

ABBREVIATIONS

A		J	JANITOR
ACCES	ACCESSORY	K	KITCHEN
ACOUS	ACOUSTIC(AL)	L	LAVATORY
AFF	ABOVE FINISHED FLOOR	LB	POUND
AL	ALUMINUM	LOUVER	LOUVER
ALT	ALTERNATE	LVLG	LEVELING
ANNUNC	ANNUNCIATOR	M	
ANOD	ANODIZED	M.E.	MATCH EXISTING
APPL	APPLIANCE	MAX	MAXIMUM
AUTO	AUTOMATIC	MECH	MECHANICAL
AVG	AVERAGE	MEMB	MEMBRANE
B		MET	METAL
BD	BOARD	MEZZ	MEZZANINE
BLDG	BUILDING	MFD	MANUFACTURED
BLKG	BLOCKING	MFR	MANUFACTURER
BOLL	BOLLARD	MIN	MINIMUM
BRDLM	BROADLOOM	MISC	MISCELLANEOUS
BU	BUILT UP	MLWK	MILLWORK
C		MOIST	MOISTURE
CAB	CABINET	MOT	MOTOR(IZED)
CEM	CEMENT(TIOUS)	MTD	MOUNTED
CER	CERAMIC	N	
CLG	CEILING	NIC	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NO	NUMBER
COATG	COATING	NTS	NOT TO SCALE
COILG	COILING	O	
CONC	CONCRETE	OPNG	OPENING(S)
CONSTR	CONSTRUCTION	OPR	OPERABLE
CONT	CONTINUOUS(ATION)	ORNA	ORNAMENTAL
CONTR	CONTRACT(OR)	OS	OCCUPANCY SENSOR
COV	COVER	OVFL	OVERFLOW
CPT	CARPET	OVHD	OVERHEAD
D		P	
DBL	DOUBLE	PBD	PARTICLE BOARD
DEPT	DEPARTMENT	PEDTR	PEDESTRIAN
DES	DESIGN(ED)	PLAM	PLASTIC LAMINATE
DET	DETAIL	PLAS	PLASTER
DF	DRINKING FOUNTAIN	PLSTC	PLASTIC
DIA	DIAMETER	PLYWD	PLYWOOD
DIFF	DIFFUSER	PNL	PANEL
DIM	DIMENSION	POLYST	POLYSTYRENE
DISP	DISPENSER	PORT	PORTABLE
DIV	DIVISION	PREFAB	PREFABRICATED
DN	DOWN	PREFIN	PREFINISHED
DR	DOOR	PRTECN	PROTECTION
DSCON	DISCONNECT	PTN	PARTITION
DWR	DRAWER	R	
E		RDR	READER
ELAST	ELASTOMERIC	RECES	RECESS(ED)
ELEC	ELECTRICAL	RECPT	RECEPTACLE
EMBED	EMBEDD(ED)(ING)	REF	REFER(ENCE)
ENGR	ENGINEER(ED)	REFL	REFLECTED
ENTR	ENTRANCE	REFR	REFRIGERATOR
EQ	EQUAL	REQD	REQUIRED
EQUIP	EQUIPMENT	RESIS	RESIST(ANT)(IVE)
EX	EXISTING	RFG	ROOFING
EXP JT	EXPANSION JOINT	RM	ROOM
EXPS	EXPOSE(D)	RO	ROUGH OPENING
EXT	EXTERIOR	S	
F		SCR	SCRIBE
FAB	FABRICATION	SECUR	SECURITY
FD	FLOOR DRAIN	SF	SQUARE FEET
FE	FIRE EXTINGUISHER	SGL	SINGLE
FE&C	FIRE EXTINGUISHER AND CABINET	SHORG	SHORING
FHC	FIRE HOSE CABINET	SIM	SIMILAR
FIN	FINISH	SST	STAINLESS STEEL
FLDG	FOLDING	STD	STANDARD
FLR	FLOOR(ING)	STL	STEEL
FLPC	FIREPLACE	STRFR	STOREFRONT
FR	FIRE RAT(ING)(ED)	STRUCT	STRUCTURAL
FRMG	FRAMING	SURF	SURFACE
FURN	FURNITURE	SUSP	SUSPENDED
FWC	FABRIC WALL COVERING	SYS	SYSTEM(S)
FXD	FIXED	T	
FXTR	FIXTURE	T&G	TONGUE AND GROOVE
G		THK	THICK
GA	GAUGE	TLT	TOILET
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	TRAF	TRAFFIC
GFRG	GLASS FIBER REINFORCED CONCRETE	TRANS	TRANSPARENT
GFRG	GLASS FIBER REINFORCED GYPSUM	TRTD	TREATED
GFRP	GLASS FIBER REINFORCED PLASTER	TYP	TYPICAL
GL	GLASS	U	
GR	GRAD(E)(ING)	UNDRLAY	UNDERLAYMENT
GYP	GYPSUM	UON	UNLESS OTHERWISE NOTED
H		UTIL	UTILITY
HD	HEAD	V	
HDWD	HARDWOOD	VEH	VEHICLE
HDWE	HARDWARE	VERT	VERTICLE
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL	W	
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	W/	WITH
I		W/O	WITHOUT
INFILTR	INFILTRATION	WC	WATER CLOSET
INFO	INFORMATION	WD	WOOD
INSTRUM	INSTRUMENT(ATION)	WDW	WINDOW
INSUL	INSULATION	WT	WEIGHT
INT	INTERIOR	WTRPRF	WATERPROOFING
INTLK	INTERLOCK(ING)		

GRAPHIC SYMBOLS

FINISH

- XXXX WALL FINISH
- XXXX BASE FINISH
- XXXX EXTENT OF FINISH
- XXXX WALL FINISH
- XXXX SPECIAL FINISH
- XXXX FLOOR FINISH
- XXXX CEILING FINISH
- XXXX CHANGE IN FLOOR FINISH

CONSTRUCTION

- 1 COLUMN GRID
- A NOT IN CONTRACT
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW PARTITION REFERENCE TO PARTITION TYPE
- 1 HR. RATED PARTITION
- SMOKE PARTITION
- OFFICE ROOM NAME
- 04F0B ROOM NUMBER
- XXX DOOR TYPE
- XXX HARDWARE SET
- ALIGN ALIGN WITH ESTABLISHED SURFACES
- B
- OR REMOTE DOOR RELEASE BUTTON
- A INTRUSION ALARM
- B DOOR BELL
- XX KEY NOTE
- XX SHEET NOTE
- REVISION REFERENCE
- XXX DIRECTION OF ELEVATION
- XXX ELEVATION NUMBER ON SHEET
- XXX SHEET WHERE SHOWN
- XX DETAIL NUMBER
- XXX SHEET WHERE SHOWN
- FL12 NW DESCRIPTION OF SIMILAR OR OPPOSITE FLOOR LEVEL AND AREA OR PHASE AREA TO BE DETAILED
- MILLWORK MILLWORK SCHEDULE TAG (IF USED)
- XXXX
- FHC FIRE HOSE CABINET
- FE FIRE EXTINGUISHER WITHOUT CABINET
- FEC FIRE EXTINGUISHER CABINET
- FV FIRE VALVE WITHOUT CABINET
- FVC FIRE VALVE CABINET
- FA FIRE ALARM PULL

SECTION INDICATIONS

- STONE
- CONCRETE
- CONCRETE MASONRY UNIT
- METAL
- NON-FERROUS ALUMINUM
- PLYWOOD
- WOOD (FINISH)
- WOOD (CONTINUOUS)
- WOOD (BLOCKING)
- INSULATION (LOOSE OR BATT)
- GLASS (LARGE SCALE)
- GYPSUM BOARD
- ACOUSTICAL TILE
- CARPET

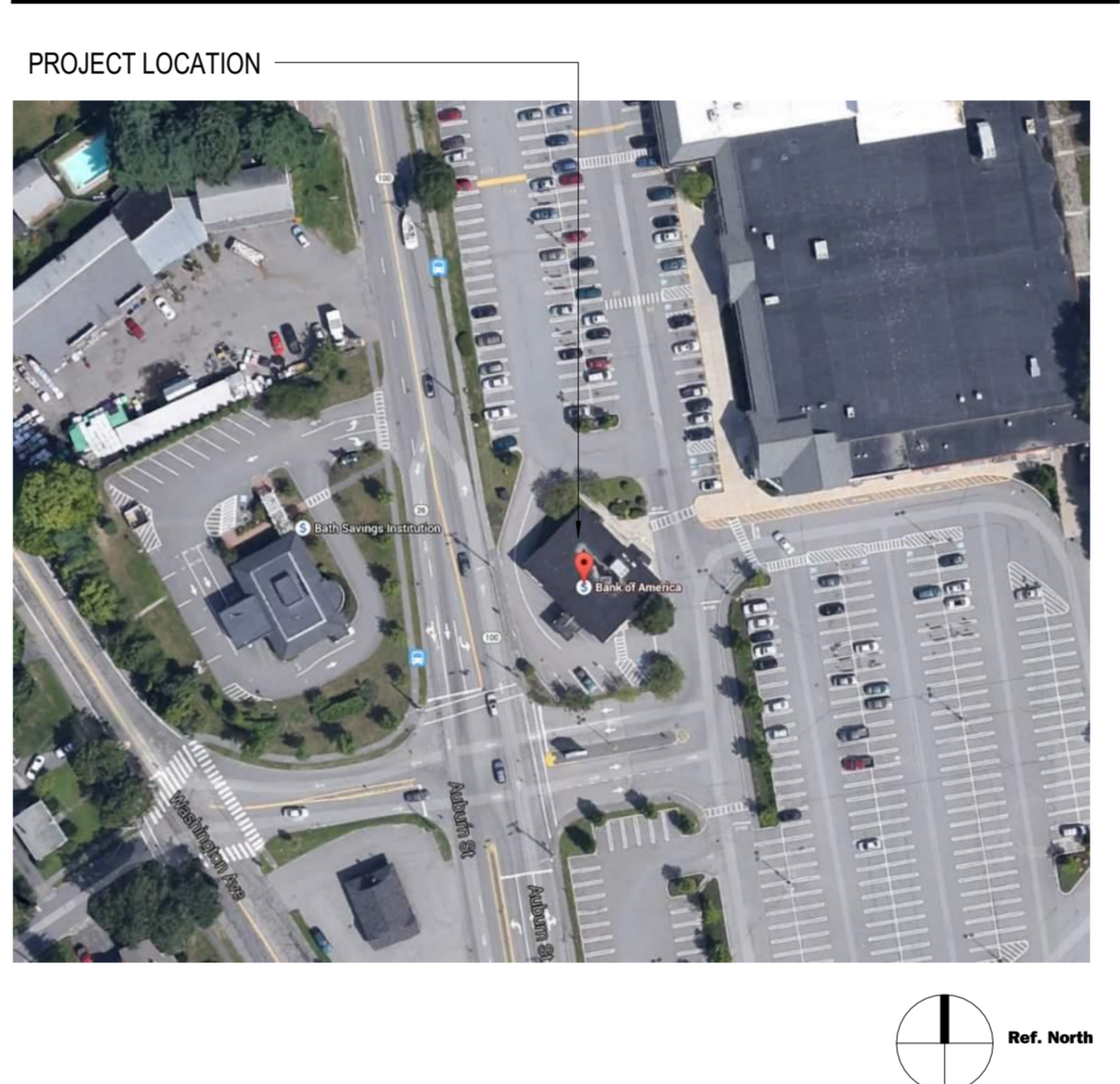
GENERAL NOTES

- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK EXCEPT AS PROVIDED OTHERWISE IN THE SPECIFICATIONS OR OWNER CONTRACTOR AGREEMENT.
- REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
- OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER AND/OR PROPERTY MANAGER TO ENSURE SECURITY.
- MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
- REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
- REMOVE ABANDONED ELECTRICAL, CABLING AND DEVICES.
- REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT, MILLWORK & ACCESSORIES MOUNTED ON WALL.
- CONTRACTOR SHALL PROVIDE COLOR SAMPLE FOR ALL FINISHES & P-LAM TO OWNER & ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED AS "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- G.C. SHALL PROVIDE ALL WORK RELATED TO ENGINEERING TO INCLUDE, BUT NOT LIMITED TO: MECHANICAL, ELECTRICAL, FIRE PROTECTION & LIFE SAFETY. G.C. SHALL PROVIDE DESIGN DRAWINGS, PERMITS & INSTALLATION OF SYSTEMS ON A DESIGN BUILD BASIS.

VICINITY MAP



LOCATION MAP



SITE PLAN



DRAWING INDEX

DRAWING NUMBER	DRAWING NAME	CURRENT ISSUE	CURRENT ISSUE DATE	CURRENT ISSUE DESCRIPTION
A00.00	DRAWING INDEX	1	08/15/2014	ISSUE FOR BID AND PERMIT
A00.20	PARTITION TYPES, DOOR & HARDWARE SCHEDULES	1	08/15/2014	ISSUE FOR BID AND PERMIT
A00.40	TYPICAL ADA INFORMATION	1	08/15/2014	ISSUE FOR BID AND PERMIT
A01.01	DEMOLITION PLAN	1	08/15/2014	ISSUE FOR BID AND PERMIT
A02.01	CONSTRUCTION PLAN	1	08/15/2014	ISSUE FOR BID AND PERMIT
A05.01	FINISH PLAN	1	08/15/2014	ISSUE FOR BID AND PERMIT
A06.01	FURNITURE PLAN	1	08/15/2014	ISSUE FOR BID AND PERMIT
A12.00	ENLARGED PLANS AND TYPICAL DETAILS	1	08/15/2014	ISSUE FOR BID AND PERMIT
A12.01	TYPICAL DETAILS	1	08/15/2014	ISSUE FOR BID AND PERMIT
A12.02	TYPICAL DETAILS	1	08/15/2014	ISSUE FOR BID AND PERMIT
A12.20	EXISTING CONDITION PHOTOS	1	08/15/2014	ISSUE FOR BID AND PERMIT

PROJECT INFORMATION

PROJECT DESCRIPTION: BANK OF AMERICA ADA UPGRADE

BUILDING ADDRESS: North Gate, 39 Auburn Street, Portland, ME 04103

OCCUPANCY TYPE: BUSINESS GROUP B

CONSTRUCTION TYPE: EXISTING

PROJECT AREA: 980 s.f.

