

# Bank of America



## ADA UPGRADES

CBRE Project Name: 39 Auburn St, Portland ME  
Manhattan ID: ME1-132

08/15/2014

Issue for Bid and Permit

39 Auburn Street, Portland, ME 04103  
GENSLER PROJECT NUMBER: 11.6560.125

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# ABBREVIATIONS

A	ACCESSORY	J	JANITOR
ACCES	ACCESSORY	K	KITCHEN
ACOUS	ACOUSTIC(AL)	L	LAVATORY
AFF	ABOVE FINISHED FLOOR	LB	POUND
AL	ALUMINUM	LOUVER	LOUVER
ALT	ALTERNATE	LT	LIGHT
ANNUNC	ANNUNCIATOR	LVLG	LEVELING
ANOD	ANODIZED	M	
APPL	APPLIANCE	M.E.	MATCH EXISTING
AUTO	AUTOMATIC	MAX	MAXIMUM
AVG	AVERAGE	MECH	MECHANICAL
B		MEMB	MEMBRANE
BD	BOARD	MET	METAL
BLDG	BUILDING	MEZZ	MEZZANINE
BLKG	BLOCKING	MFD	MANUFACTURED
BOLLD	BOLLARD	MFR	MANUFACTURER
BRDLM	BROADLOOM	MIN	MINIMUM
BU	BUILT UP	MISC	MISCELLANEOUS
C		MLWK	MILLWORK
CAB	CABINET	MOIST	MOISTURE
CEM	CEMENT(TIOUS)	MOT	MOTOR(IZED)
CER	CERAMIC	MTD	MOUNTED
CLG	CEILING	N	
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
COATG	COATING	NO	NUMBER
COILG	COILING	NTS	NOT TO SCALE
CONC	CONCRETE	O	
CONSTR	CONSTRUCTION	OPNG	OPENING(S)
CONT	CONTINUOUS(A/TION)	OPR	OPERABLE
CONTR	CONTRACT(OR)	ORNA	ORNAMENTAL
COV	COVER	OS	OCCUPANCY SENSOR
CPT	CARPET	OVFL	OVERFLOW
D		OVHD	OVERHEAD
DBL	DOUBLE	P	
DEPT	DEPARTMENT	PBD	PARTICLE BOARD
DES	DESIGN(ED)	PEDTR	PEDESTRIAN
DET	DETAIL	PLAM	PLASTIC LAMINATE
DF	DRINKING FOUNTAIN	PLAS	PLASTER
DIA	DIAMETER	PLSTC	PLASTIC
DIFD	DIFFUSER	PLYWD	PLYWOOD
DIM	DIMENSION	PNL	PANEL
DISP	DISPENSER	POLYST	POLYSTYRENE
DIV	DIVISION	PORT	PORTABLE
DN	DOWN	PREFAB	PREFABRICATED
DR	DOOR	PREFIN	PREFINISHED
DSCON	DISCONNECT	PRTECN	PROTECTION
DWR	DRAWER	PTN	PARTITION
E		R	
ELAST	ELASTOMERIC	RDR	READER
ELEC	ELECTRICAL	RECES	RECESS(ED)
EMBED	EMBEDD(ED)(ING)	RECPT	RECEPTACLE
ENGR	ENGINEER(ED)	REF	REFER(ENCE)
ENTR	ENTRANCE	REFL	REFLECTED
EQ	EQUAL	REFR	REFRIGERATOR
EQUIP	EQUIPMENT	REQD	REQUIRED
EX	EXISTING	RESIS	RESIST(ANT)(IVE)
EXP JT	EXPANSION JOINT	RFG	ROOFING
EXPS	EXPOSE(D)	RM	ROOM
EXT	EXTERIOR	RO	ROUGH OPENING
F		S	
FAB	FABRICATION	SCR	SCRIBE
FD	FLOOR DRAIN	SECUR	SECURITY
FE	FIRE EXTINGUISHER	SF	SQUARE FEET
FE&C	FIRE EXTINGUISHER AND CABINET	SGL	SINGLE
FHC	FIRE HOSE CABINET	SHORG	SHORING
FIN	FINISH	SIM	SIMILAR
FLDG	FOLDING	SST	STAINLESS STEEL
FLR	FLOOR(ING)	STD	STANDARD
FPLC	FIREPLACE	STL	STEEL
FR	FIRE RAT(ING)(ED)	STRFR	STOREFRONT
FRMG	FRAMING	STRUCT	STRUCTURAL
FURN	FURNITURE	SURF	SURFACE
FWC	FABRIC WALL COVERING	SUSP	SUSPENDED
FXD	FIXED	SYS	SYSTEM(S)
FXT	FIXTURE	T	
G		T&G	TONGUE AND GROOVE
GA	GAUGE	THK	THICK
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	TLT	TOILET
GFR	GLASS FIBER REINFORCED CONCRETE	TRAF	TRAFFIC
GFRG	GLASS FIBER REINFORCED GYPSUM	TRANS	TRANSPARENT
GFRP	GLASS FIBER REINFORCED PLASTER	TRTD	TREATED
GL	GLASS	TYP	TYPICAL
GR	GRAD(E)(ING)	UNDRLAY	UNDERLAYMENT
GYP	GYPSUM	UON	UNLESS OTHERWISE NOTED
H		UTIL	UTILITY
HD	HEAD	V	
HDWD	HARDWOOD	VEH	VEHICLE
HDWE	HARDWARE	VERT	VERTICLE
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL	W	
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	W/	WITH
I		W/O	WITHOUT
INFILTR	INFILTRATION	WC	WATER CLOSET
INFO	INFORMATION	WD	WOOD
INSTRUM	INSTRUMENT(A/TION)	WDW	WINDOW
INSUL	INSULATION	WT	WEIGHT
INT	INTERIOR	WTRPRF	WATERPROOFING
INTLK	INTERLOCK(ING)		

# GRAPHIC SYMBOLS

### FINISH

- XXXX WALL FINISH
- XXXX BASE FINISH
- XXXX EXTENT OF FINISH
- XXXX WALL FINISH
- XXXX SPECIAL FINISH
- XXXX FLOOR FINISH
- XXXX CEILING FINISH
- XXXX CHANGE IN FLOOR FINISH

### SECURITY DEVICES

- OR CARD READER
- EH ELECTRIC HINGE
- EL ELECTRIC LOCKSET
- ES ELECTRIC STRIKE
- DR DOOR RELEASE
- ML ELECTRO-MAGNETIC LOCK
- KS KEY SWITCH
- H DOOR HOLD OPEN
- B BELL PUSH BUTTON
- OR REMOTE DOOR RELEASE BUTTON
- A INTRUSION ALARM
- B DOOR BELL

### SECTION INDICATIONS

- STONE
- CONCRETE
- CONCRETE MASONRY UNIT
- METAL
- NON-FERROUS ALUMINUM
- PLYWOOD
- WOOD (FINISH)
- WOOD (CONTINUOUS)
- WOOD (BLOCKING)
- INSULATION (LOOSE OR BATT)
- GLASS (LARGE SCALE)
- GYPSUM BOARD
- ACOUSTICAL TILE
- CARPET

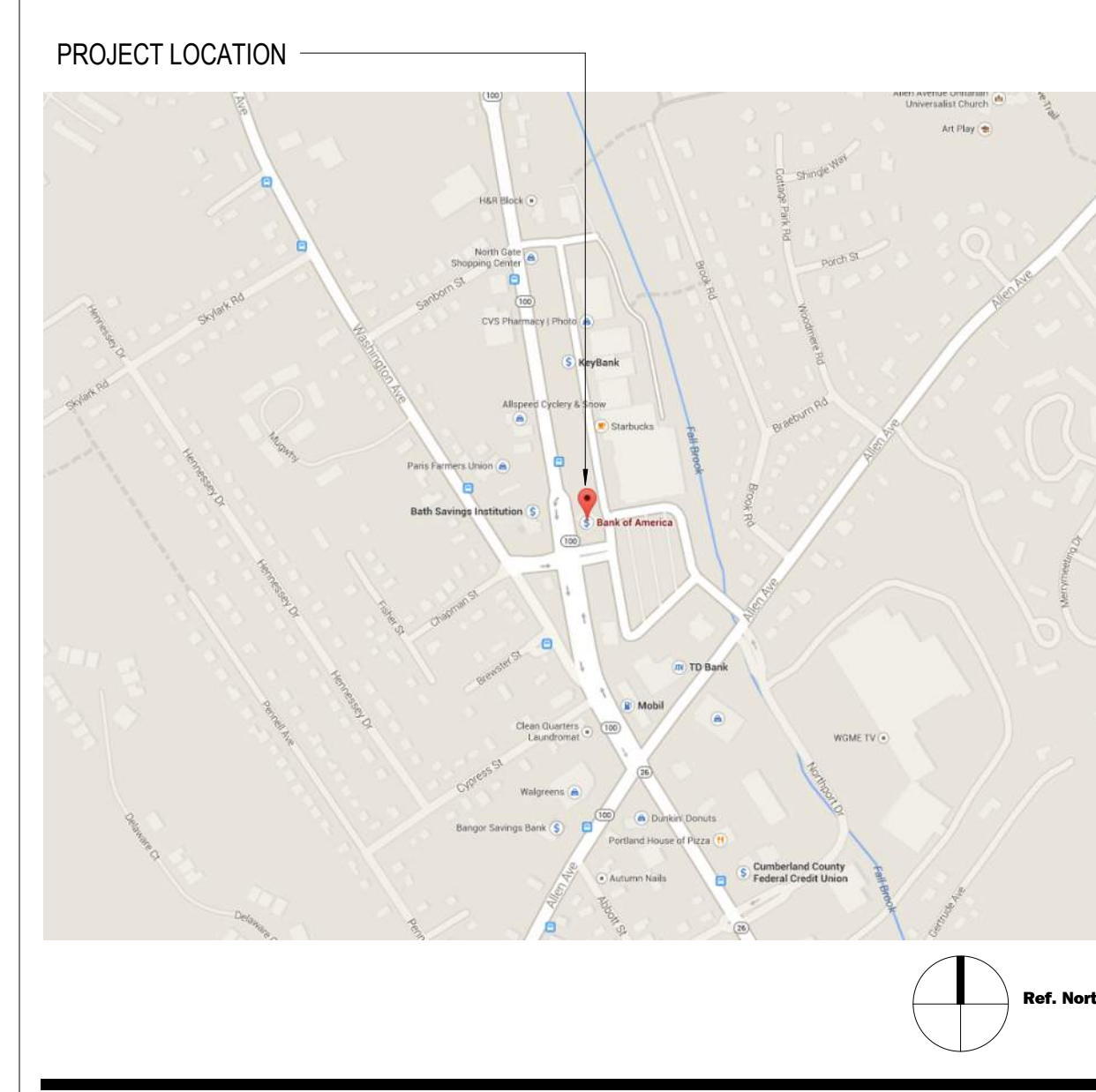
### CONSTRUCTION

- 1 COLUMN GRID
- NOT IN CONTRACT
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW PARTITION REFERENCE TO PARTITION TYPE
- 1 HR. RATED PARTITION
- SMOKE PARTITION
- OFFICE ROOM NAME
- DOOR RELEASE ROOM NUMBER
- DOOR TYPE
- HARDWARE SET
- ALIGN WITH ESTABLISHED SURFACES
- KEY NOTE
- SHEET NOTE
- REVISION REFERENCE
- DIRECTION OF ELEVATION
- ELEVATION NUMBER ON SHEET
- SHEET WHERE SHOWN
- DETAIL NUMBER
- SHEET WHERE SHOWN
- DESCRIPTION OF SIMILAR OR OPPOSITE FLOOR LEVEL AND AREA OR PHASE AREA TO BE DETAILED
- MILLWORK
- MILLWORK SCHEDULE TAG (IF USED)
- FIRE HOSE CABINET
- FIRE EXTINGUISHER WITHOUT CABINET
- FIRE EXTINGUISHER CABINET
- FIRE VALVE WITHOUT CABINET
- FIRE VALVE CABINET
- FIRE ALARM PULL

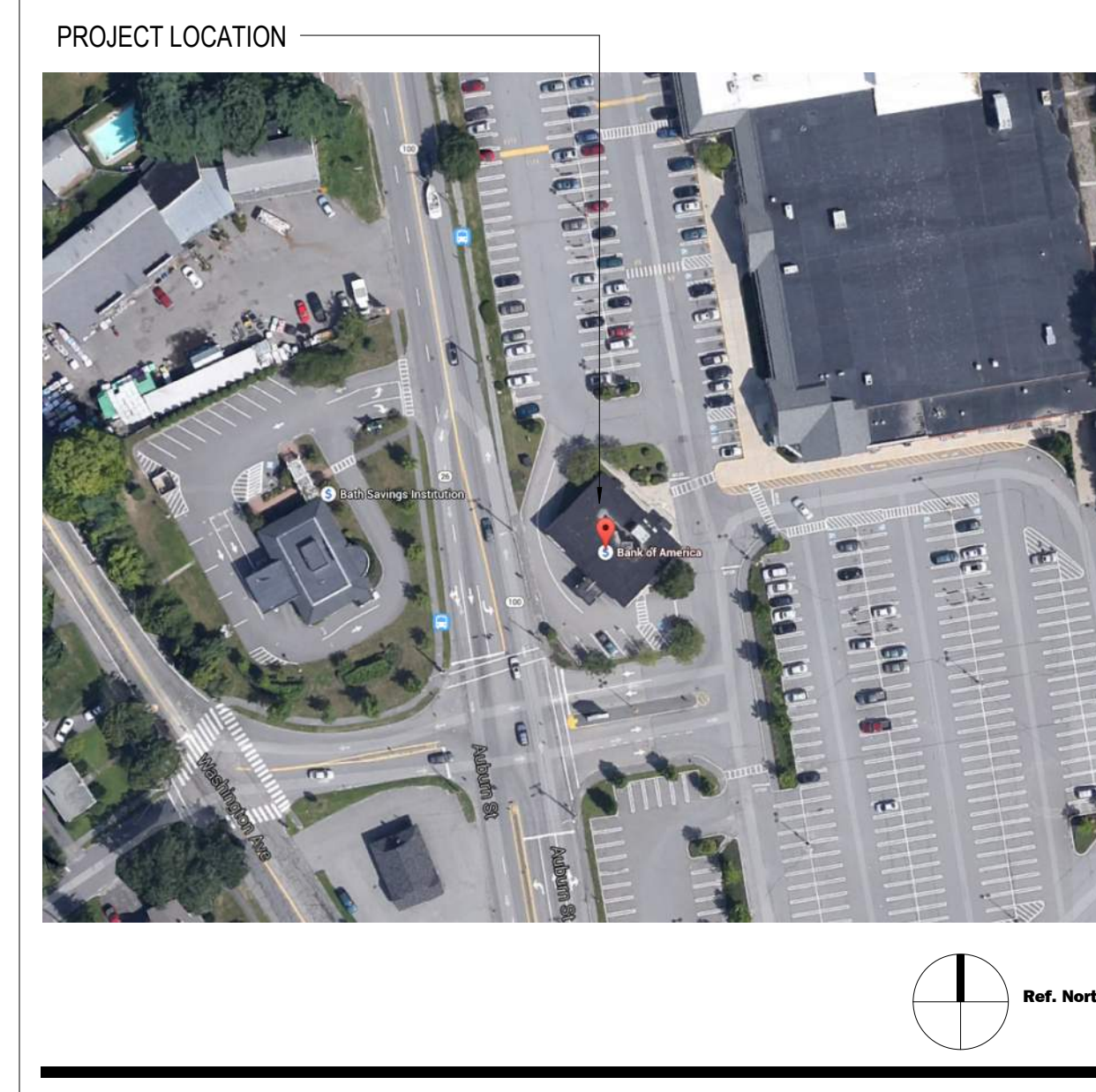
# GENERAL NOTES

- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK EXCEPT AS PROVIDED OTHERWISE IN THE SPECIFICATIONS OR OWNER CONTRACTOR AGREEMENT.
- REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
- OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER AND/OR PROPERTY MANAGER TO ENSURE SECURITY.
- MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
- REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
- REMOVE ABANDONED ELECTRICAL, CABLING AND DEVICES.
- REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT, MILLWORK & ACCESSORIES MOUNTED ON WALL.
- CONTRACTOR SHALL PROVIDE COLOR SAMPLE FOR ALL FINISHES & P-LAM TO OWNER & ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED AS "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- G.C. SHALL PROVIDE ALL WORK RELATED TO ENGINEERING TO INCLUDE, BUT NOT LIMITED TO: MECHANICAL, ELECTRICAL, FIRE PROTECTION & LIFE SAFETY. G.C. SHALL PROVIDE DESIGN DRAWINGS, PERMITS & INSTALLATION OF SYSTEMS ON A DESIGN BUILD BASIS.

# VICINITY MAP



# LOCATION MAP



# SITE PLAN



# DRAWING INDEX

DRAWING NUMBER	DRAWING NAME	CURRENT ISSUE	CURRENT ISSUE DATE	CURRENT ISSUE DESCRIPTION
<b>ARCHITECTURAL</b>				
A00.00	DRAWING INDEX	1	08/15/2014	ISSUE FOR BID AND PERMIT
A00.20	PARTITION TYPES, DOOR & HARDWARE SCHEDULES	1	08/15/2014	ISSUE FOR BID AND PERMIT
A00.40	TYPICAL ADA INFORMATION	1	08/15/2014	ISSUE FOR BID AND PERMIT
A01.01	DEMOLITION PLAN	1	08/15/2014	ISSUE FOR BID AND PERMIT
A02.01	CONSTRUCTION PLAN	1	08/15/2014	ISSUE FOR BID AND PERMIT
A05.01	FINISH PLAN	1	08/15/2014	ISSUE FOR BID AND PERMIT
A06.01	FURNITURE PLAN	1	08/15/2014	ISSUE FOR BID AND PERMIT
A12.00	ENLARGED PLANS AND TYPICAL DETAILS	1	08/15/2014	ISSUE FOR BID AND PERMIT
A12.01	TYPICAL DETAILS	1	08/15/2014	ISSUE FOR BID AND PERMIT
A12.02	TYPICAL DETAILS	1	08/15/2014	ISSUE FOR BID AND PERMIT
A12.20	EXISTING CONDITION PHOTOS	1	08/15/2014	ISSUE FOR BID AND PERMIT

# PROJECT INFORMATION

**PROJECT DESCRIPTION:** BANK OF AMERICA ADA UPGRADE

**BUILDING ADDRESS:** North Gate, 39 Auburn Street, Portland, ME 04103

**OCCUPANCY TYPE:** BUSINESS GROUP B

**CONSTRUCTION TYPE:** EXISTING

**PROJECT AREA:** 980 s.f.

**APPLICABLE CODES**

**BUILDING SUBCODE:** 2009 IBC & 2009 IEBC MAINE UNIFORM BUILDING AND ENERGY CODE 'MUBEC'

**PLUMBING SUBCODE:** ME STATE INTERNATIONAL PLUMBING CODE (UPC 2007)

**MECHANICAL SUBCODE:** ME STATE MECHANICAL CODE

**ELECTRICAL SUBCODE:** NEC 2007 ELECTRICAL STANDARDS

**FIRE/LIFE SAFETY SUBCODE:** NFPA 2007 FIRE SAFETY CODES

**ENERGY CODE:** 2009 IECC MAINE UNIFORM BUILDING AND ENERGY CODE 'MUBEC'

**ACCESSIBILITY CODE:** ADAAG

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Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature

**Project Name**  
ADA UPGRADES

**Project Number**  
11.6560.125

**Description**  
DRAWING INDEX

**Scale**  
NOT TO SCALE

# A00.00

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No.	Location	Type	Door Assembly			Material	Finish	Frame Details			Material	Finish	Fire Rating	Hardware Set	Remarks
			Width	Height	Thickness			Head	Jamb	Sill					
100	ATM VESTIBULE	G	MATCH EX.	MATCH EX.	MATCH EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	--	#AL-1	EXISTING CARD READER TO REMAIN
101	ATM VESTIBULE	G	MATCH EX.	MATCH EX.	MATCH EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	--	#AL-1	--
105	SVB VIEWING ROOM	A	3'-0"	7'-0"	1 3/4"	WOOD	P-2	--	--	--	WOOD	P-2	--	#6	--
106	SDB VESTIBULE	A1	3'-0"	4'-5"	1 3/4"	WOOD	P-2	--	--	--	WOOD	P-2	--	#6C	--
107	SECURED TELLER AREA	A1	3'-0"	4'-5"	1 3/4"	WOOD	P-2	--	--	--	WOOD	P-2	--	#11A	DOOR EXISTING TO REMAIN. PROVIDE NEW HDWR.
108	OFFICE	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	--	#5B	DOOR EXISTING TO REMAIN. PROVIDE NEW HDWR.
110	OFFICE	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	--	#5B	DOOR EXISTING TO REMAIN. PROVIDE NEW HDWR.
111	EGREES DOOR	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	--	AL-1C	G.C. TO COORDINATE HARDWARE REPLACEMENT WITH SECURITY VENDOR

### DOOR SCHEDULE

SCALE: 1/2" = 1'-0"

QTY	DESCRIPTION	MODEL	FINISH	MFR
<b>GROUP 6 - COUPON BOOTH</b>				
3 EA	HINGE	BB1279 4.5 X 4.5	26D	HAG
1 EA	PRIVACY SET	ND40S SPA	626	SCH
1 EA	WALL STOP	WS407CCV	630	IVE
3 EA	SILENCER	SR64	GRY	IVE

QTY	DESCRIPTION	MODEL	FINISH	MFR
<b>GROUP 6C - VIEWING AREA</b>				
2 EA	HINGE	BB1279 4.5 X 4.5	26D	HAG
1 EA	ELECTRIFIED LOCK	ND96PDEU SPA	626	SCH
1 EA	SPIC EV B CORE ONLY	80-037	626	SCH
1 EA	WALL STOP	WS407CCV	630	IVE
2 EA	SILENCER	SR64	GRY	IVE

QTY	DESCRIPTION	MODEL	FINISH	MFR
<b>GROUP AL-1C - VIEWING AREA</b>				
1 EA	PANIC EXIT HARDWARE	98/99EL RIM EXT. DEVICE	630	VDN

