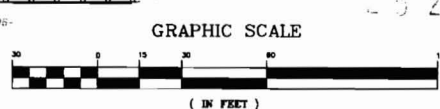
APPLEDORE ENGINEERING
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
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REVISIONS

No.	Description	Date

**NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

DEMOLITION PLAN C-1



GRADING AND DRAINAGE NOTES:

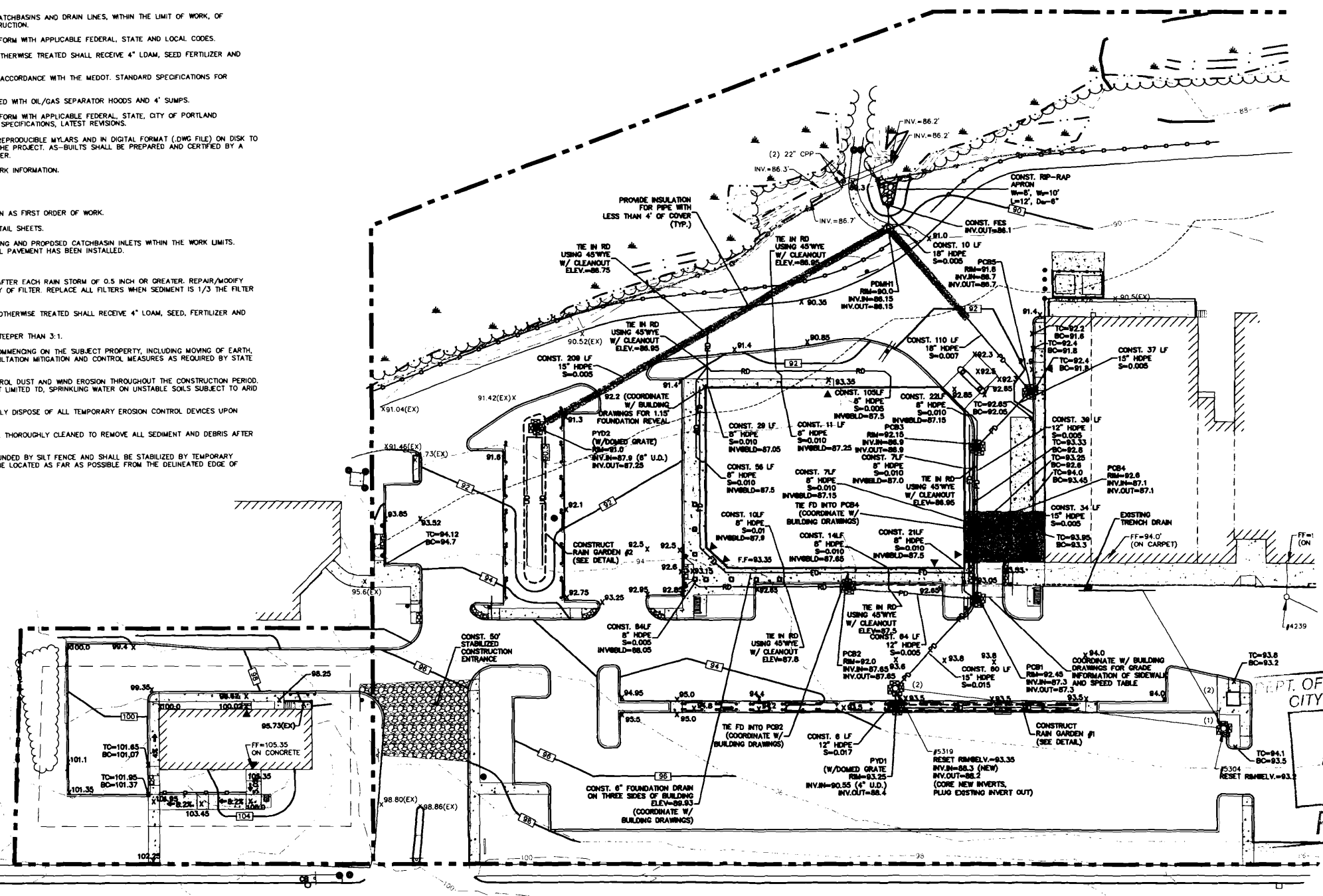
1. COMPACTION REQUIREMENTS
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-0, ADS N-12 OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED.
3. SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
4. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
5. COORDINATE WORK ADJACENT TO PROPOSED BUILDINGS WITH BUILDING CONTRACTOR.
6. ALL DRAIN PIPES WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
7. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
8. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
10. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED FERTILIZER AND MULCH.
11. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MEDOT, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
12. ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
13. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
14. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
15. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
5. INSPECT INLET PROTECTION AND SILT FENCES AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
7. CONSTRUCT EXCELSIOR MAT ON ALL SLOPES STEEPER THAN 3:1.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
12. TEMPORARY SOIL STOCKPILES SHALL BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL. SEEDING, STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND.