APPLICABLE CODES

BUILDING SUBCODE: 2009 IBC & 2009 IEBC MAINE UNIFORM BUILDING AND ENERGY CODE 'MUBEC'

PLUMBING SUBCODE: ME STATE INTERNATIONAL PLUMBING CODE (UPC 2007)

MECHANICAL SUBCODE: ME STATE MECHANICAL CODE

ELECTRICAL SUBCODE: NEC 2007 ELECTRICAL STANDARDS

FIRE/LIFE SAFETY SUBCODE: NFPA 2007 FIRE SAFETY CODES

ENERGY CODE: 2009 IECC MAINE UNIFORM BUILDING AND ENERGY CODE 'MUBEC'

ACCESSIBILITY CODE: ADAAG

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature

Project Name
ADA UPGRADES

Project Number
11.6560.125

Description
DRAWING INDEX

Scale
NOT TO SCALE

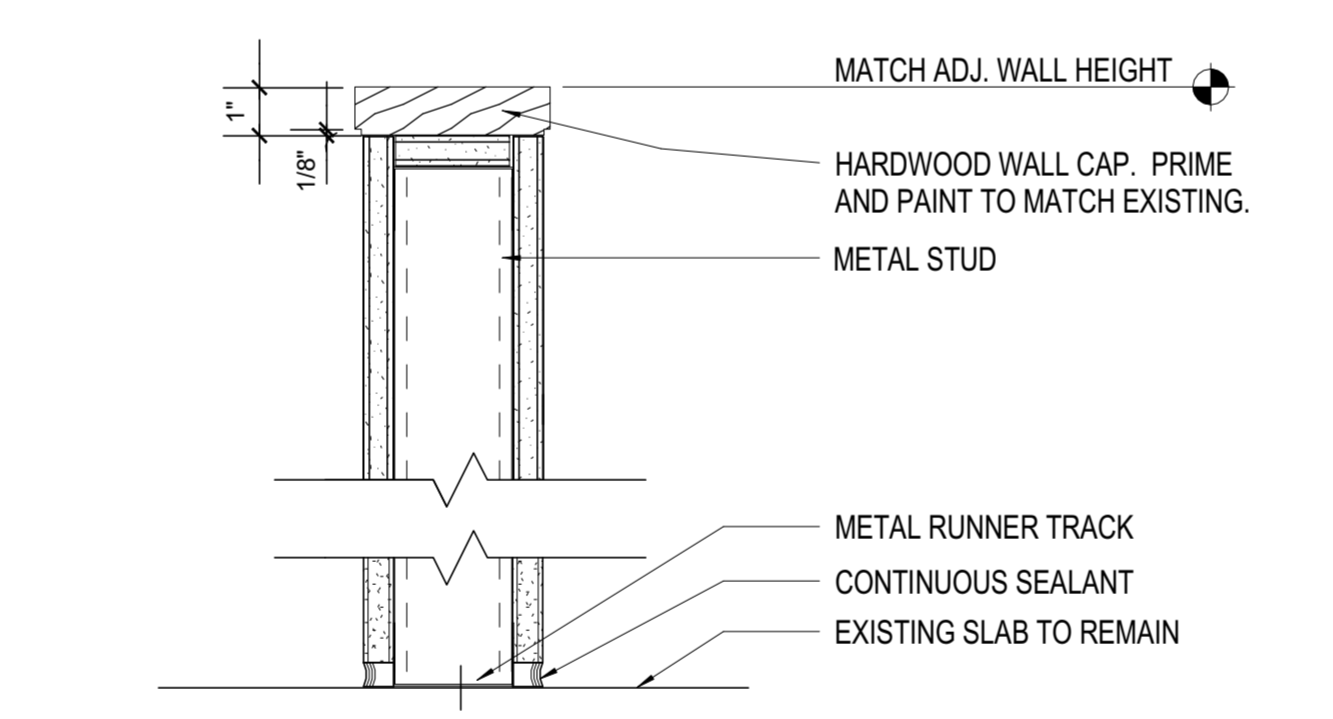
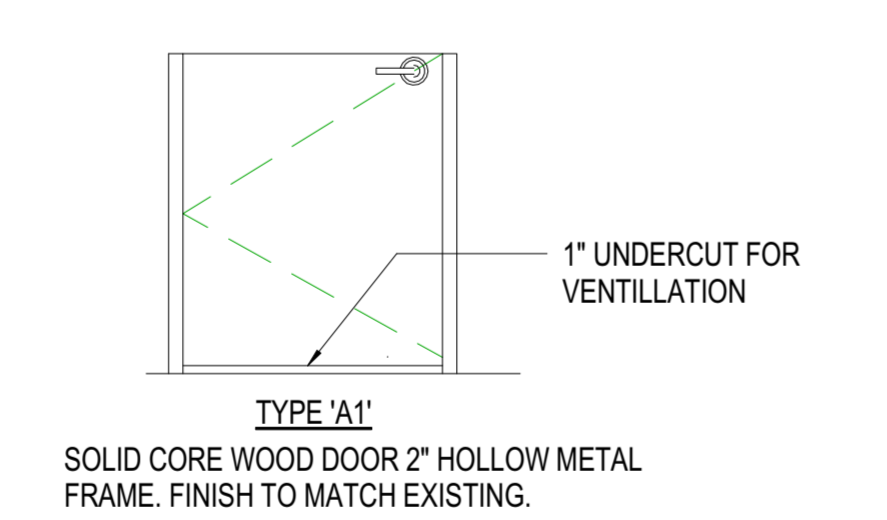
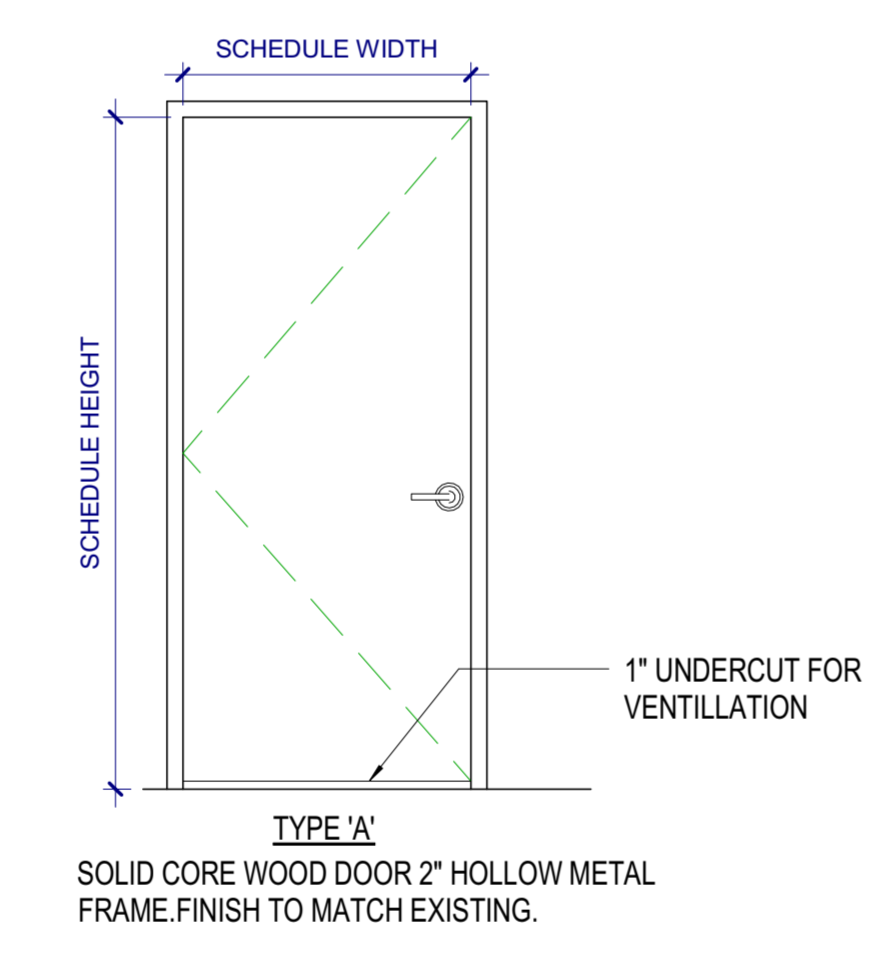
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No.	Location	Type	Door			Material	Finish	Frame			Fire Rating	Hardware Set	Remarks	
			Width	Height	Thickness			Head	Jamb	Sill				
100	ATM VESTIBULE	G	MATCH EX.	MATCH EX.	MATCH EX.	EX.	EX.	EX.	EX.	EX.	EX.	--	#AL-1	EXISTING CARD READER TO REMAIN
101	ATM VESTIBULE	G	MATCH EX.	MATCH EX.	MATCH EX.	EX.	EX.	EX.	EX.	EX.	EX.	--	#AL-1	--
105	SVB VIEWING ROOM	A	3'-0"	7'-0"	1 3/4"	WOOD	P-2	--	--	--	WOOD	P-2	#6	--
106	SDB VESTIBULE	A1	3'-0"	4'-5"	1 3/4"	WOOD	P-2	--	--	--	WOOD	P-2	#6C	--
107	SECURED TELLER AREA	A1	3'-0"	4'-5"	1 3/4"	WOOD	P-2	--	--	--	WOOD	P-2	#11A	DOOR EXISTING TO REMAIN. PROVIDE NEW HDWR.
108	OFFICE	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	--	#5B	DOOR EXISTING TO REMAIN. PROVIDE NEW HDWR.
110	OFFICE	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	--	#5B	DOOR EXISTING TO REMAIN. PROVIDE NEW HDWR.
111	EGREES DOOR	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	--	AL-1C	G.C. TO COORDINATE HARDWARE REPLACEMENT WITH SECURITY VENDOR

DOOR SCHEDULE
SCALE: 1/2" = 1'-0"

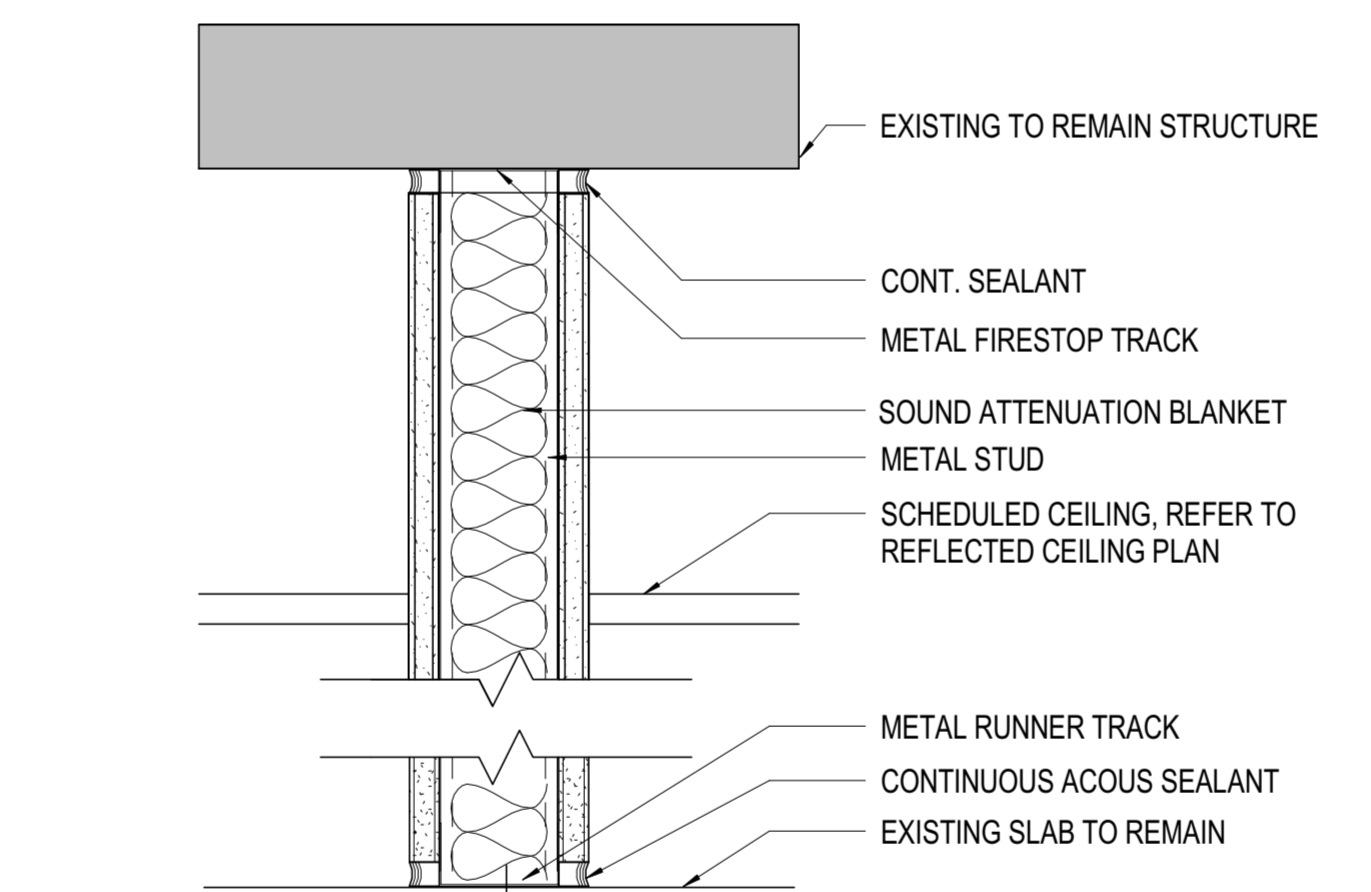
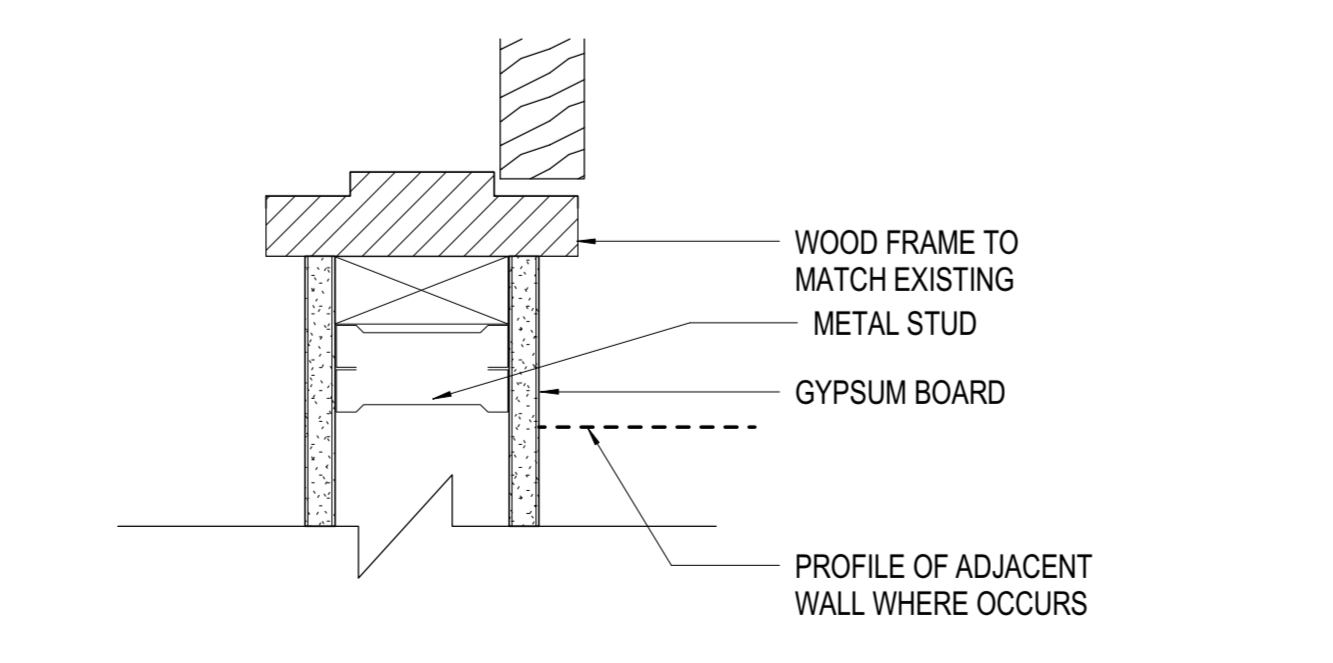
QTY	DESCRIPTION	MODEL	FINISH	MFR	QTY	DESCRIPTION	MODEL	FINISH	MFR	QTY	DESCRIPTION	MODEL	FINISH	MFR
GROUP 6 - COUPON BOOTH														
3 EA	HINGE	BB1279 4.5 X 4.5	26D	HAG	3 EA	HINGE	BB1279 4.5 X 4.5	26D	HAG	4 EA	HINGE	BB1199 4.5 X 4.5 NRP	26D	HAG
1 EA	PRIVACY SET	ND40S SPA	626	SCH	1 EA	OFFICE LOCKSET	ND91PD F82	626	SCH	1 EA	PANIC EXIT HARDWARE	9899EL RIM EXT. DEVICE	630	VDN
1 EA	WALL STOP	WS407CCV	630	IVE	1 EA	WALL STOP	WS407CCV	630	IVE	1 EA	DOOR PULL	8103EZ-0	630	IVE
3 EA	SILENCER	SR64	GRY	IVE	3 EA	SILENCER	SR64	GRY	IVE	1 EA	MORTISE CYLINDER	80-132XQ110948	626	SCH
GROUP 6C - VIEWING AREA														
2 EA	HINGE	BB1279 4.5 X 4.5	26D	HAG	3 EA	HINGE	BB1279 4.5 X 4.5	26D	HAG	1 EA	DEADLOCK	MS1850S	626	AR
1 EA	ELECTRIFIED LOCK	ND96PDEU SPA	626	SCH	1 EA	STOREROOM LOCK	ND80HD SPA	626	SCH	1 EA	RIM CYL W/CONST CORE	80-159	626	SCH
1 EA	SFIC EV B CORE ONLY	80-037	626	SCH	1 EA	SURFACE CLOSER	4011	689	LCN	1 EA	SURFACE CLOSER	4110 SCUSH	689	LCN
1 EA	WALL STOP	WS407CCV	630	IVE	1 EA	SURFACE CLOSER	4011	689	LCN	1 EA	MOUNTING PLATE	4110-18	689	LCN
2 EA	SILENCER	SR64	GRY	IVE	1 EA	WALL STOP	WS407CCV	630	IVE	1 EA	CUSH SHOE SUPPORT	4110-30	689	LCN
GROUP AL-1C - VIEWING AREA														
1 EA	PANIC EXIT HARDWARE	9899EL RIM EXT. DEVICE	630	VDN	3 EA	SILENCER	SR64	GRY	IVE	1 EA	BLADE STOP SPACER	4110-61	689	LCN
GROUP 11A - SECURE TELLERS														
GROUP AL-1 - STOREFRONT (EXTERIOR DOOR)														
1 EA THRESHOLD 325 689 NGP														
1 EA CARD READER INSTALLED BY BANK SECURITY VENDOR														