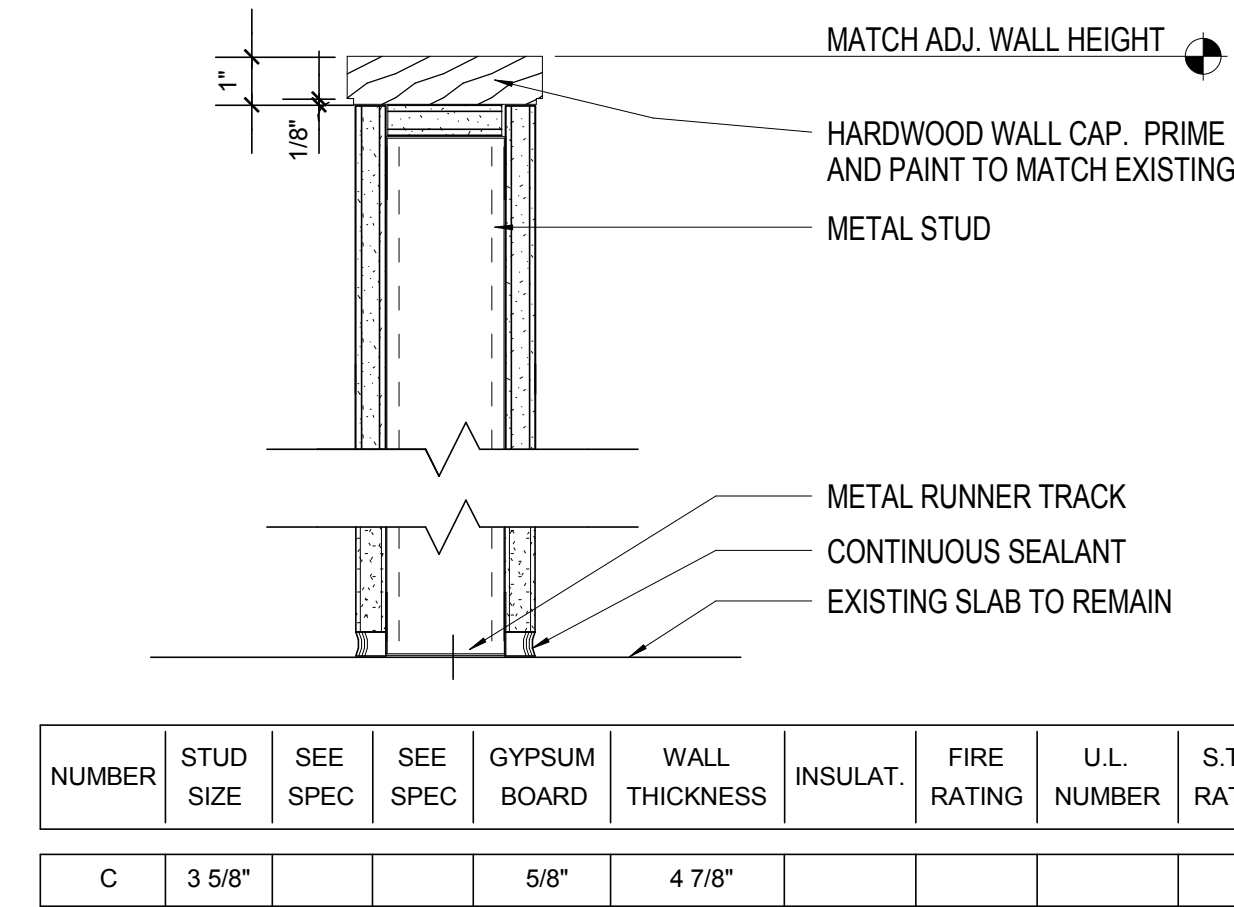
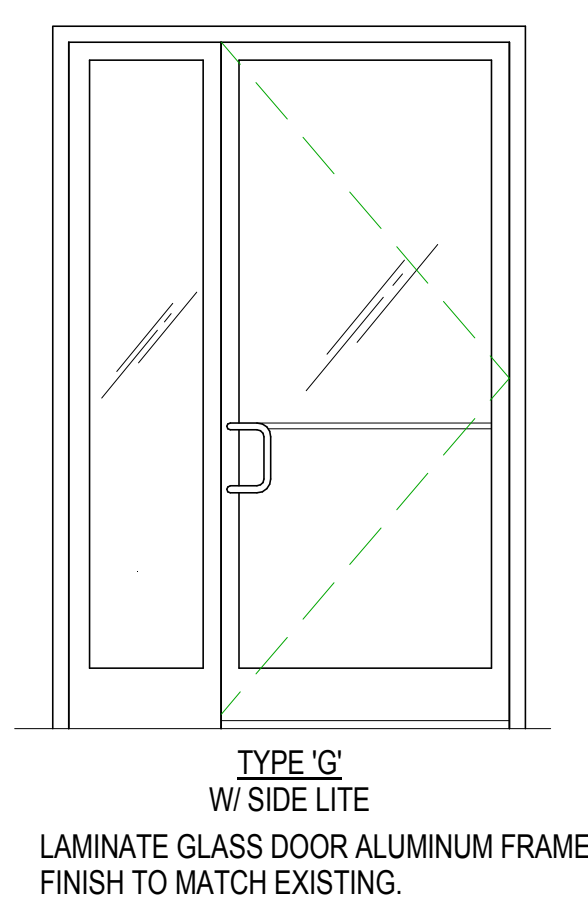
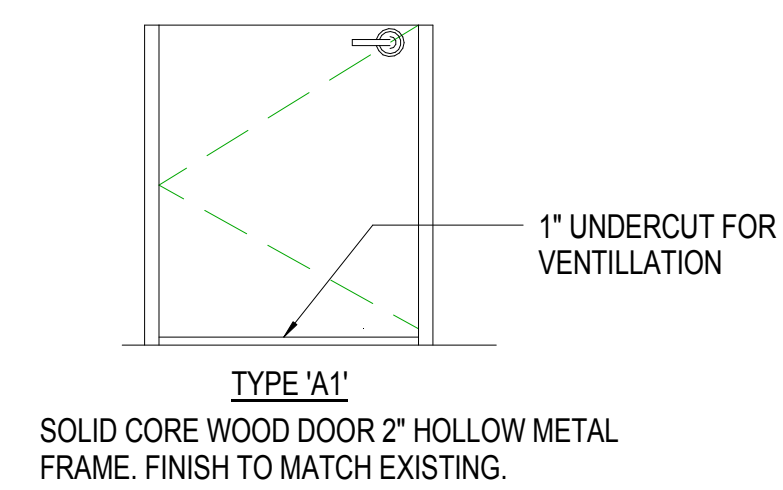
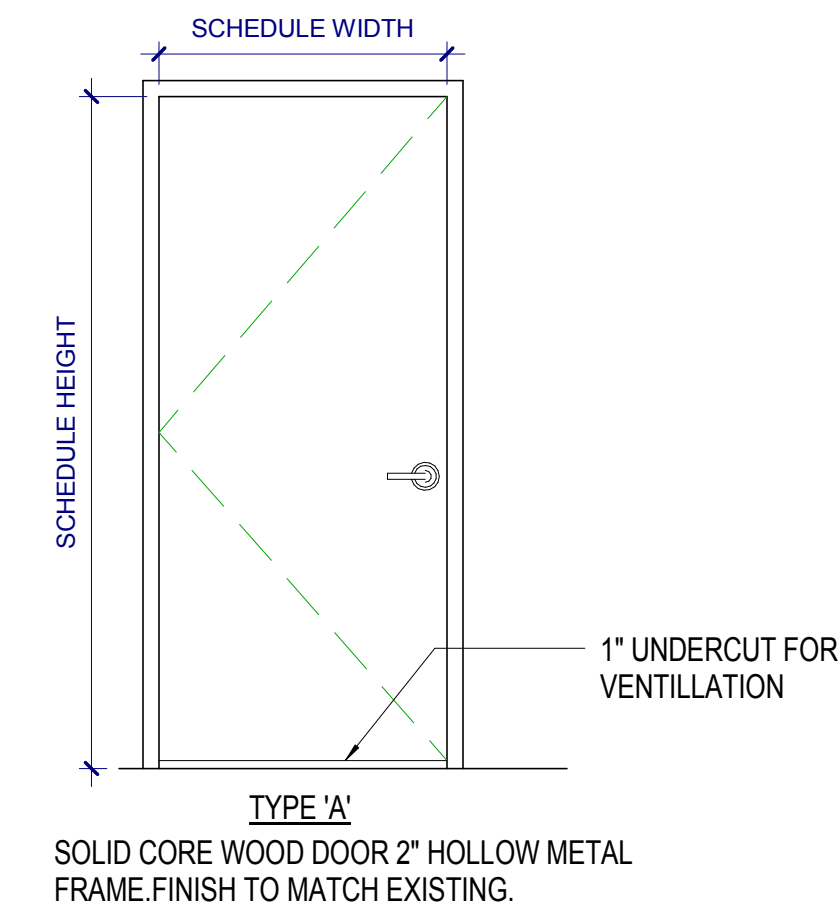
QTY	DESCRIPTION	MODEL	FINISH	MFR
<b>GROUP 5B - OFFICES</b>				
3 EA	HINGE	BB1279 4.5 X 4.5	26D	HAG
1 EA	OFFICE LOCKSET	ND91PD F82	626	SCH
1 EA	WALL STOP	WS407CCV	630	IVE
3 EA	SILENCER	SR64	GRY	IVE

QTY	DESCRIPTION	MODEL	FINISH	MFR
<b>GROUP 11A - SECURE TELLERS</b>				
3 EA	HINGE	BB1279 4.5 X 4.5	26D	HAG
1 EA	STOREROOM LOCK	ND80HD SPA	626	SCH
1 EA	SURFACE CLOSER	4011	689	LCN
1 EA	WALL STOP	WS407CCV	630	IVE
3 EA	SILENCER	SR64	GRY	IVE

QTY	DESCRIPTION	MODEL	FINISH	MFR
<b>GROUP AL-1 - STOREFRONT (EXTERIOR DOOR)</b>				
4 EA	HINGE	BB1199 4.5 X 4.5 NRP	26D	HAG
1 EA	PANIC EXIT HARDWARE	98/99EL RIM EXT. DEVICE	630	VDN
1 EA	DOOR PULL	8103EZ-0	630	IVE
1 EA	MORTISE CYLINDER	80-132XQ110948	626	SCH
1 EA	DEADLOCK	MS1850S	626	AR
1 EA	RIM CYL W/CONST CORE	80-159	626	SCH
1 EA	SURFACE CLOSER	4110 SCUSH	689	LCN
1 EA	MOUNTING PLATE	4110-18	689	LCN
1 EA	CUSH SHOE SUPPORT	4110-30	689	LCN
1 EA	BLADE STOP SPACER	4110-61	689	LCN
1 EA	THRESHOLD	325	689	NGP
1 EA	CARD READER	INSTALLED BY BANK SECURITY VENDOR		

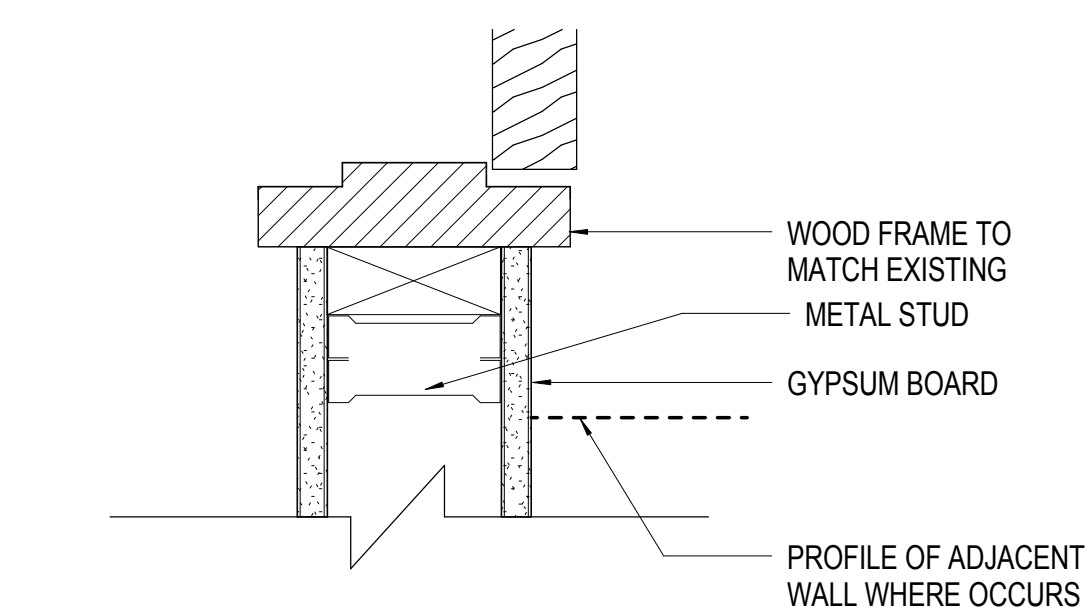
### HARDWARE SCHEDULE

SCALE: 1/2" = 1'-0"



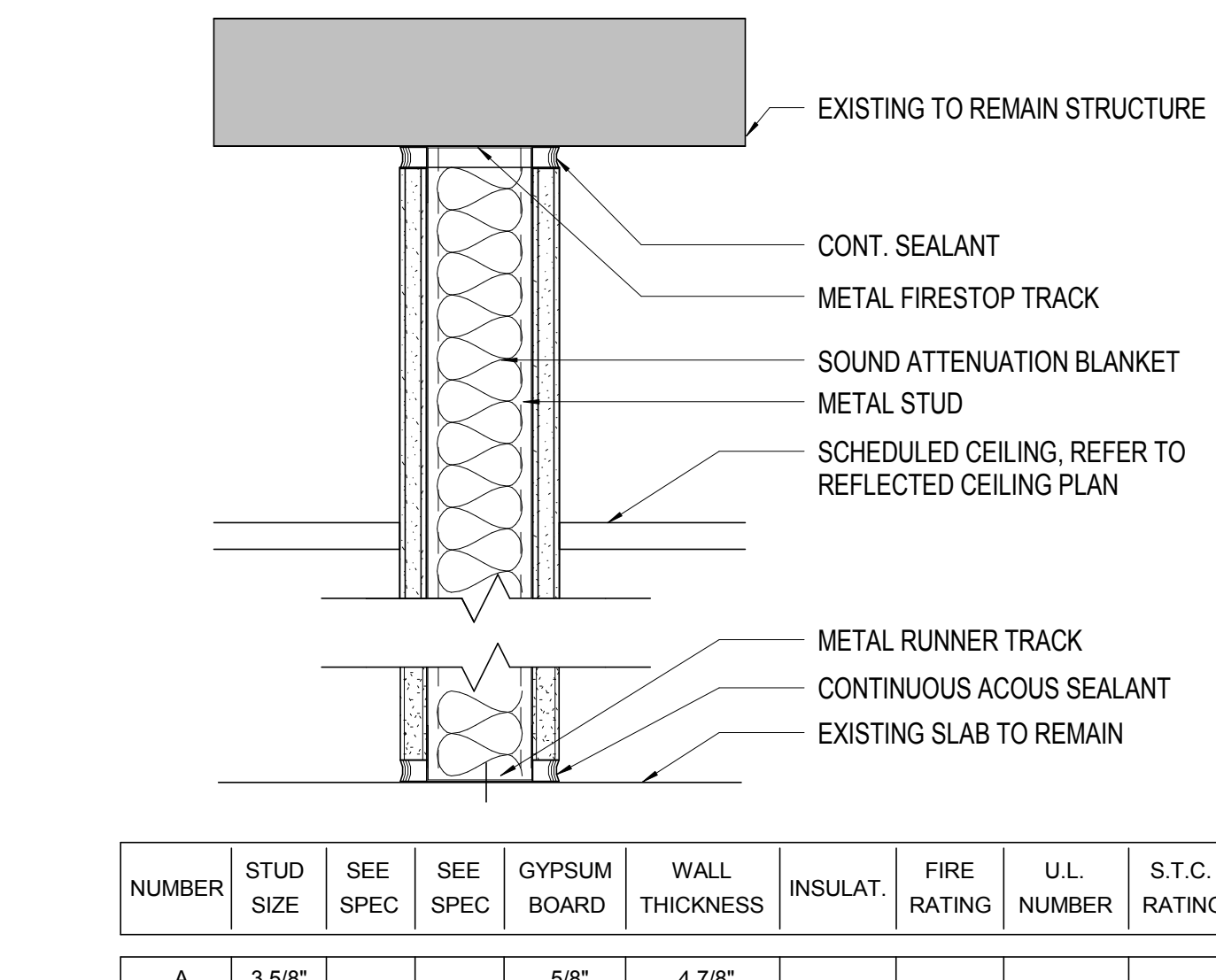
### PARTITION TYPE C

SCALE: 3/4" = 1'-0"



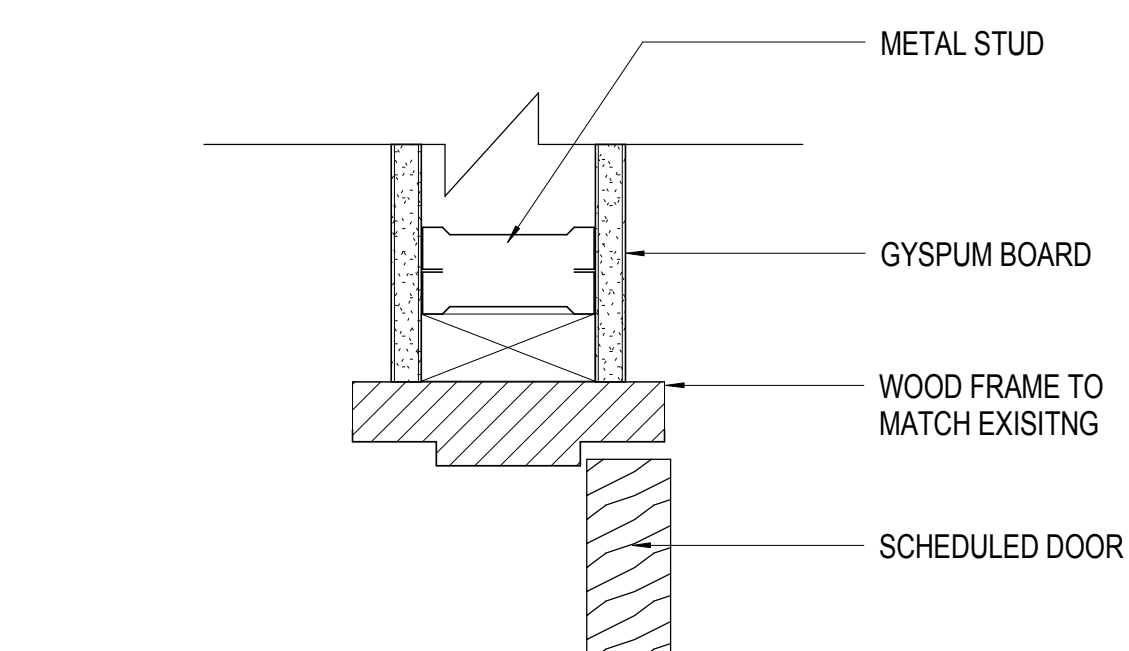
### DOOR TYPES

SCALE: 1/2" = 1'-0"



### PARTITION TYPE A

SCALE: 3/4" = 1'-0"



### WOOD DOOR FRAME TYP. HEAD

SCALE: 3/4" = 1'-0"

### KEY NOTES

### GENERAL NOTES

- COORDINATE ALL HARDWARE WITH DOOR SWINGS. WHEN SPECIFIED, CLOSERS TO BE ON INTERIOR OF ALL ROOMS. IF NO WALL IS PROVIDED WHERE A WALL STOP HAS BEEN SPECIFIED, SUBMIT OVERHEAD STOP WITH HARDWARE SUBMITTAL. ALL SECURITY HARDWARE TO BE LOCATED SO THE INTERIOR ROOM OR SPACE IS SECURE, U.N.O.
- ALL HARDWARE FINISH TO MATCH EXISTING, U.N.O. WHERE MULTIPLE FINISHES EXIST, NOTIFY ARCHITECT IMMEDIATELY AND CONFIRM FINAL FINISH SELECTION BEFORE ORDERING.
- WHERE NEW HARDWARE IS TO BE INSTALLED ON EXISTING DOORS, CONFIRM ALL SPECIFIED HARDWARE IS COMPATIBLE WITH EACH DOOR TYPE. NOTIFY ARCHITECT OF ALL CONFLICTS BEFORE ORDERING.

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature

Project Name  
ADA UPGRADES

Project Number  
11.6560.125

Description  
PARTITION TYPES, DOOR & HARDWARE SCHEDULES

Scale  
NOT TO SCALE

**A00.20**

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Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature \_\_\_\_\_

Project Name  
ADA UPGRADES

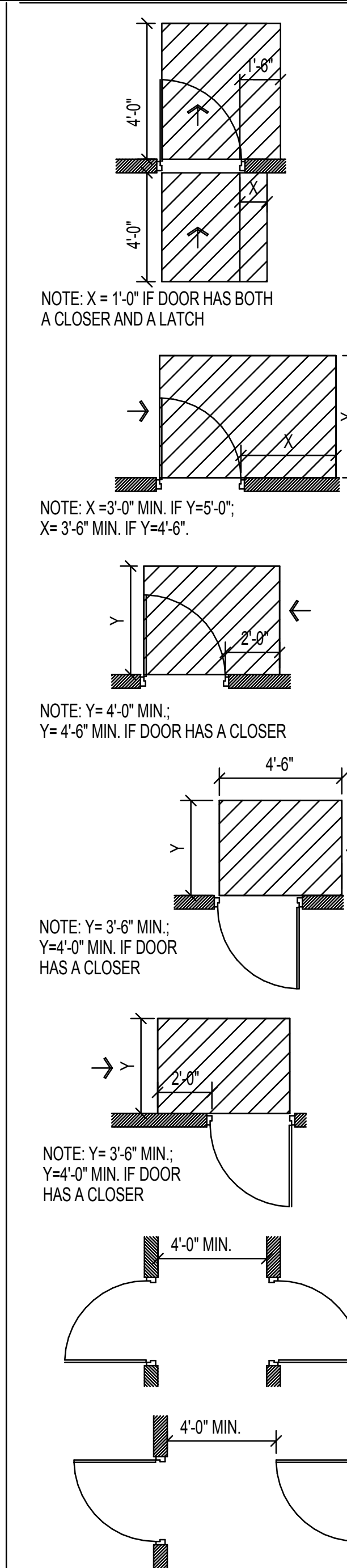
Project Number  
11.6560.125

Description  
TYPICAL ADA INFORMATION

Scale  
1/2" = 1'-0"

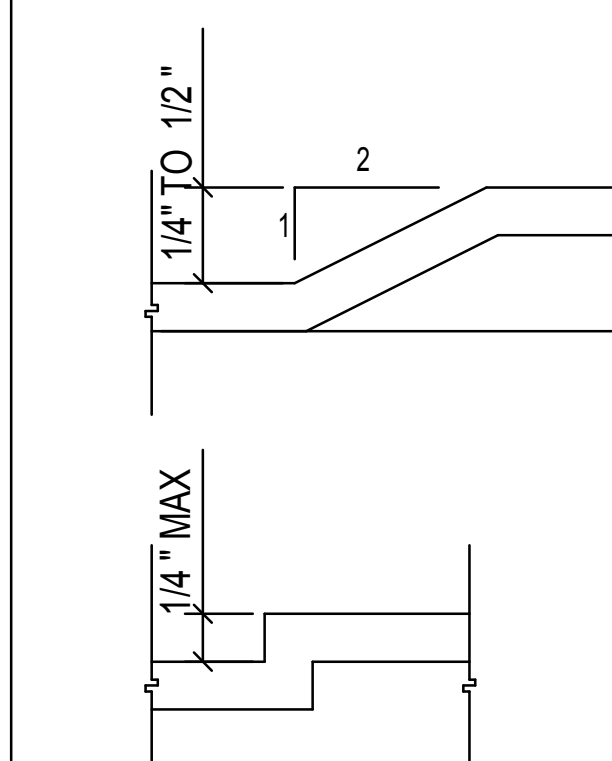
**A00.40**

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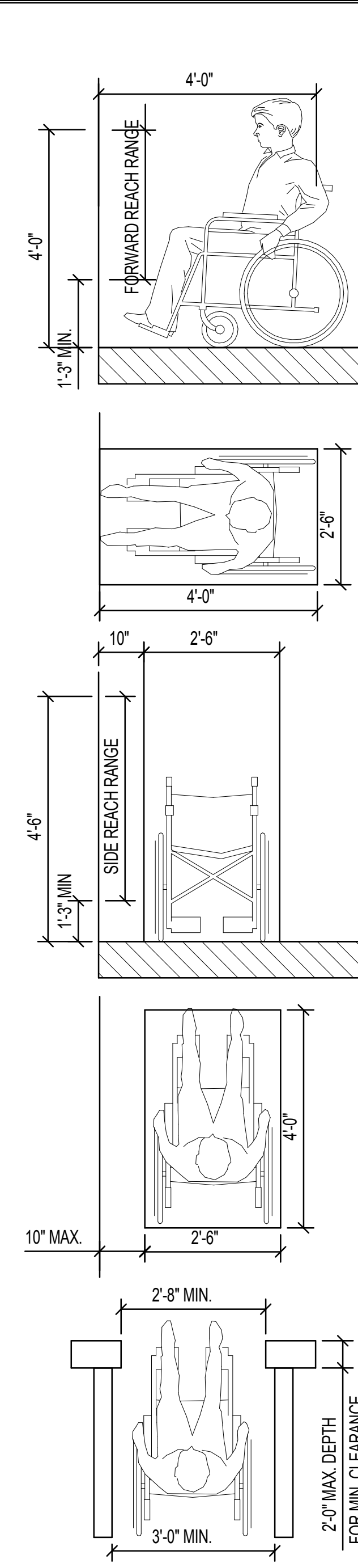
**CLEARANCES 01**

SCALE: 1/2" = 1'-0"



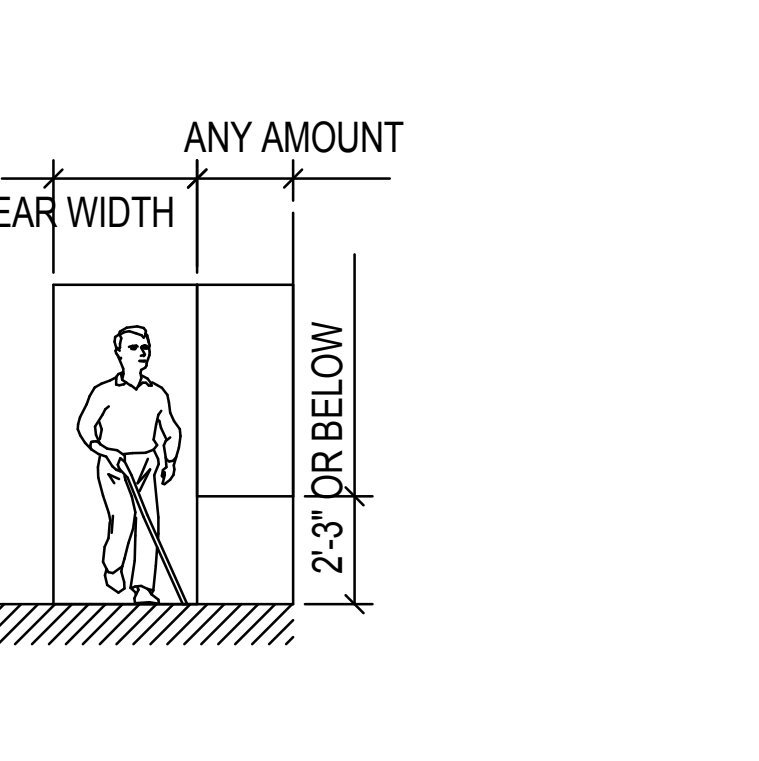
**THRESHOLDS 02**

SCALE: FULL



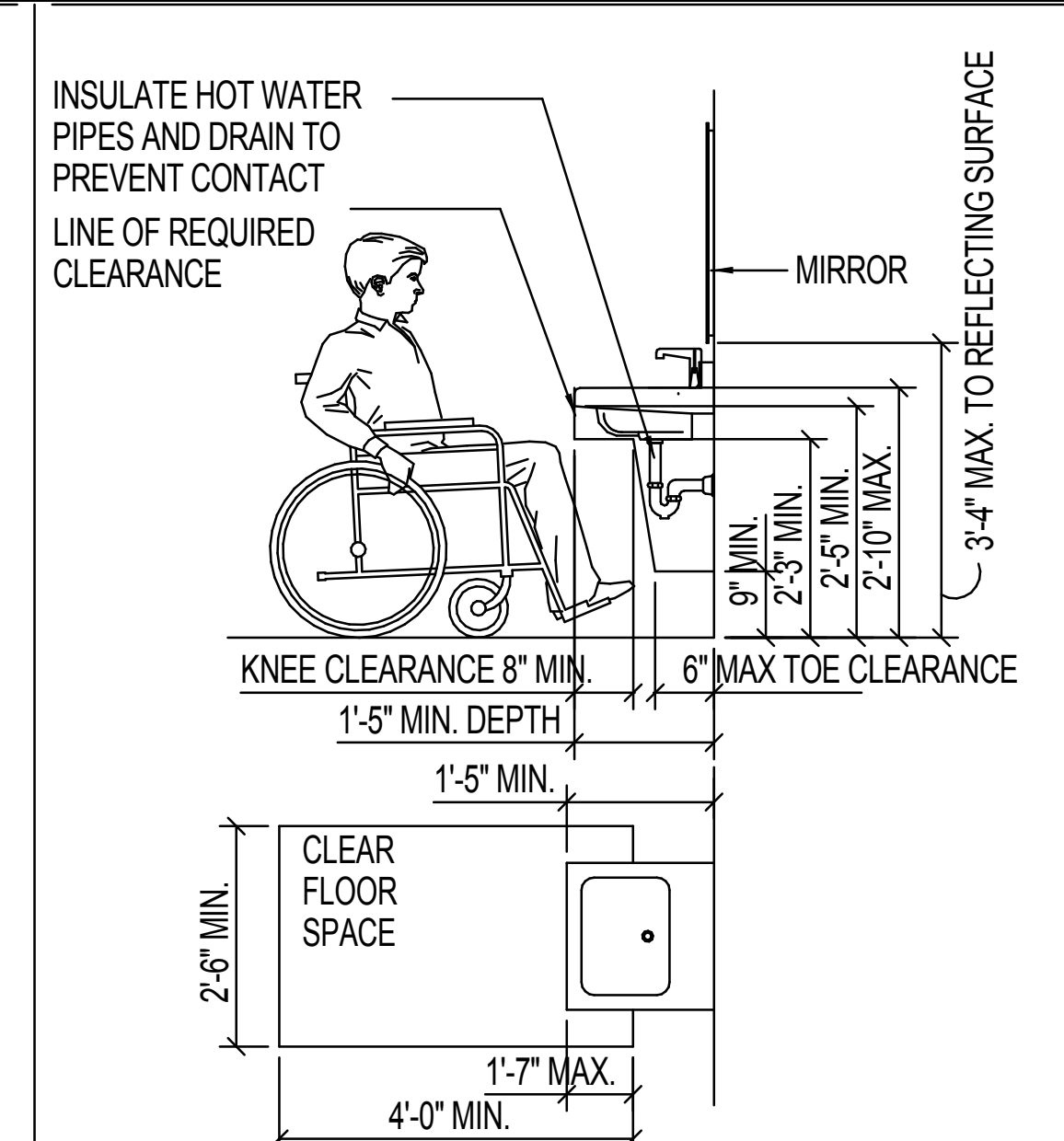
**REACH RANGES 04**

SCALE: 1/2" = 1'-0"