LEGEND

	PROPERTY LINE
	75' WETLAND BUFFER
	EDGE OF WETLAND
	EXISTING TREE LINE
	PROPOSED TREE LINE
	PROPOSED CONCRETE SIDEWALK
	EXISTING CONTOUR
	EXISTING 10' CONTOUR
	FINISH GRADE
	EXISTING DRAINAGE
	PROPOSED INSULATED DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED ROOF DRAIN
	PROPOSED FOUNDATION DRAIN
	PROPOSED UNDER DRAIN
	SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PROPOSED CONSTRUCTION ENTRANCE

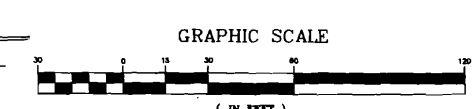


*Approved for
purpose of
grading at
8/20/09*

STRUCTURE TABLE

CB #5319	RM=83.35
(2) 12" CLAY INV.=88.2'	W/ PIPE COVER
INV. OUT=88.2'	
CB #5304	RM=83.2'
(1) 12" CLAY INV.=89.4'	
(2) 6" PVC INV.=89.5'	
CB #4239	RM ELEV.=92.1'

AUG 25 2009
REC'D



DATE: AUGUST 18, 2009	DESIGNED BY: SAM	DRAWN BY: SAM	APPROVED BY: GY/RLM	PROJECT NO.: 2042B	FILE NO.: 2042B-CONSTR.DWG
SCALE: AS SHOWN					
NORTHGATE PLAZA AUBURN STREET PORTLAND, MAINE					
APPLEDORF ENGINEERING 177 CORPORATE DRIVE PORTSMOUTH, NEW HAMPSHIRE 03801 (603) 439-8818 ae@appledoreeng.com					
C-3					

GRADING, DRAINAGE & EROSION CONTROL PLAN

UTILITY NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
SEWER - CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS
WATER - PORTLAND WATER DISTRICT
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE PORTLAND WATER DISTRICT.
- ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- ALL WORK WITHIN CITY ROW SHALL BE COORDINATED WITH CITY OF PORTLAND.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED TO CITY STANDARDS.
- EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS AND UTILITY COMPANY STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND.
- COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTLAND.
- ALL SEWER PIPE WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN, ELECTRICAL, AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.

STRUCTURE TABLE

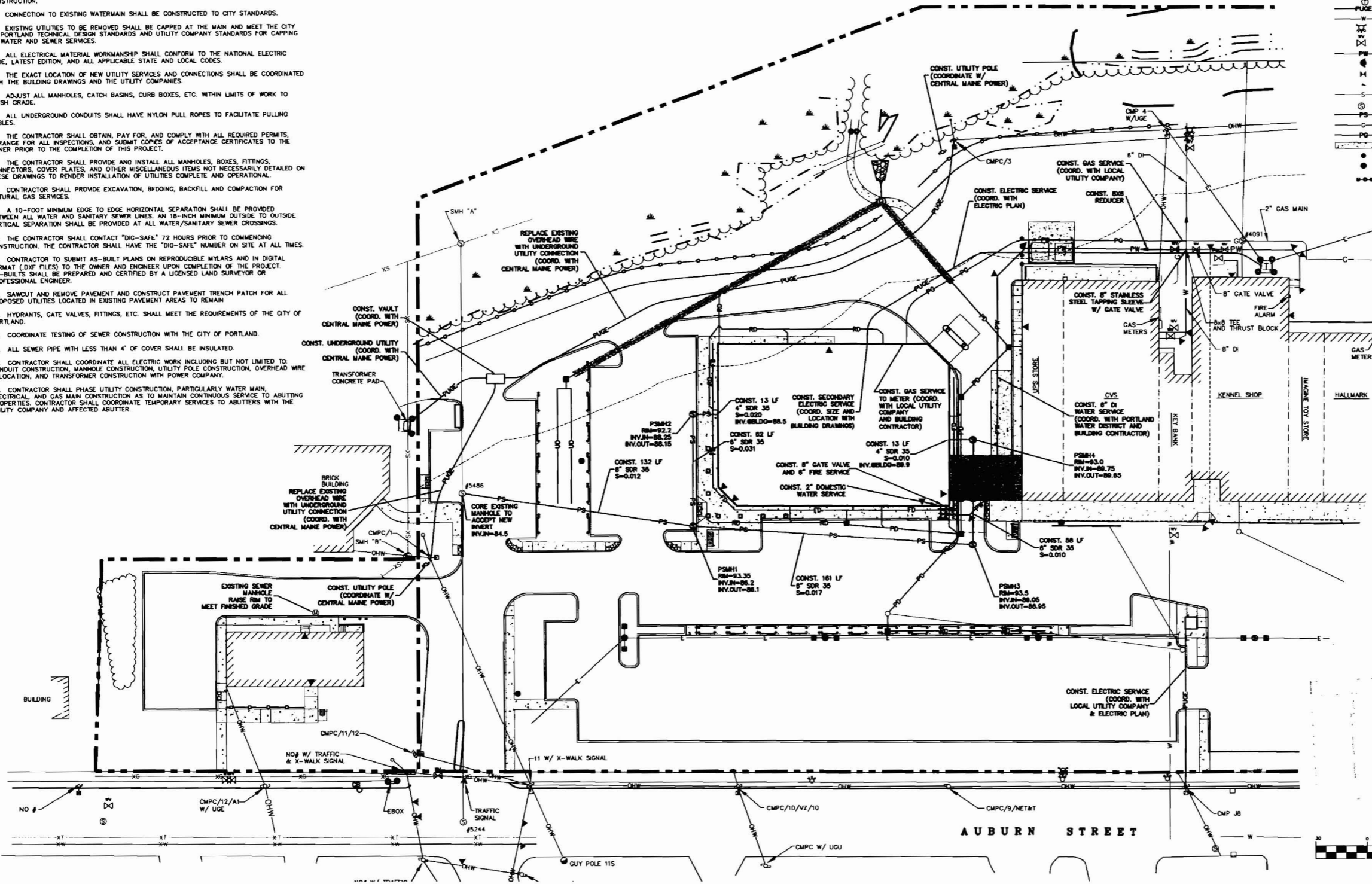
SMH #5244	RM ELEV.=100.5'
	INV.=88.6'
	(DEPTH FROM RM TO INVERT PER REF. PLAN #5)
SMH #5486	RM ELEV.=93.6'
	24" PIPE
	CENTER TROUGH=84.0'
	INV.=84.5
SMH "B"	LOCATION PER REF. PLAN #5