HARDWARE SCHEDULE
SCALE: 1/2" = 1'-0"



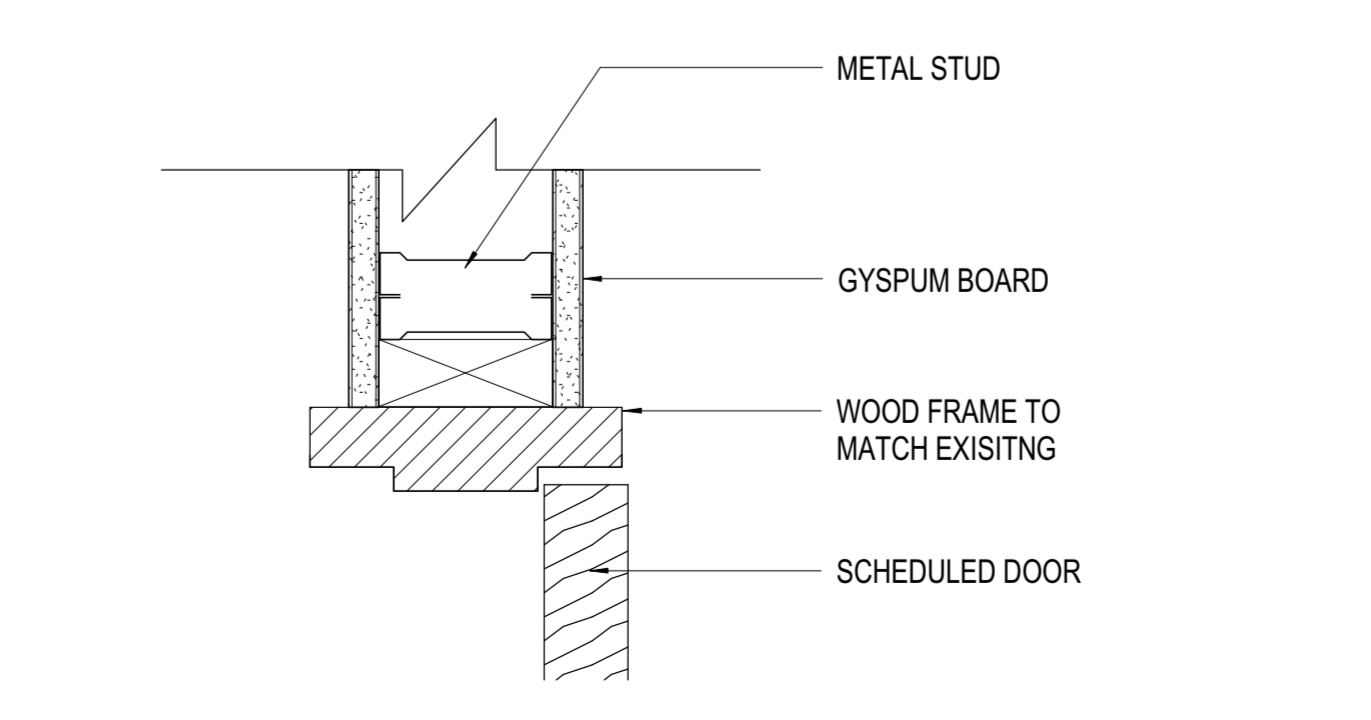
NUMBER	STUD SIZE	SEE SPEC	SEE SPEC	GYPSUM BOARD	WALL THICKNESS	INSULAT.	FIRE RATING	U.L. NUMBER	S.T.C. RATING
C	3 5/8"			5/8"	4 7/8"				

PARTITION TYPE C
SCALE: 3" = 1'-0"



NUMBER	STUD SIZE	SEE SPEC	SEE SPEC	GYPSUM BOARD	WALL THICKNESS	INSULAT.	FIRE RATING	U.L. NUMBER	S.T.C. RATING
A	3 5/8"			5/8"	4 7/8"				

PARTITION TYPE A
SCALE: 3" = 1'-0"



WOOD DOOR FRAME TYP. JAMB
SCALE: 3" = 1'-0"

WOOD DOOR FRAME TYP. HEAD
SCALE: 3" = 1'-0"

KEY NOTES

GENERAL NOTES

- A. COORDINATE ALL HARDWARE WITH DOOR SWINGS. WHEN SPECIFIED, CLOSERS TO BE ON INTERIOR OF ALL ROOMS. IF NO WALL IS PROVIDED WHERE A WALL STOP HAS BEEN SPECIFIED, SUBMIT OVERHEAD STOP WITH HARDWARE SUBMITTAL. ALL SECURITY HARDWARE TO BE LOCATED SO THE INTERIOR ROOM OR SPACE IS SECURE, U.N.O.
- B. ALL HARDWARE FINISH TO MATCH EXISTING, U.N.O. WHERE MULTIPLE FINISHES EXIST, NOTIFY ARCHITECT IMMEDIATELY AND CONFIRM FINAL FINISH SELECTION BEFORE ORDERING.
- C. WHERE NEW HARDWARE IS TO BE INSTALLED ON EXISTING DOORS, CONFIRM ALL SPECIFIED HARDWARE IS COMPATIBLE WITH EACH DOOR TYPE. NOTIFY ARCHITECT OF ALL CONFLICTS BEFORE ORDERING.

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1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature _____

Project Name
ADA UPGRADES

Project Number
11.6560.125

Description
PARTITION TYPES, DOOR & HARDWARE SCHEDULES

Scale
NOT TO SCALE

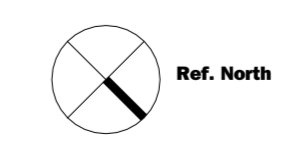
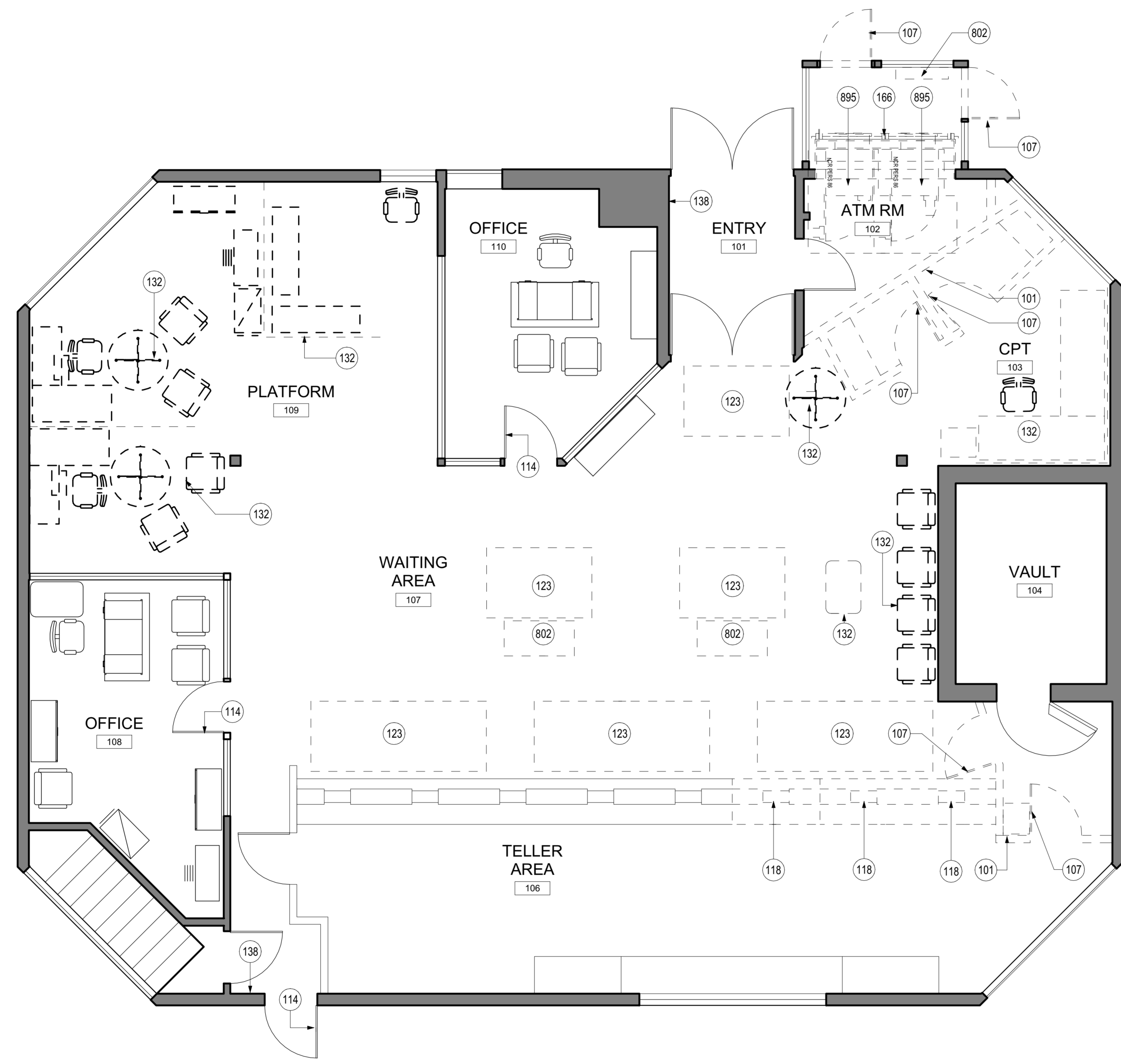
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KEY NOTES

- 101 DEMOLISH EXISTING PARTITION WALLS AS INDICATED (SHOWN DASHED). ALL LIGHT SWITCHES, OUTLETS AND DEVICES TO BE TEMPORARILY REMOVED & RELOCATED TO IDENTICAL LOCATION, U.O.N. REFER TO A02 SERIES AND A04 SERIES FOR NEW LAYOUT AND SPECIFIED LOCATIONS FOR DEVICES. PROVIDE TEMPORARY STRUCTURAL SUPPORT AS NEEDED. NOTIFY ARCHITECT OF ANY CONFLICTS.
- 107 REMOVE EXISTING DOOR, DOOR FRAME & ASSOCIATED DOOR HARDWARE.
- 114 REMOVE EXISTING NON-COMPLIANT DOOR HARDWARE AND PREPARE DOOR TO RECEIVE NEW HARDWARE. PATCH / REPAIR DOOR TO MATCH EXISTING FINISH. REFER TO A02 SERIES AND A00.20 FOR NEW HARDWARE.
- 118 REMOVE SECTION OF TELLER COUNTER AS INDICATED (SHOWN DASHED). REMOVE & RELOCATE ALL POWER/DATA (& QST IF THERE IS ONE) TO SAME LOCATION AFTER COMPLETION OF MILLWORK RENOVATIONS.
- 123 REMOVE NON-COMPLIANT WALK-OFF MAT.
- 132 REMOVE & RELOCATE FURNITURE AS PER CONSTRUCTION PLAN.
- 138 REMOVE & RELOCATE FIRE ALARM PULL. REFER TO A02 SERIES FOR NEW LOCATION. VERIFY NEW LOCATION COMPLIES WITH ALL APPLICABLE FIRE AND LIFE SAFETY CODES.
- 166 REMOVE EXISTING ATM SURROUND. PATCH AND PREPARE SURFACE FOR NEW SURROUND.
- 802 REMOVE EXISTING CHECK STAND COUNTER AND COMPONENTS, INCLUDING SIGNAGE. REPAIR SURFACES TO REMAIN AS NEEDED TO MATCH EXISTING FINISH.
- 895 RELOCATE EXISTING ATM'S AS INDICATED IN THE CONSTRUCTION PLAN.