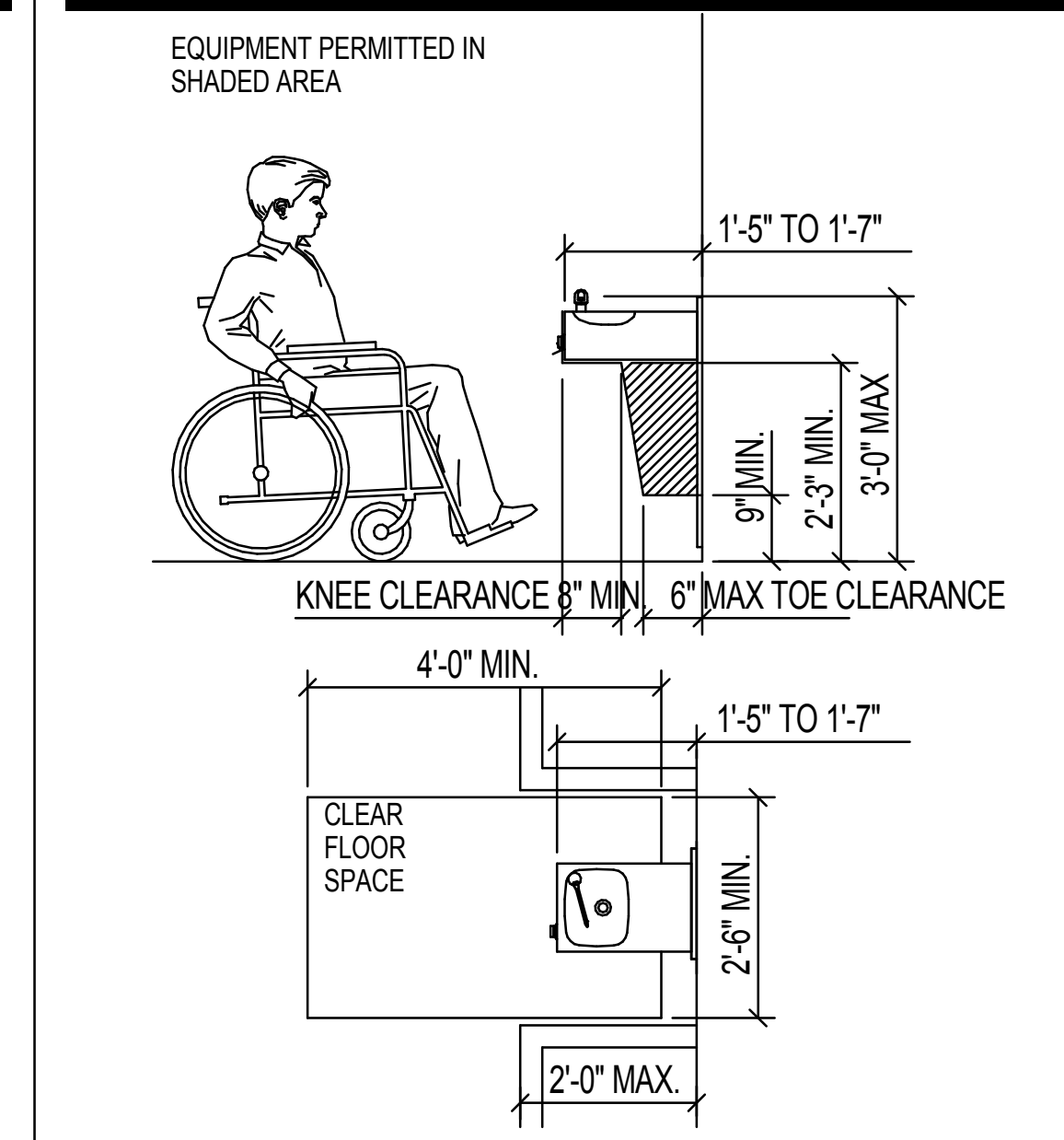
**PROTRUDING OBJECTS 05**

SCALE: 1/4" = 1'-0"



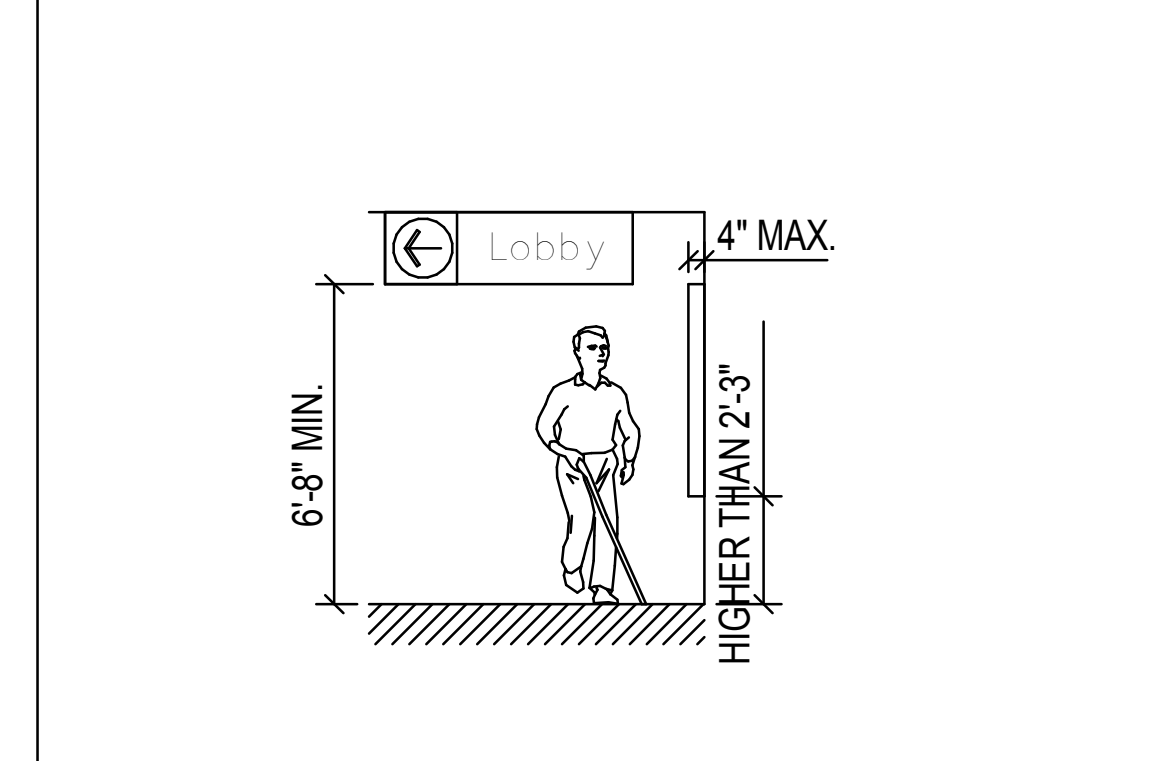
**SINK OR VANITY 06**

SCALE: 1/2" = 1'-0"



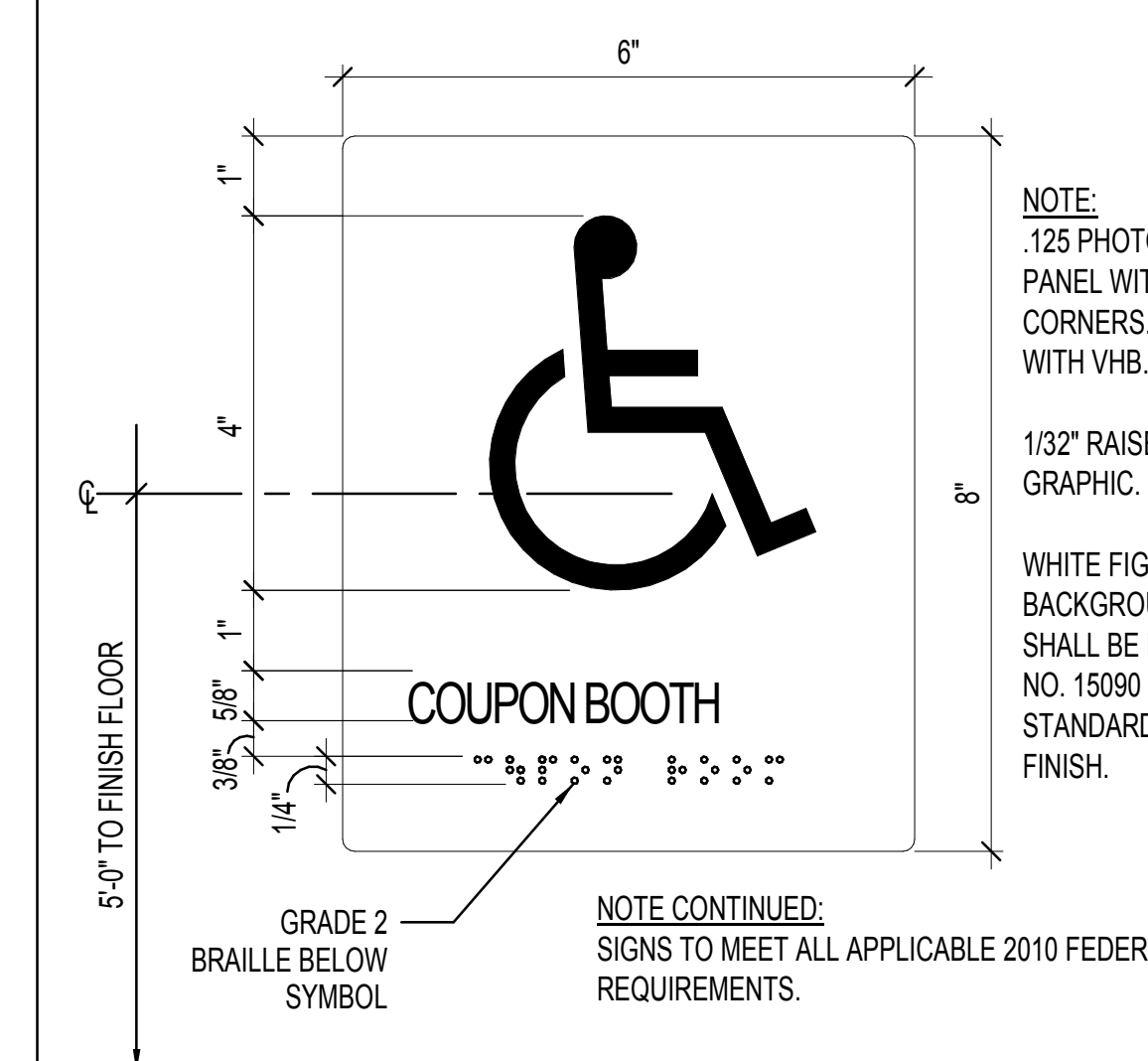
**DRINKING FOUNTAIN 07**

SCALE: 1/2" = 1'-0"



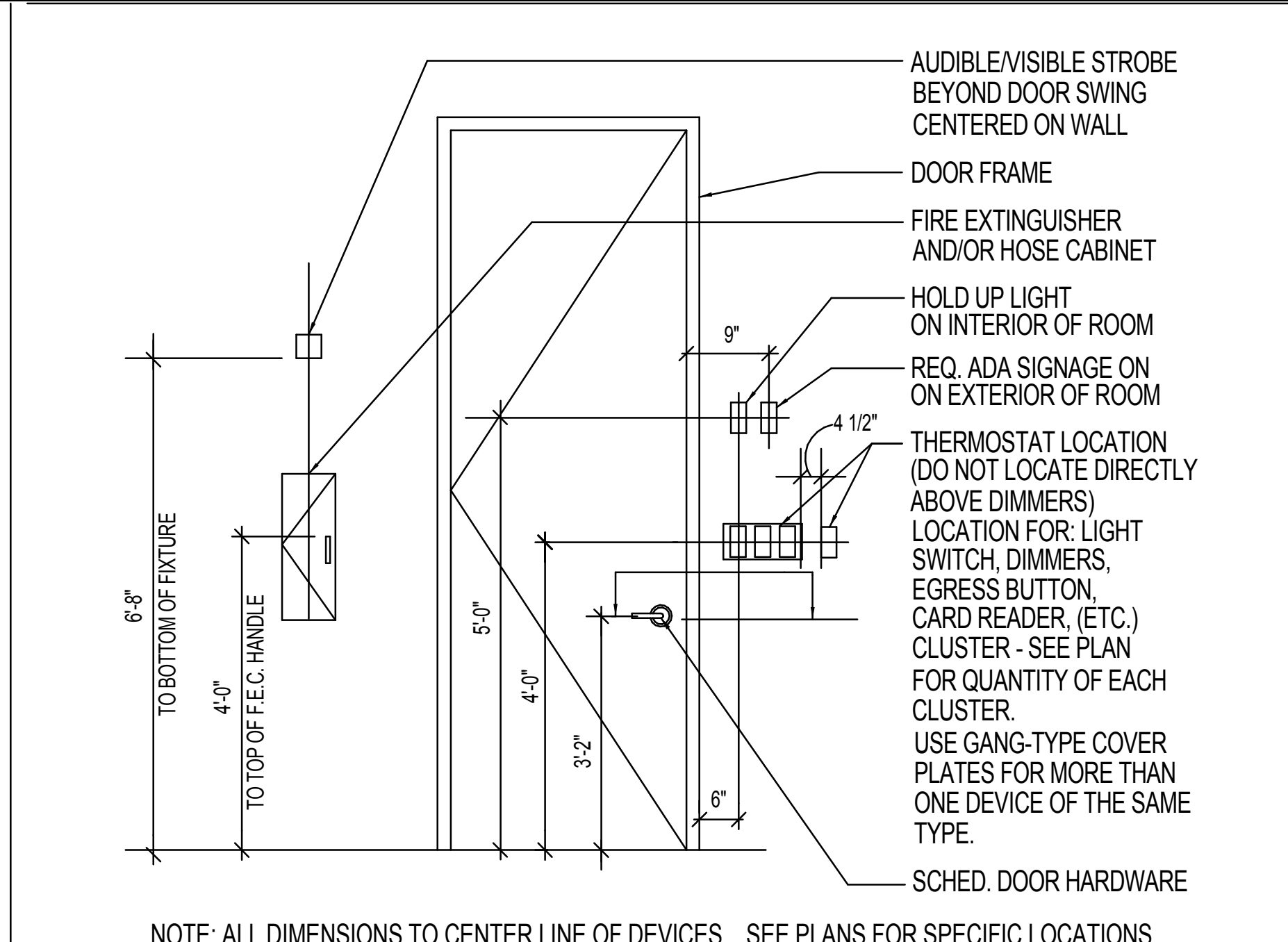
**WAYFINDING SIGNAGE 03**

SCALE: 1/4" = 1'-0"



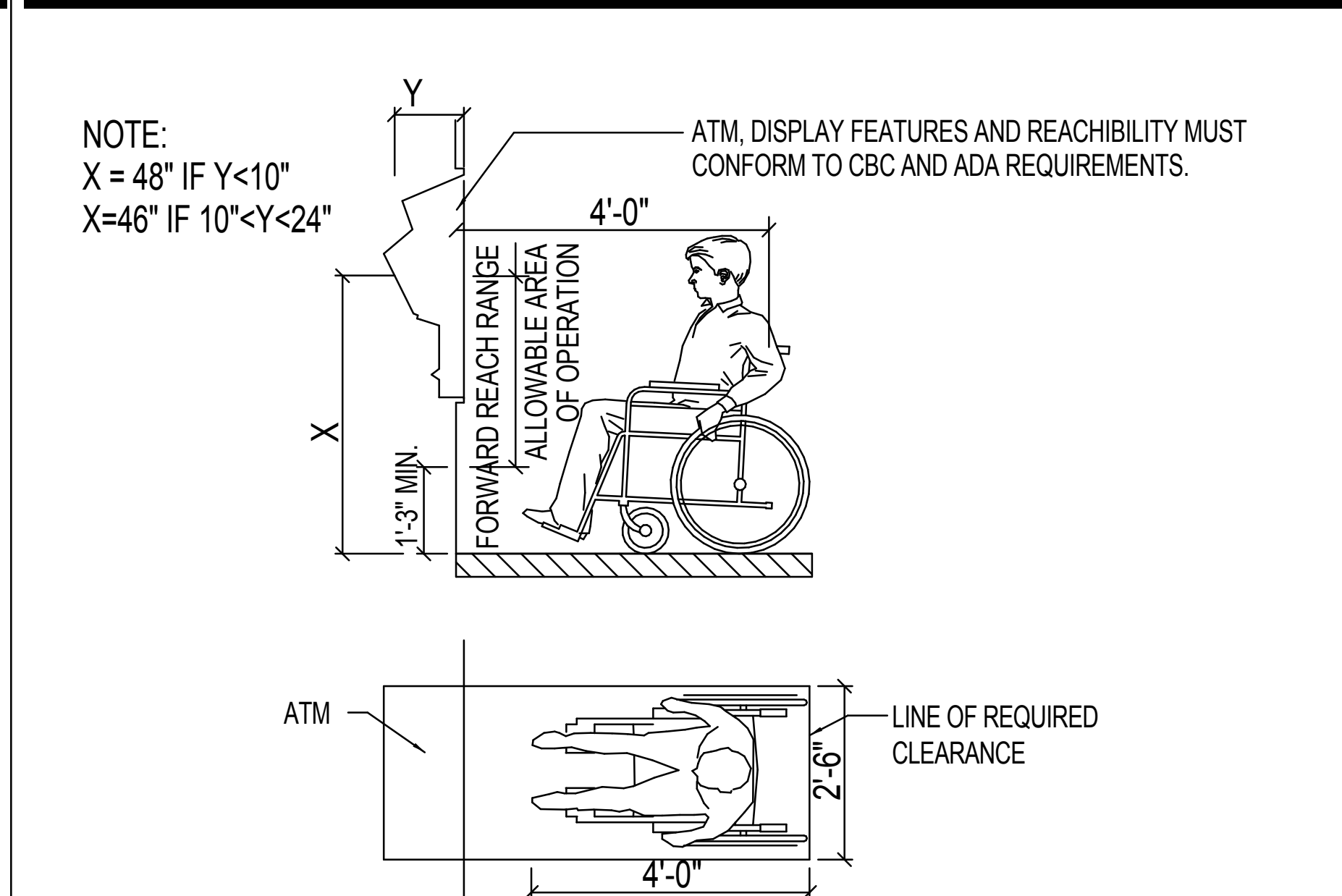
**WAYFINDING SIGNAGE 03**

SCALE: 1/4" = 1'-0"



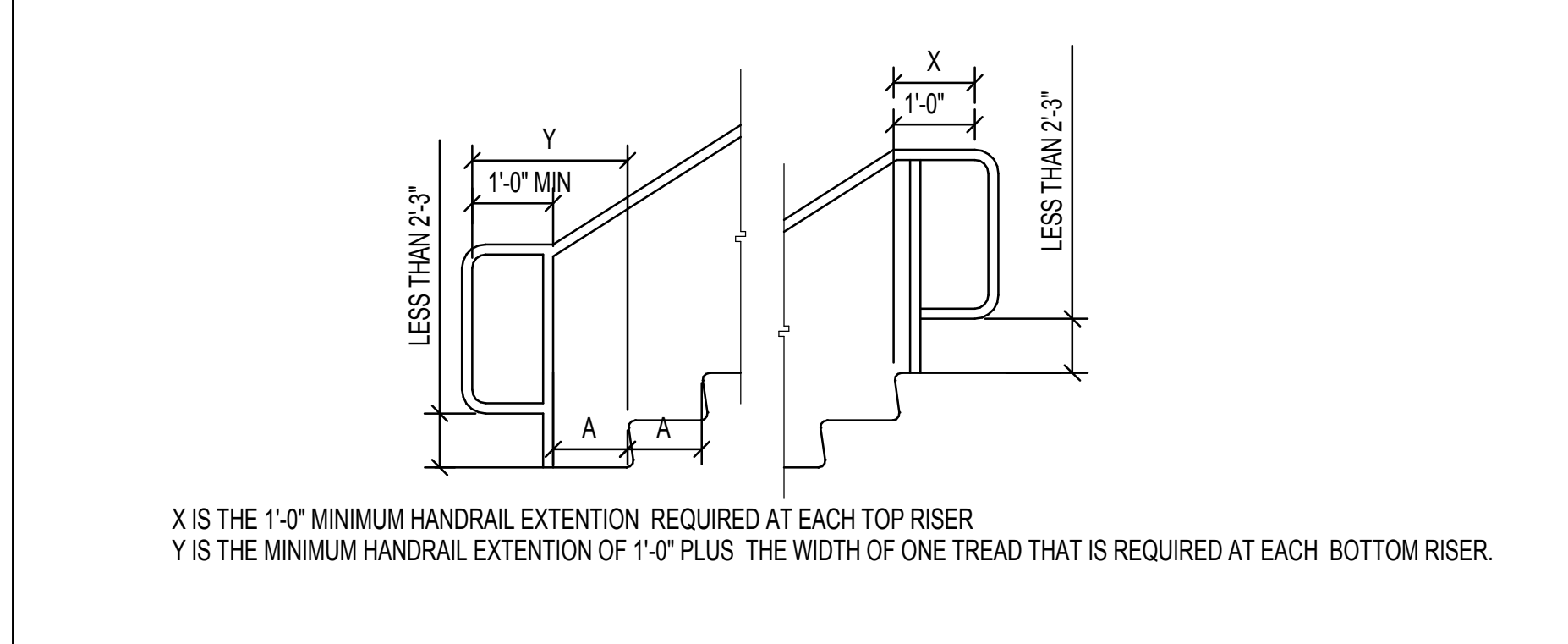
**TYPICAL MOUNTING HEIGHTS 08**

SCALE: NTS



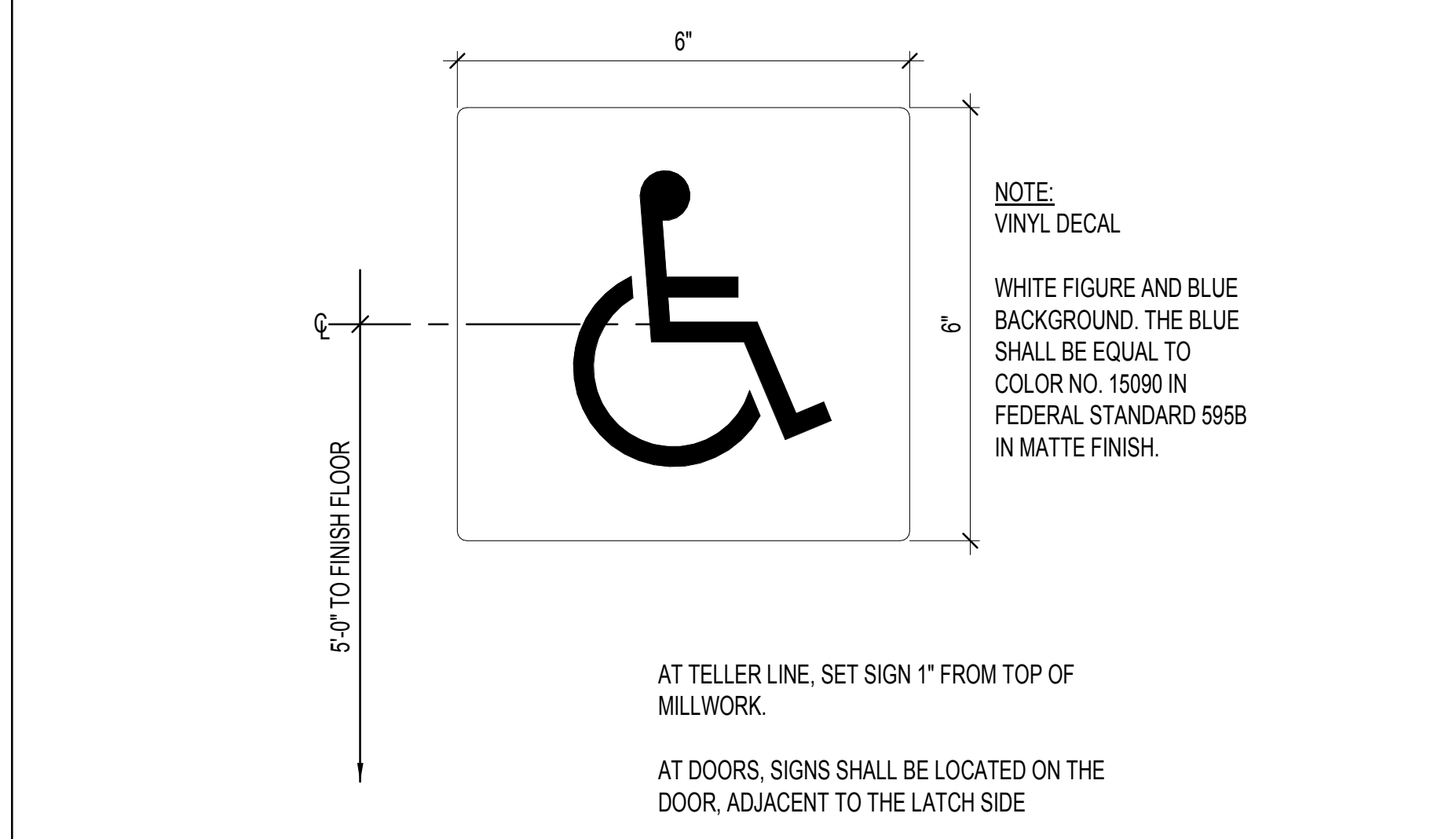
**ATM CLEARANCES 09**

SCALE: 1/2" = 1'-0"