LIGHTING NOTES:

- CONTRACTOR TO COORDINATE WITH ELECTRICAL DRAWINGS FOR FIXTURE AND POLE MODEL AND COLOR.
- THE CONTRACTOR SHALL PROVIDE ALL CONDUITS, CONCRETE BASES, WIRING AND INSTALLATION OF ALL LIGHT FIXTURES ETC. AND WARRANTEE LABOR.
- SITE LIGHTING TO BE PER PHOTOMETRICS PLAN.
- CONTRACTOR TO COORDINATE WITH ELECTRICAL DRAWINGS FOR CONDUIT SIZE, LOCATION AND CIRCUITY PLAN.

LEGEND

	PROPERTY LINE
	(75') WETLAND BUFFER
	EDGE OF WETLAND
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING DRAINAGE
	EXISTING CATCH BASIN
	EXISTING DRAIN MANHOLE
	PROPOSED INSULATED DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED ROOF DRAIN
	PROPOSED FOUNDATION DRAIN
	PROPOSED UNDER DRAIN
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	EXISTING ELECTRIC MANHOLE
	EXISTING TELEPHONE MANHOLE
	PROPOSED UNDERGROUND ELECTRIC/TELEPHONE
	EXISTING WATER
	EXISTING FIRE HYDRANT
	EXISTING WATER GATE VALVE
	PROPOSED WATER
	PROPOSED FIRE HYDRANT
	PROPOSED WATER GATE VALVE
	PROPOSED THRUST BLOCK
	EXISTING SEWER
	EXISTING SEWER MANHOLE
	PROPOSED SEWER
	EXISTING GAS
	PROPOSED GAS
	PROPOSED CONCRETE SIDEWALK/PAD
	PROPOSED BOLLARD
	PROPOSED LIGHT POLE BASE
	EXISTING LIGHT FIXTURE



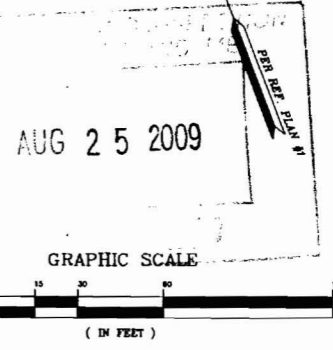
*Approved for
purposes of
Plan 8/29/09*



DATE: AUGUST 18, 2009
SCALE: AS SHOWN
DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: GY/BLM
PROJECT NO.: 2042B
FILE NO.: 2042B-CONST/DWG

**NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

APPLEDORE ENGINEERING
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
(603) 433-8818
ae@appledoreeng.com



UTILITIES PLAN

No.	Description	Appd	Date

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL, ON-SITE AND AFTER PLANTING.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATION NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT OF AGRICULTURE, LATEST REVISION.
4. ALL PLANTS MUST BE MOVED WITH THE ROOT SYSTEMS AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS SHALL BE FREELY DIG. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HELD-IN BY SETTING IN THE GROUND, AND COVERING THE BALLS WITH SOIL AND THEN WATERING DURING TRANSPORT. ALL PLANT MATERIALS SHALL BE WRAPPED WITH WIND PROOF COVERING.
5. PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
6. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE PLAN AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
7. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATION.
8. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
9. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
10. THREE (3) INCH BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED.
11. SEE PLANTING DETAILS FOR WEED BARRIER INFORMATION.
12. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
13. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
14. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
15. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1"-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
16. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
17. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.
18. EXISTING TREES SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4'-00" SNOW FENCE PLACED AT THE CRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED IN KIND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
19. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF (1) YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
21. PRE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DETAILS.

PLANT SCHEDULE:

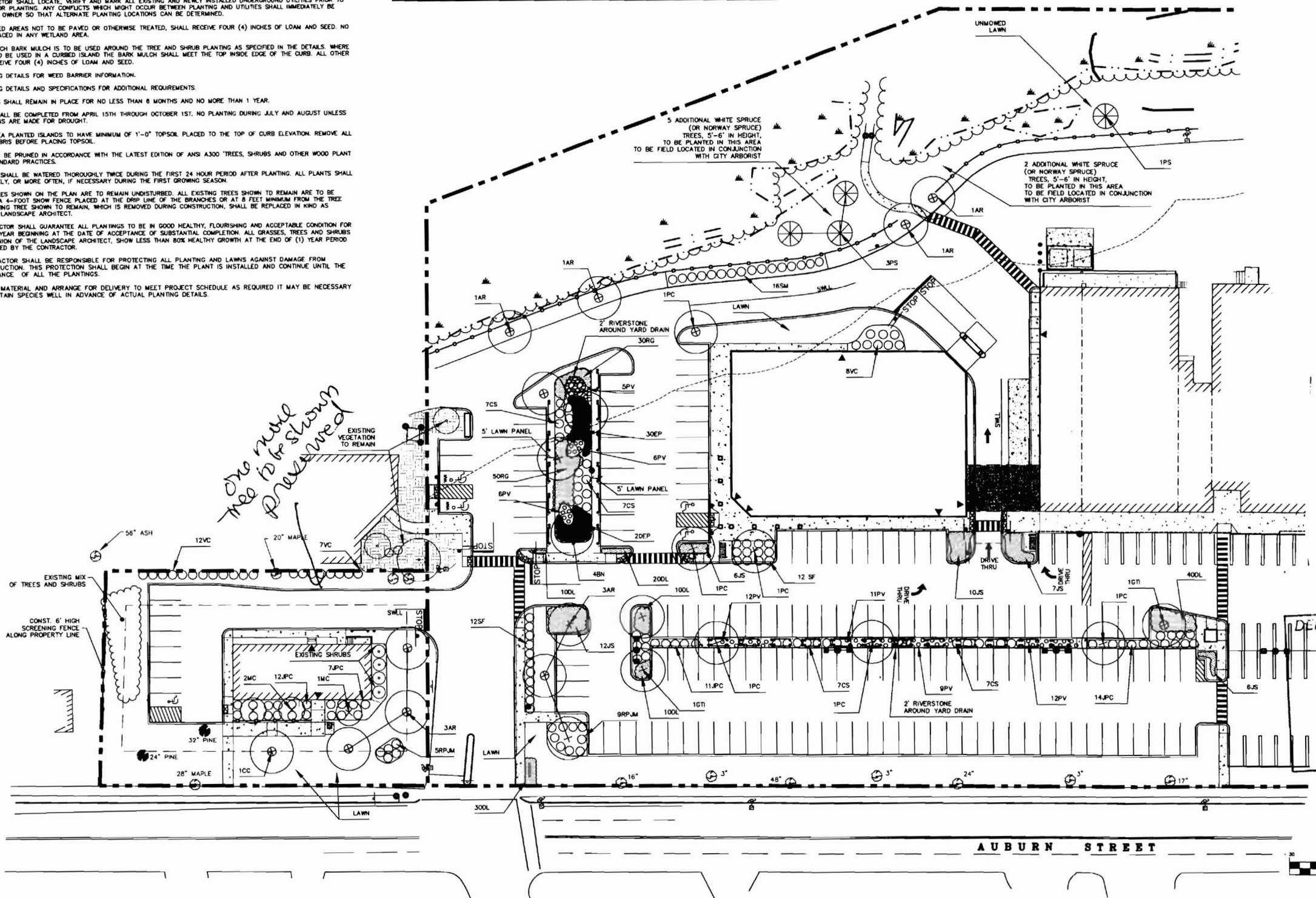
TREES	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AR	AR	ACER RUBRUM 'RED BURNET'	RED BURNET RED MAPLE	2 1/2" - 3" CALIPER	B & B
CC	CC	CORYLUS COLORATA	TURKISH FILBERT	2 1/2" - 3" CALIPER	B & B
OTI	OTI	QUERCUS TRIAQUINGENS 'SKYLINE'	SKYLINE HONEY LOCUST	2 1/2" - 3" CALIPER	B & B
PC	PC	PIRUS CALLERIANA 'CHANTICLEER'	CHANTICLEER PEAR	2 1/2" - 3" CALIPER	B & B
MC	MC	MALES CORALINEA	CORAL BERRY DOGWOOD	2 1/2" - 3" CALIPER	B & B
MC	MC	MAALANCHER CANADENSIS	SHADOW SERVICE BERRY	2 - 8" HT	B & B (CLUMP)
BN	BN	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	13 - 14" CLUMP	B & B
PS	PS	PONUS EUROPAEUS	WHITE PINE	6 - 7" HT	B & B

SHRUBS	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SM	SM	SYRIGA MEYER PALBIN	DWARF FORSYTHIA	2 1/2" - 3" HT	CONTAINER
SPJM	SPJM	SPHOODOENDRON PUM	PUM RHODODENDRON	2 - 2 1/2" HT	CONTAINER
JPC	JPC	JUNIPERUS CHINENSIS 'FITZGERALD'	COMPACT FITZGERALD JUNIPER	18" - 24" SPREAD	CONTAINER
VC	VC	VIBURNUM CASINOIDES	WITHERED VIBURNUM	2 1/2" - 3" HT	CONTAINER
SP	SP	SPIREA FROEBELI	FROEBEL SPIREA	18" - 24" HT	CONTAINER
CS	CS	CORNUS SERICEA 'ALLMANS COMPACT'	ALLMANS COMPACT RED STEM DOGWOOD	8"	CONTAINER

GROUNDCOVER & PERENNIALS	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SI	SI	SINPERIS SABINA 'SIERRA SPREADER'	DWARF SPREADER JUNIPER	18" - 24" SPREAD	CONTAINER
DL	DL	DIEMEROCALLIS 'STELLA DORO'	STELLA DORO DAYLILY	4"	CONTAINER
PV	PV	PANICUM VIRGATUM 'SHEPHERD'	SHEPHERD SWITCH GRASS	4"	CONTAINER
RG	RG	RUBROQUA 'VIOLETUM'	DOCKWORTH BLACK EYED SUSAN	4"	CONTAINER
PF	PF	PHLOX 'KONIGSBLAU'	PURPLE CONEFLOWER	4"	CONTAINER

LEGEND

- PROPERTY (LEASE) LINE
- 75' WETLAND BUFFER
- EXISTING TREE LINE
- PROPOSED TREE LINE
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED LIGHT POLE BASE
- PROPOSED TREES
- PROPOSED SHRUBS
- PROPOSED GROUND COVER