GENERAL NOTES

- A. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- B. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- C. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- D. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- E. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- F. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
- G. REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
- H. REMOVE ABANDONED ELECTRICAL, CABLING AND DEVICES.
- I. ALL FURNITURE AFFECTED BY DEMOLITION AND NEW CONSTRUCTION LAYOUT IS TO BE RELOCATED. NO FURNITURE IS TO BE DISPOSED, U.N.O. COORDINATE FINAL RELOCATION WITH OWNER AND SITE MANAGER.
- J. ALL SECURITY DEVICES AND SYSTEMS TO REMAIN INTACT DURING ALL PHASES OF WORK. ANY MODIFICATIONS NEEDED DUE TO AREA OF DEMOLITION AND NEW CONSTRUCTION LAYOUT TO BE PERFORMED BY OWNER'S SECURITY VENDOR AND TO BE COORDINATED WITH OWNER PRIOR TO DEMOLITION.
- K. ALL LIGHT LENSES IN AREA OF WORK ARE REQUIRED TO BE CLEANED, REGARDLESS IF FIXTURE IS NEW, RELOCATED OR REMAINING IN THE EXISTING LOCATION.
- L. GC IS REQUIRED TO PERFORM INTERNAL REVIEW PRIOR TO ARCHITECT/OWNER PUNCH LIST WALK.
- M. NO DEVIATIONS FROM CONSTRUCTION DOCUMENTS WITHOUT PROPER RFI.



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Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature _____

Project Name
ADA UPGRADES

Project Number
11.6560.125

Description
DEMOLITION PLAN

Scale
1/4" = 1'-0"

A01.01

KEY NOTES

- 301 ALL NEW PARTITION WALL TYPES AND PATCHED WALLS TO BE FINISHED TO MATCH EXISTING. U.O.N. IF EXISTING. PROVIDE MATCHING WALL BASE. NEW CONSTRUCTION TO ALIGN AND MATCH EXISTING CONSTRUCTION WHERE INDICATED.
- 302 PATCH / REPAIR WALL AND FINISH TO MATCH EXISTING ADJACENT. IF EXISTING, PROVIDE MATCHING WALL BASE.
- 315 NEW MILLWORK COUNTERTOP. REFER A12 SERIES FOR ENLARGED PLAN AND DETAILS.
- 318 RELOCATED EXISTING FURNITURE.
- 323 RELOCATED FIRE ALARM PULL. HIGHEST OPERABLE PART TO BE MOUNTED AT 48" A.F.F. MAX. SHOWN FOR LOCATION ONLY. G.C. TO COORDINATE WITH DESIGN BUILD ENGINEER. PATCH / REPAIR AND FINISH WALL TO MATCH EXISTING.
- 389 PROVIDE NEW COMPLIANT HARDWARE. REFER TO A00 SERIES FOR DOOR AND HARDWARE SCHEDULE AND TYPICAL MOUNTING HEIGHTS.
- 390 NEW ADA TELLER COUNTER (W/ LOWERED CUSTOMER SHELF). P-LAM TO MATCH EXISTING. VERIFY W/ OWNER AND ARCHITECT PRIOR TO INSTALLATION. PROVIDE NEW OR RELOCATE EXISTING QST.
- 391 NEW COUPON BOOTH COUNTER.
- 393 PROVIDE NEW BANK STANDARD MERCHANDISING QUEUE.
- 851 NEW LOBBY CHECK DESK. PATCH AND REPAIR ANY FLOORING DAMAGE DUE TO DEMOLITION OF EXISTING CHECK STAND. FINISH TO MATCH EXISTING.
- 895 PROVIDE NEW FURNITURE. REFER TO SHEET A08.01 FOR LAYOUT AND SCHEDULE.
- 896 RELOCATED EXISTING NCR ATM. G.C. TO COORDINATE WITH BANK'S SECURITY VENDOR.
- 897 RELOCATED EXISTING NCR ATM. RECONFIGURE BASE SUPPORT - LOWER ATM TO COMPLY WITH 2010 ADAAG. H.O.P. @ 46" AFF MAX. G.C. TO COORDINATE WITH BANK'S SECURITY VENDOR.
- 898 PROVIDE NEW ADA COMPLIANT DOOR, HARDWARE AND THRESHOLD. REFER TO SHEET A00.20.
- 899 PROVIDE NEW SUR-WING-DOUBLE-STD SURROUND.

GENERAL NOTES

- A. REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- B. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- C. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT, FIXTURES, MILLWORK & ACCESSORIES MOUNTED ON WALL.
- D. CONTRACTOR SHALL PROVIDE COLOR SAMPLES FOR ALL FINISHES & P-LAM TO OWNER & ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
- E. ADJUST OPENING FORCE OF ALL INTERIOR DOOR CLOSERS TO A MAXIMUM OF 5 LBF.
- F. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- G. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED AS "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- H. IF EXISTING DOORS TO REMAIN DO NOT ALLOW FOR SPECIFIED HARDWARE, G.C. TO PROVIDE NEW DOOR.
- I. G.C. SHALL PROVIDE ALL WORK RELATED TO ENGINEERING TO INCLUDE, BUT NOT LIMITED TO: MECHANICAL, ELECTRICAL, FIRE PROTECTION & LIFE SAFETY. G.C. SHALL PROVIDE DESIGN DRAWINGS, PERMITS & INSTALLATION OF SYSTEMS ON A DESIGN BUILD BASIS.
- J. RELOCATE EXISTING FIXTURES ON WALLS TO BE REMOVED TO NEW PARTITION. REFER TO SHEET A00.40 FOR TYPICAL MOUNTING HEIGHTS.
- K. RE-KEY NEW LOCKSETS TO MATCH EXISTING KEY WAY OR KEYED SEPARATELY AS PER MANAGER/CBRE DIRECTION AND USE OWNER'S DOOR HARDWARE VENDOR.
- L. PROVIDE SUBMITTALS FOR MILLWORK, DOOR HARDWARE, AND TOILET ACCESSORIES.

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature _____

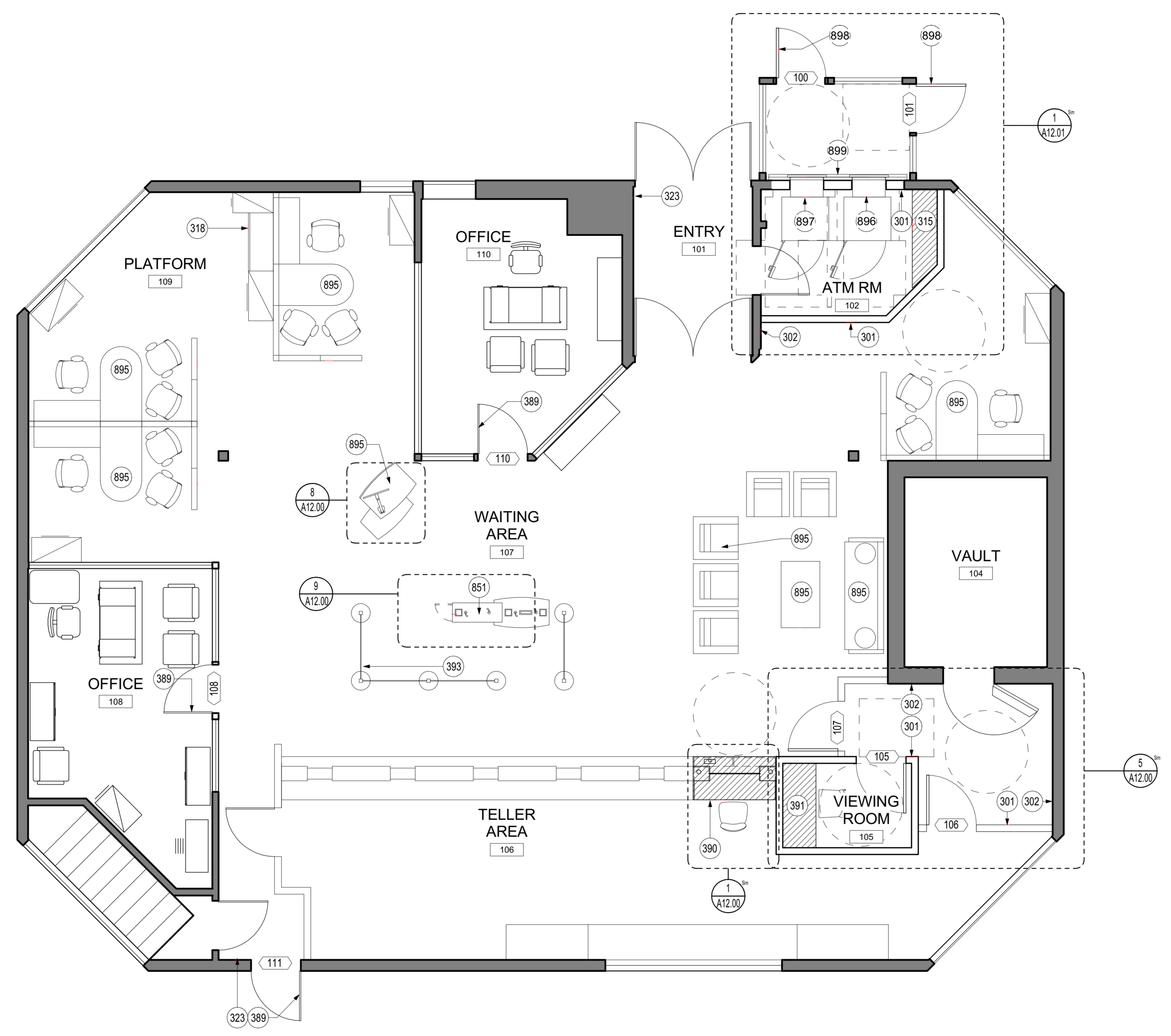
Project Name
ADA UPGRADES

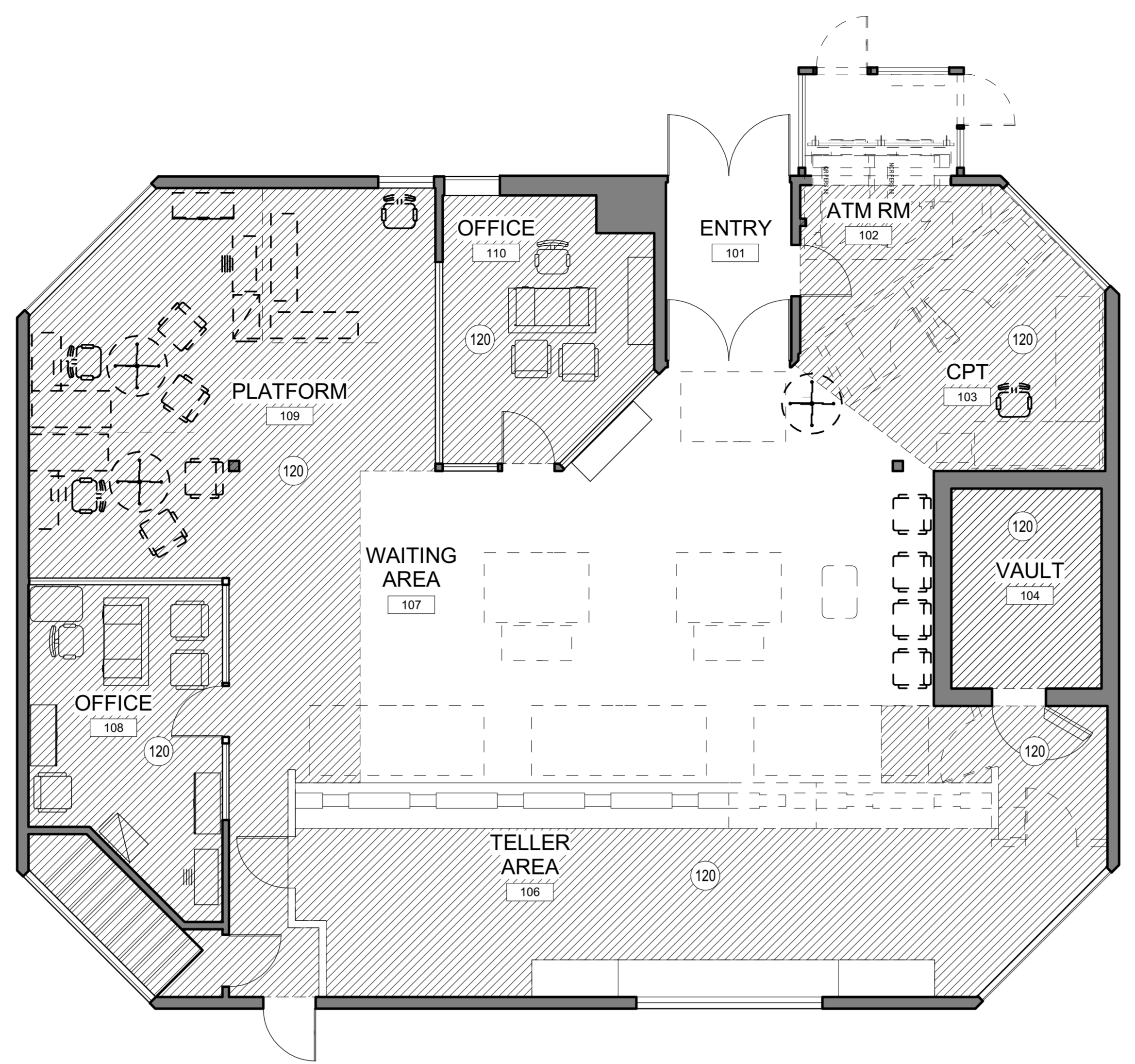
Project Number
11.6560.125

Description
CONSTRUCTION PLAN

Scale
1/4" = 1'-0"

A02.01





KEY NOTES

- 120 REMOVE EXISTING FLOOR FINISH IN AREA DEFINED BY HATCH PATTERN. PATCH / PREPARE FLOOR TO RECEIVE NEW FLOOR FINISH.
- 311 PATCH FLOOR FINISH TO MATCH EXISTING. VERIFY WITH OWNER & ARCHITECT PRIOR TO ORDERING.