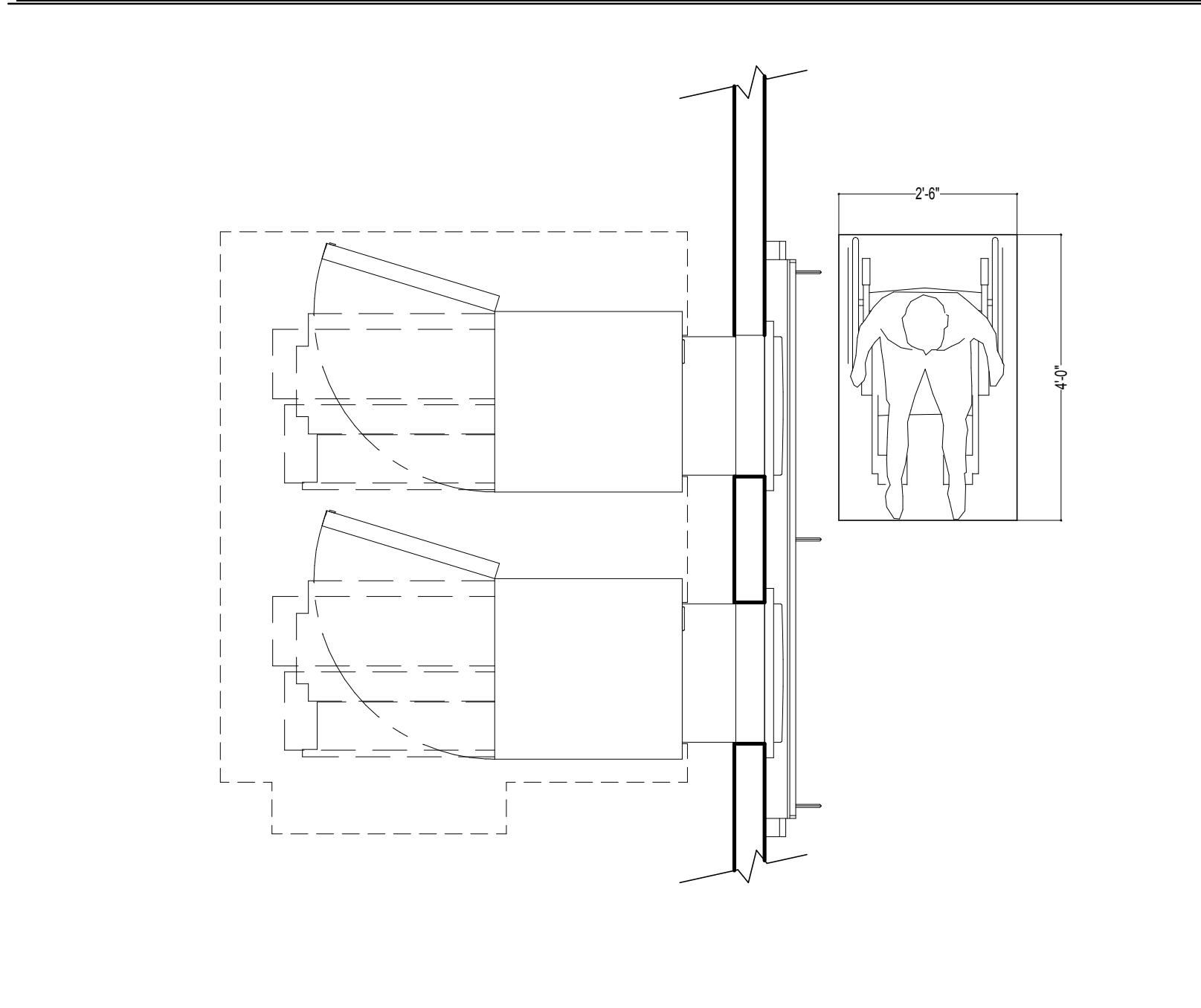
**HANDRAIL EXTENSIONS 10**

SCALE: 1/2" = 1'-0"



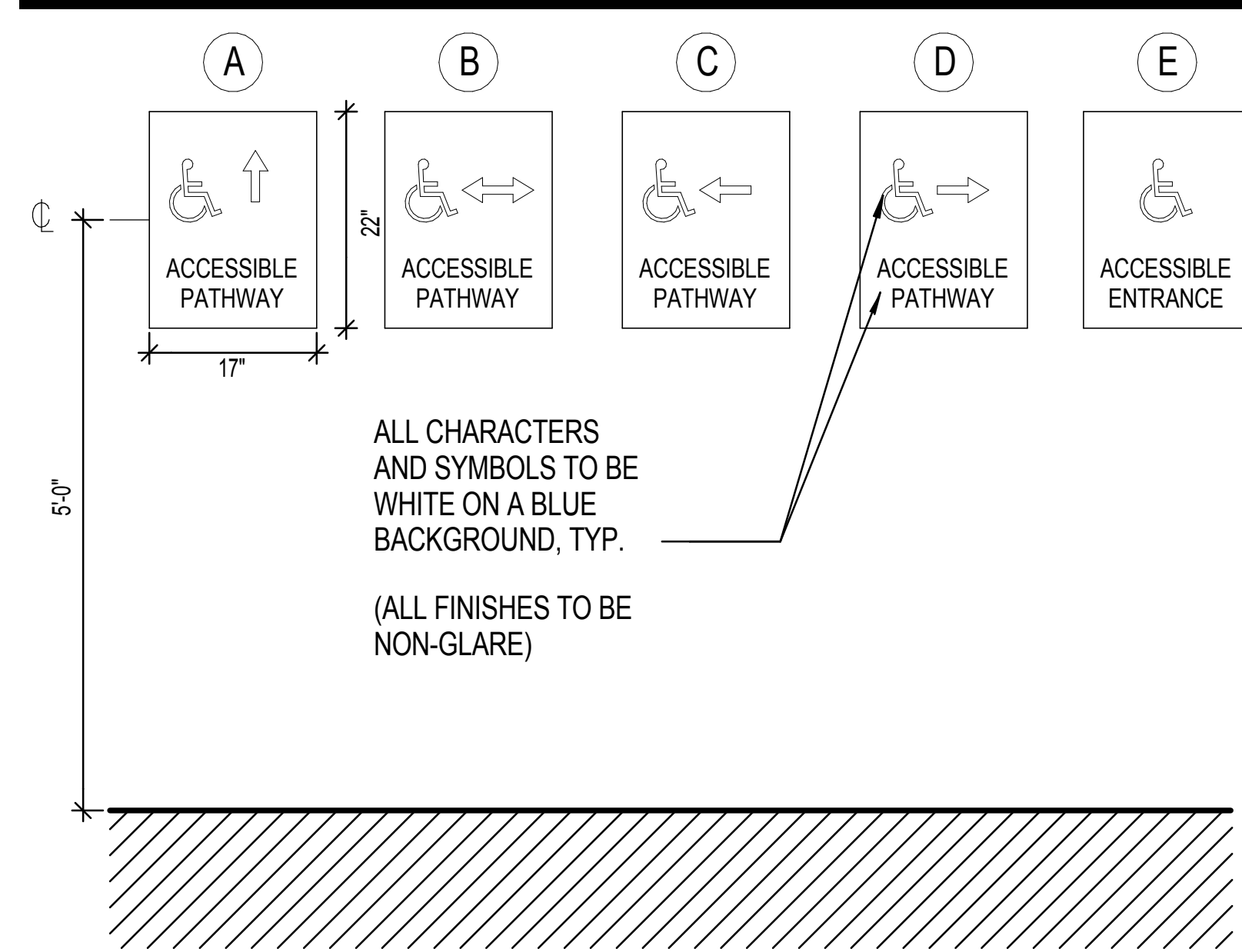
**ACCESSIBLE SIGNAGE 11**

SCALE: 1/4" = 1'-0"



**ATM SIDE APPROACH 12**

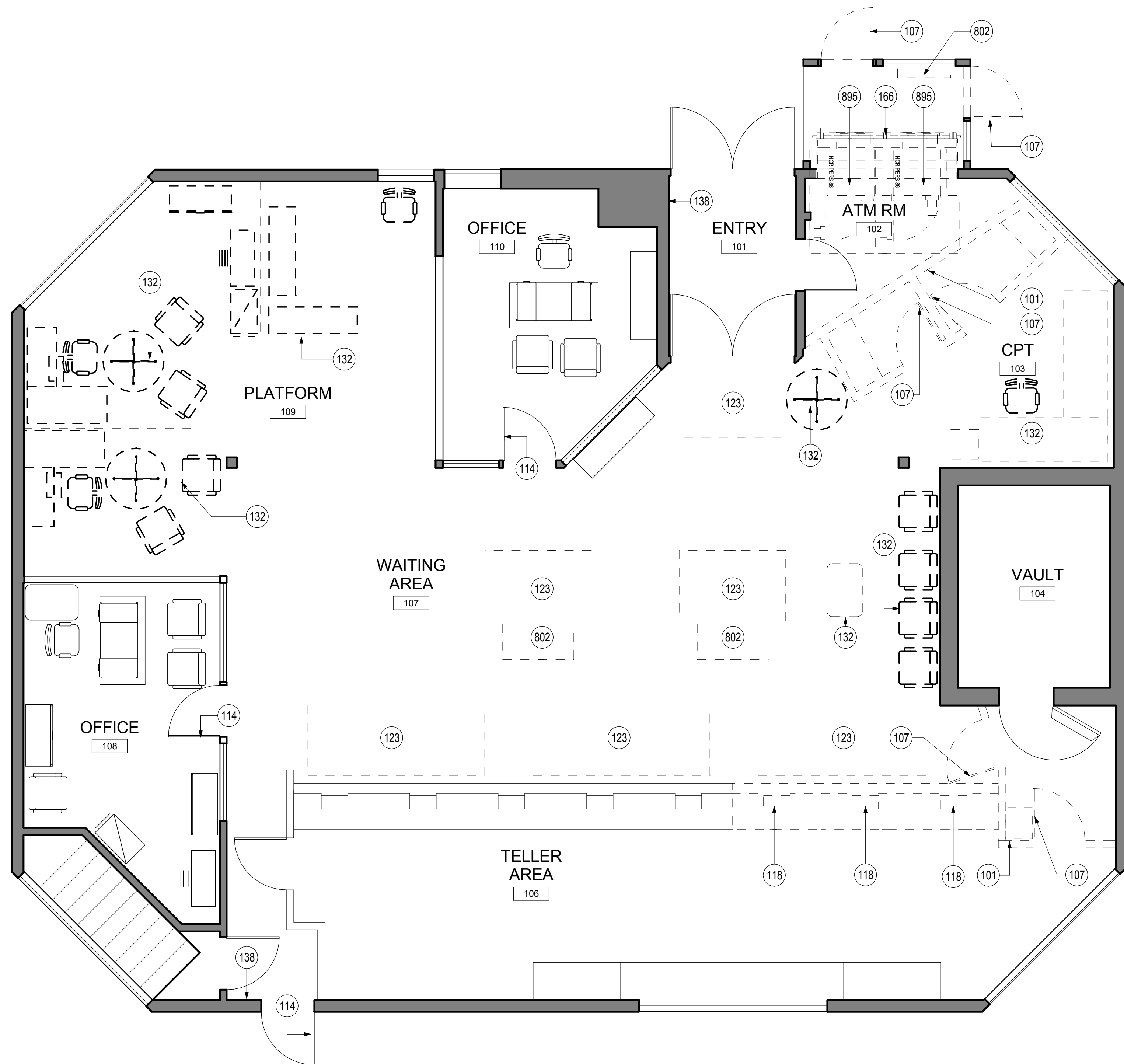
SCALE: NTS



**DIRECTIONAL SIGNAGE 13**

SCALE: 1/2" = 1'-0"

J:\11.6560.125\BIM\Building Model\User Model Files\Delta Cotti\_2014\_BOA\_Portland-39 Auburn St\_E2013.rvt

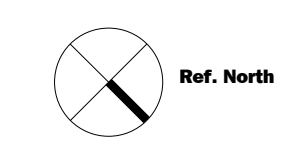


**KEY NOTES**

- 101 DEMOLISH EXISTING PARTITION WALLS AS INDICATED (SHOWN DASHED). ALL LIGHT SWITCHES, OUTLETS AND DEVICES TO BE TEMPORARILY REMOVED & RELOCATED TO IDENTICAL LOCATION, U.O.N. REFER TO A02 SERIES AND A04 SERIES FOR NEW LAYOUT AND SPECIFIED LOCATIONS FOR DEVICES. PROVIDE TEMPORARY STRUCTURAL SUPPORT AS NEEDED. NOTIFY ARCHITECT OF ANY CONFLICTS.
- 107 REMOVE EXISTING DOOR, DOOR FRAME & ASSOCIATED DOOR HARDWARE.
- 114 REMOVE EXISTING NON-COMPLIANT DOOR HARDWARE AND PREPARE DOOR TO RECEIVE NEW HARDWARE. PATCH / REPAIR DOOR TO MATCH EXISTING FINISH. REFER TO A02 SERIES AND A00.20 FOR NEW HARDWARE.
- 118 REMOVE SECTION OF TELLER COUNTER AS INDICATED (SHOWN DASHED), REMOVE & RELOCATE ALL POWER/DATA (& GST IF THERE IS ONE) TO SAME LOCATION AFTER COMPLETION OF MILLWORK RENOVATIONS.
- 123 REMOVE NON-COMPLIANT WALK-OFF MAT.
- 132 REMOVE & RELOCATE FURNITURE AS PER CONSTRUCTION PLAN.
- 138 REMOVE & RELOCATE FIRE ALARM PULL. REFER TO A02 SERIES FOR NEW LOCATION. VERIFY NEW LOCATION COMPLIES WITH ALL APPLICABLE FIRE AND LIFE SAFETY CODES.
- 166 REMOVE EXISTING ATM SURROUND, PATCH AND PREPARE SURFACE FOR NEW SURROUND.
- 802 REMOVE EXISTING CHECK STAND COUNTER AND COMPONENTS, INCLUDING SIGNAGE. REPAIR SURFACES TO REMAIN AS NEEDED TO MATCH EXISTING FINISH.
- 895 RELOCATE EXISTING ATM'S AS INDICATED IN THE CONSTRUCTION PLAN.

**GENERAL NOTES**

- A. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- B. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- C. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- D. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- E. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- F. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
- G. REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
- H. REMOVE ABANDONED ELECTRICAL, CABLING AND DEVICES.
- I. ALL FURNITURE AFFECTED BY DEMOLITION AND NEW CONSTRUCTION LAYOUT IS TO BE RELOCATED. NO FURNITURE IS TO BE DISPOSED, U.N.O. COORDINATE FINAL RELOCATION WITH OWNER AND SITE MANAGER.
- J. ALL SECURITY DEVICES AND SYSTEMS TO REMAIN INTACT DURING ALL PHASES OF WORK. ANY MODIFICATIONS NEEDED DUE TO AREA OF DEMOLITION AND NEW CONSTRUCTION LAYOUT TO BE PERFORMED BY OWNER'S SECURITY VENDOR AND TO BE COORDINATED WITH OWNER PRIOR TO DEMOLITION.
- K. ALL LIGHT LENSES IN AREA OF WORK ARE REQUIRED TO BE CLEANED, REGARDLESS IF FIXTURE IS NEW, RELOCATED OR REMAINING IN THE EXISTING LOCATION.
- L. GC IS REQUIRED TO PERFORM INTERNAL REVIEW PRIOR TO ARCHITECT/OWNER PUNCH LIST WALK.
- M. NO DEVIATIONS FROM CONSTRUCTION DOCUMENTS WITHOUT PROPER RFI.



Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature \_\_\_\_\_

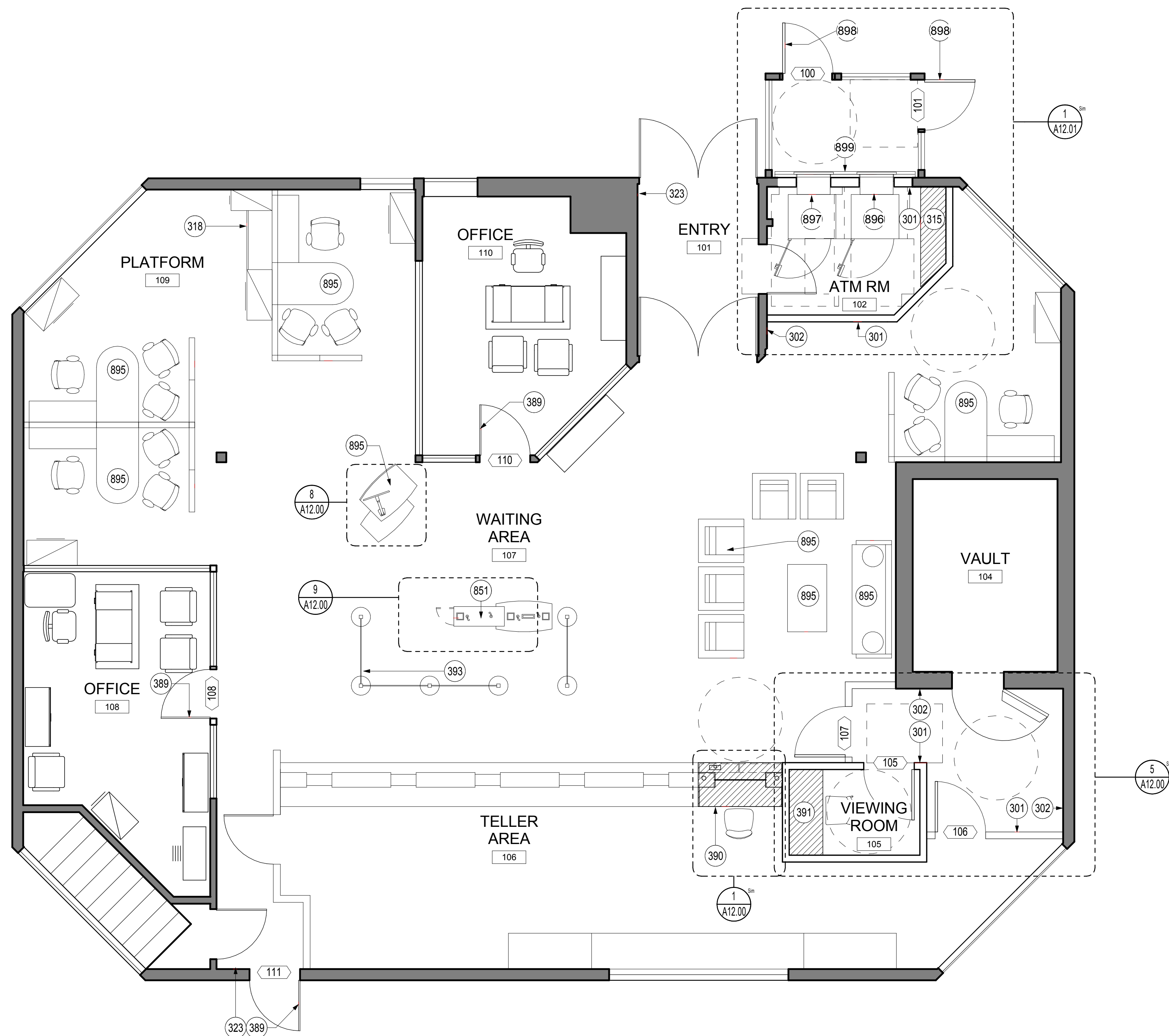
Project Name  
ADA UPGRADES

Project Number  
11.6560.125

Description  
DEMOLITION PLAN

Scale  
1/4" = 1'-0"

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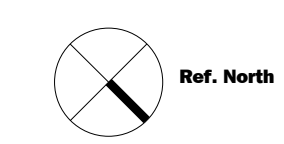


**KEY NOTES**

- 301 ALL NEW PARTITION WALL TYPES AND PATCHED WALLS TO BE FINISHED TO MATCH EXISTING. U.O.N. IF EXISTING. PROVIDE MATCHING WALL BASE. NEW CONSTRUCTION TO ALIGN AND MATCH EXISTING CONSTRUCTION WHERE INDICATED.
- 302 PATCH / REPAIR WALL AND FINISH TO MATCH EXISTING ADJACENT. IF EXISTING, PROVIDE MATCHING WALL BASE.
- 315 NEW MILLWORK COUNTERTOP. REFER A12 SERIES FOR ENLARGED PLAN AND DETAILS.
- 318 RELOCATED EXISTING FURNITURE.
- 323 RELOCATED FIRE ALARM PULL. HIGHEST OPERABLE PART TO BE MOUNTED AT 48" A.F.F. MAX. SHOWN FOR LOCATION ONLY. G.C. TO COORDINATE WITH DESIGN BUILD ENGINEER. PATCH / REPAIR AND FINISH WALL TO MATCH EXISTING.
- 389 PROVIDE NEW COMPLIANT HARDWARE. REFER TO A00 SERIES FOR DOOR AND HARDWARE SCHEDULE AND TYPICAL MOUNTING HEIGHTS.
- 390 NEW ADA TELLER COUNTER (W/ LOWERED CUSTOMER SHELF). P-LAM TO MATCH EXISTING. VERIFY W/ OWNER AND ARCHITECT PRIOR TO INSTALLATION. PROVIDE NEW OR RELOCATE EXISTING QST.
- 391 NEW COUPON BOOTH COUNTER.
- 393 PROVIDE NEW BANK STANDARD MERCHANDISING QUEUE.
- 851 NEW LOBBY CHECK DESK. PATCH AND REPAIR ANY FLOORING DAMAGE DUE TO DEMOLITION OF EXISTING CHECK STAND. FINISH TO MATCH EXISTING.
- 895 PROVIDE NEW FURNITURE. REFER TO SHEET A06.01 FOR LAYOUT AND SCHEDULE.
- 896 RELOCATED EXISTING NCR ATM. G.C. TO COORDINATE WITH BANK'S SECURITY VENDOR.
- 897 RELOCATED EXISTING NCR ATM. RECONFIGURE BASE SUPPORT - LOWER ATM TO COMPLY WITH 2010 ADAAG. H.O.P. @ 46" AFF MAX. G.C. TO COORDINATE WITH BANK'S SECURITY VENDOR.
- 898 PROVIDE NEW ADA COMPLIANT DOOR, HARDWARE AND THRESHOLD. REFER TO SHEET A00.20.
- 899 PROVIDE NEW SUR-WING-DOUBLE-STD SURROUND.

**GENERAL NOTES**

- A. REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- B. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- C. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT, FIXTURES, MILLWORK & ACCESSORIES MOUNTED ON WALL.
- D. CONTRACTOR SHALL PROVIDE COLOR SAMPLES FOR ALL FINISHES & P-LAM TO OWNER & ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
- E. ADJUST OPENING FORCE OF ALL INTERIOR DOOR CLOSERS TO A MAXIMUM OF 5 LBF.
- F. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- G. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED AS "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- H. IF EXISTING DOORS TO REMAIN DO NOT ALLOW FOR SPECIFIED HARDWARE. G.C. TO PROVIDE NEW DOOR.
- I. G.C. SHALL PROVIDE ALL WORK RELATED TO ENGINEERING TO INCLUDE, BUT NOT LIMITED TO: MECHANICAL, ELECTRICAL, FIRE PROTECTION & LIFE SAFETY. G.C. SHALL PROVIDE DESIGN DRAWINGS, PERMITS & INSTALLATION OF SYSTEMS ON A DESIGN BUILD BASIS.
- J. RELOCATE EXISTING FIXTURES ON WALLS TO BE REMOVED TO NEW PARTITION. REFER TO SHEET A00.40 FOR TYPICAL MOUNTING HEIGHTS.
- K. RE-KEY NEW LOCKSETS TO MATCH EXISTING KEY WAY OR KEYED SEPARATELY AS PER MANAGER/CBRE DIRECTION AND USE OWNER'S DOOR HARDWARE VENDOR.
- L. PROVIDE SUBMITTALS FOR MILLWORK, DOOR HARDWARE, AND TOILET ACCESSORIES.



Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature \_\_\_\_\_

Project Name  
ADA UPGRADES

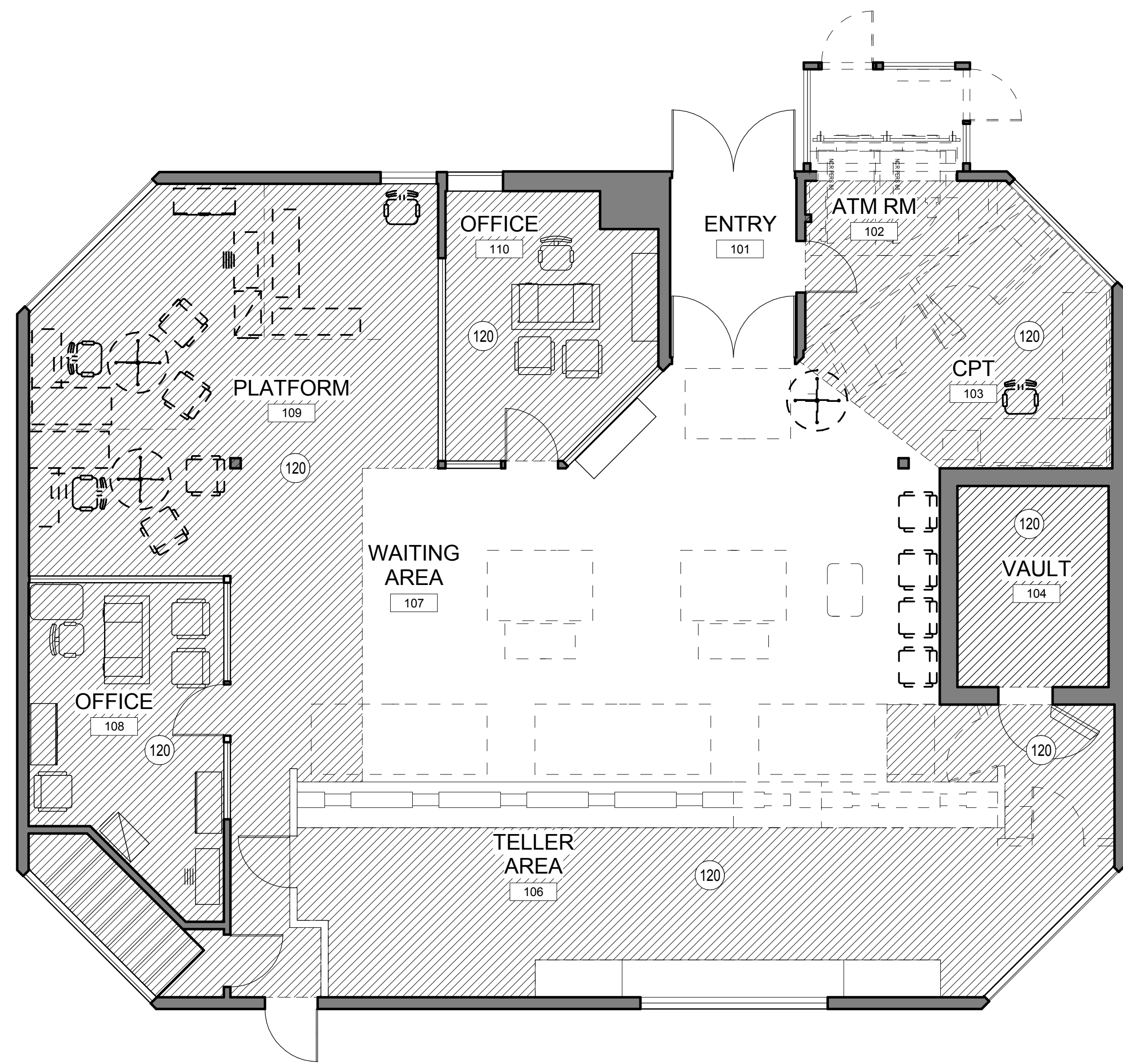
Project Number  
11.6560.125

Description  
CONSTRUCTION PLAN

Scale  
1/4" = 1'-0"

**A02.01**

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**FINISH PLAN - DEMOLITION**

SCALE: 3/16" = 1'-0"

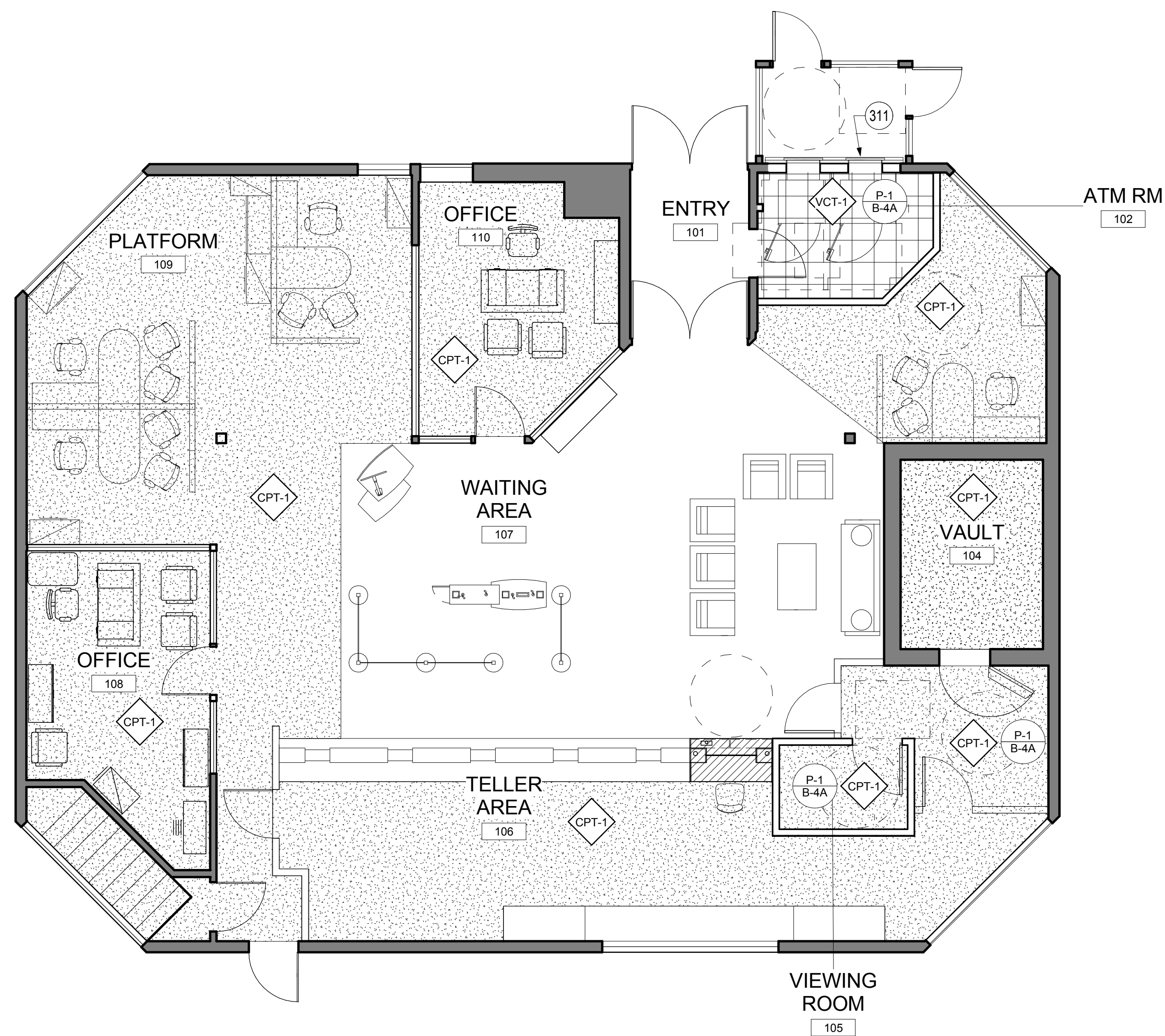
**GENERAL NOTES**

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- J. RELOCATE EXISTING FIXTURES ON WALLS TO BE REMOVED TO NEW PARTITION. REFER TO SHEET A00-40 FOR TYPICAL MOUNTING HEIGHTS.
- K. RE-KEY NEW LOCKSETS TO MATCH EXISTING KEY WAY OR KEYS SEPARATELY AS PER MANAGER/CBRE DIRECTION AND USE OWNER'S DOOR HARDWARE VENDOR.
- L. PROVIDE SUBMITTALS FOR MILLWORK, DOOR HARDWARE, AND TOILET ACCESSORIES.

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

**Bank of America**  
 39 Auburn Street, Portland, ME 04103

**Gensler**  
 One Beacon Street  
 Third Floor  
 Boston MA 02108  
 Tel: 617.619.5700  
 Fax: 617.619.5701



CODE	DESCRIPTION
CPT-1	MANUFACTURER: TANDUS GROUP PRODUCT NAME: BAC 6 ROLL RS WITH POWERBOND BACKING STYLE: VISUAL TENSION SIZE: 7' WIDE LOCATION: SAFE DEPOSIT / VAULT
B-4A	MANUFACTURER: JOHNSONITE FLEXIBLE WALL BASE PRODUCT NAME: RUBBER BASE COLOR: 88 WHITE SAND SIZE: 4" H (STRAIGHT BASE AT CARPET, COVE BASE AT RESILIENT FLOORING) LOCATION: SAFE DEPOSIT VIEWING ROOM, VAULT LOBBY
P-1	MANUFACTURER: BENJAMIN MOORE PRODUCT NAME: OC-22 COLOR: COTTON BALLS FINISH: ECO SPEC WB INTERIOR LATEX EGGSHELL ENAMEL LOCATION: GENERAL
P-2	MANUFACTURER: BENJAMIN MOORE PRODUCT NAME: OC-122 COLOR: COTTON BALLS FINISH: SEMI-GLOSS FINISH LOCATION: GENERAL - DOORS AND DOOR FRAMES
VCT-1	MANUFACTURER: MANNINGTON COMMERCIAL PRODUCT NAME: DESIGNER ESSENTIALS COLOR: TOFFEE 219 SIZE: 12"x12" LOCATION: RESTROOM, BREAKROOM & CORRIDOR
PL-3	MANUFACTURER: WILSONART COLOR: ASIAN SUN 7951 FINISH: 38 LOCATION: NEW STANDARD TELLER
PL-5	MANUFACTURER: WILSONART COLOR: GRAPHITE NEBULA 4623 FINISH: TEXTURED GLOSS LOCATION: NEW STANDARD TELLER
PL-6	MANUFACTURER: WILSONART COLOR: BLACK 1595 FINISH: 60 MATTE LOCATION: NEW STANDARD TELLER
PL-7	MANUFACTURER: WILSONART COLOR: FROSTY WHITE 1573-80 FINISH: MATTE LOCATION: BREAK ROOM & COUPON BOOTH
PL-8	MANUFACTURER: WILSONART PRODUCT NAME: HIGH WEAR LAMINATE COLOR: FROSTY WHITE 1573-80, TYPE: 107HW FINISH: MATTE LOCATION: COUPON BOOTH

**FINISH PLAN**

SCALE: 3/16" = 1'-0"

**FINISH SCHEDULE**

SCALE: 1/2" = 1'-0"

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NOTE: EVERY KEY NOTE MAY NOT APPEAR ON THIS PAGE

Seal/Signature \_\_\_\_\_

Project Name  
ADA UPGRADES

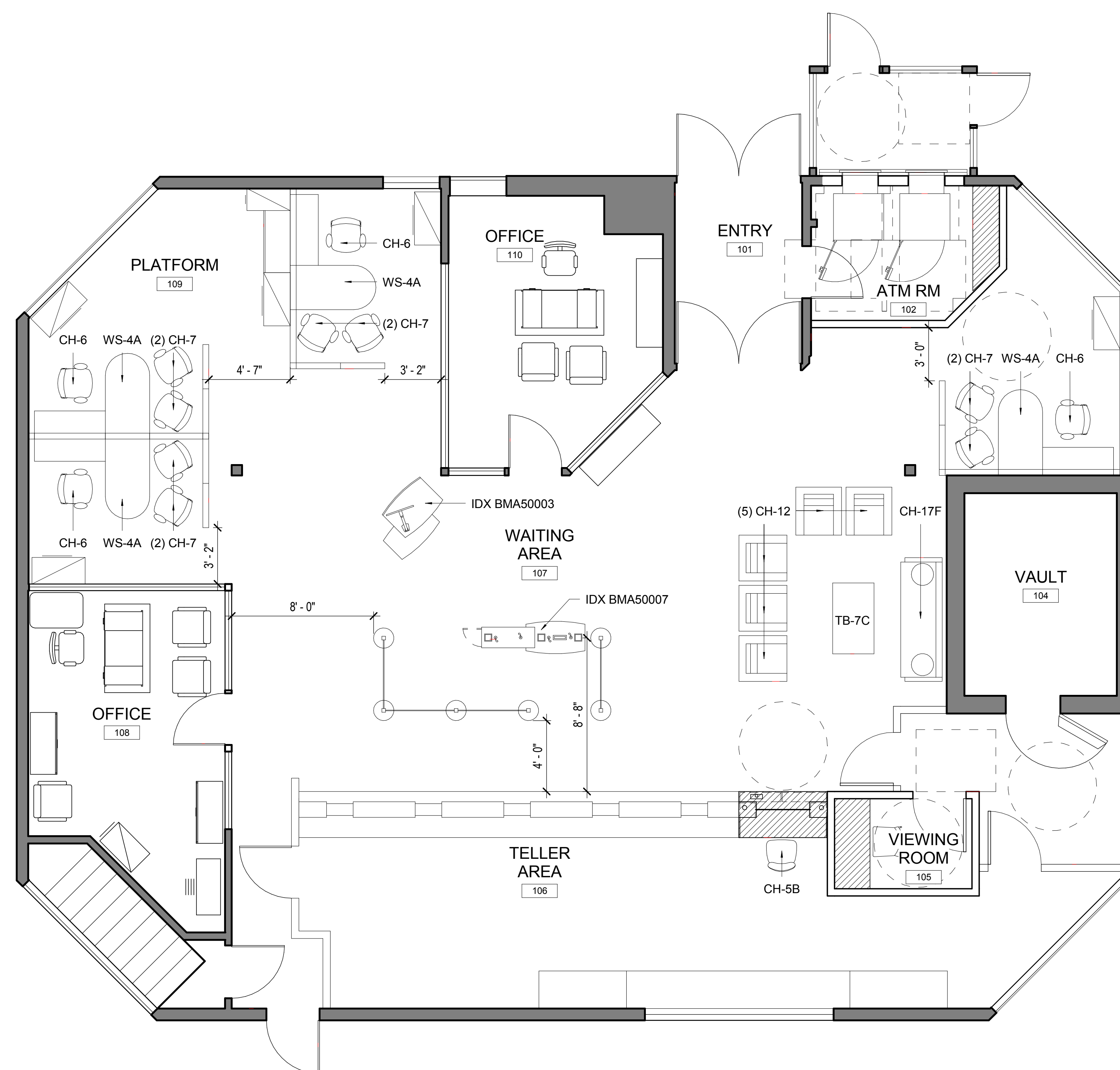
Project Number  
11.6560.125

Description  
FINISH PLAN

Scale  
As indicated

**A05.01**

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**HARDWARE SCHEDULE**

SCALE: 1/2" = 1'-0"

XX XXXXX DESIGNATES UNIQUE MILLWORK NUMBERING SYSTEM FOR ITEMS PROVIDED BY OWNER.

MILLWORK COMPONENT #	MILLWORK COMPONENT DESCRIPTION
BMA 50003	UNIVERSAL HOST / WORK STATION
BMA 50007	CHECK DESK

XX-XXX FURNITURE COMPONENTS

FURNITURE COMPONENT #	FURNITURE COMPONENT DESCRIPTION	QUANTITY
CH-5B	TELLER CHAIR - ADA	1
CH-6	CONFERENCE ROOM	4
CH-7	STEELCASE WOOD GUEST SEATING	8
CH-12	BERNHARDT LOUNGE CHAIR	5
CH-17F	STEELCASE COALESSE THREE SEAT SOFA	1
TB-7C	BERNHARDT RECTANGULAR TABLE 2	1
WS-4A	MONTAGE 8X10 WORKSTATION	4

NOTE: PROJECT MANAGER TO VERIFY ALL TYPES AND QUANTITIES OF MILLWORK AND FURNITURE COMPONENTS WITH STORE DESIGN. COORDINATE WITH VENDORS BEFORE PLACING ORDER.

**KEY NOTES**

**GENERAL NOTES**

- REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT, FIXTURES, MILLWORK & ACCESSORIES MOUNTED ON WALL.
- CONTRACTOR SHALL PROVIDE COLOR SAMPLES FOR ALL FINISHES & P-LAM TO OWNER & ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
- ADJUST OPENING FORCE OF ALL INTERIOR DOOR CLOSERS TO A MAXIMUM OF 5 LBF.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED AS "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- IF EXISTING DOORS TO REMAIN DO NOT ALLOW FOR SPECIFIED HARDWARE, G.C. TO PROVIDE NEW DOOR.
- G.C. SHALL PROVIDE ALL WORK RELATED TO ENGINEERING TO INCLUDE, BUT NOT LIMITED TO: MECHANICAL, ELECTRICAL, FIRE PROTECTION & LIFE SAFETY. G.C. SHALL PROVIDE DESIGN DRAWINGS, PERMITS & INSTALLATION OF SYSTEMS ON A DESIGN BUILD BASIS.
- RELOCATE EXISTING FIXTURES ON WALLS TO BE REMOVED TO NEW PARTITION. REFER TO SHEET A00.40 FOR TYPICAL MOUNTING HEIGHTS.
- RE-KEY NEW LOCKSETS TO MATCH EXISTING KEY WAY OR KEYED SEPARATELY AS PER MANAGER/CBRE DIRECTION AND USE OWNER'S DOOR HARDWARE VENDOR.
- PROVIDE SUBMITTALS FOR MILLWORK, DOOR HARDWARE, AND TOILET ACCESSORIES.

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature

Project Name  
ADA UPGRADES

Project Number  
11.6560.125

Description  
FURNITURE PLAN

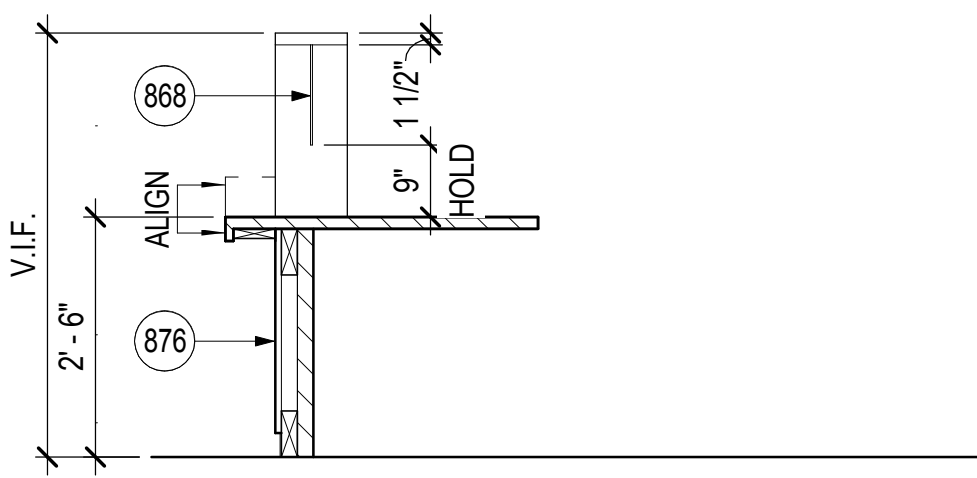
Scale  
As indicated

**A06.01**

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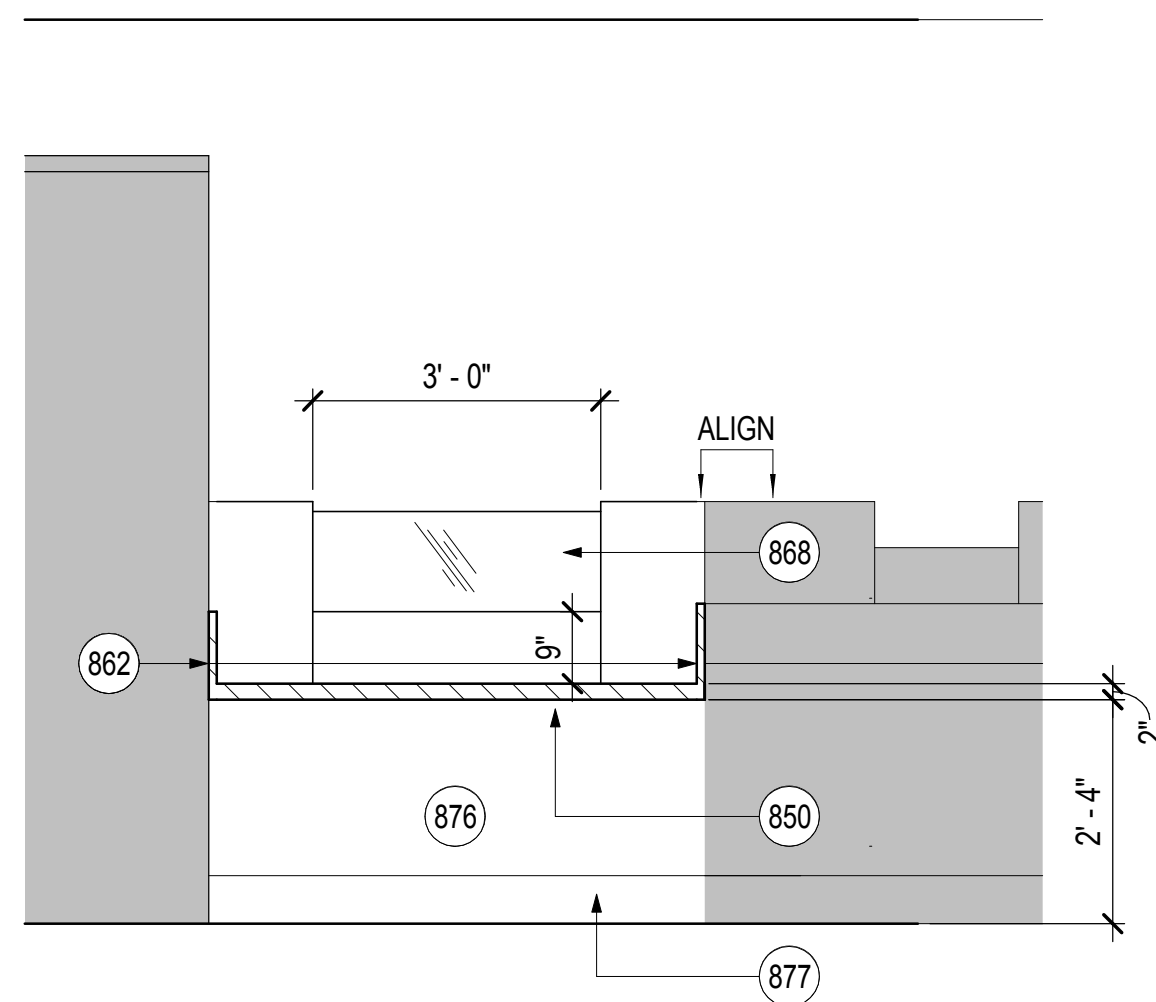
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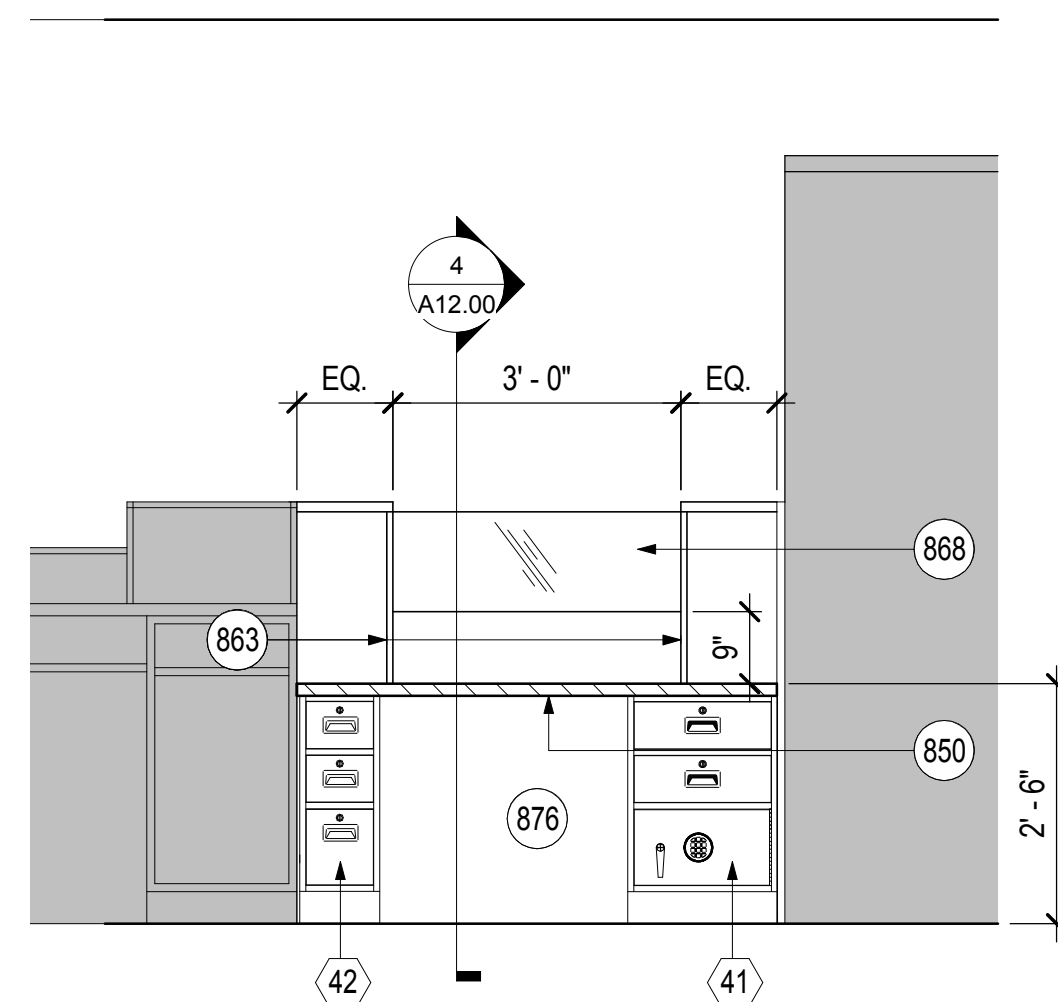
**TELLER SECTION**

SCALE: 1/2" = 1'-0"



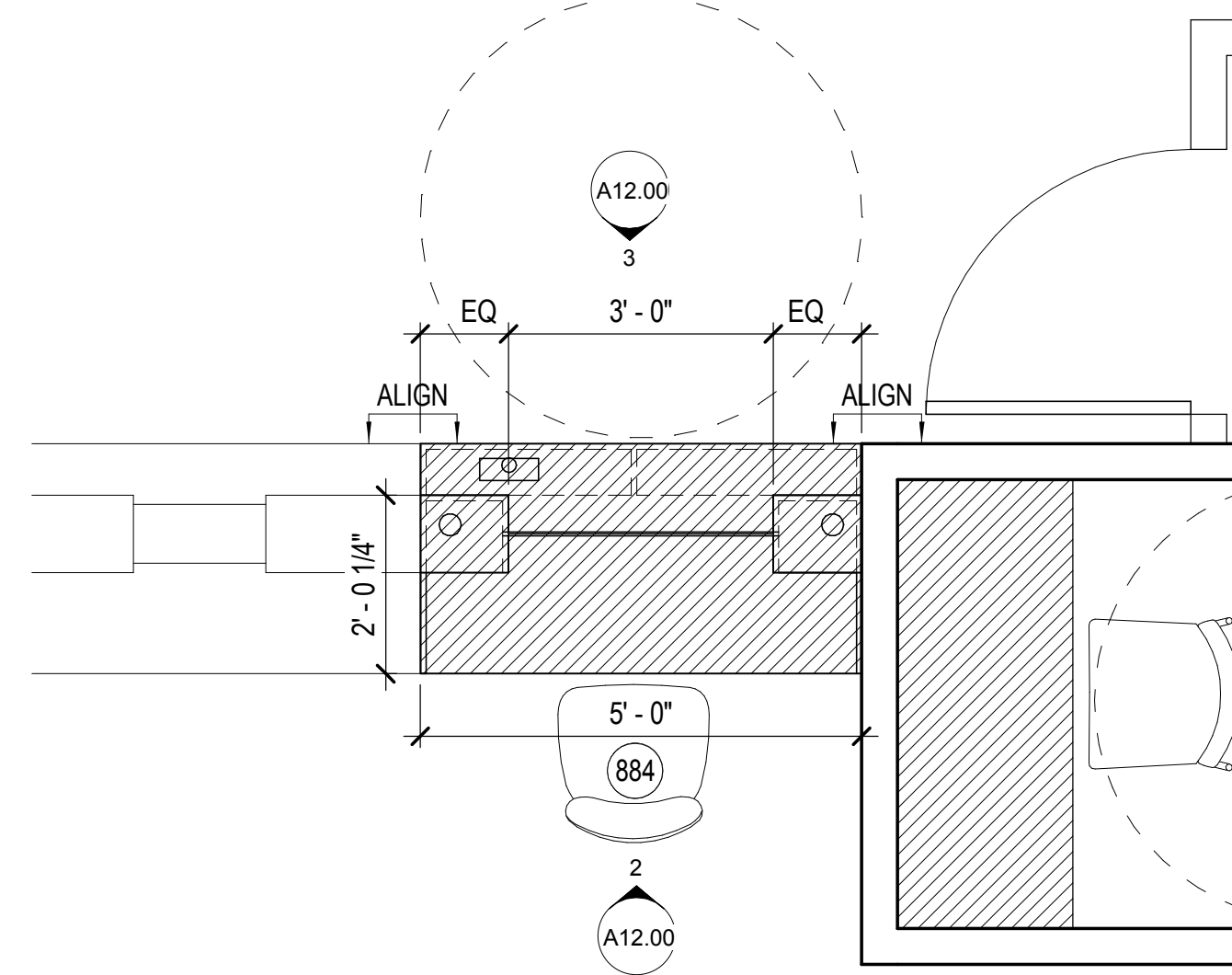
**TELLER ELEVATION - CUSTOMER SIDE**

SCALE: 1/2" = 1'-0"



