

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 090829

This is to certify that 125 AUBURN STREET LLC / Bruce Const
 has permission to Professional Offices H&R Block Change Use, Renovation of existing building into Office Space
 AT 125 AUBURN ST CB# 375-C023001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. *[Signature]*
 Health Dept. _____
 Appeal Board _____
 Other _____
Department Name

[Signature] 10/6/09
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

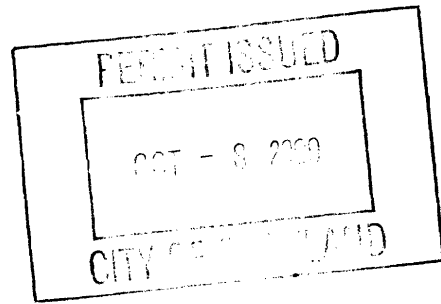
| | | |
|-----------------------|-------------|---------------------|
| Permit No: 09-0829 | Issue Date: | CBL: 375 C023001 |
|-----------------------|-------------|---------------------|

| | | | |
|--|---|---|------------------------|
| Location of Construction: 125 AUBURN ST | Owner Name: 125 AUBURN STREET LLC | Owner Address: 5 MILITIA DR | Phone: 781-674-2020 |
| Business Name: | Contractor Name: Bryce Construction Mgt. | Contractor Address: 2 Fisher Street Portland | Phone: 2078781902 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Commercial | Zone: R-1 |

| | | | | |
|---|--|---|--|--------------------|
| Past Use: Commercial/Assembly-Boy Scout Hall | Proposed Use: Commercial/Professional Offices H&R Block - Change of Use, Renovation of existing building into Office Space | Permit Fee: \$2,095.00 | Cost of Work: \$200,000.00 | CEO District: 5 |
| Proposed Project Description: Professional Offices H&R Block - Change of Use, Renovation of existing building into Office Space | | FIRE DEPT: w/ conditions 8/20/09 <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group: B Type: SB FBC-2003 Signature: JMB 10/8/09 | |
| | | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date: | | |

| | | | |
|-------------------------|---------------------------------|------------------------|--|
| Permit Taken By: lmd | Date Applied For: 07/31/2009 | Zoning Approval | |
|-------------------------|---------------------------------|------------------------|--|

| | | | |
|--|---|--|---|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 2 Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #2009-0010 Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 8/7/09 | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input checked="" type="checkbox"/> Conditional Use for CVS Direct TMY <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved June 9, 2009 by Planning Board <input type="checkbox"/> Denied Date: | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: |
|--|---|--|---|



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

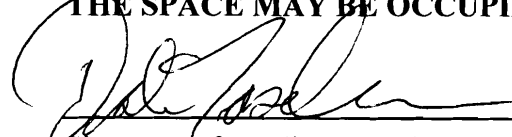
 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

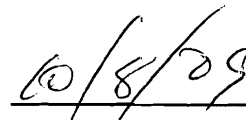
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

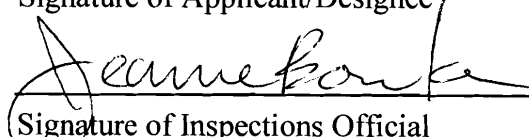
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



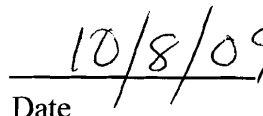
Signature of Applicant/Designee



Date



Signature of Inspections Official



Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|------------------------------|--|----------------------------|
| Permit No: 09-0829 | Date Applied For: 07/31/2009 | CBL: 375 C023001 |
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| Business Name: | Contractor Name: Bryce Construction Mgt. | Contractor Address: 2 Fisher Street Portland | Phone: (207) 878-1902 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Commercial | |

| | |
|---|--|
| Proposed Use: Commercial/Professional Offices H&R Block - Change of Use, Renovation of existing building into Office Space | Proposed Project Description: Professional Offices H&R Block - Change of Use, Renovation of existing building into Office Space |
|---|--|

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/08/2009

Note: Siteplan approval from Phil 10/8/09 permit can be issued. Ann Machado signed off for Marge **Ok to Issue:**

- 1) This property shall remain a professional office building. Any change of use shall require a separate permit application for review and approval.
- 2) Separate permits shall be required for any new signage. Please note that the R-P Zone only permits free-standing signs (table 2.3).
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 10/08/2009

Note: **Ok to Issue:**

- 1) Detailed plans for the 2 exterior egress stairs are required to be submitted for review prior to their construction.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:** 08/20/2009