FINISH PLAN - DEMOLITION
SCALE: 3/16" = 1'-0"

1 GENERAL NOTES

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

- A. REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- B. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- C. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT, FIXTURES, MILLWORK & ACCESSORIES MOUNTED ON WALL.
- D. CONTRACTOR SHALL PROVIDE COLOR SAMPLES FOR ALL FINISHES & P-LAM TO OWNER & ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
- E. ADJUST OPENING FORCE OF ALL INTERIOR DOOR CLOSERS TO A MAXIMUM OF 5 LBF.
- F. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- G. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED AS "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- H. IF EXISTING DOORS TO REMAIN DO NOT ALLOW FOR SPECIFIED HARDWARE, G.C. TO PROVIDE NEW DOOR.
- I. G.C. SHALL PROVIDE ALL WORK RELATED TO ENGINEERING TO INCLUDE, BUT NOT LIMITED TO: MECHANICAL, ELECTRICAL, FIRE PROTECTION & LIFE SAFETY. G.C. SHALL PROVIDE DESIGN DRAWINGS, PERMITS & INSTALLATION OF SYSTEMS ON A DESIGN BUILD BASIS.
- J. RELOCATE EXISTING FIXTURES ON WALLS TO BE REMOVED TO NEW PARTITION. REFER TO SHEET A00.40 FOR TYPICAL MOUNTING HEIGHTS.
- K. RE-KEY NEW LOCKSETS TO MATCH EXISTING KEY WAY OR KEYED SEPARATELY AS PER MANAGER/CBRE DIRECTION AND USE OWNER'S DOOR HARDWARE VENDOR.
- L. PROVIDE SUBMITTALS FOR MILLWORK, DOOR HARDWARE, AND TOILET ACCESSORIES.

Seal/Signature _____

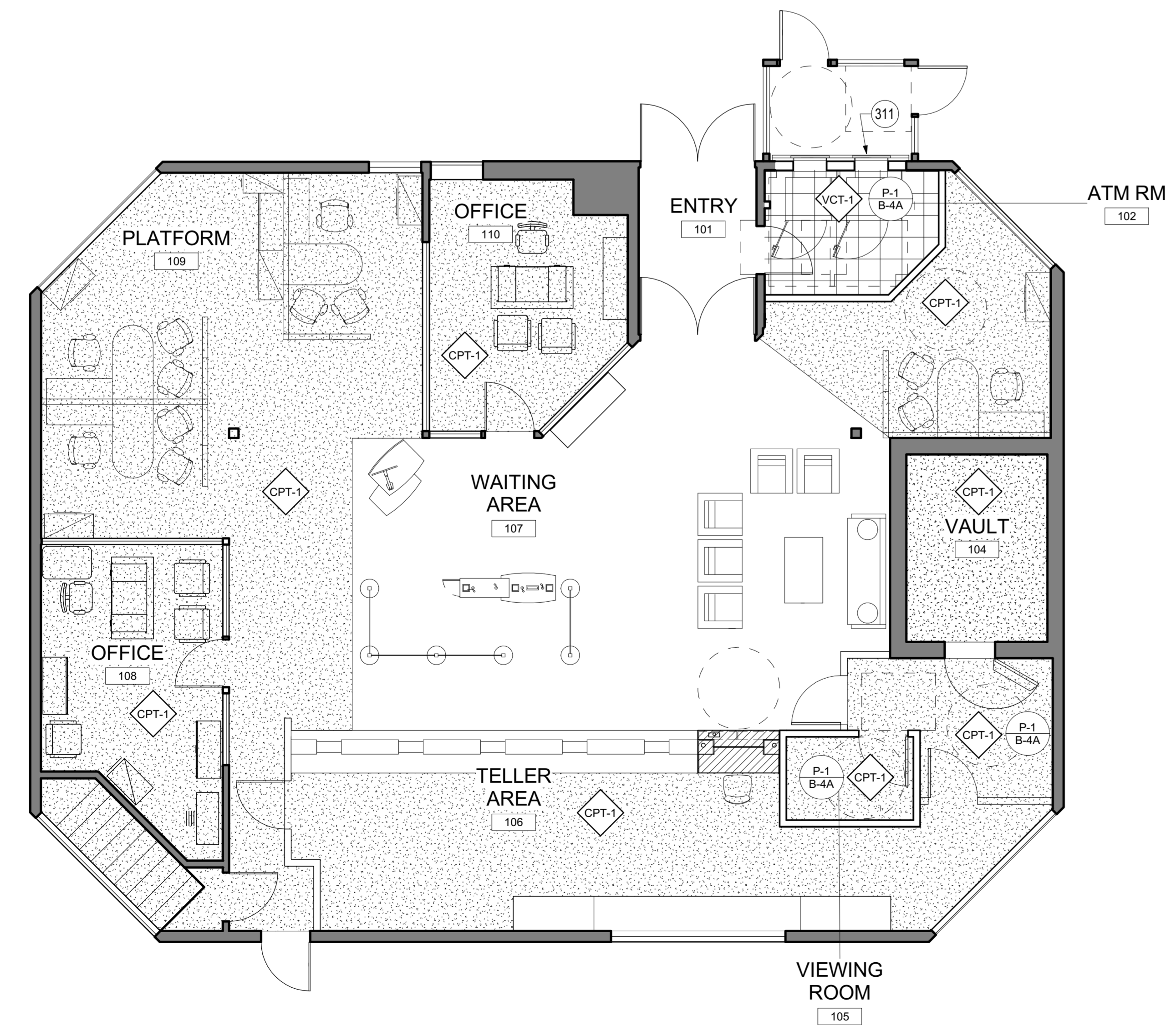
Project Name
ADA UPGRADES

Project Number
11.6560.125

Description
FINISH PLAN

Scale
As indicated

A05.01



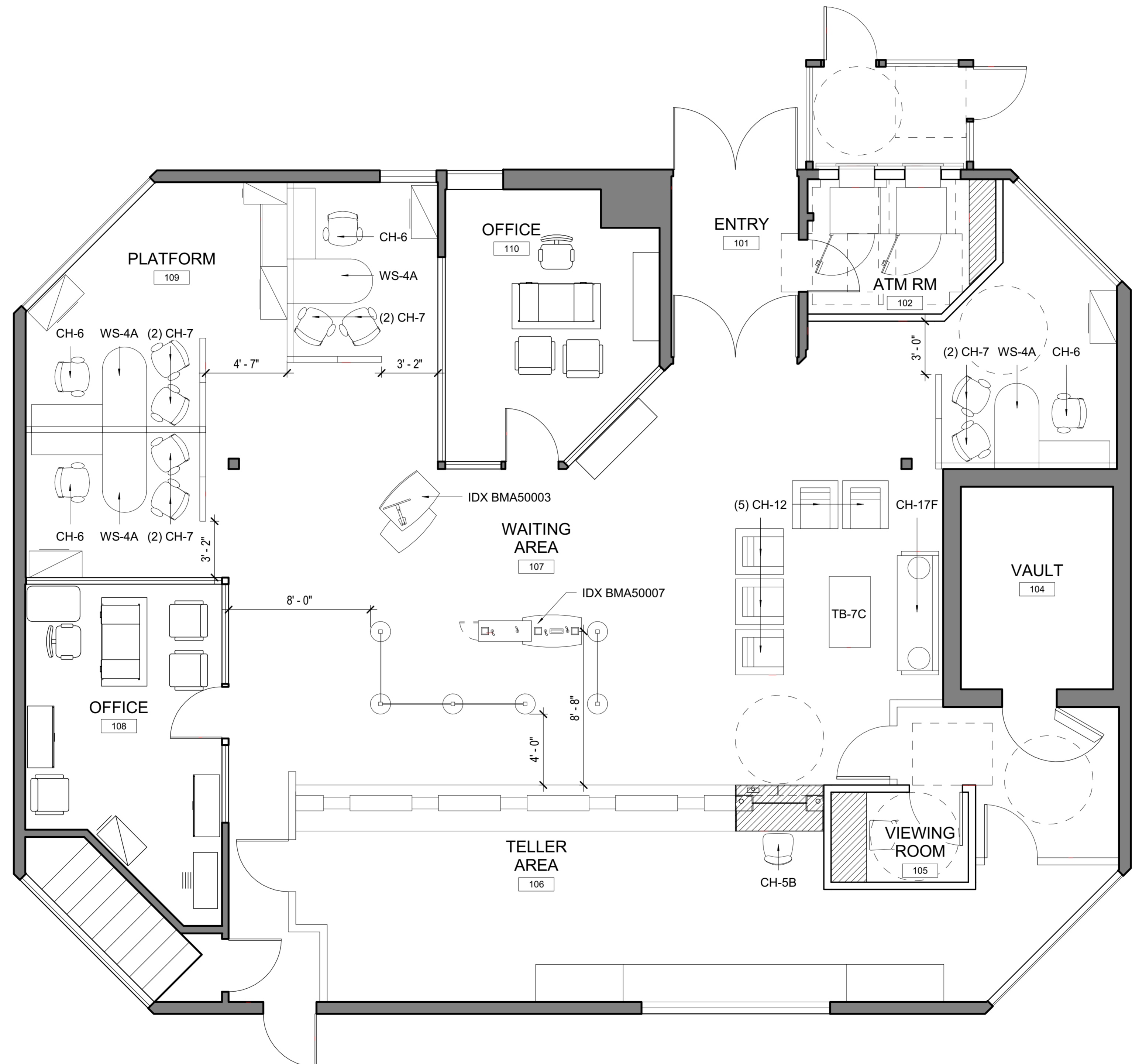
CODE	DESCRIPTION
CPT-1	MANUFACTURER: TANDUS GROUP PRODUCT NAME: BAC 6 ROLL RS WITH POWERBOND BACKING STYLE: VISUAL TENSION SIZE: 7" WIDE LOCATION: SAFE DEPOSIT / VAULT
B-4A	MANUFACTURER: JOHNSONITE FLEXIBLE WALL BASE PRODUCT NAME: RUBBER BASE COLOR: 88 WHITE SAND SIZE: 4" H (STRAIGHT BASE AT CARPET, COVE BASE AT RESILIENT FLOORING) LOCATION: SAFE DEPOSIT VIEWING ROOM, VAULT LOBBY
P-1	MANUFACTURER: BENJAMIN MOORE PRODUCT NAME: OC-22 COLOR: COTTON BALLS FINISH: ECO SPEC WB INTERIOR LATEX EGGSHELL ENAMEL LOCATION: GENERAL
P-2	MANUFACTURER: BENJAMIN MOORE PRODUCT NAME: OC-122 COLOR: COTTON BALLS FINISH: SEMI-GLOSS FINISH LOCATION: GENERAL - DOORS AND DOOR FRAMES
VCT-1	MANUFACTURER: MANNINGTON COMMERCIAL PRODUCT NAME: DESIGNER ESSENTIALS COLOR: TOFFEE 219 SIZE: 12"X12" LOCATION: RESTROOM, BREAKROOM & CORRIDOR
PL-3	MANUFACTURER: WILSONART COLOR: ASIAN SUN 7951 FINISH: 38 LOCATION: NEW STANDARD TELLER
PL-5	MANUFACTURER: WILSONART COLOR: GRAPHITE NEBULA 4623 FINISH: TEXTURED GLOSS LOCATION: NEW STANDARD TELLER
PL-6	MANUFACTURER: WILSONART COLOR: BLACK 1595 FINISH: 60 MATTE LOCATION: NEW STANDARD TELLER
PL-7	MANUFACTURER: WILSONART COLOR: FROSTY WHITE 1573-60 FINISH: MATTE LOCATION: BREAK ROOM & COUPON BOOTH
PL-8	MANUFACTURER: WILSONART PRODUCT NAME: HIGH WEAR LAMINATE COLOR: FROSTY WHITE 1573-60, TYPE: 107HW FINISH: MATTE LOCATION: COUPON BOOTH

FINISH PLAN
SCALE: 3/16" = 1'-0"

2 FINISH SCHEDULE
SCALE: 12" = 1'-0"

3

NOTE: EVERY KEY NOTE MAY NOT APPEAR ON THIS PAGE



HARDWARE SCHEDULE
SCALE: 1/2" = 1'-0"

XX-XXXXX DESIGNATES UNIQUE MILLWORK NUMBERING SYSTEM FOR ITEMS PROVIDED BY OWNER.

MILLWORK COMPONENT #	MILLWORK COMPONENT DESCRIPTION
BMA 50003	UNIVERSAL HOST / WORK STATION
BMA 50007	CHECK DESK

XX-XXX FURNITURE COMPONENTS

FURNITURE COMPONENT #	FURNITURE COMPONENT DESCRIPTION	QUANTITY
CH-5B	TELLER CHAIR - ADA	1
CH-6	CONFERENCE ROOM	4
CH-7	STEELCASE WOOD GUEST SEATING	8
CH-12	BERNHARDT LOUNGE CHAIR	5
CH-17F	STEELCASE COALESSE THREE SEAT SOFA	1
TB-7C	BERNHARDT RECTANGULAR TABLE 2	1
WS-4A	MONTAGE 8X10 WORKSTATION	4

NOTE: PROJECT MANAGER TO VERIFY ALL TYPES AND QUANTITIES OF MILLWORK AND FURNITURE COMPONENTS WITH STORE DESIGN. COORDINATE WITH VENDORS BEFORE PLACING ORDER.

KEY NOTES

GENERAL NOTES

- REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT, FIXTURES, MILLWORK & ACCESSORIES MOUNTED ON WALL.
- CONTRACTOR SHALL PROVIDE COLOR SAMPLES FOR ALL FINISHES & P-LAM TO OWNER & ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
- ADJUST OPENING FORCE OF ALL INTERIOR DOOR CLOSERS TO A MAXIMUM OF 5 LBF.
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- PROVIDE SUBMITTALS FOR MILLWORK, DOOR HARDWARE, AND TOILET ACCESSORIES.