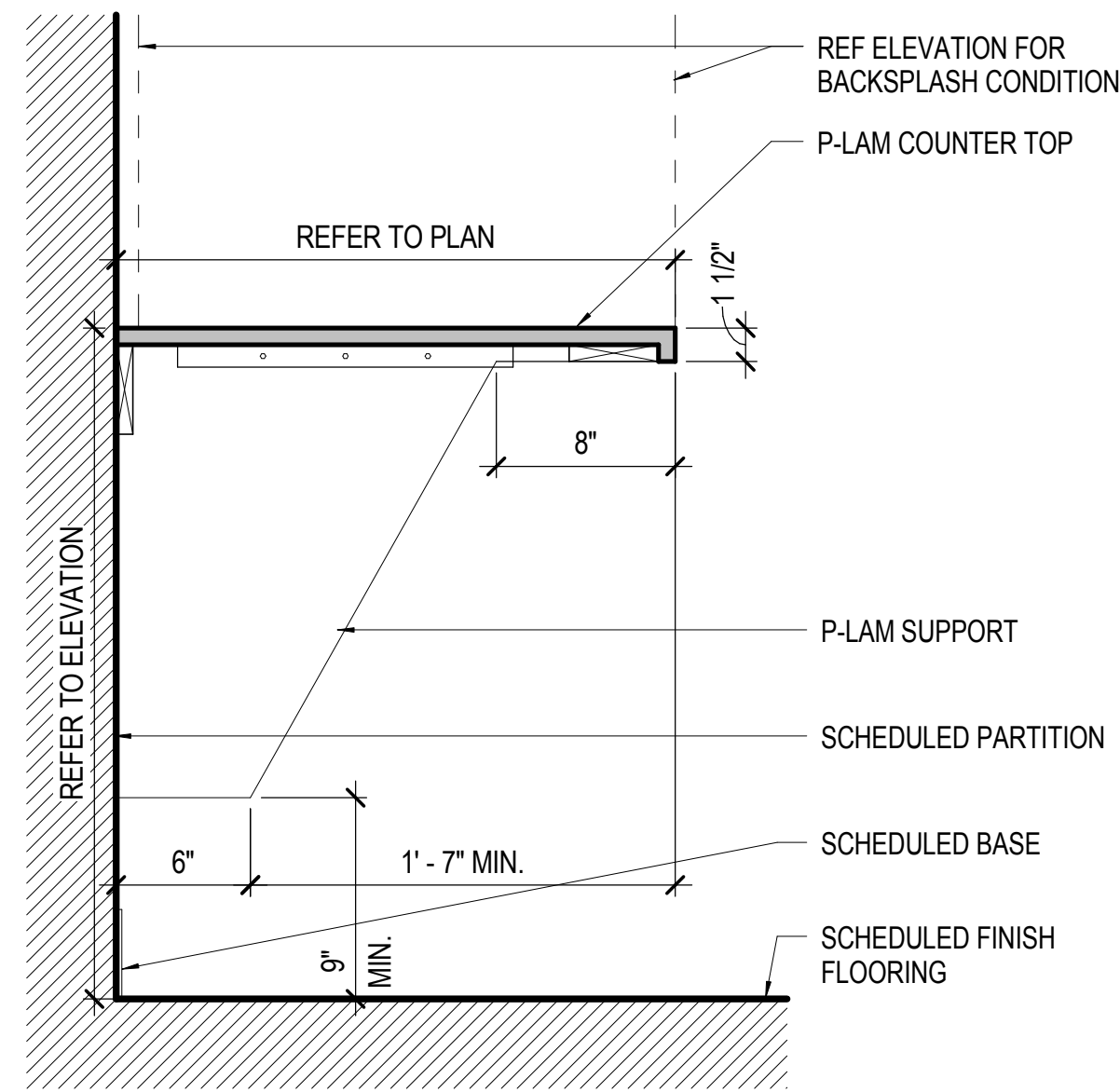
**TELLER ELEVATION - TELLER SIDE**

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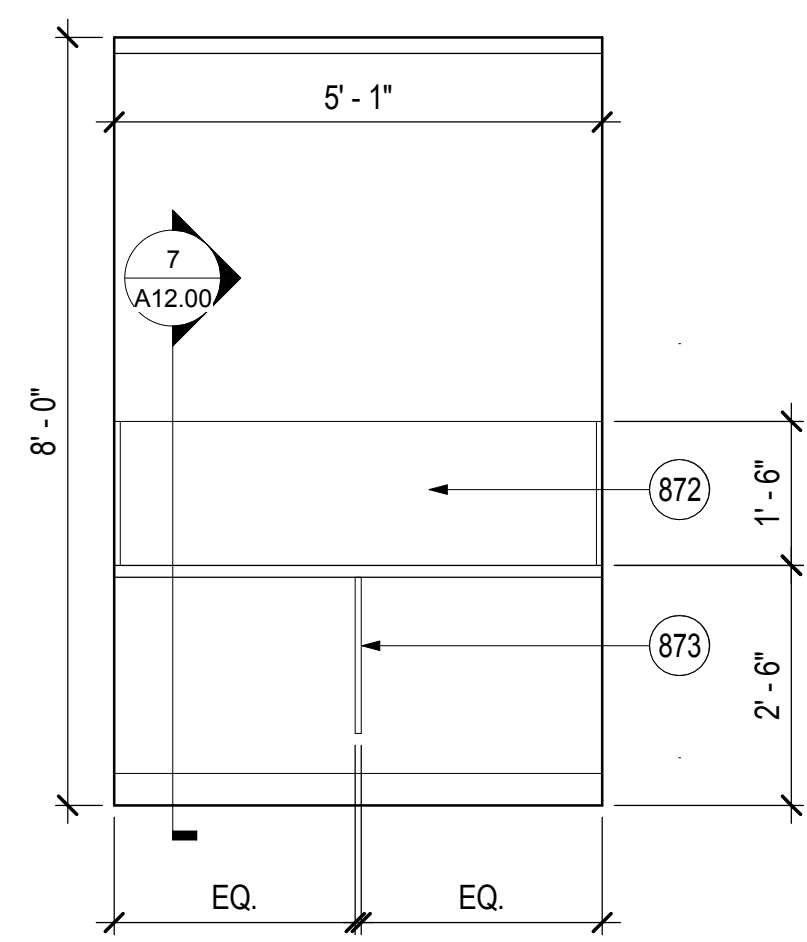
**ENLARGED TELLER PLAN**

SCALE: 1/2" = 1'-0"



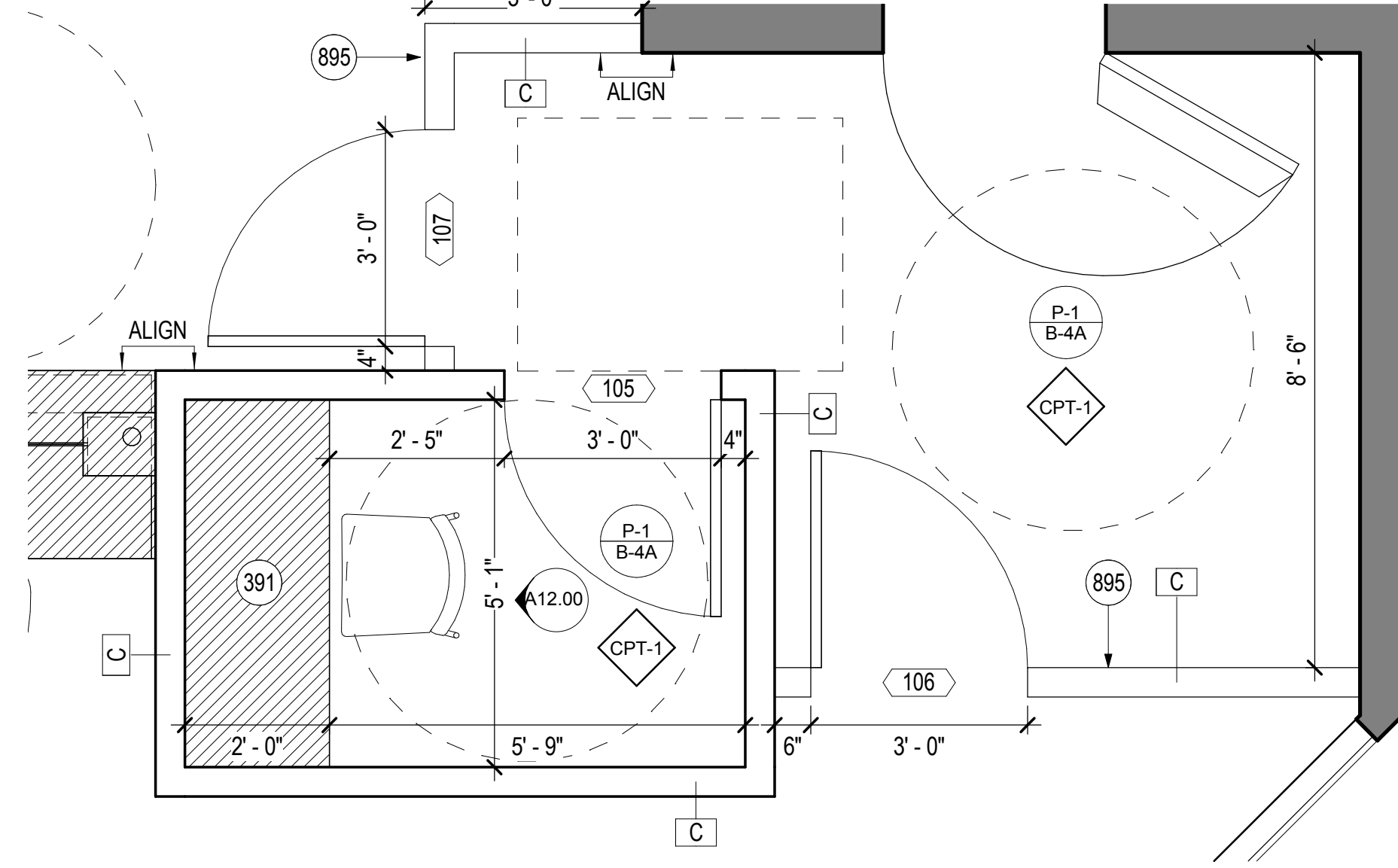
**ADA COUNTER SECTION**

SCALE: 1 1/2" = 1'-0"



**COUPON BOOTH ELEVATION**

SCALE: 1/2" = 1'-0"



**ENLARGED COUPON BOOTH PLAN**

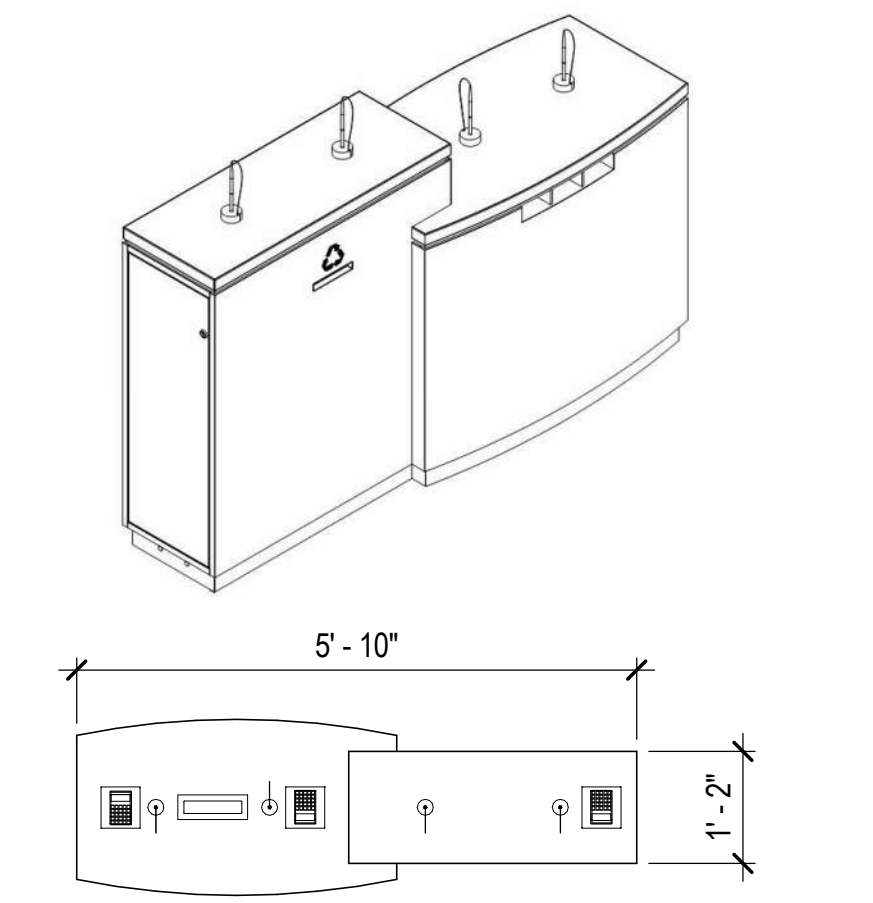
SCALE: 1/2" = 1'-0"

MARK	DESCRIPTION	MANUFACTURER/MODEL
40		DIEBOLD MODEL:SD-3-LL (PT#00-022047-L-00)
41		DIEBOLD MODEL:SD-3-RL (PT#00-022047-R-00)
42		DIEBOLD MODEL: 10" ADA STORAGE PEDESTAL (PT#41-018855-000-C)
43		INGENICO PAYMENT TERMINAL AS PROVIDED BY OWNER

UNDER COUNTER STEEL EQUIPMENT TO BE PROVIDED BY OWNER AND INSTALLED BY G.C.

**UNDERCOUNTER STEEL SCHEDULE**

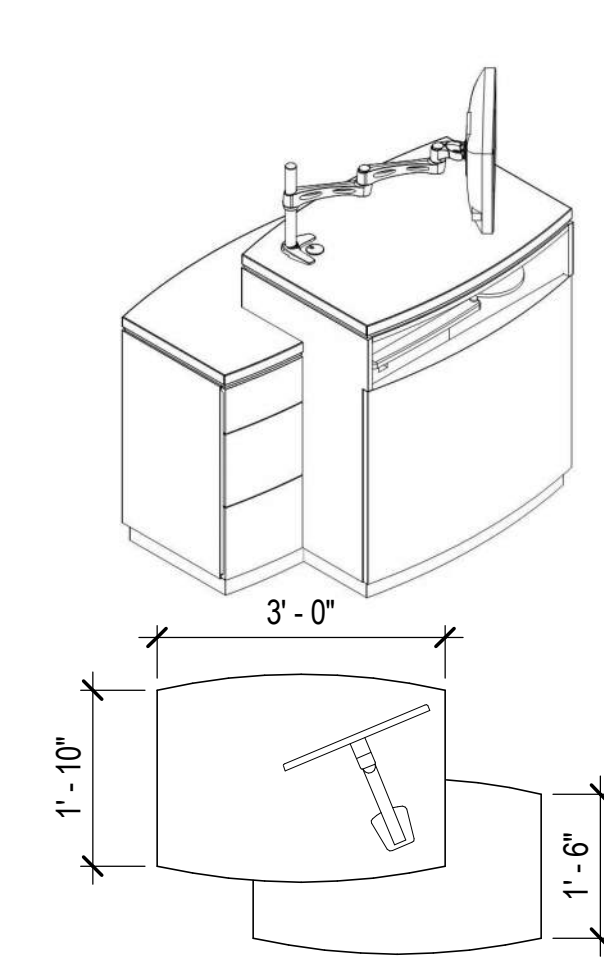
SCALE: 1/2" = 1'-0"



CHECK DESK TO BE PROVIDED BY OWNER AND INSTALLED BY G.C.  
IDX BMA50007 - STANDARD LOBBY CHECK DESK

**CHECK DESK - LOBBY**

SCALE: 1/2" = 1'-0"



CHECK DESK TO BE PROVIDED BY OWNER AND INSTALLED BY G.C.  
IDX BMA50003 - UNIVERSAL HOST WORK STATION

**CHECK DESK - HOST WORK STATION**

SCALE: 1/2" = 1'-0"

**KEY NOTES**

- 391 NEW COUPON BOOTH COUNTER.
- 850 NEW ADA TELLER COUNTER (W/ LOWERED CUSTOMER SHELF) FINISHES TO MATCH EXISTING. VERIFY W/ OWNER & ARCHITECT PRIOR TO INSTALLATION. RELOCATE ALL POWER/DATA, PAYMENT TERMINAL AND SECURITY DEVICES IF EXISTING TO SAME LOCATION. CONFIRM FINAL LOCATIONS WITH OWNER.
- 862 NEW VERTICAL MILLWORK PANEL TO CONNECT NEW LOWERED COUNTER TO EXISTING COUNTER TO REMAIN. ALL EXPOSED SURFACES TO BE FINISHED TO MATCH EXISTING.
- 863 NEW VERTICAL END PANEL. FINISH TO MATCH EXISTING.
- 868 1/2" CLEAR ACRYLIC WITH POLISHED EDGES. INSTALL ACRYLIC SCREEN WITH 2 SATIN ALUM. CHANNELS (LEFT AND RIGHT). RECESS INTO EXISTING MILLWORK AND SET ACRYLIC INTO CHANNEL WITH CLEAR SILICONE.
- 872 COUNTERTOP, BACKSPLASH AND SIDE SPLASH BOTH SIDES TO BE PL-8 FINISH. COUNTERTOP SUPPORT TO BE PL-7 FINISH.
- 876 NEW FINISHES TO MATCH EXISTING.
- 877 NEW BASE TO MATCH EXISTING.
- 884 NEW CH-50 ADA TELLER CHAIR BY STEELCASE (#TS30102).
- 895 NEW 'C' TYPE WALL TO BE 4'-3" HT.

**GENERAL NOTES**

- A. ALL INTERIOR OF MILLWORK TO BE WHITE MELAMINE, UNLESS NOTED OTHERWISE.
- B. ALL EXPOSED SURFACES OF MILLWORK TO BE PLASTIC LAMINATE AS SPECIFIED ON ELEVATIONS.
- C. REF. SHEET A00.40 FOR TYPICAL WALL MOUNTING HEIGHTS.
- D. CONTRACTOR TO COORDINATE ALL POWER AND COMMUNICATIONS AT TELLER COUNTER.
- E. CONTRACTOR SHALL PROVIDE BLOCKING PER ALL EQUIPMENT/ACCESSORIES MOUNTED ON WALL.
- F. ALL DEVICE COVER PLATES INCLUDING PLATES FOR COAX SHALL MATCH LUTRON LIGHT ALMOND UNLESS NOTED OTHERWISE.
- G. G.C. TO PROVIDE CAULK AROUND ALL UNDERCOUNTER STEEL AS REQUIRED. COLOR TO MATCH UNDERCOUNTER STEEL AS PROVIDED.
- H. G.C. SHALL PROVIDE ALL WORK RELATED TO ENGINEERING TO INCLUDE, BUT NOT LIMITED TO: MECHANICAL, ELECTRICAL, FIRE PROTECTION & LIFE SAFETY. G.C. SHALL PROVIDE DESIGN DRAWINGS, PERMITS & INSTALLATION OF SYSTEMS ON A DESIGN BUILD BASIS.
- I. FOR FINISH SCHEDULE, REFER A00.20
- J. WHEN A GAP EXISTS BETWEEN THE TOP OF THE UNDERCOUNTER STEEL AND THE UNDERSIDE OF THE COUNTER, G.C. TO BUILD A 1" MILLWORK BASE TO MATCH EXISTING FINISH AND CONSTRUCTION.
- K. ALL SECURITY DEVICES AND SYSTEMS TO REMAIN INTACT DURING ALL PHASES OF WORK. ANY MODIFICATIONS NEEDED DUE TO AREA OF DEMOLITION AND NEW CONSTRUCTION LAYOUT TO BE PERFORMED BY OWNER'S SECURITY VENDOR AND TO BE COORDINATED WITH OWNER PRIOR TO DEMOLITION.

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature

Project Name  
ADA UPGRADES

Project Number  
11.6560.125

Description  
ENLARGED PLANS AND TYPICAL DETAILS

Scale  
As indicated

**A12.00**

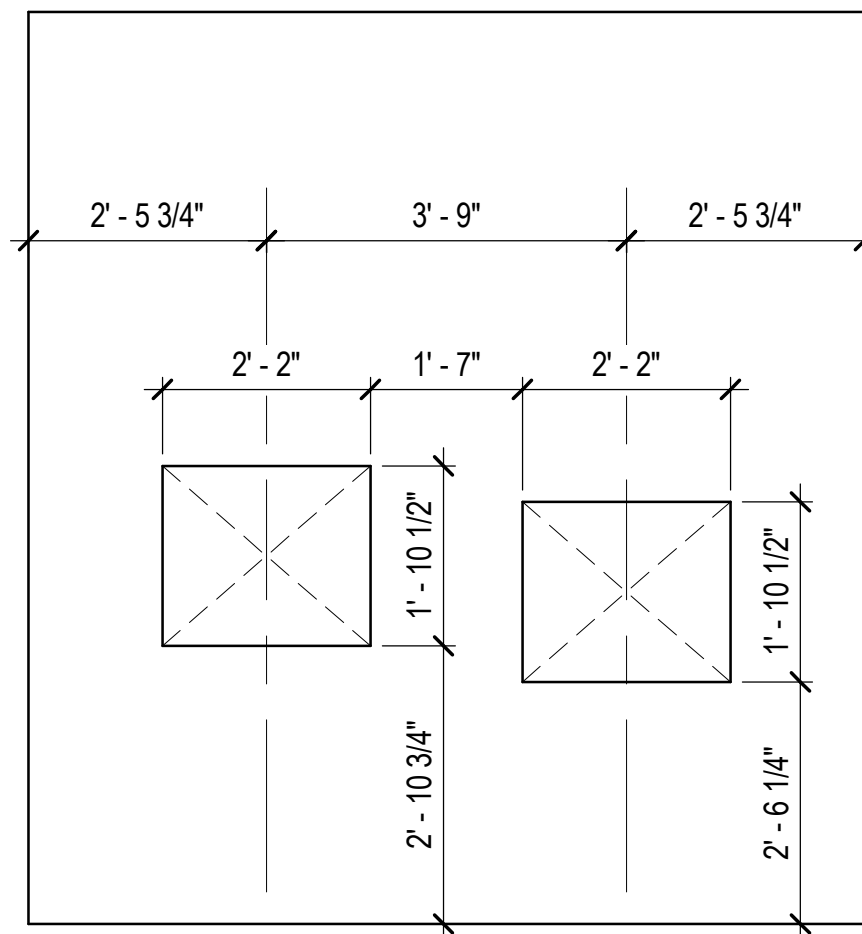
© 2014 Gensler

NOTE: EVERY KEY NOTE MAY NOT APPEAR ON THIS PAGE

J:\11.6560.125\BIM\Building Model\User Model Files\Delta Cotti\_2014\_BOA\_Portland-39 Auburn St\_ E2013.rvt

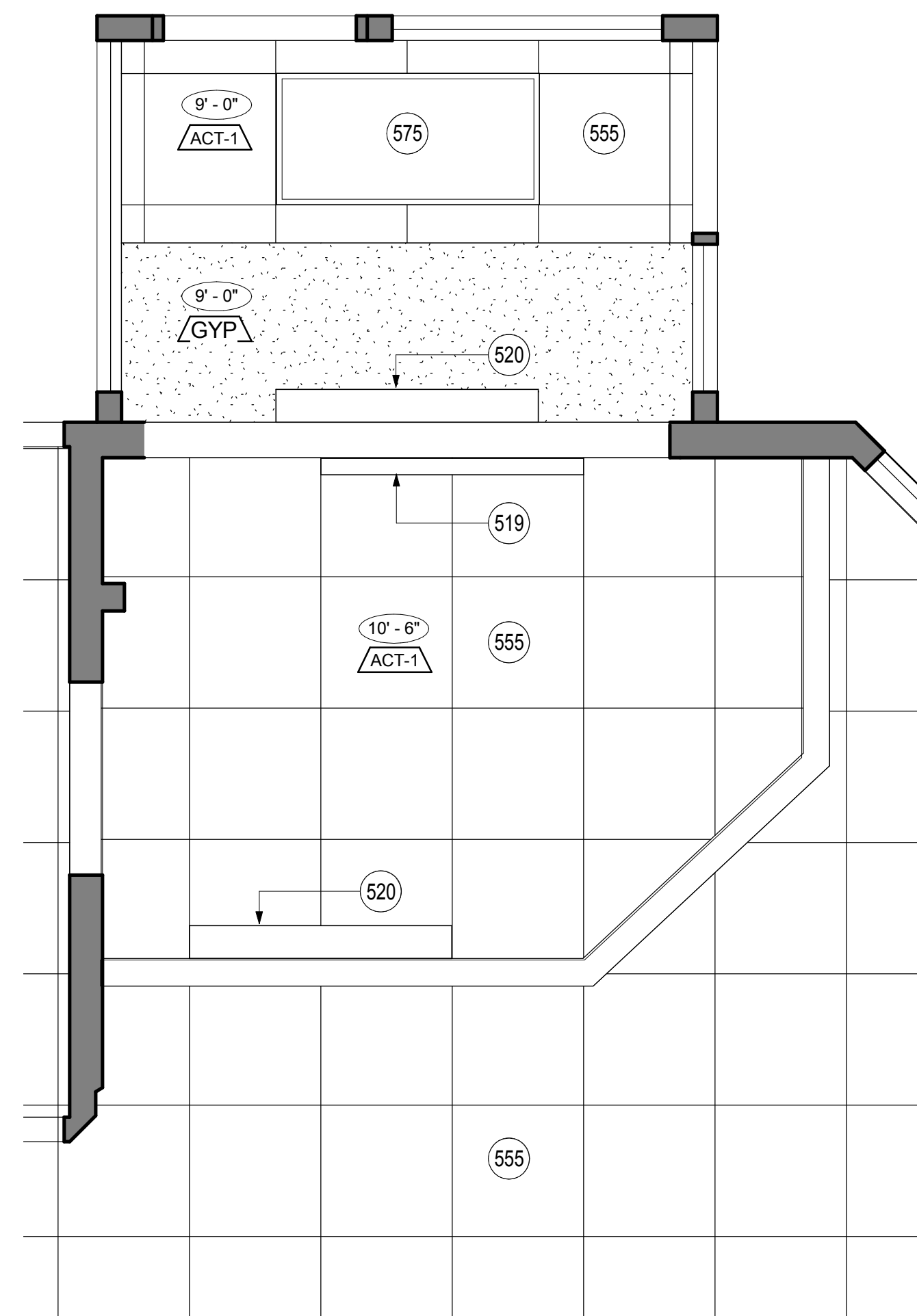
ATM ROUGH WALL OPENING ELEVATION

SCALE: 1/2" = 1'-0"