*Approved for purposes of building permits
JF 8/24/08*

No.	Description	Appd.	Date

STATE OF MAINE
 DESIGNER: SAM
 DRAWN BY: SAM
 APPROVED BY: GY/BLM
 PROJECT NO.: 2042B
 FILE NO.: 2042B-CONSTR.DWG

DATE: AUGUST 18, 2008
 SCALE: AS SHOWN

**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

**APPLEDORE
 ENGINEERING**
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 ae@appledoreeng.com

**TAX MAP 375
LOT C-1
SITE DATA**

LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: R-2 COMMUNITY BUSINESS ZONE
 (A PORTION OF THE LOT IS IN THE SP-STREAM PROTECTION ZONE)
 PERMITTED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES, RETAIL ESTABLISHMENTS, RESTAURANTS.
 CONDITIONAL USE: DRIVE-THRU WHICH IS ADJACENT TO ANY RESIDENTIAL USE OR ZONE

DIMENSIONAL REQUIREMENTS:

	REQUIRED (R-2)	PROVIDED
MINIMUM LOT AREA:	10,000 SF	575,009 SF
MINIMUM STREET FRONTAGE:	50 FT	±900 FT
MINIMUM YARD SETBACK:	0 FT	±224 FT
FRONT SETBACK:	0 FT	±228 FT
SIDE SETBACK:	0 FT	±82 FT
REAR SETBACK:	20 FT	±82 FT
REAR ABUTTING RESIDENTIAL MAXIMUM LOT COVERAGE:	80 %	±77%
MAXIMUM HEIGHT:	45 FT	±45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

TENANTS	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
SHAW'S	59,850 ± SF (1)	1/200 SF	300 SPACES	
STARBUCKS	1,870 ± SF	1/150 SF	13 SPACES	
OLYMPIA SPORTS	3,300 ± SF	1/200 SF	17 SPACES	
ROMARD'S HALLMARK	6,570 ± SF	1/200 SF	33 SPACES	
THE KENNEL SHOP	7,320 ± SF	1/200 SF	37 SPACES	
KEYBANK	1,780 ± SF	1/334 SF	6 SPACES	
VACANT (2)	7,165 ± SF	1/200 SF	36 SPACES	
UPS	3,270 ± SF	1/334 SF	10 SPACES	
TOWN AND COUNTRY	3,030 ± SF	1/334 SF	10 SPACES	
PROPOSED CVS	12,900 ± SF	1/200 SF	65 SPACES	
PROPOSED ATM	48 ± SF	1/334 SF	1 SPACE	
TOTAL:			528 SPACES	583 SPACES (3)(4)
BICYCLE SPACES:			42 SPACES (5)	22 SPACES
ADA ACCESSIBLE SPACES:			12 SPACES	13 SPACES

NOTES:
 (1) SHAW'S CALCULATION ALSO INCLUDES THE 2,000 SF DEDUCTION ALLOWED UNDER SECTION 14-352(H)
 (2) VACANT USE ASSUMED AS A RETAIL ESTABLISHMENT.
 (3) PARKING PROVIDED IN NORTHGATE PLAZA ASSUMES SHARED PARKING BETWEEN LESSORS.
 (4) TOTAL PARKING EXCLUDES 13 SPACES WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-39 (MEDICAL OFFICE BUILDING) AND 5 SPACES WHICH SHALL BE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) OFFICE BUILDING.
 (5) TWO BICYCLE PARKING SPACES FOR EVERY TEN MOTOR VEHICLE PARKING SPACES FOR THE FIRST ONE HUNDRED REQUIRED MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY TWENTY MOTOR VEHICLE PARKING SPACE OVER ONE HUNDRED. TWENTY-TWO BICYCLE SPACES HAVE BEEN PROVIDED WITHIN LIMIT OF WORK.

PARKING REQUIREMENTS FOR MEDICAL OFFICE BUILDING WITH PARKING EASEMENT ON SITE:

TENANTS	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
MEDICAL OFFICE	9,841 ± SF	1/400 SF	25 SPACES	
TOTAL:			25 SPACES	25 SPACES

NOTES:
 (1) 13 SPACES ON NORTHGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.

**TAX MAP 375
LOT C-23
SITE DATA**

LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: R-P RESIDENTIAL PROFESSIONAL
 PERMITTED USE: BUSINESS SERVICES AND PROFESSIONAL OFFICES

DIMENSIONAL REQUIREMENTS:

	REQUIRED (R-P)	PROVIDED
MINIMUM LOT AREA:	6,000 SF	23,480 SF
MINIMUM STREET FRONTAGE:	60 FT	190± FT
MINIMUM LOT WIDTH:	60 FT	186± FT
MINIMUM YARD SETBACK:	20 FT	50± FT
FRONT SETBACK:	12 FT	32± FT
SIDE SETBACK:	20 FT	43± FT
REAR SETBACK:	20 FT	45± FT
MAXIMUM INTERVENEUS SURFACE:	70 %	±53 %
MINIMUM INTERIOR OPEN SPACE:	10% OF PARKING AREA	±0%
MAXIMUM FLOOR AREA RATIO:	35 %	±22 %
MAXIMUM HEIGHT:	45 FT	±45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

	REQUIRED	PROVIDED
OFFICES: 1/400 SF	13 SPACES	13 SPACES (1)
5,200/400		
ADA ACCESSIBLE SPACES:	1 SPACE	2 SPACES
BICYCLE SPACES:	2 SPACES	5 SPACES

NOTE:
 (1) TOTAL PARKING INCLUDES 5 SPACES LOCATED ON TAX MAP 375, LOT C-1 WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.

SITE NOTES:

- STRIPED PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "T").
- ALL PAYMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAYMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3"-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, P.C'S & P.T'S.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
- WORK WITHIN AUBURN STREET SHALL BE COORDINATED WITH CITY OF PORTLAND AND THE MDDOT.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- SNOW THAT CAN NOT BE ACCOMMODATED IN THE LOCATIONS SHOWN SHALL BE TAKEN OFF-SITE.