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature _____

Project Name
ADA UPGRADES

Project Number
11.6560.125

Description
FURNITURE PLAN

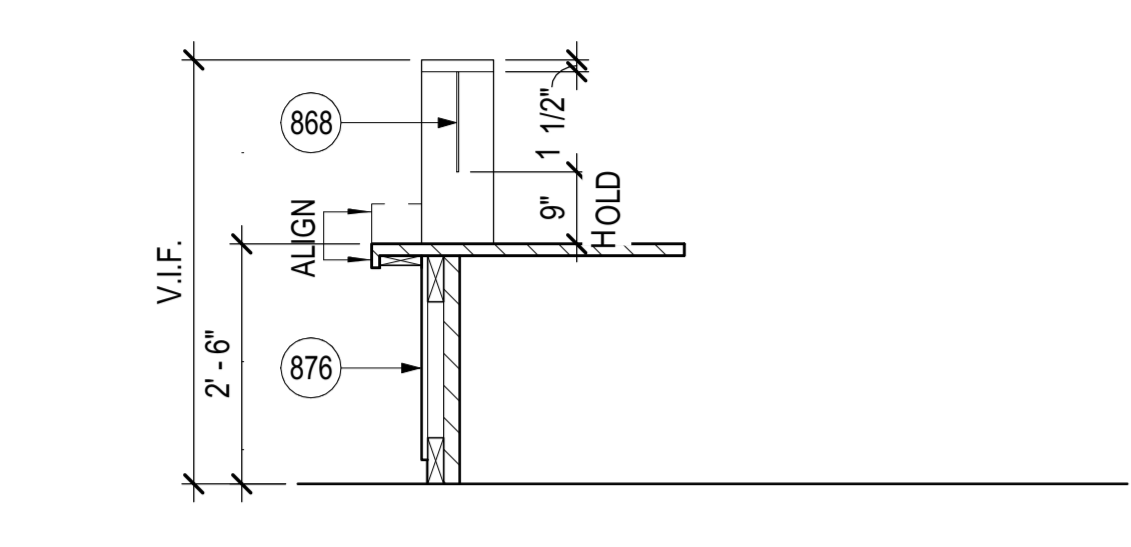
Scale
As indicated

A06.01

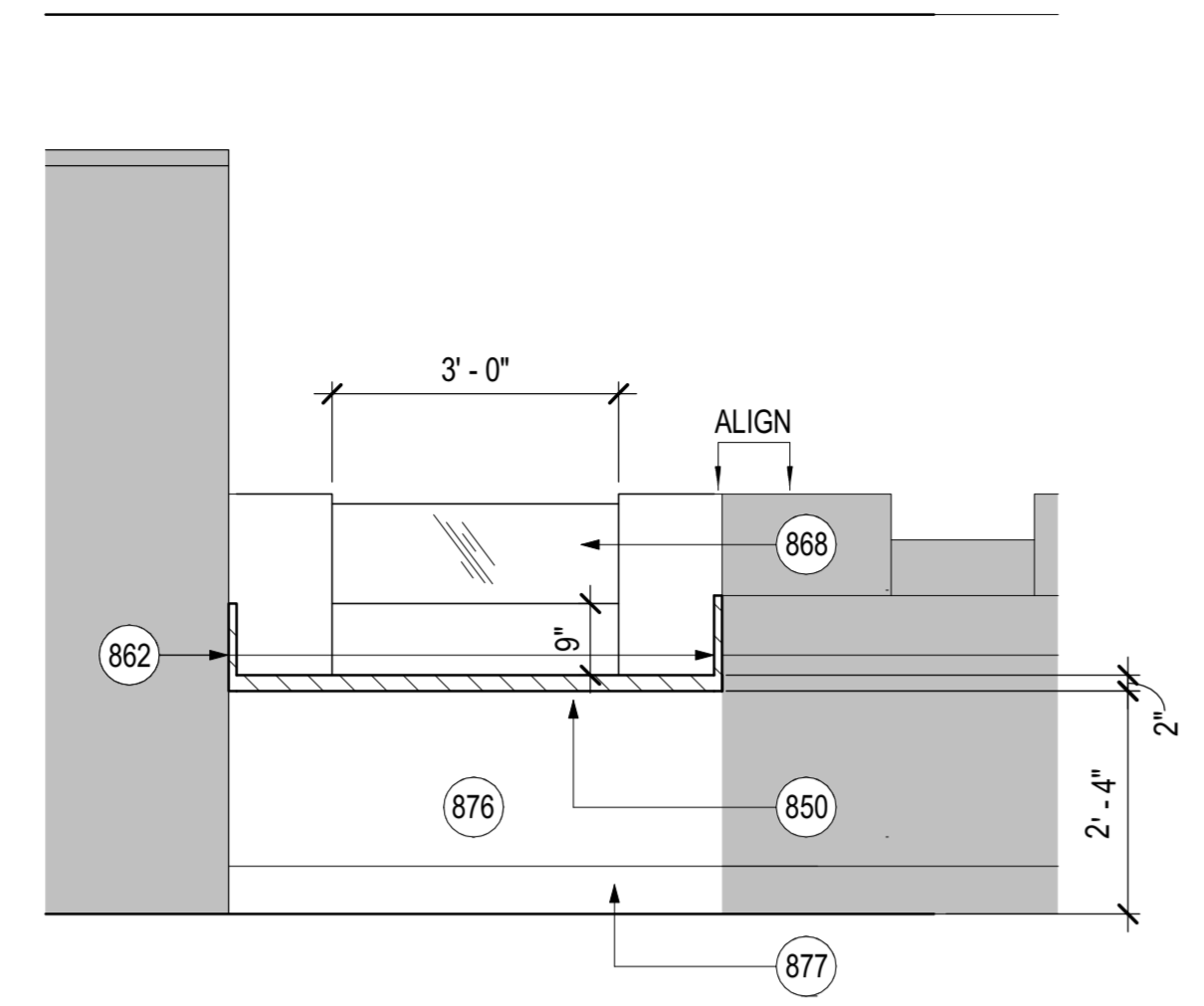
KEY NOTES

- 391 NEW COUPON BOOTH COUNTER.
- 850 NEW ADA TELLER COUNTER (W/ LOWERED CUSTOMER SHELF) FINISHES TO MATCH EXISTING. VERIFY W/ OWNER & ARCHITECT PRIOR TO INSTALLATION. RELOCATE ALL POWER/DATA, PAYMENT TERMINAL AND SECURITY DEVICES IF EXISTING TO SAME LOCATION. CONFIRM FINAL LOCATIONS WITH OWNER.
- 862 NEW VERTICAL MILLWORK PANEL TO CONNECT NEW LOWERED COUNTER TO EXISTING COUNTER TO REMAIN. ALL EXPOSED SURFACES TO BE FINISHED TO MATCH EXISTING.
- 863 NEW VERTICAL END PANEL. FINISH TO MATCH EXISTING.
- 868 1/2" CLEAR ACRYLIC WITH POLISHED EDGES. INSTALL ACRYLIC SCREEN WITH 2 SATIN ALUM. CHANNELS (LEFT AND RIGHT), RECESS INTO EXISTING MILLWORK AND SET ACRYLIC INTO CHANNEL WITH CLEAR SILICONE.
- 872 COUNTERTOP, BACKSPLASH AND SIDE SPLASH BOTH SIDES TO BE PL-8 FINISH.
- 873 COUNTERTOP SUPPORT TO BE PL-7 FINISH.
- 876 NEW FINISHES TO MATCH EXISTING.
- 877 NEW BASE TO MATCH EXISTING.
- 884 NEW CH-5b ADA TELLER CHAIR BY STEELCASE (#TS30102)
- 895 NEW 'C' TYPE WALL TO BE 4'-3" HT.

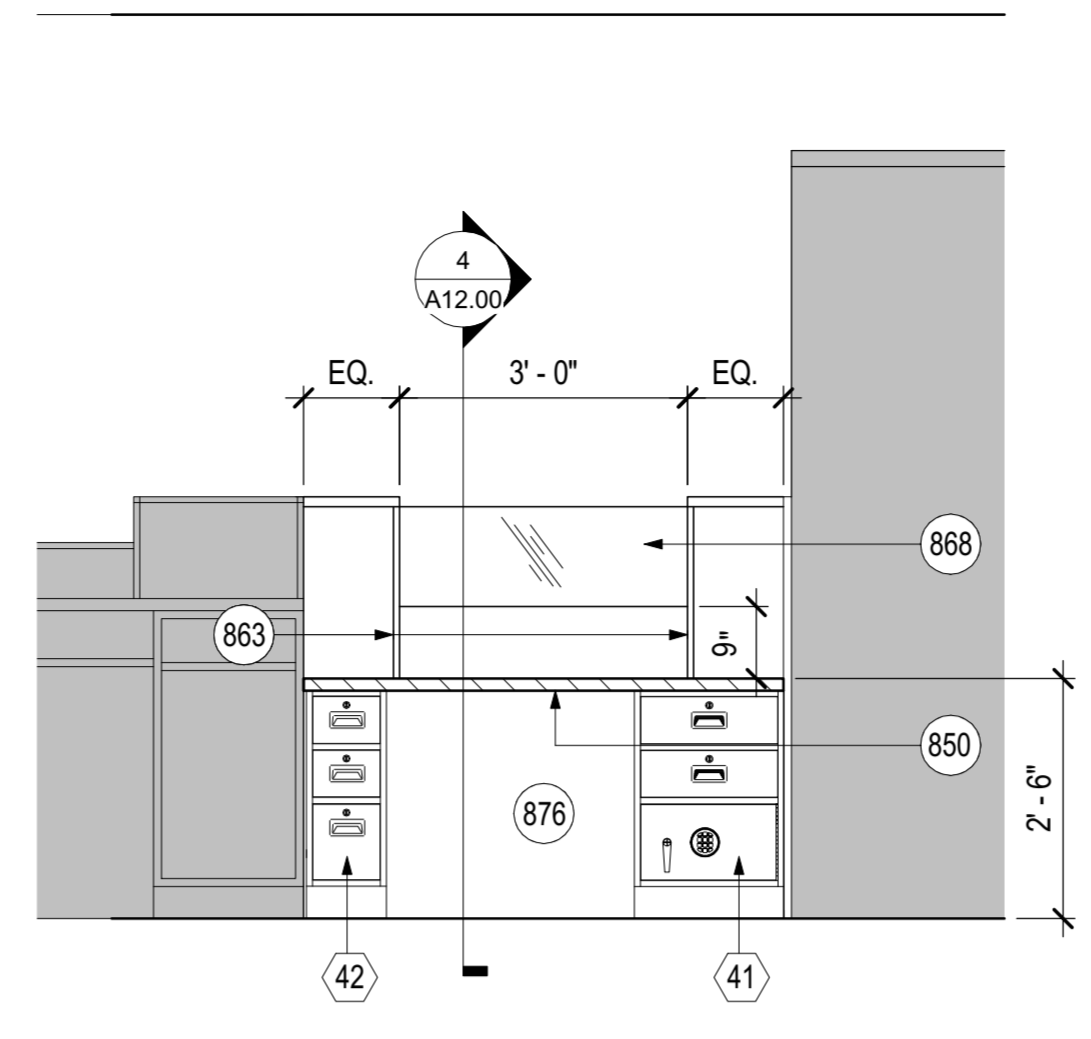
TELLER SECTION
SCALE: 1/2" = 1'-0"



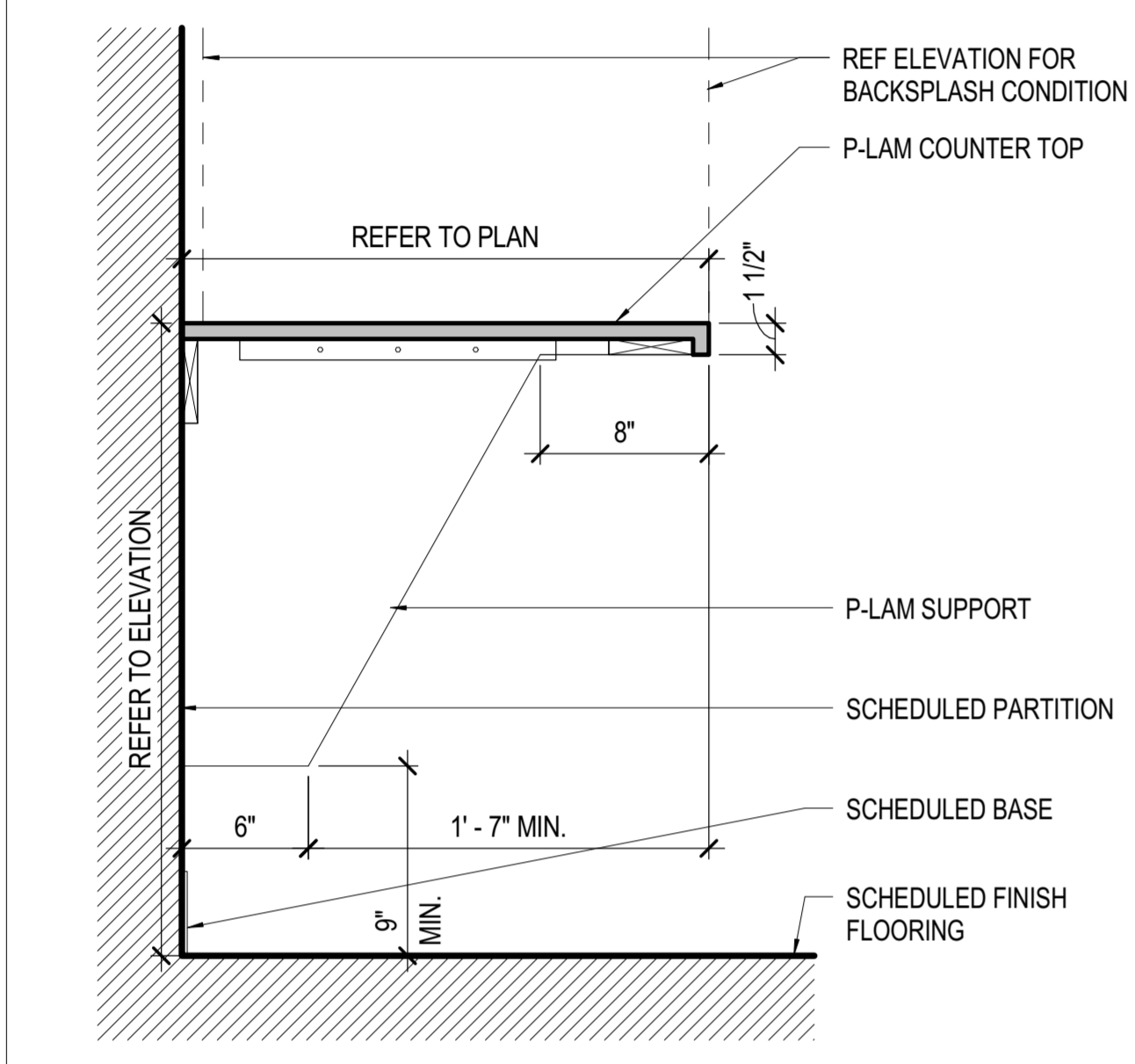
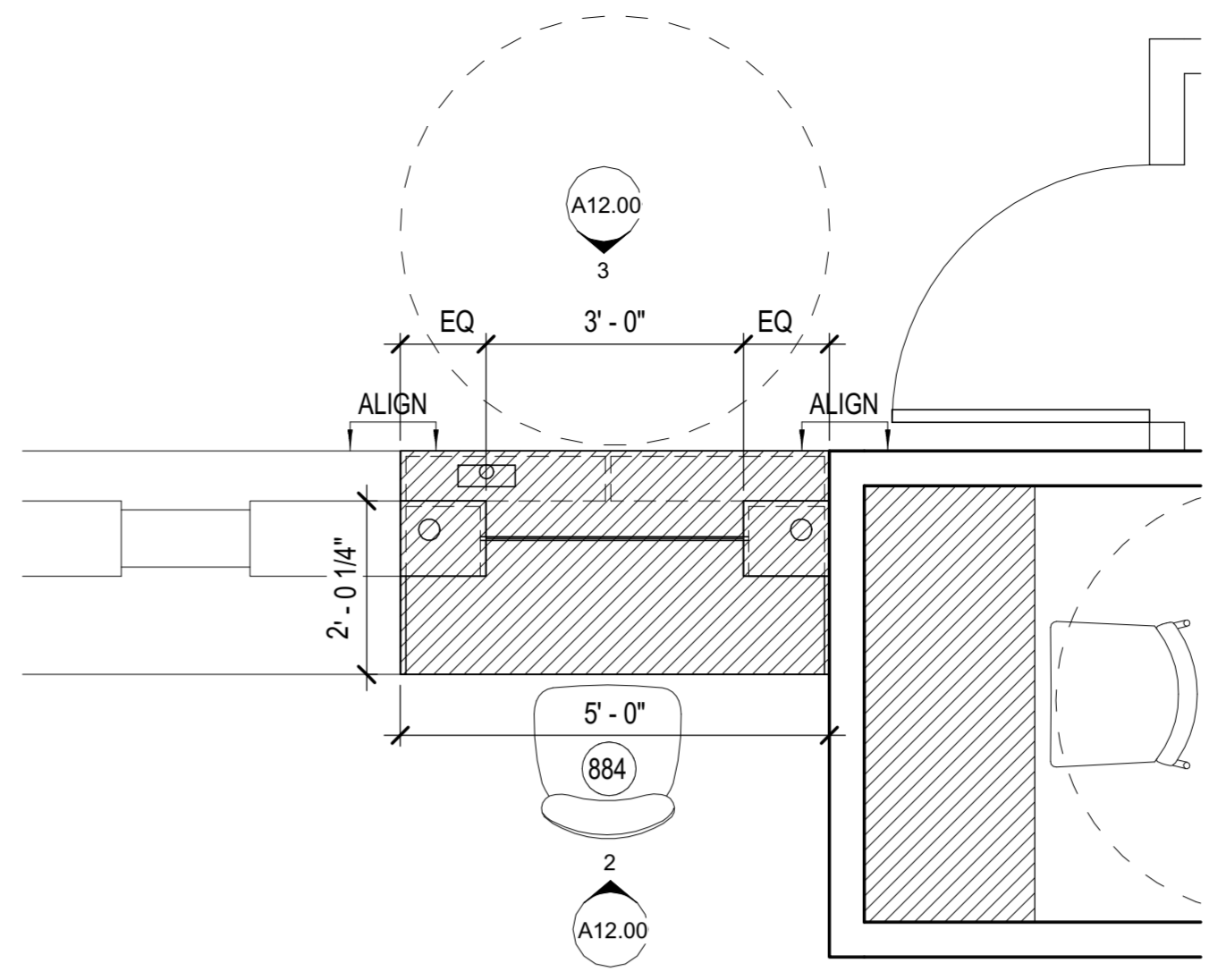
4 TELLER ELEVATION - CUSTOMER SIDE
SCALE: 1/2" = 1'-0"