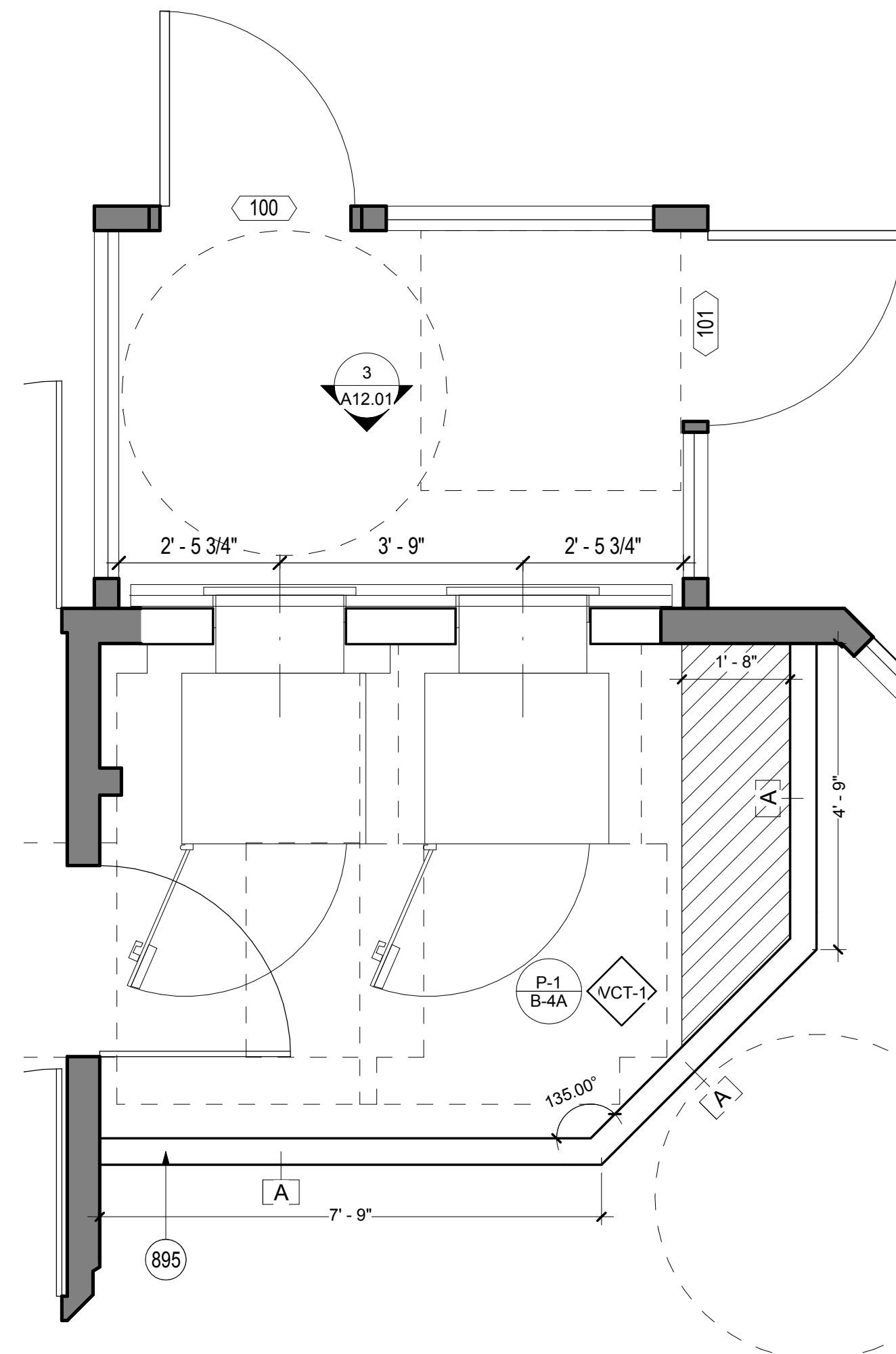
ENLARGED ATM ROOM - RCP

SCALE: 1/2" = 1'-0"



ENLARGED ATM ROOM - PLAN

SCALE: 1/2" = 1'-0"



KEY NOTES

- 519 EXISTING SURFACE MOUNTED LIGHT FIXTURE TO REMAIN.
- 520 EXISTING HVAC DEVICE TO REMAIN.
- 555 NEW CEILING GRID / TILES AND LIGHTING. CEILING TO BE INSTALLED AT EXISTING CEILING HEIGHT, U.O.N.
- 755 PROVIDE TYPE A 2X4 4-LAMP GRID TROFFER W/LAMPS R SERIES BY SECURITY LIGHTING SYSTEMS INC. FINISH IN HIGH REFLECTANCE WHITE POWDER-COAT PAINT.
- 895 RELOCATE ALARM PANEL. G.C. TO COORDINATE WITH BANK'S SECURITY VENDOR.

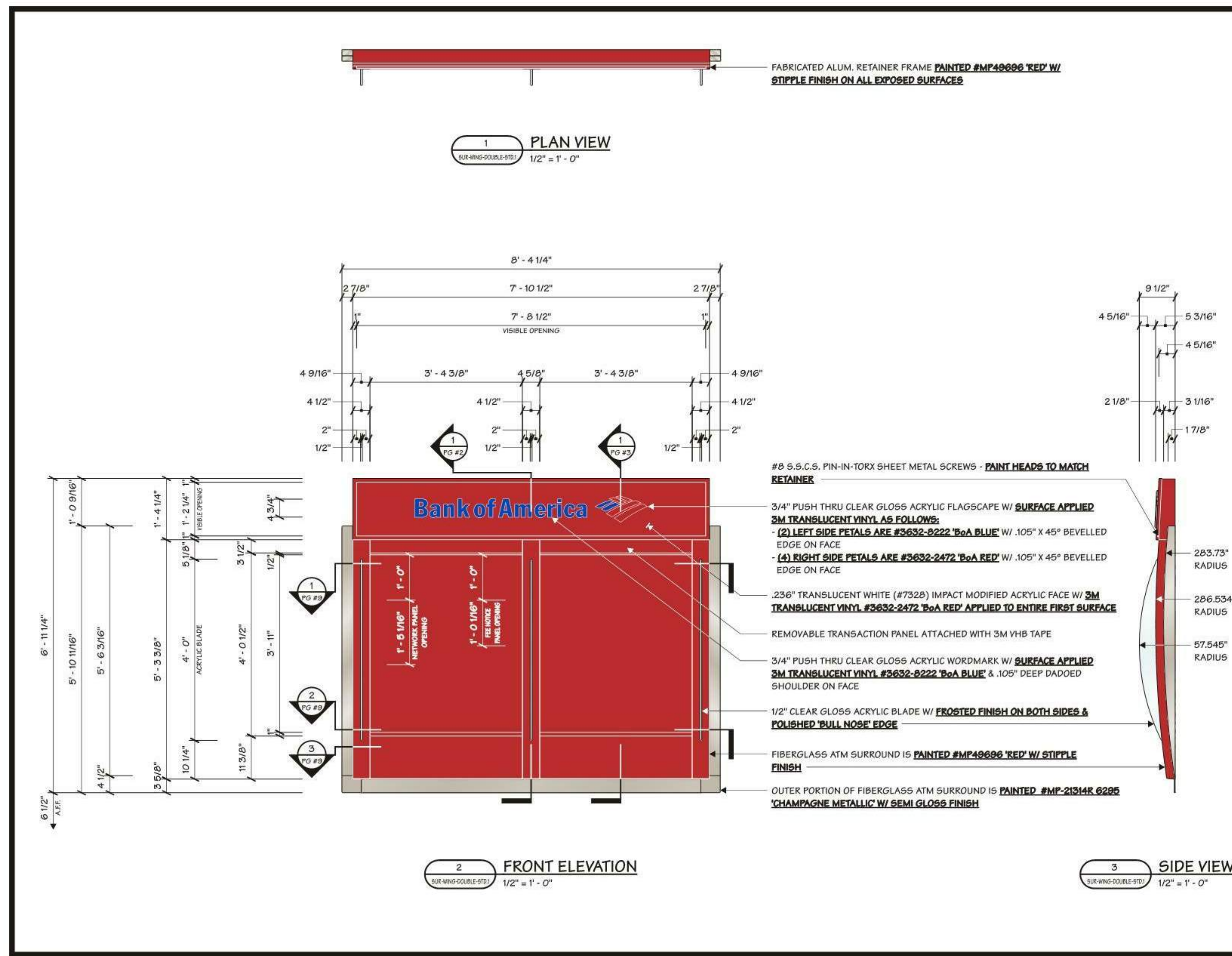
GENERAL NOTES

- A. ALL NEW DOOR FRAMES TO MATCH EXISTING STYLE AND DIMENSIONS. FINISH TO MATCH EXISTING, U.N.O.
- B. PROVIDE NEW FLOOR THRESHOLD TRANSITIONS WHERE NEW FLOORING IS INSTALLED AND MEETS EXISTING FLOORING. VERIFY ALL EXISTING FLOORING TYPES AT NEW THRESHOLDS. NOTIFY ARCHITECT OF ANY CONFLICTS BEFORE ORDERING AND INSTALLATION.
- C. REFER TO SHEET A00.40 FOR ALL THRESHOLD REGULATIONS.

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

BOA-SUR WING DOUBLE SURROUND

SCALE: 3/8" = 1'-0"



**AGI Architectural Graphics Incorporated**  
2555 International Parkway  
P.O. Box 9175  
Virginia Beach, VA 23460  
(757)427-1300

**Project Title**  
BANK OF AMERICA

**Sign Type**  
SUR-WING-DOUBLE-STD

**Drawing Type**  
ELEVATION

**Date** 05.10.10

**Lead Drafter** MZC  
**Drawn By** MZC/RMA  
**Project Mgr.**

**General Sign Specifications**  
 Interior  Exterior  
 Single Faced  Double Faced  
 Non-Illuminated  
 Illuminated  
 120 Volts Amps(+/-)  
 277 Volts Amps(+/-)  
 Amps(+/-)  
 UL Listed  Non UL Listed  
**Location**  
**Windload**  
**Area** **Weight**

**Drawing Revisions**

Drawn By	Date	Change

**Quality Control**  
 Drafter  Manager  
 Lead  Engineer

**Approved By**  
Date Approved

**Code** 10032 **Type** C

**Job Number**

**Sheet Number** SUR-WING-DOUBLE-STD.1 **Rev.**

### NCR Personas M Series 5886 ATM Site Preparation Datasheet (8006-7046-A000)

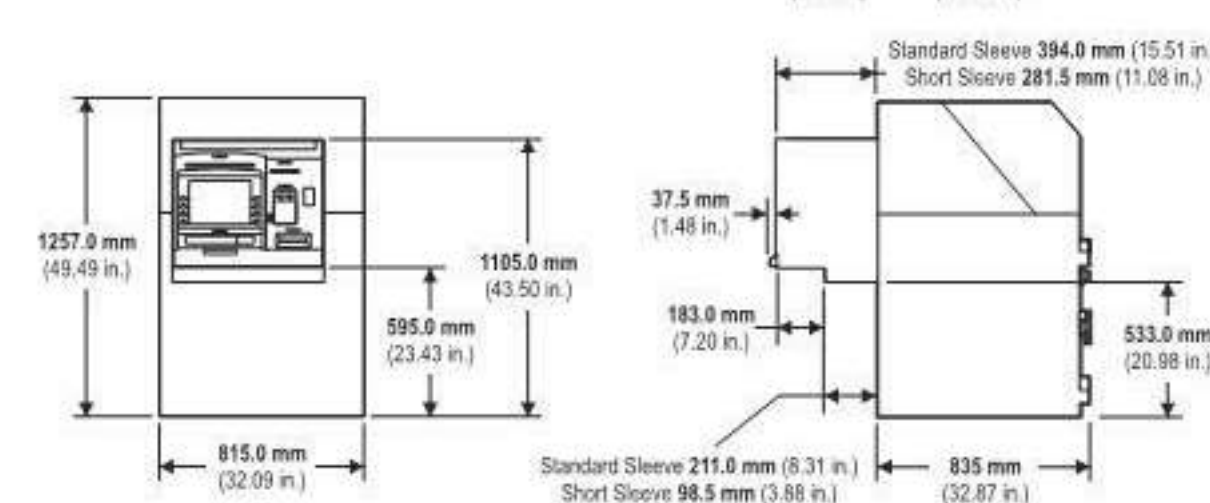
Walk-Up version with Standard Collar and UL Security Enclosure

This Site Preparation Datasheet is specific to the Bank of America and is to be used in conjunction with the following documents:  
 NCR Personas M Series 5886 Site Preparation (8006-6191)  
 NCR Personas M Series 5886 Installation Manual (8006-6193)

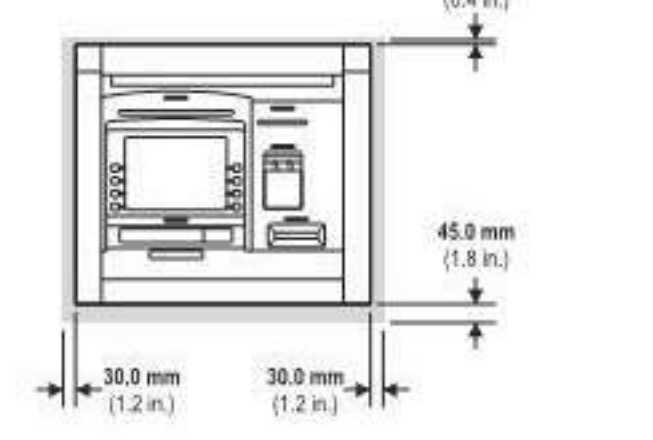
#### FLOOR LOADING

Maximum weight	870 kg (1930 lb.)
Floor Loading	1425 kg/m <sup>2</sup> (292 lb./ft. <sup>2</sup> )

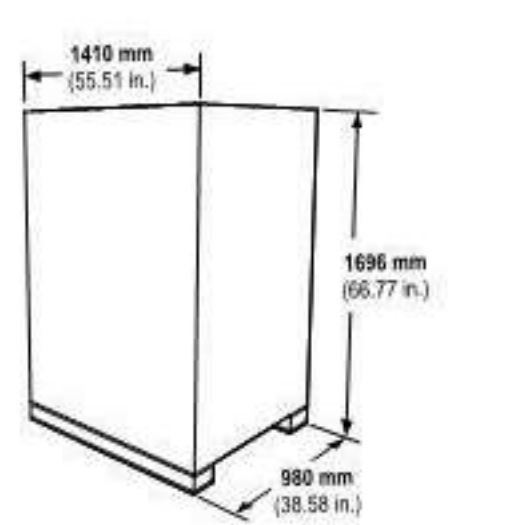
#### ATM DIMENSIONS



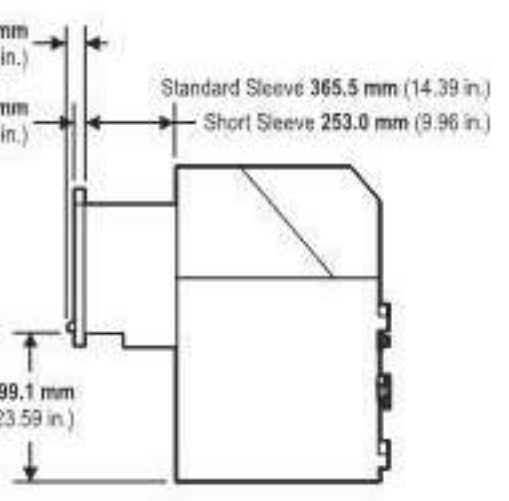
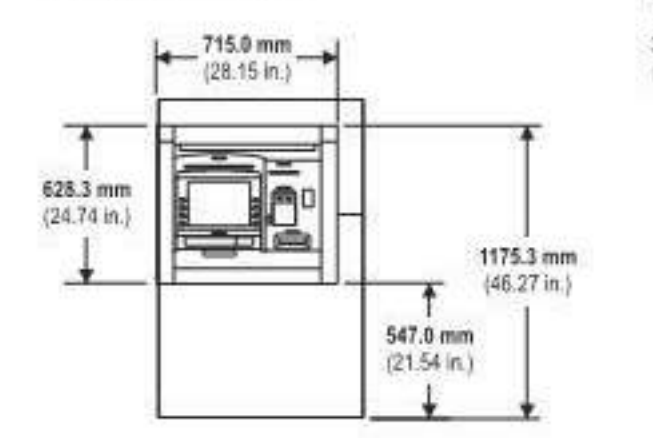
#### COLLAR CLEARANCE



#### PACKAGE DIMENSIONS



#### COLLAR DIMENSIONS



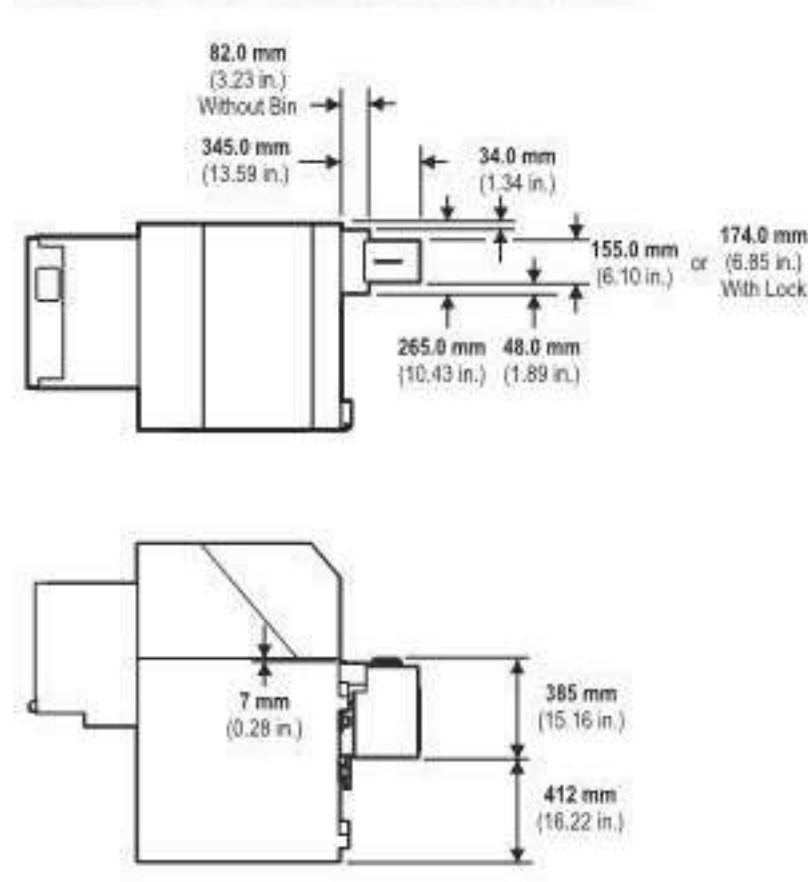
**NCR Highest Operable Point (HOP) is the Statement Printer.**  
 Refer to: NCR ADA 2010 ATM Housing Solutions 012712.xls for the proper 2010 ADA Equipment HOP Height.

#### ACCESS FOR ALL

Facia Items	Height (from base of ATM) See Note	Depth (from front of collar)
A Statement Exit or Passbook Entry and Exit	992.7 mm (39.08 in.)	151.0 mm (5.94 in.)
B No. 5 Key	307 mm (12.1 in.)	150.5 mm (5.93 in.)
C Touchscreen Display	446.7 mm (33.33 in.)	150.5 mm (5.93 in.)
D Cheque and Cash Entry	882.0 mm (27.26 in.)	116.0 mm (4.57 in.)
E No. 5 Key	856.0 mm (26.80 in.)	46.5 mm (1.83 in.)
F Cash Exit	636.6 mm (27.50 in.)	116.0 mm (4.57 in.)
G Audio Jack Plug	783.4 mm (30.84 in.)	105.0 mm (4.13 in.)
H Camera	886.0 mm (34.88 in.)	130.0 mm (5.12 in.)
I Card Reader, MicroSD	882.8 mm (34.76 in.)	138.0 mm (5.43 in.)
J Card Reader, Dip	882.0 mm (34.72 in.)	87.0 mm (3.43 in.)
K Receipt	969.5 mm (38.17 in.)	157.0 mm (6.18 in.)
L Speaker	1038.5 mm (40.89 in.)	178.0 mm (7.01 in.)

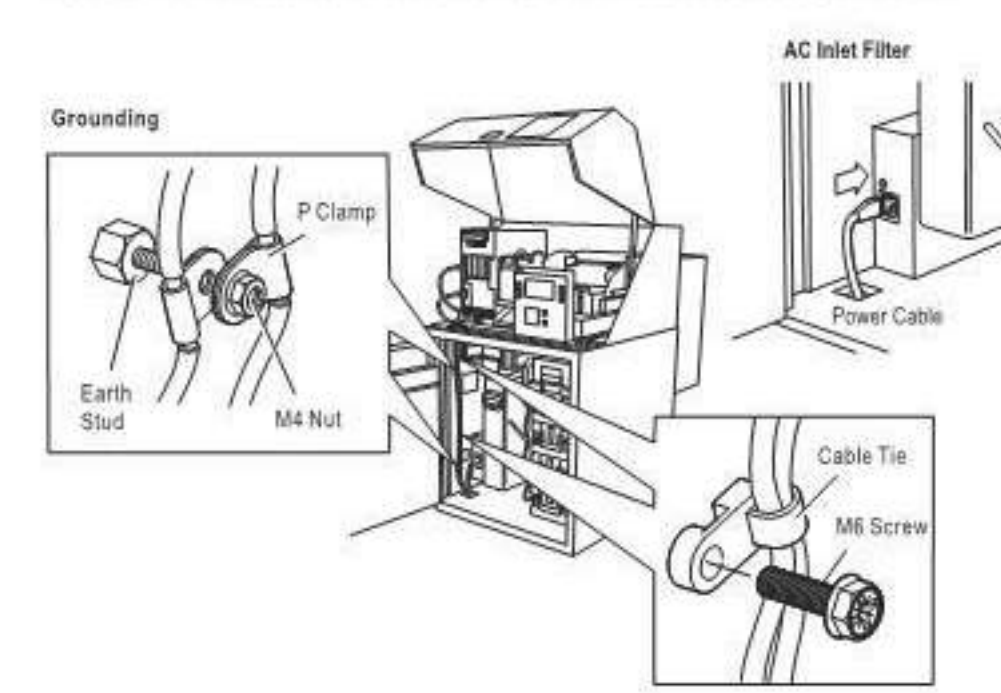
Note: For heights from the sidewalk to the main facia items, add 204 mm (8.0 in.) for US 2010 ADA height and 357 mm (14.1 in.) for non-ADA height. Refer to the 'Hole in the Wall Dimensions' for more information.

#### TRANSCALABLE CHECK PROCESSOR DIMENSIONS



#### CONNECTING THE CABLES

Because there is a limited side clearance when the ATM is being installed within a minimum footprint clearance area, cable connections must be carried out before the unit is moved into its final location. Communication cables must be grounded to make sure that the ATM meets EMC requirements. Make sure that the power cable is not connected to the AC outlet while you are connecting it to the ATM.



#### POWER REQUIREMENTS

Voltage transients, line noise, surges, sags, impulses, and spikes may be experienced routinely or sporadically. When such phenomena occur, the use of protective devices may be required to ensure proper operation of the equipment.

Note: The power requirements below are exclusive to the ATM. The power source for all other peripherals (including Tupper, Sumund, Axiom, Camera, etc.) should be provided in separate power circuits.

#### AC Power Requirements

The ATM is rated at 10A, 120V. Bank of America guidelines recommend a 20A at 120V Individual Branch Circuit with isolated ground for its installations.

The maximum inrush current is 200A peak at 136V.

Note: For terminals with deposit devices, be aware that in the event of a power failure, there is the potential for customer cash to be retained in the device. For this reason, NCR does not recommend running an ATM with deposit devices without an Uninterruptible Power Supply (UPS).

#### Input Voltage Setting

The ATM can operate from the following input mains voltages:  
 • 90V to 130V at 50/60Hz.

#### Power Cable

The ATM is supplied as a 120V unit with a power cable fitted with a NEMA type 5-15P power source connector. Information on suitable power connectors is supplied with the accessories.

The power cable supplied is 3 m (9.8 ft.) in length. If it is necessary to increase this length to meet site requirements, then the extension must satisfy local or country regulations.

#### WARNING

**This equipment must be grounded (earthed).**

#### Grounding Requirements

The ATM operates from a single phase, 3 wire supply (live, neutral and ground). The power requirements of this unit will normally permit it to operate within existing wiring configurations and from existing branch mains cabinet grounding.

Where the supply is provided from a general purpose distribution panel, then the other branch circuits from this panel must not be used to support heavy inductive loads such as air conditioners, elevators, microwave ovens, and so on. Nor may such equipment be operated on the same branch circuit as the ATM.

If using distribution panels, all branch circuit grounding conductors must be connected to an insulated terminal strip in the distribution panel. The grounding conductor from the distribution panel to the building ground part must be at least equal in size to the power conductor necessary to supply the NCR system.

Note: The building ground point can affect data integrity. For additional information, refer to the Data Line Protection section in the publication NCR Personas M Series 5886 Site Preparation.

### KEY NOTES

**Bank of America**  
 39 Auburn Street, Portland, ME 04103

**Gensler**

One Beacon Street  
 Third Floor  
 Boston MA 02108  
 Tel: 617.619.5700  
 Fax: 617.619.5701

### GENERAL NOTES

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

#### INSTALLATION CATEGORIES

The physical installation of the ATM is divided into two categories.

1. A new installation of a 5886 walk-up standard or short sleeve ATM at the US 2010 ADA height.
2. A new installation of a 5886 walk-up standard or short sleeve ATM at the Bank of America (BoA) non-ADA height.

This height does not comply with any regulations.

#### Installing Through a Glass Wall

If you are installing your ATM through a glass wall you may require a suitable glass support (normally a steel collar) to sit between the ATM collar and the glass.

The requirement for this support should be determined by the architect. If required, any such support should be secured locally.

#### Installing in the State of California

For installations in the State of California, please consult your project manager.