Note: **Ok to Issue:**

- 1) Fire extinguishers required. Installation per NFPA 10
- 2) A single source supplier should be used for all through penetrations.
- 3) Any cutting or welding operations require a separate permit from the Fire dept.
- 4) All construction shall comply with NFPA 101
- 5) Stair door assemblies shall be 45-minute fire rated if existing or 1-hour if new installations.
- 6) Emergency lights are required to be tested at the electrical panel.
- 7) Emergency lights are required in the bathrooms.
- 8) EXIT sign in basement at bottom of stair shall be viewable from both directions.
- 9) Approved for single tenant business use. NFPA 101-2006

Dept: Public Services **Status:** Approved with Conditions **Reviewer:** David Margolis-Pineo **Approval Date:** 06/04/2009

Note: **Ok to Issue:**

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/08/2009

Note: **Ok to Issue:**

| | | | |
|---|--|--|---------------------------------|
| Location of Construction: 125 AUBURN ST | Owner Name: 125 AUBURN STREET LLC | Owner Address: 5 MILITIA DR | Phone: 781-674-2020 |
| Business Name: | Contractor Name: Bryce Construction Mgt. | Contractor Address: 2 Fisher Street Portland | Phone: (207) 878-1902 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Commercial | |

Dept: Parks Status: Approved with Conditions Reviewer: Jeff Tarling Approval Date: 06/03/2009
Note: Ok to Issue:

Dept: Fire Status: Approved with Conditions Reviewer: Keith Gautreau Approval Date: 03/04/2009
Note: Ok to Issue:

Dept: DRC Status: Approved with Conditions Reviewer: Phil diPierro Approval Date: 10/08/2009
Note: Ok to Issue:

1) OK to issue demolition permit, and building permit for proposed H & R Block building renovations. Applicant is required to hold the preconstruction meeting prior to starting any site work.

Dept: Planning Status: Approved with Conditions Reviewer: Jean Fraser Approval Date: 06/09/2009
Note: Ok to Issue:

| | | | |
|---|--|--|---------------------------------|
| Location of Construction: 125 AUBURN ST | Owner Name: 125 AUBURN STREET LLC | Owner Address: 5 MILITIA DR | Phone: 781-674-2020 |
| Business Name: | Contractor Name: Bryce Construction Mgt. | Contractor Address: 2 Fisher Street Portland | Phone: (207) 878-1902 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Commercial | |

- 1) On June 9, 2009, the Portland Planning Board considered the proposal for a 12,900 sq ft CVS Pharmacy with drive-thru service at the north end of Northgate Plaza, and the refurbishment of the existing building at 125 Auburn Street for H&R Block. The Planning Board reviewed the proposal for conformance with the B2 Conditional Use Standards and Site Plan Ordinance. The Planning Board voted 4-0 (Odokara, Lewis and Tevanian absent) to approve the application with the following motions and conditions as presented below.

CONDITIONAL USE AND SITE PLAN REVIEW

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in the Planning Board Report # 24-09, relevant to Portland's Site Plan Ordinance, Conditional Use Standards and other regulations, and the testimony presented at the Planning Board and other findings, the Planning Board voted 4-0 (Odokara, Lewis and Tevanian absent):

A. Re Lot C-1 Northgate Plaza/ CVS Expansion/ Drive thru:

That the plan is in conformance with the site plan standards of the land use code, and the proposed conditional use for a drive-thru adjacent to a residential use or zone is in conformance with the standards of the Land Use Code, Section 14-183 for the B2 zone, subject to the following conditions:

- i. That the applicant shall submit copies of the required permits from the MDEP prior to the issuance of a building permit; and
- ii. The applicant shall provide documentation, prior to the issuance of a building permit, that the submitted Maine Traffic Resources Drive Through Survey took place during a peak month in terms of seasonal activity and traffic activity at the drive-through. If the supporting documentation indicates that the reported queue estimate is insufficient, the applicant shall submit revised proposals to mitigate or provide adequate stacking, to be reviewed and approved by the Planning Authority prior to the issuance of a building permit; and
- iii. That the final plan set shall incorporate the submitted Plan of the Drive-thru/Crosswalk Details, dated June 8, 2009 which confirms details of measures and design elements (e.g. signage, sidewalk material, bollards, etc.) along the frontage of the shopping center that would warn pedestrians of potential vehicle conflict; and
- iv. The applicant shall be responsible for contributing \$2,500.00 towards the installation of pedestrian "count-down" signal heads for the shopping center driveway at the Auburn Street/Site Drive intersection, prior to the issuance of a Certificate of Occupancy; and
- v. That the Landscape Plan shall be revised and submitted for review and approval prior to the issuance of a building permit; such revisions to include raising the fence along the rear of the site to 8 feet and extending it 60-75 feet in an easterly direction to screen the Cyr property; tree and other planting along the proposed fencing; and two to three trees in the linear rain garden if compatible with the storm water plan; and
- vi. That the applicant shall submit a revised lighting proposal, including catalog cuts, pole heights and associated photometric plan, for review and approval by the Planning Authority prior to issuance of a building permit; and
- vii. That the applicant shall install wooden guard rails around the rain gardens. The wooden guard rails may allow a reasonable number of openings to allow pedestrian access; and
- viii. All signage, whether included in the approved plan set or not (both free standing and wall mounted) shall be subject to separate sign permits and approvals; and
- ix. That the pharmacy drive-thru hours shall be limited to 7am to 11pm everyday.

| | | | |
|---|--|--|---------------------------------|
| Location of Construction: 125 AUBURN ST | Owner Name: 125 AUBURN STREET LLC | Owner Address: 5 MILITIA DR | Phone: 781-674-2020 |
| Business Name: | Contractor Name: Bryce Construction Mgt. | Contractor Address: 2 Fisher Street Portland | Phone: (207) 878-1902 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Commercial | |

B. Re Lot C-23 Refurbishment of existing building for H&R Block:

That the plan is in conformance with the site plan standards of the Land Use Code subject to the following conditions:

- i. That in the event the applicant or his successor sell Lot C-23, a permanent easement that secures additional parking spaces (the number being as necessary to meet zoning requirements in place at that time) located in the Plaza for the dedicated use of Lot C-23, shall be submitted for the City's Associate Corporation Counsel review and approval prior to the sale; and
- ii. That the applicant shall submit a revised lighting proposal, including catalog cuts, pole heights and associated photometric plan, for review and approval by the Planning Authority prior to issuance of a building permit; and
- iii. All signage (both free standing and wall mounted), whether included in the approved plan set or not, shall be subject to separate sign permits and approvals.

Comments:

8/7/2009-mes: I left an e-mail with Jean F. asking about whether the permit could be issued. I also called Mike Charek - no site plan was submitted with the application. I will need it.

8/19/2009-mes: Discussed at today's site plan review - Site plan not finalized yet - DO NOT ISSUE UNTIL PLANNING GIVES THE OK - RETURN TO MARGE FOR ZONING SIGN OFF

9/18/2009-JF: I have been finalizing Site Plan issues with the owner and anticipate Planning would be able to sign off soon; JF needs to check the plans submitted for BP to see whether all the agreed revisions are shown (these are superficial in relation to the building/code issues of the BP so the review should proceed). Phil has received the cost estimates for a Performance Guarantee so that should be in place soon. DO NOT ISSUE THE BP BUT PLEASE PROGRESS SO IT IS READY TO ISSUE.

9/24/2009-jmb: Left vmsg with Michael C. For details on the concrete steps to the basement and rear egress....site plan says they are new.

10/1/2009-tm: Matt Hunter called me Tom Markley about the status of this permit. I asked Tammy Munson if I should transfer call or leave a message for Jeannie. She told me to call Matt back and give her Jeannie's phone number and inform him that Jeannie is the Plan reviewer for this project. I did as instructed.

9/28/2009-jmb: Received email of preliminary sketches of the exterior steps from Mike C. Full plans to be submitted, can issue when notified by Planning.

10/8/2009-jmb: Received DRC approval, ok to issue, preconstruction meeting required prior to work commencing.

375 C023

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 10/8/2009 9:57:44 AM
Subject: Northgate Plaza Project, Auburn Street

Hi all, this project (site plan # 2009-0010) meets minimum DRC site plan requirements for the issuance of the demolition permit, and building permit for the proposed H & R Block building. Please note, the contractor is required to hold the preconstruction meeting prior to starting any site work. Please see UI for sign off.

Let me know if you have any questions. Thanks.

phil

CC: Fraser, Jean

From: Jean Fraser
To: Schmuckal, Marge
Date: 8/7/2009 11:58:05 AM
Subject: Re: H & R Block

No- they have not met the conditions of Planning Board approval- I am awaiting final plans re lighting and landscape, a financial contribution and I don't think anything has been done re performance guarantee etc (Phil is away but I don't have final plans for you or him yet).