3 TELLER ELEVATION - TELLER SIDE
SCALE: 1/2" = 1'-0"

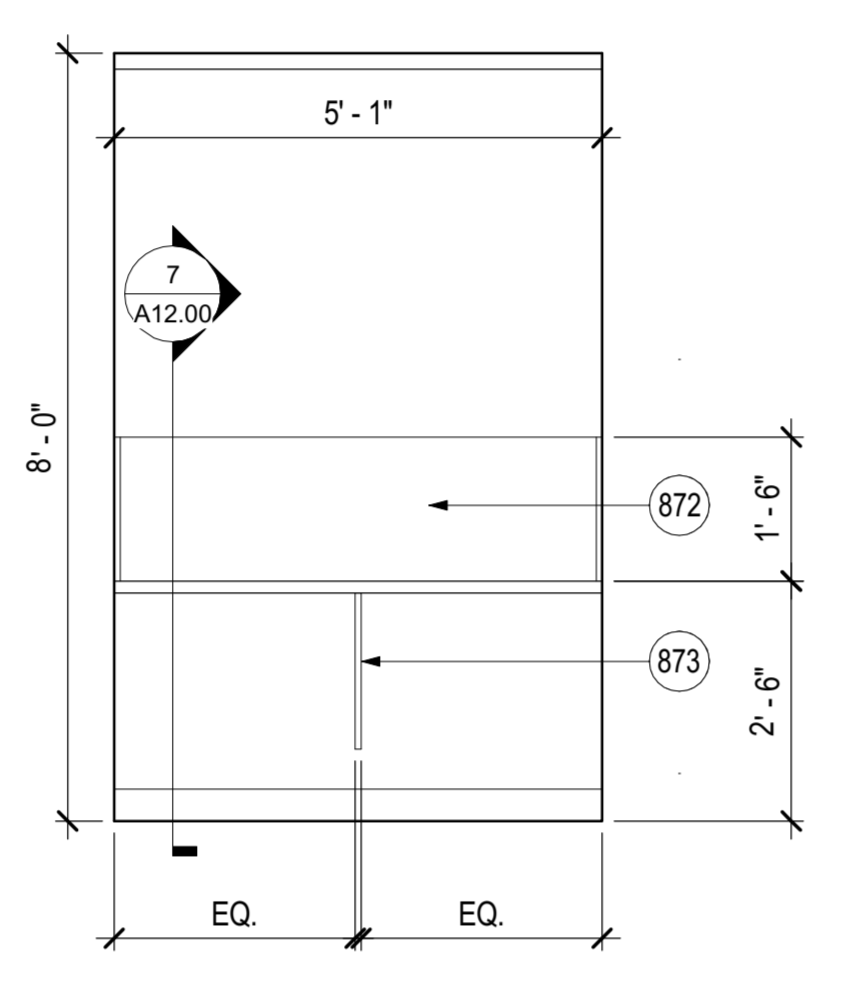


2 ENLARGED TELLER PLAN
SCALE: 1/2" = 1'-0"

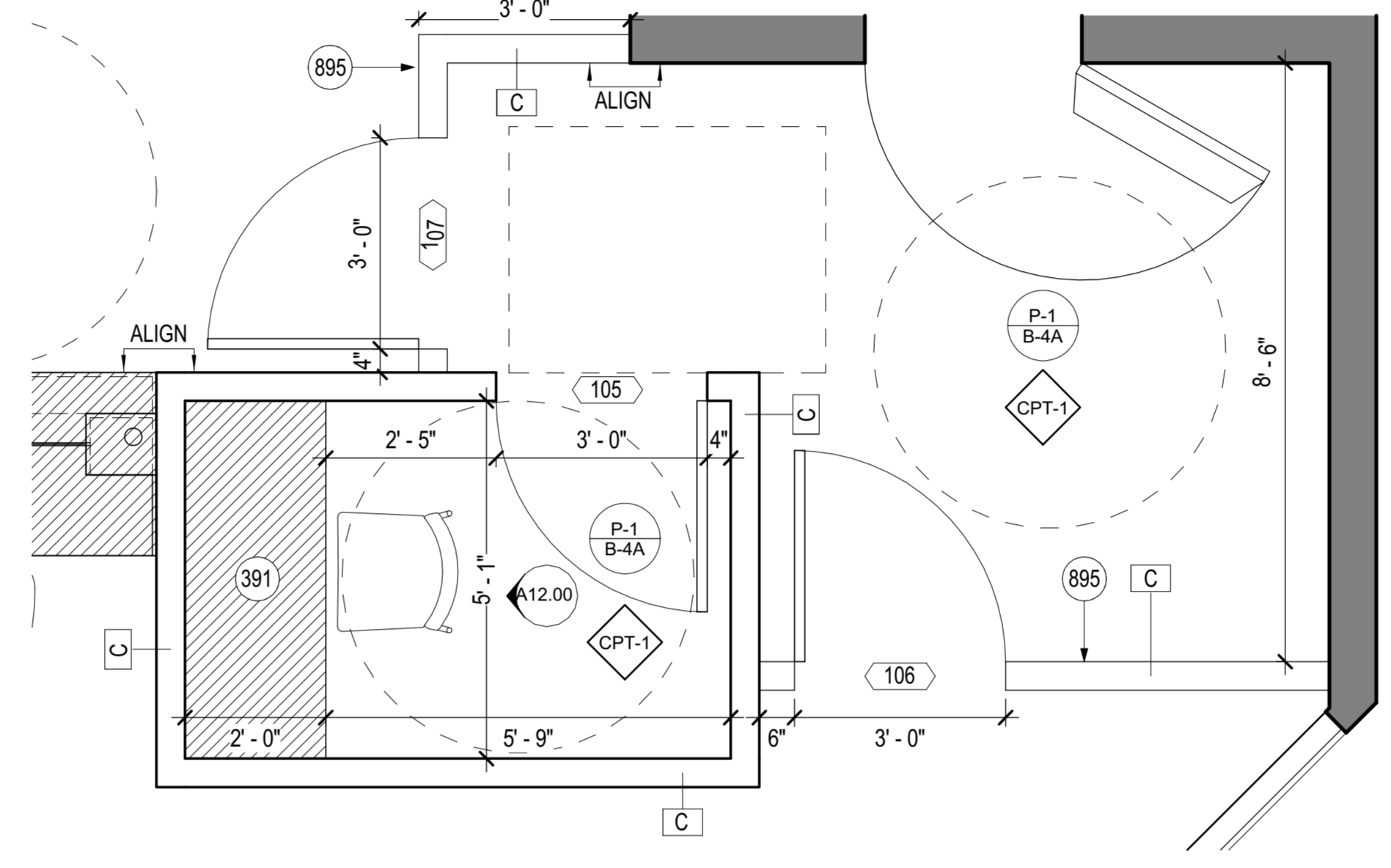


ADA COUNTER SECTION
SCALE: 1/2" = 1'-0"

7 COUPON BOOTH ELEVATION
SCALE: 1/2" = 1'-0"



6 ENLARGED COUPON BOOTH PLAN
SCALE: 1/2" = 1'-0"



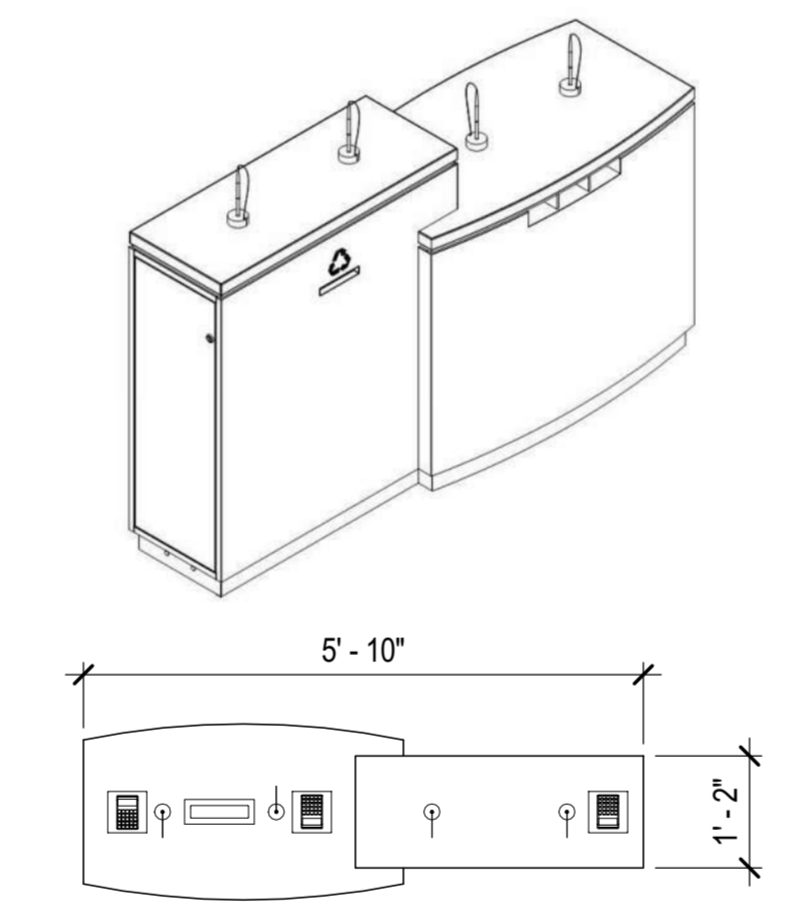
5 GENERAL NOTES

- A. ALL INTERIOR OF MILLWORK TO BE WHITE MELAMINE, UNLESS NOTED OTHERWISE.
- B. ALL EXPOSED SURFACES OF MILLWORK TO BE PLASTIC LAMINATE AS SPECIFIED ON ELEVATIONS.
- C. REF. SHEET A00.40 FOR TYPICAL WALL MOUNTING HEIGHTS.
- D. CONTRACTOR TO COORDINATE ALL POWER AND COMMUNICATIONS AT TELLER COUNTER.
- E. CONTRACTOR SHALL PROVIDE BLOCKING PER ALL EQUIPMENT/ACCESSORIES MOUNTED ON WALL.
- F. ALL DEVICE COVER PLATES INCLUDING PLATES FOR COAX SHALL MATCH LUTRON LIGHT ALMOND UNLESS NOTED OTHERWISE.
- G. G.C. TO PROVIDE CAULK AROUND ALL UNDERCOUNTER STEEL AS REQUIRED. COLOR TO MATCH UNDERCOUNTER STEEL AS PROVIDED.
- H. G.C. SHALL PROVIDE ALL WORK RELATED TO ENGINEERING TO INCLUDE, BUT NOT LIMITED TO: MECHANICAL, ELECTRICAL, FIRE PROTECTION & LIFE SAFETY. G.C. SHALL PROVIDE DESIGN DRAWINGS, PERMITS & INSTALLATION OF SYSTEMS ON A DESIGN BUILD BASIS.
- I. FOR FINISH SCHEDULE, REFER A00.20
- J. WHEN A GAP EXISTS BETWEEN THE TOP OF THE UNDERCOUNTER STEEL AND THE UNDERSIDE OF THE COUNTER, G.C. TO BUILD A 1" MILLWORK BASE TO MATCH EXISTING FINISH AND CONSTRUCTION.
- K. ALL SECURITY DEVICES AND SYSTEMS TO REMAIN INTACT DURING ALL PHASES OF WORK. ANY MODIFICATIONS NEEDED DUE TO AREA OF DEMOLITION AND NEW CONSTRUCTION LAYOUT TO BE PERFORMED BY OWNER'S SECURITY VENDOR AND TO BE COORDINATED WITH OWNER PRIOR TO DEMOLITION.