#### HOLE IN THE WALL DIMENSIONS

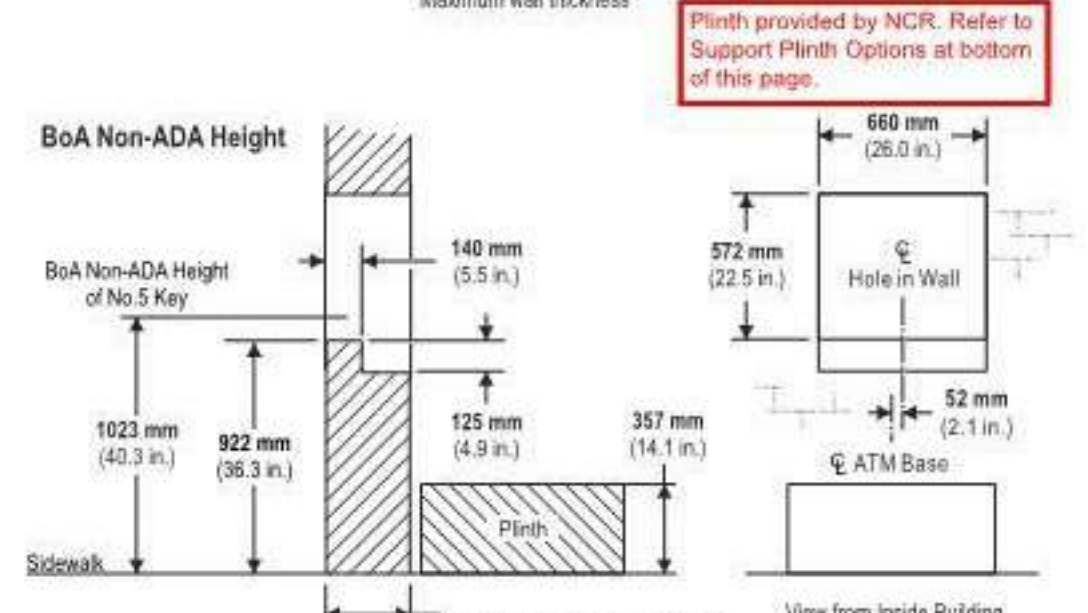
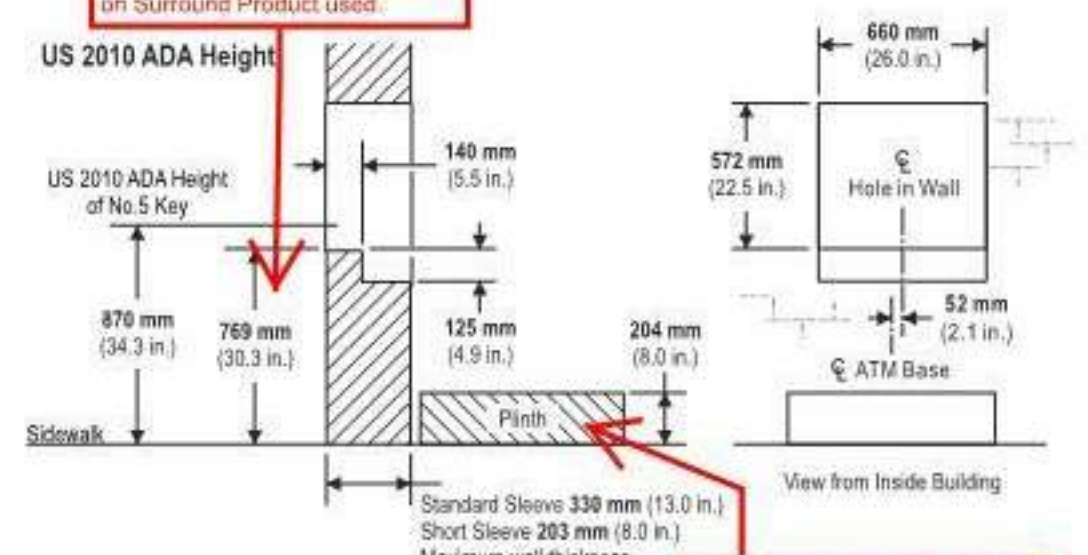
##### NOT TO SCALE

Refer to: NCR ADA 2010 ATM Housing Solutions 012712.xls for the proper Bottom of Rough Opening Height.

HOP Height may vary depending on Surround Product used.

It is the responsibility of the owning institution to ensure that the height from the sidewalk level to the face does not comply with any local regulations.

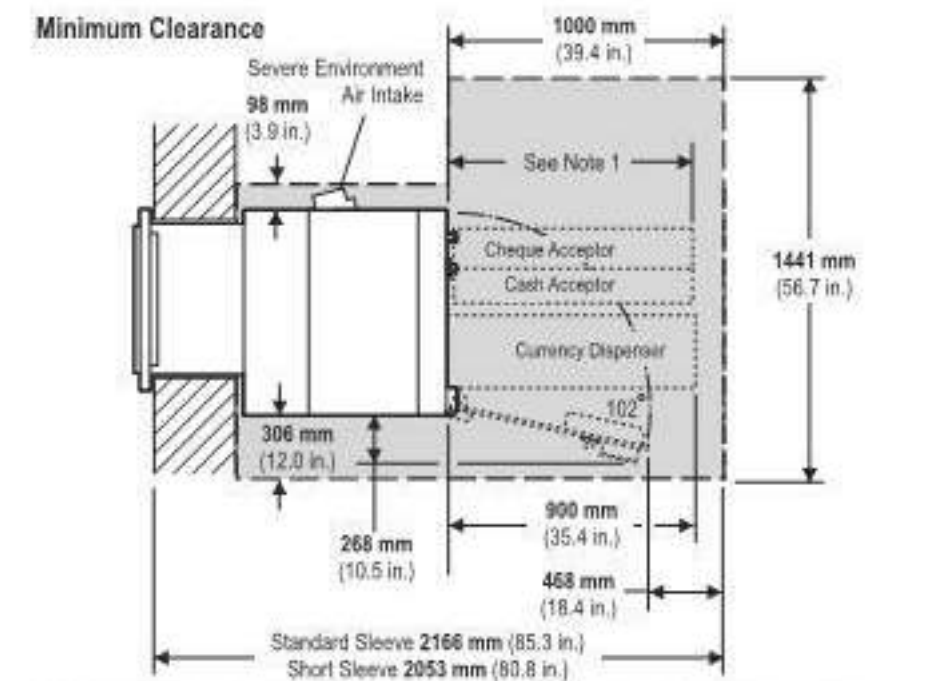
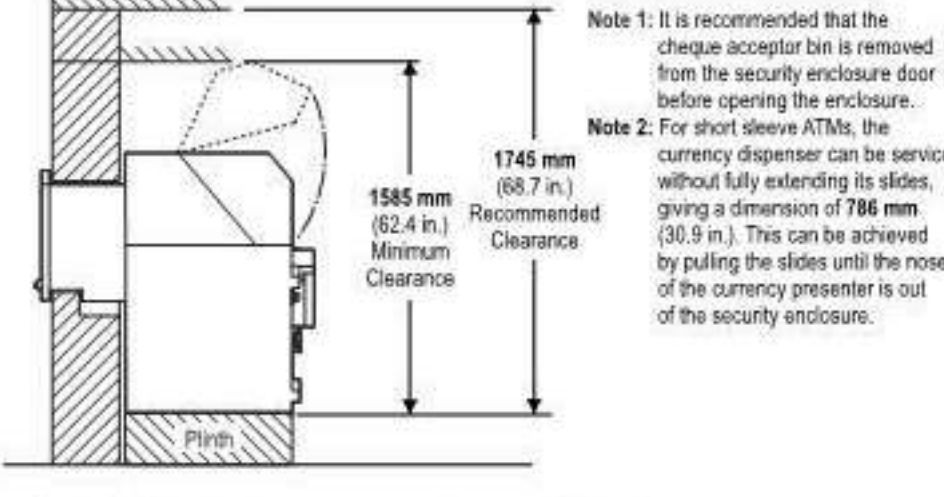
Note: The height of the plinth depends upon the difference in height between the sidewalk and the interior floor. If there is no difference, the plinth must have the height that is shown below.



#### SERVICE CLEARANCES

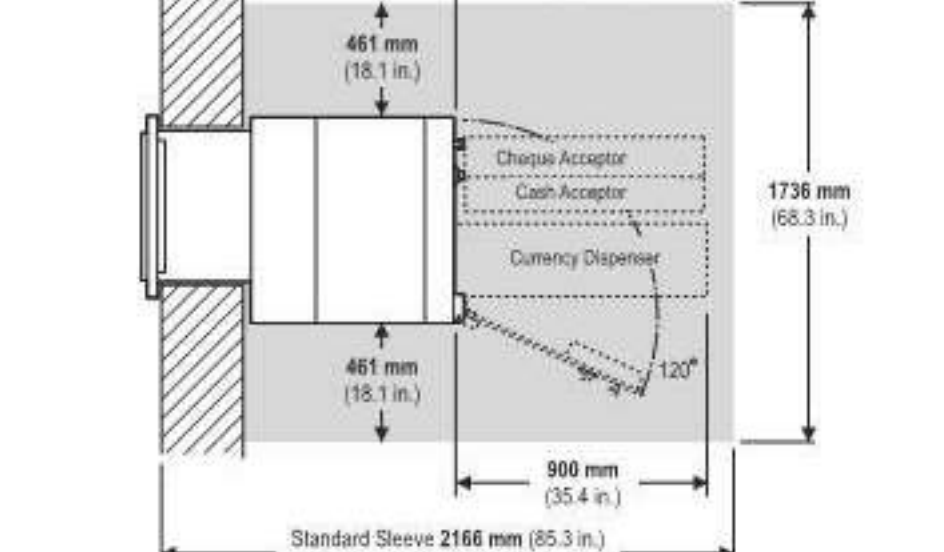
Important Notice to Users: If it is likely that the ATM will be upgraded with new modules as they become available, you should use the optimum clearances.

#### Height Clearances



Note 1: To allow a cheque acceptor to be serviced within the minimum clearance area, the rear transport can be propped from its horizontal position to a vertical position.

Note 2: To service the keyboard, shutter areas and severe environment (if fitted), the 80 Column printer must be removed.

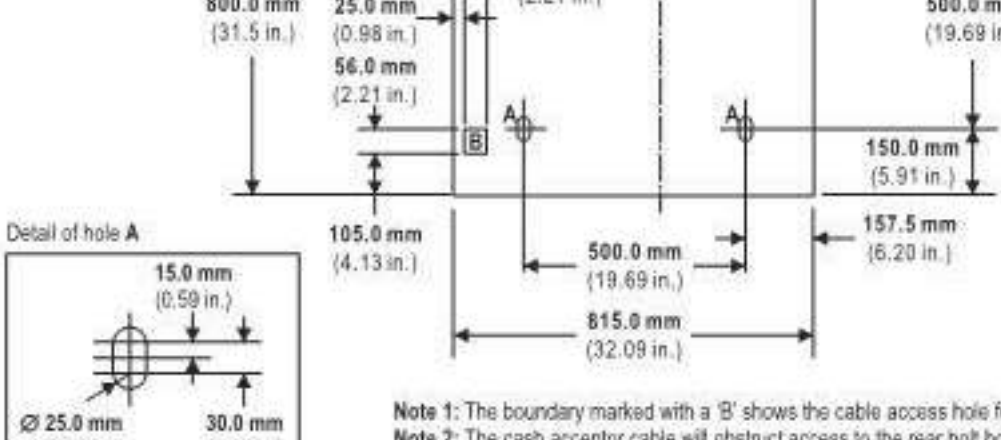


Note: For installations where there is enough room to stand at the right hand side of the sleeve (when viewing the ATM from the rear) there is an access panel which can be removed to allow easier access to the keyboard and shutter areas. It is not accessible if severe environment is fitted. There is another access panel on the left hand side which is only accessible if the ATM is installed through a tin wall. This panel is located on the sleeve.

#### BOLT HOLE LOCATIONS

##### Security Bolts

The ATM should be bolted to the floor or through the 'A' holes, using four bolts with anchor washers. The four or plinth must be capable of withstanding the loading imposed by the anchor points for the bolts. The bolts and anchors must be supplied by the owning organization.



#### ENVIRONMENTAL REQUIREMENTS

##### Temperature and Humidity

ATM installation through an exterior wall must meet the requirements of both the Interior and Exterior (through the wall) environments.

##### Normal Operating Range

	Interior Environment	Exterior Environment
Temperature (dry bulb)	10°C to 40°C (50°F to 104°F) See Note 2.	-35°C to 50°C (-31°F to 122°F) See Note 2.
Relative humidity	20% to 80% See Note 1.	10% to 100% See Note 2.
Dew point temperature restriction	24°C (79°F) max.	

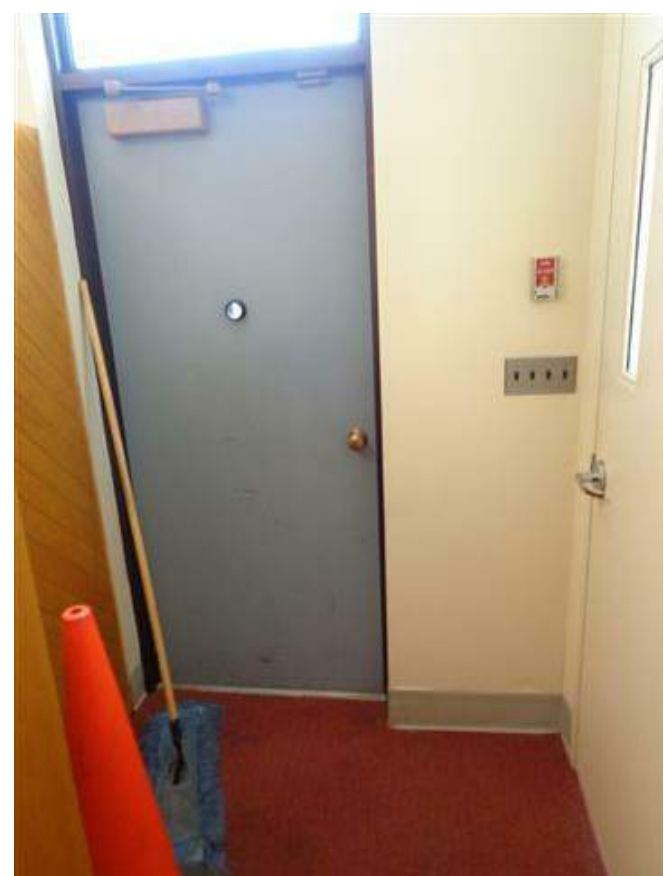
Note 1: The humidity inside the building is restricted to a maximum of 30% at an outside temperature of -35°C (-31°F) with a linear relationship between temperature and humidity to a maximum humidity of 80%.

Note 2: If a passbook printer is fitted, the minimum exterior temperature is 0°C (32°F) and the maximum relative humidity is 80%.

	Storage Range (Up To Three Months)	Transit Range (Up To One Week)	Extreme Power On Range (Up To One Hour)
Temperature	-19°C to 50°C (-4°F to 122°F)	-40°C to 60°C (-40°F to 140°F)	0°C to 40°C (32°F to 104°F)
Relative Humidity	10% to 90%	5% to 95%	10% to 95%

##### Barometric Pressure

Operating and transit limits	105 kPa (15.2 lb. F/in.)
Equivalent altitude	Up to a maximum of 3000 m (9842.52 ft.)



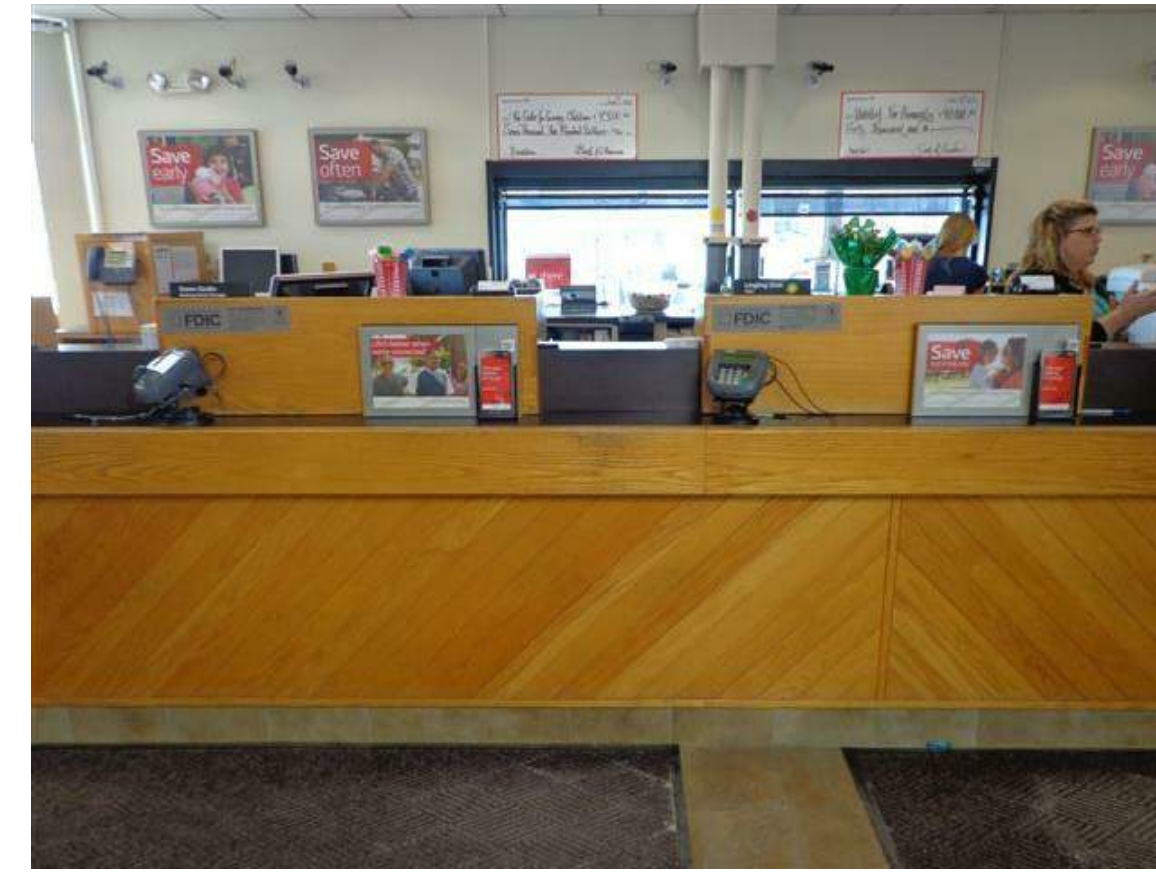
REAR EGRESS DOOR AND FA PULL TO BE MADE COMPLIANT



VIEWING ROOM ACCESS TO BE RECONFIGURED



TELLER LINE AND SDV ENTRY TO BE RECONFIGURED FOR NEW ADA TELLER STATION AND VIEWING ROOM



TELLER STATION TO BE MADE ADA COMPLIANT

### DOORS & HARDWARE

SCALE: N/A

2

### TELLER STATION

SCALE: N/A

1

### KEY NOTES



CHECK DESK TO BE REPLACED



REMOVE NON-COMPLIANT WALK OFF MATS



LOBBY FURNITURE TO BE REPLACED



CARPET TO BE REPLACED

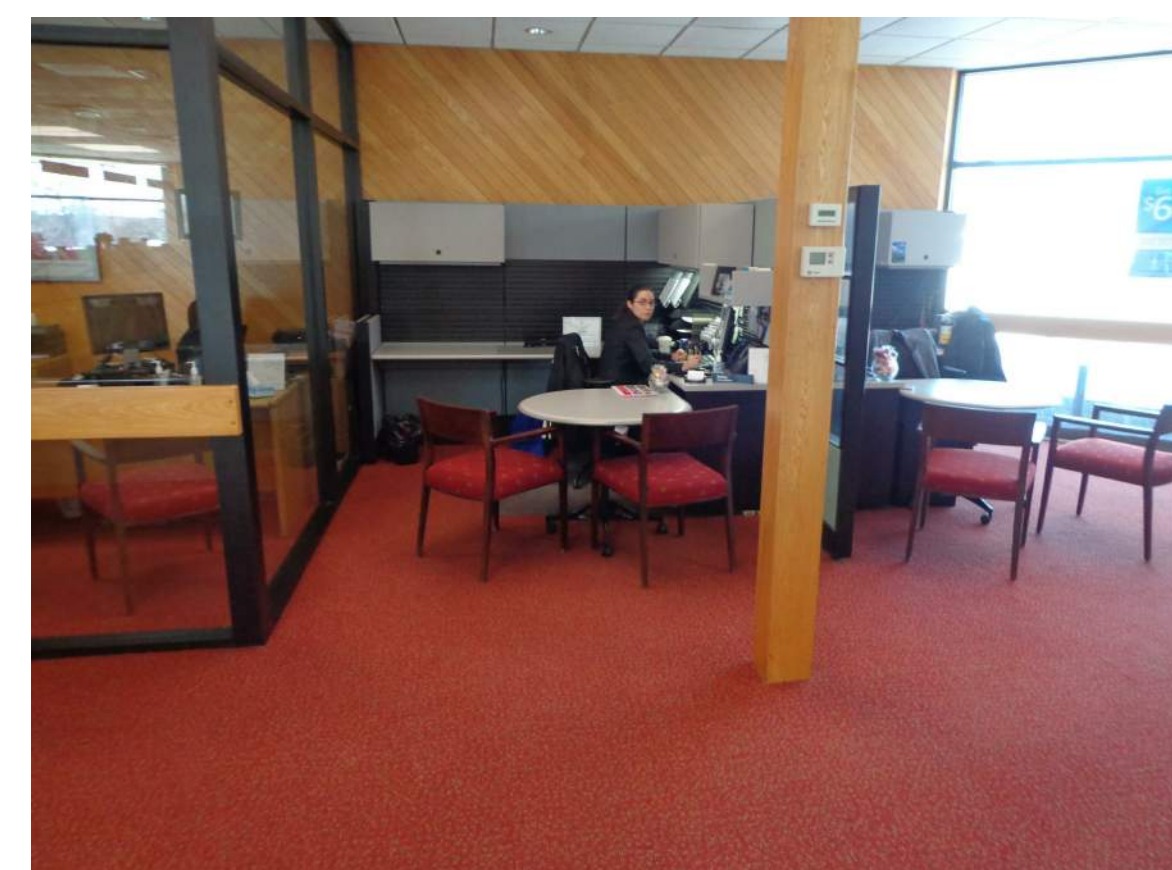
### LOBBY

SCALE: N/A

3



REMOVE & REPLACE FURNITURE AS PART OF CONSOLIDATION CAP ADD PROJECT.



REMOVE & REPLACE FURNITURE AS PART OF CONSOLIDATION CAP ADD PROJECT.

### FURNITURE

SCALE: N/A

4



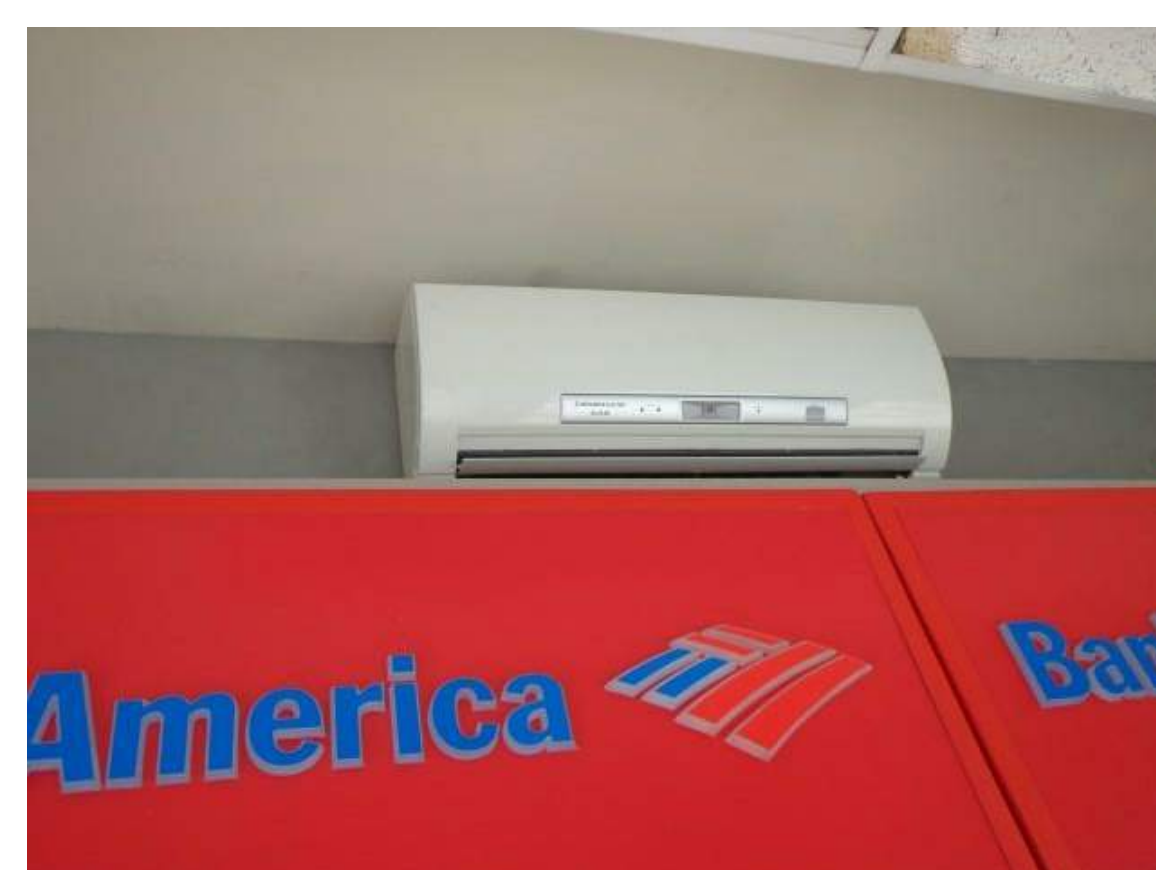
RELOCATE AND RECONFIGURED ATMS. REPLACE EXISTING SURROUNDS.



RELOCATE ONE ATM. RELOCATE AND LOWER SECOND ATM TO COMPLY WITH 2010 ADAAG.



ATM ROOM - RELOCATE EXISTING HVAC UNIT.



ATM LOBBY - EXISTING HVAC UNIT TO REMAIN.

### ATM

SCALE: N/A

6

### EXISTING HVAC

SCALE: N/A

5

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature

Project Name  
ADA UPGRADES

Project Number  
11.6560.125

Description  
EXISTING CONDITION PHOTOS

Scale

**A12.20**

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