The plans are pretty close to final - Jeff is supposed to be meeting with the applicant re landscaping next week and a few trees will be added. You could use the latest plans (Plans dated 5.19.2009) to start processing the Building Permit.

Jean

>>> Marge Schmuckal 8/7/2009 11:45:55 AM >>>

Jean,

I have a building permit application for this lot on Auburn Street. Is it ok to issue the building permit at this time?

Marge



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|--|---|---|
| Location/Address of Construction: 125 Auburn Street | | |
| Total Square Footage of Proposed Structure/Area 5,176 sf of renovation on 2 floors | | Square Footage of Lot 23,545 sf |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 375 C 23 | Applicant * must be owner, Lessee or Buyer* Name 125 Auburn Street LLC Address c/o Winslow Property Mgmt 5 Militia Drive City, State & Zip Lexington, MA 02421 | Telephone: 781-674-2020 x214 |
| Lessee/DBA (If Applicable) | Owner (if different from Applicant) Name Address City, State & Zip | Cost Of (\$200,000) Work: \$ <u>2,020.00</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>2,095.00</u> |
| Current legal use (i.e. single family) <u>Vacant</u> If vacant, what was the previous use? <u>Assembly (Boy Scout hall)</u> Proposed Specific use: <u>Business (professional offices)</u> Is property part of a subdivision? <u>No.</u> If yes, please name _____ Project description: <p style="text-align: center;">Renovation of existing building into office space for H&R Block.</p> | | |
| Contractor's name: <u>Bryce Construction Managment</u> <i>for code questions 761-0556-Michael</i> Address: <u>2 Fisher Street</u> City, State & Zip: <u>Portland, ME 04103</u> Telephone: <u>878-1902</u> Who should we contact when the permit is ready: <u>Brad Bryce</u> Telephone: <u>878-1902</u> Mailing address: <u>2 Fisher Street, Portland, ME 04103</u> | | |

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

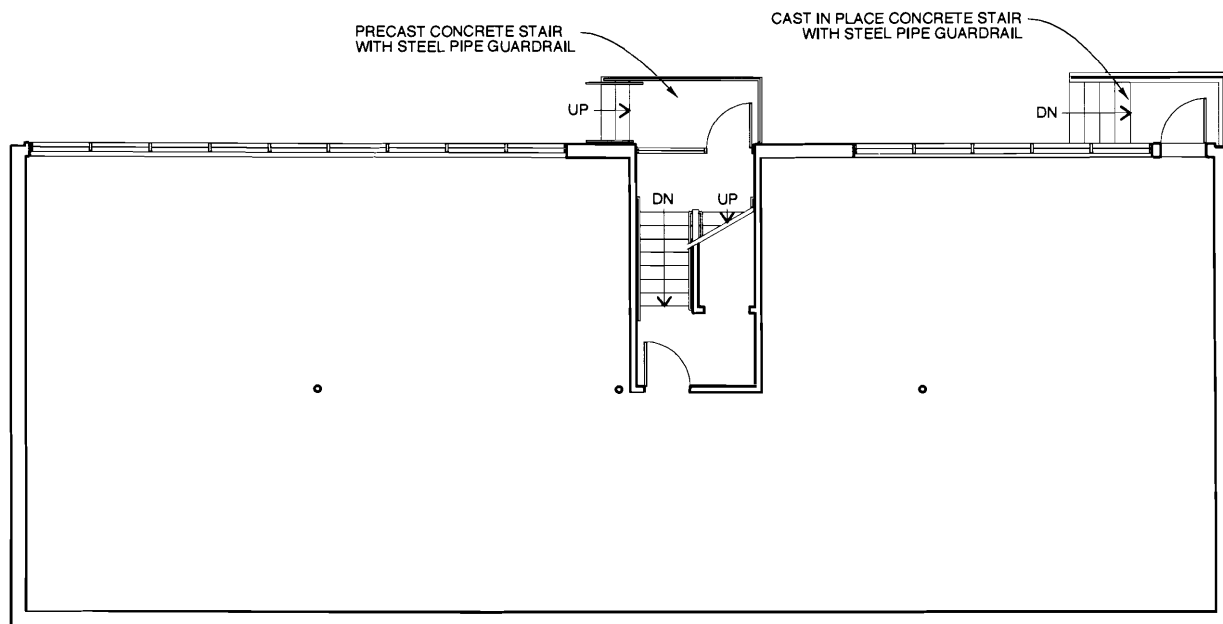
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *Michael* Date: 7/31/09

This is not a permit; you may not commence ANY work until the permit is issued.