LEGEND

- PROPERTY LINE
- - - 75' STREAM PROTECTION ZONE
- - - ABUTTER LOT LINE
- - - BUILDING SETBACK
- - - EDGE OF WETLAND
- - - EXISTING TREE LINE
- - - PROPOSED TREE LINE
- - - PROPOSED CONCRETE SIDEWALK/PAD
- - - PROPOSED SIGN
- - - PROPOSED BOLLARD
- - - PROPOSED LIGHT POLE BASE
- - - PROPOSED ACCESSIBLE PARKING SPACE
- - - PROPOSED VAN ACCESSIBLE PARKING SPACE
- - - PROPOSED CROSSWALK
- - - PROPOSED PAINTED ARROW
- - - PROPOSED BIKE RACK
- - - DOUBLE YELLOW LANE LINE
- - - PROPOSED CURB
- - - VERTICAL GRANITE CURB
- - - SLOPED GRANITE CURB
- - - DOOR LOCATION
- - - PROPOSED CURB STOP

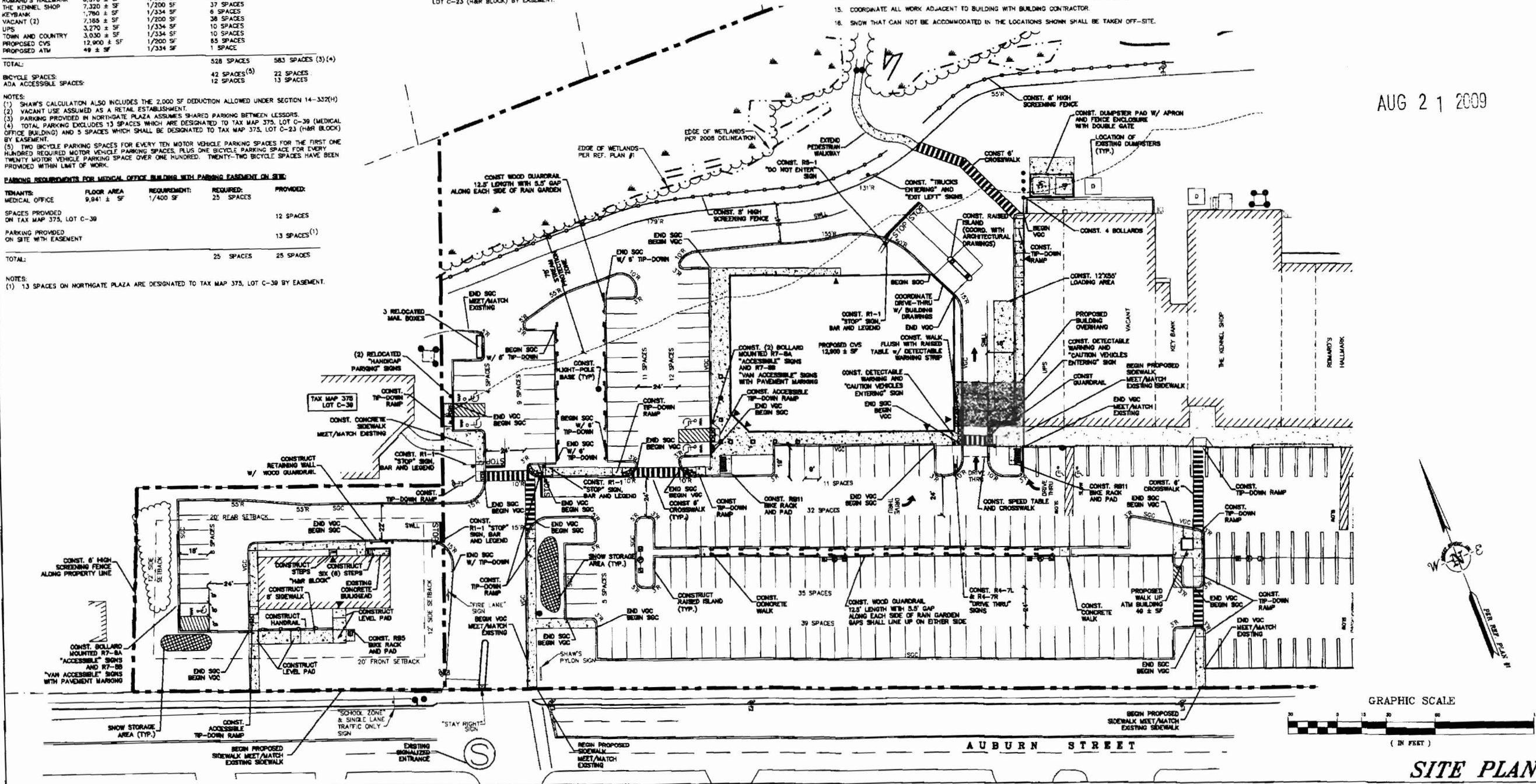
No.	Description	Date

STATE OF MAINE
 AUG 21 2009
 DATE: AUGUST 18, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: GY/ELM
 APPROVED BY: 2042B
 PROJECT NO: 2042B
 FILE NO: 2042B-CONST.DWG

APPLEDORE ENGINEERING
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 ae@appledoreeng.com

**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

C-2A



**TAX MAP 375
LOT C-1
SITE DATA**

LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE
 (A PORTION OF THE LOT IS IN THE SP-STREAM PROTECTION ZONE)
 PERMITTED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES, RETAIL ESTABLISHMENTS, RESTAURANTS
 CONDITIONAL USE: DRIVE-THRU WHICH IS ADJACENT TO ANY RESIDENTIAL USE OR ZONE

DIMENSIONAL REQUIREMENTS:

	REQUIRED	COMMUNITY BUSINESS (B-2)	PROVIDED
MINIMUM LOT AREA:	10,000 SF		575,000 SF
MINIMUM STREET FRONTAGE:	50 FT		490 FT
MINIMUM YARD SETBACK:			
FRONT SETBACK:	0 FT	±24 FT	±26 FT
SIDE SETBACK:	0 FT	±82 FT	±82 FT
REAR SETBACK:	0 FT	±82 FT	±82 FT
REAR ABUTTING RESIDENTIAL:	20 FT	±82 FT	±82 FT
MAXIMUM LOT COVERAGE:	60 %	±77 %	±77 %
MAXIMUM HEIGHT:	45 FT	±45 FT	±45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE, WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
SHAW'S	56,930 ± SF (1)	1/200 SF	300 SPACES	
STARBUCKS	1,870 ± SF	1/150 SF	13 SPACES	
OLYMPIA SPORTS	3,300 ± SF	1/200 SF	17 SPACES	
ROMANO'S HALLMARK	5,570 ± SF	1/200 SF	33 SPACES	
THE KENNEL SHOP	7,320 ± SF	1/200 SF	37 SPACES	
KEYBANK	1,780 ± SF	1/334 SF	6 SPACES	
VACANT (2)	7,185 ± SF	1/200 SF	38 SPACES	
UPS	3,270 ± SF	1/334 SF	10 SPACES	
TOWN AND COUNTRY	3,030 ± SF	1/334 SF	10 SPACES	
PROPOSED CVS	12,900 ± SF	1/200 SF	65 SPACES	
PROPOSED ATM	49 ± SF	1/334 SF	1 SPACE	
TOTAL:			528 SPACES	563 SPACES (3)(4)
BICYCLE SPACES:			42 SPACES (5)	22 SPACES
ADA ACCESSIBLE SPACES:			12 SPACES	13 SPACES

- NOTES:
 (1) SHAW'S CALCULATION ALSO INCLUDES THE 2,000 SF DEDUCTION ALLOWED UNDER SECTION 14-332(4)
 (2) VACANT USE ASSUMED AS A RETAIL ESTABLISHMENT.
 (3) PARKING PROVIDED IN NORTHGATE PLAZA ASSUMES SHARED PARKING BETWEEN LESSORS.
 (4) TOTAL PARKING EXCLUDES 13 SPACES WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-39 (MEDICAL OFFICE BUILDING) AND 5 SPACES WHICH SHALL BE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.
 (5) TWO BICYCLE PARKING SPACES FOR EVERY TEN MOTOR VEHICLE PARKING SPACES FOR THE FIRST ONE HUNDRED REQUIRED MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY TWENTY MOTOR VEHICLE PARKING SPACE OVER ONE HUNDRED. TWENTY-TWO BICYCLE SPACES HAVE BEEN PROVIDED WITHIN LIMIT OF WORK.

PARKING REQUIREMENTS FOR MEDICAL OFFICE BUILDING WITH PARKING EASEMENT ON SITE:

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
MEDICAL OFFICE	9,841 ± SF	1/400 SF	25 SPACES	
SPACES PROVIDED ON TAX MAP 375, LOT C-39				12 SPACES
PARKING PROVIDED ON SITE WITH EASEMENT				13 SPACES (1)
TOTAL:			25 SPACES	25 SPACES

- NOTES:
 (1) 13 SPACES ON NORTHGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.

**TAX MAP 375
LOT C-23
SITE DATA**

LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: R-P RESIDENTIAL PROFESSIONAL
 PERMITTED USE: BUSINESS SERVICES AND PROFESSIONAL OFFICES

DIMENSIONAL REQUIREMENTS:

	REQUIRED	RESIDENTIAL PROFESSIONAL (R-P)	PROVIDED
MINIMUM LOT AREA:	6,000 SF		23,450 SF
MINIMUM STREET FRONTAGE:	60 FT		180 FT
MINIMUM LOT WIDTH:	60 FT		180 FT
MINIMUM YARD SETBACK:			
FRONT SETBACK:	20 FT	±20 FT	±20 FT
SIDE SETBACK:	12 FT	±24 FT	±24 FT
REAR SETBACK:	20 FT	±24 FT	±24 FT
MAXIMUM IMPERVIOUS SURFACE:	70 %	±53 %	±53 %
MINIMUM INTERIOR OPEN SPACE:	10% OF PARKING AREA	±22 %	±22 %
MAXIMUM FLOOR AREA RATIO:	55 %	±45 FT	±45 FT
MAXIMUM HEIGHT:	45 FT	±45 FT	±45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE, WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

OFFICES:	1/400 SF	13 SPACES	13 SPACES (1)
5,200/400			
ADA ACCESSIBLE SPACES:		1 SPACE	2 SPACES
BICYCLE SPACES:		2 SPACES	5 SPACES

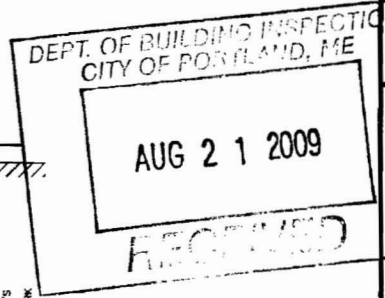
- NOTE:
 (1) TOTAL PARKING INCLUDES 5 SPACES LOCATED ON TAX MAP 375, LOT C-1 WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.