442 31 2009



RECEIVED
SEP 28 2009

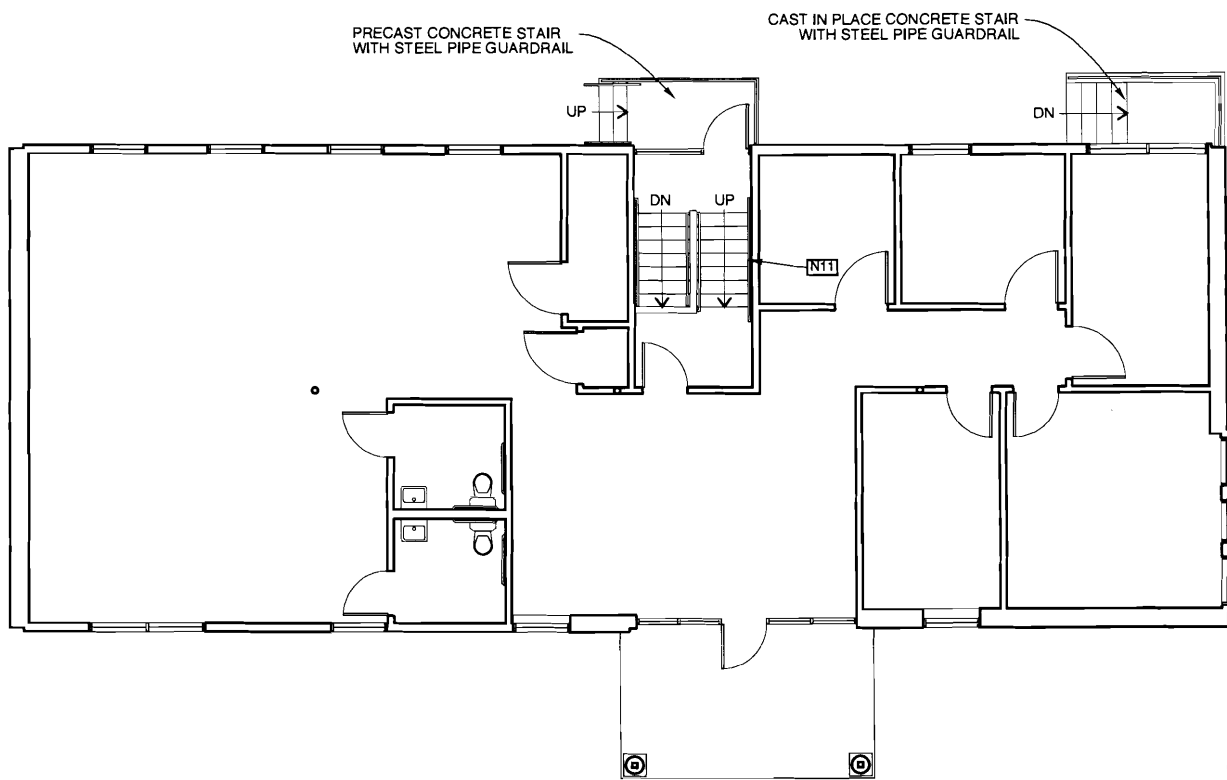
Dept. of Building Inspections
City of Portland Maine

Michael R. Charek, Architect
25 Hartley Street
Portland, Maine 04103
(207) 761-0556

SK-101

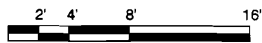
Title: Lower Level Plan
Scale: 1/8" = 1'-0"
Date: 9/28/09
Project: H&R Block Offices