SITE NOTES:

- STRIP PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT; CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "T").
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3"-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
- WORK WITHIN AUBURN STREET SHALL BE COORDINATED WITH CITY OF PORTLAND AND THE MCDOT.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- SNOW THAT CAN NOT BE ACCOMMODATED IN THE LOCATIONS SHOWN SHALL BE TAKEN OFF-SITE.

LEGEND

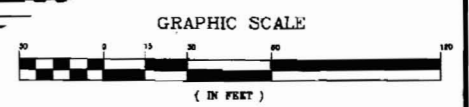
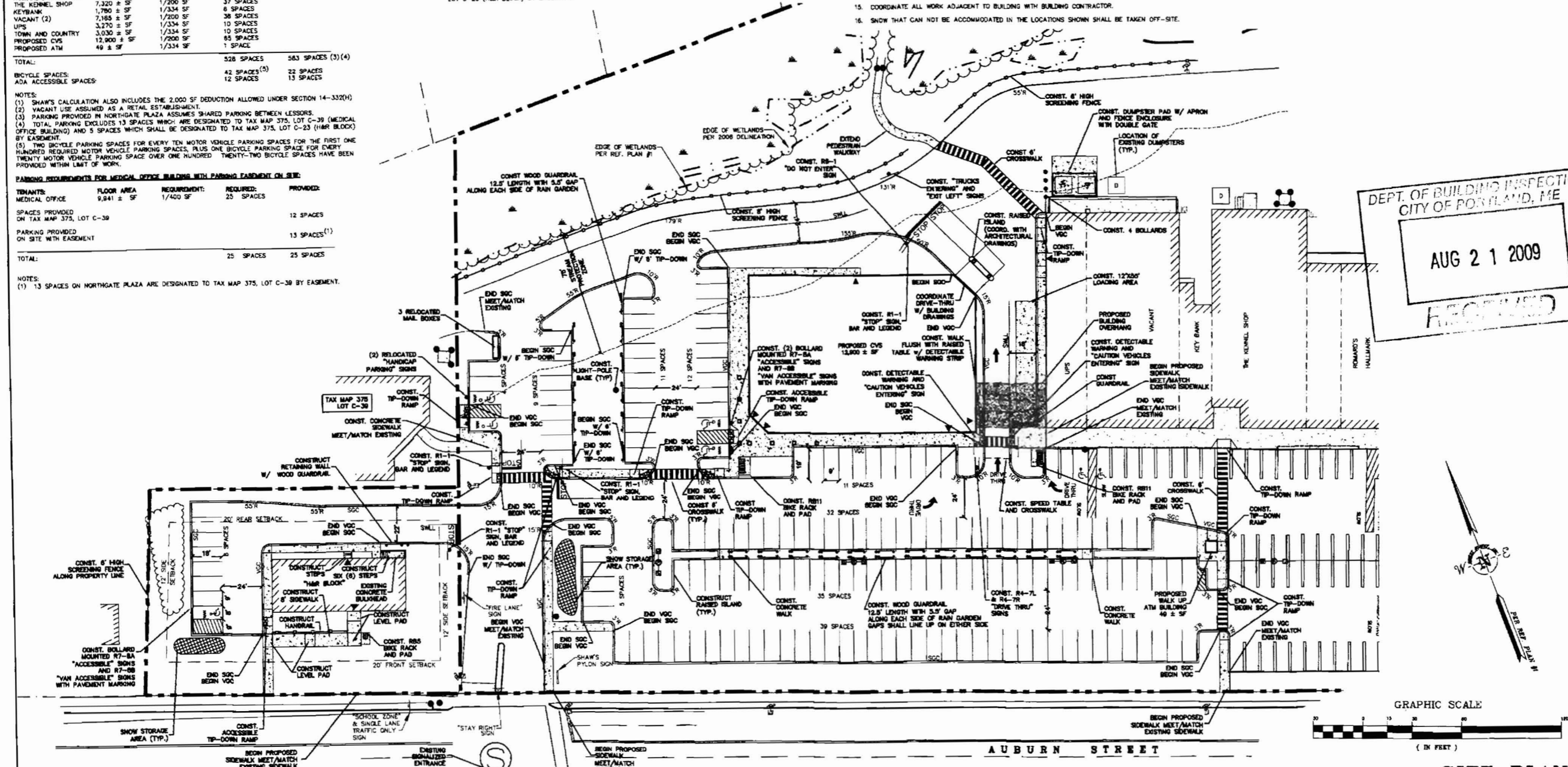
- PROPERTY LINE
- 75' STREAM PROTECTION ZONE
- ABUTTING LOT LINE
- BUILDING SETBACK
- EDGE OF WETLAND
- EXISTING TREE LINE
- PROPOSED TREE LINE
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED LIGHT POLE BASE
- PROPOSED ACCESSIBLE PARKING SPACE
- PROPOSED VAN ACCESSIBLE PARKING SPACE
- PROPOSED CROSSWALK
- PROPOSED PAINTED ARROW
- PROPOSED BIKE RACK
- DOUBLE YELLOW LANE LINE
- PROPOSED CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- DOOR LOCATION
- PROPOSED CURB STOP



DATE: AUGUST 18, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: DT/BLM
 PROJECT NO.: 2042B
 FILE NO.: 2042B-CONSTR.DWG

**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

APLEDORRE ENGINEERING
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 ael@apledoreeng.com



SITE PLAN C-2A

No.	Description	App'd	Date