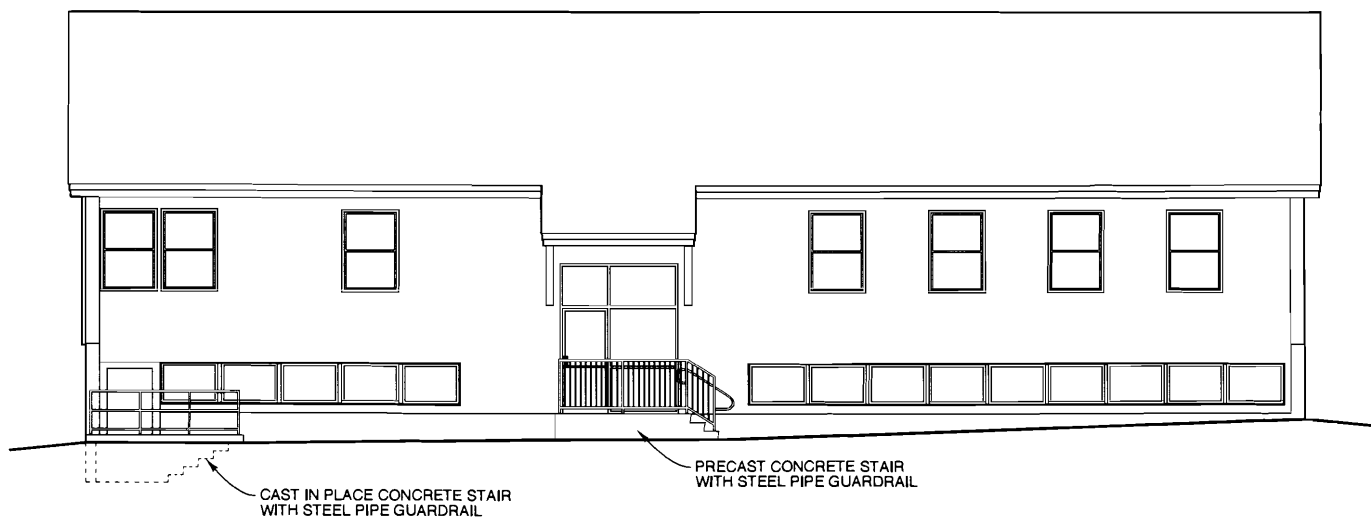
SK-102

Title: First Floor Plan
 Scale: 1/8" = 1'-0"
 Date: 9/28/09
 Project: H&R Block Offices



RECEIVED
SEP 28 2009
 Dept. of Building Inspections
 City of Portland Maine

Michael R. Charek, Architect
 25 Hartley Street
 Portland, Maine 04103
 (207) 761-0556



SK-103

Title: North Elevation
Scale: 1/8" = 1'-0"
Date: 9/28/09
Project: H&R Block Offices



RECEIVED
SEP 28 2009
Dept. of Building Inspections
City of Portland Maine

Michael R. Charek, Architect
25 Hartley Street
Portland, Maine 04103
(207) 761-0556



Certificate of Design Application

From Designer: Michael Charek Architects
 Date: July 31, 2009
 Job Name: Offices for H&R Block
 Address of Construction: 125 Auburn Street, Portland, ME 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) B Business
 Type of Construction V-B
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No
 Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

N/A Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

| Floor Area Use | Loads Shown |
|----------------|-------------|
| <u>N/A</u> | <u>N/A</u> |
| ↓ | ↓ |

Wind loads (1603.1.4, 1609)

N/A Design option utilized (1609.1.1, 1609.6)
 ↓
 Basic wind speed (1809.3)
 ↓
 Building category and wind importance Factor, I_w
 table 1604.5, 1609.5)
 ↓
 Wind exposure category (1609.4)
 ↓
 Internal pressure coefficient (ASCE 7)
 ↓
 Component and cladding pressures (1609.1.1, 1609.6.2.2)
 ↓
 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

N/A Design option utilized (1614.1)
 ↓
 Seismic use group ("Category")
 ↓
 Spectral response coefficients, S_D s & S_{D1} (1615.1)
 ↓
 Site class (1615.1.5)

N/A Live load reduction
 ↓
 Roof *live* loads (1603.1.2, 1607.11)
 ↓
 Roof snow loads (1603.7.3, 1608)
 ↓
 Ground snow load, P_g (1608.2)
 ↓
 If $P_g > 10$ psf, flat-roof snow load P_f
 ↓
 If $P_g > 10$ psf, snow exposure factor, C_e
 ↓
 If $P_g > 10$ psf, snow load importance factor, I_s
 ↓
 Roof thermal factor, C_t (1608.4)
 ↓
 Sloped roof snowload, P_s (1608.4)
 ↓
 Seismic design category (1616.3)
 ↓
 Basic seismic force resisting system (1617.6.2)
 ↓
 Response modification coefficient, R and
 deflection amplification factor C_d (1617.6.2)
 ↓
 Analysis procedure (1616.6, 1617.5)
 ↓
 Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
 ↓
 Elevation of structure

Other loads

N/A Concentrated loads (1607.4)
 ↓
 Partition loads (1607.5)
 ↓
 Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
 1607.12, 1607.13, 1610, 1611, 2404)

Note: See Sheet S-1 for structural design criteria.



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IEBC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.