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

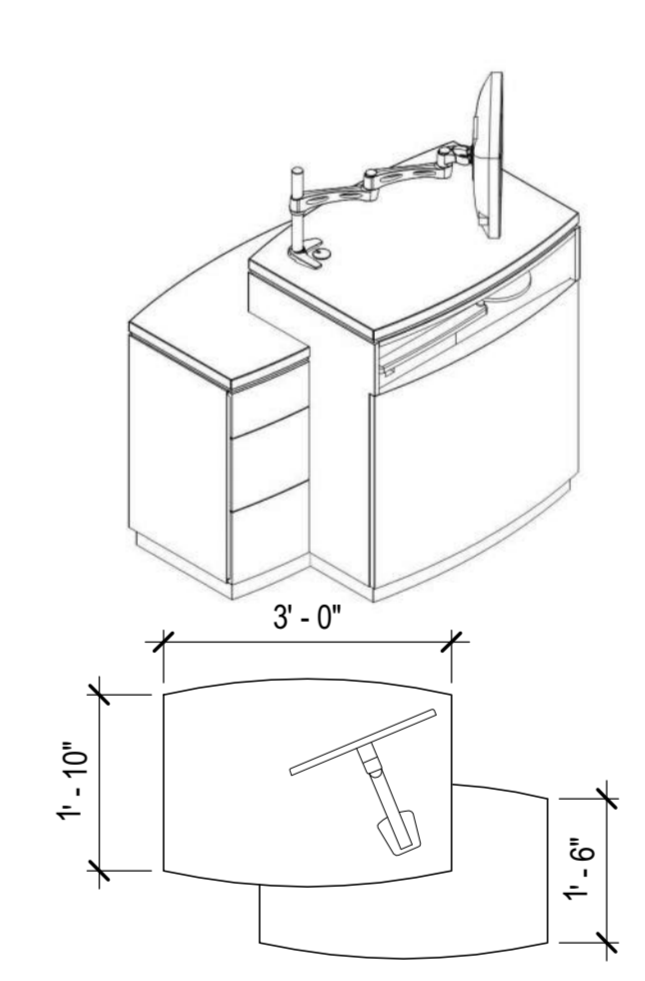
MARK	DESCRIPTION	MANUFACTURER/MODEL
40		DIEBOLD MODEL-SD-3-LL (PT#00-022047-L-00)
41		DIEBOLD MODEL-SD-3-RL (PT#00-022047-R-00)
42		DIEBOLD MODEL: 10" ADA STORAGE PEDESTAL (PT#41-018855-000-C)
43		INGENICO PAYMENT TERMINAL AS PROVIDED BY OWNER

UNDER COUNTER STEEL EQUIPMENT TO BE PROVIDED BY OWNER AND INSTALLED BY G.C.
10 UNDERCOUNTER STEEL SCHEDULE
SCALE: 1/2" = 1'-0"



CHECK DESK TO BE PROVIDED BY OWNER AND INSTALLED BY G.C.
IDX BMA50007 - STANDARD LOBBY CHECK DESK

9 CHECK DESK - LOBBY
SCALE: 1/2" = 1'-0"



CHECK DESK TO BE PROVIDED BY OWNER AND INSTALLED BY G.C.
IDX BMA50003 - UNIVERSAL HOST WORK STATION

8 CHECK DESK - HOST WORK STATION
SCALE: 1/2" = 1'-0"

J:\11.6560.125\BIM\Building Model\ User Model Files\Delta\Gott_2014_BOA_Portland-39 Auburn St_ R2013.rvt

Seal/Signature _____

Project Name
ADA UPGRADES

Project Number
11.6560.125

Description
ENLARGED PLANS AND TYPICAL DETAILS

Scale
As indicated

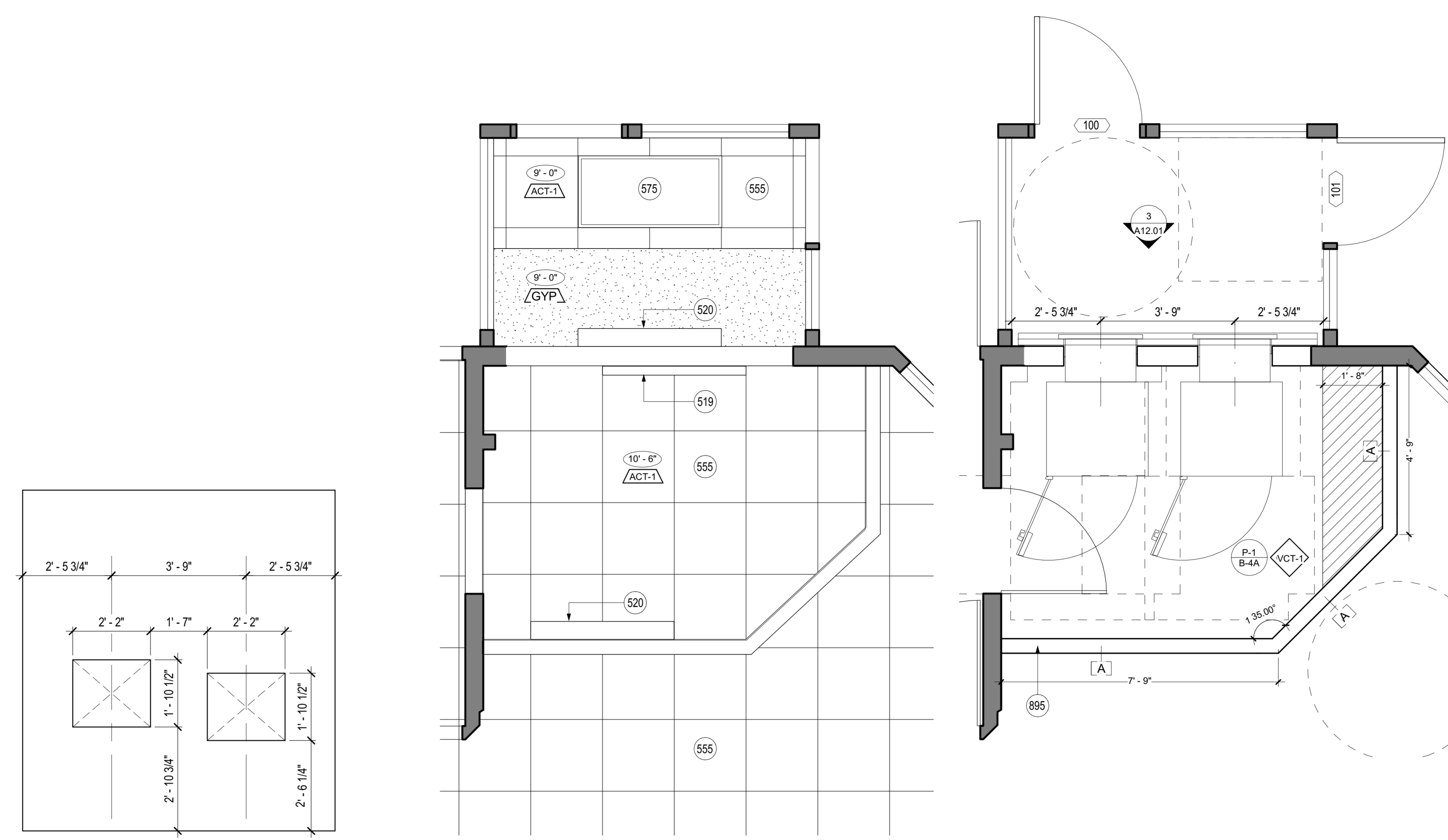
A12.00

NOTE: EVERY KEY NOTE MAY NOT APPEAR ON THIS PAGE

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KEY NOTES

- 519 EXISTING SURFACE MOUNTED LIGHT FIXTURE TO REMAIN.
- 520 EXISTING HVAC DEVICE TO REMAIN.
- 555 NEW CEILING GRID / TILES AND LIGHTING. CEILING TO BE INSTALLED AT EXISTING CEILING HEIGHT. U.O.N.
- 575 PROVIDE TYPE A 2X4 4-LAMP GRID TROFFER W/LAMPS R SERIES BY SECURITY LIGHTING SYSTEMS INC. FINISH IN HIGH REFLECTANCE WHITE POWDER-COAT PAINT.
- 895 RELOCATE ALARM PANEL. G.C. TO COORDINATE WITH BANK'S SECURITY VENDOR.



ATM ROUGH WALL OPENING ELEVATION
SCALE: 1/2" = 1'-0"

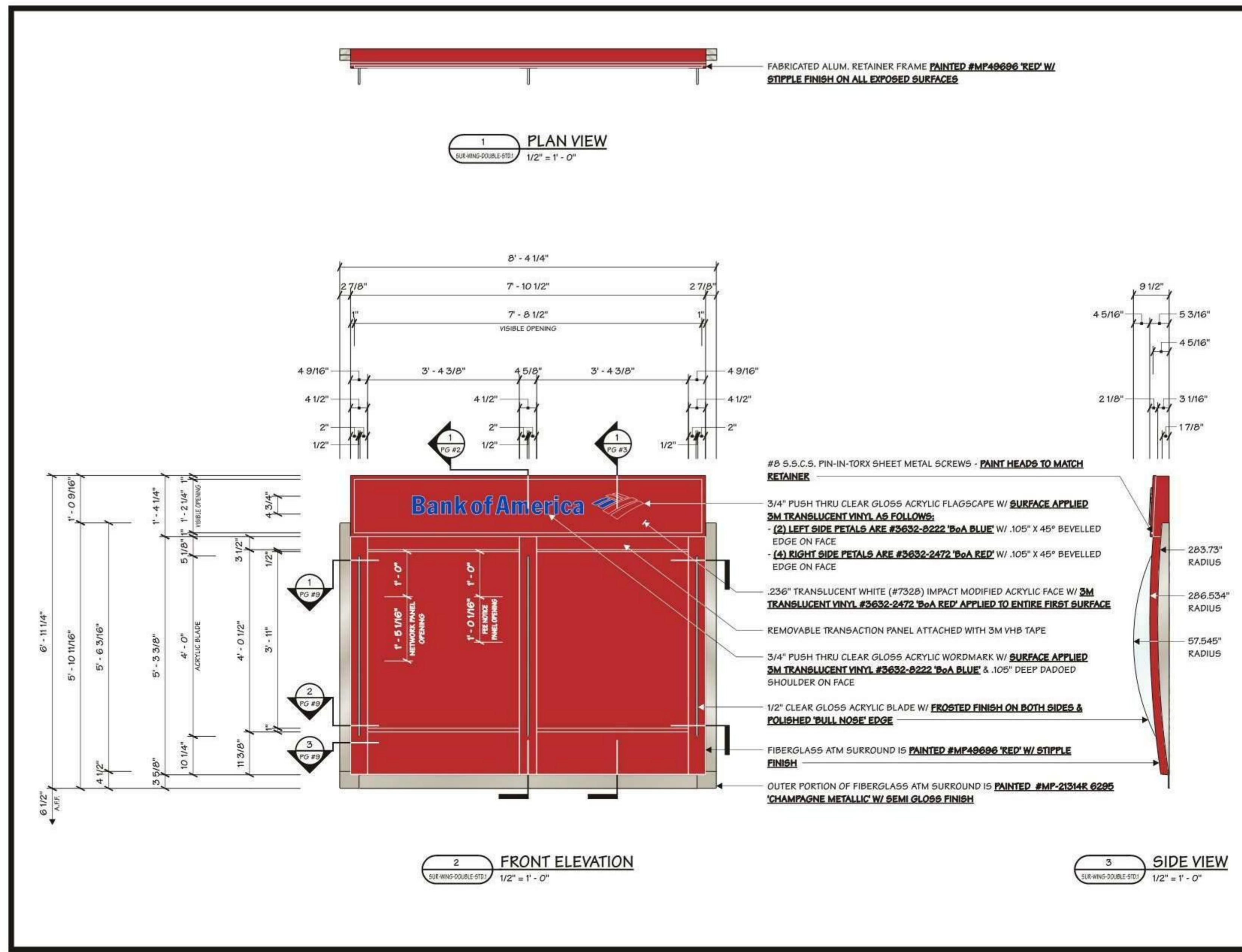
ENLARGED ATM ROOM - RCP
SCALE: 1/2" = 1'-0"

ENLARGED ATM ROOM - PLAN
SCALE: 1/2" = 1'-0"

GENERAL NOTES

- A. ALL NEW DOOR FRAMES TO MATCH EXISTING STYLE AND DIMENSIONS. FINISH TO MATCH EXISTING. U.N.O.
- B. PROVIDE NEW FLOOR THRESHOLD TRANSITIONS WHERE NEW FLOORING IS INSTALLED AND MEETS EXISTING FLOORING. VERIFY ALL EXISTING FLOORING TYPES AT NEW THRESHOLDS. NOTIFY ARCHITECT OF ANY CONFLICTS BEFORE ORDERING AND INSTALLATION.
- C. REFER TO SHEET A00.40 FOR ALL THRESHOLD REGULATIONS.

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT



BOA-SUR WING DOUBLE SURROUND
SCALE: 3/8" = 1'-0"

AGI Architectural Graphics Incorporated
2555 International Parkway
P.O. Box 9175
Virginia Beach, VA 23450
(757)427-1900

Project Title
BANK OF AMERICA

Sign Type
SUR-WING-DOUBLE-STD

Drawing Type
ELEVATION

Date 05.10.10

Lead Drafter MZC
Drawn By MZC/RMA
Project Mgr.

General Sign Specifications

<input type="checkbox"/> Interior	<input checked="" type="checkbox"/> Exterior
<input checked="" type="checkbox"/> Single Faced	<input type="checkbox"/> Double Faced
<input type="checkbox"/> Non-Illuminated	
<input checked="" type="checkbox"/> Illuminated	
<input checked="" type="checkbox"/> 120 Volts	Amps(+/-)
<input type="checkbox"/> 277 Volts	Amps(+/-)
<input type="checkbox"/> UL Listed	Amps(+/-)
<input type="checkbox"/> Non UL Listed	

Location
Windload
Area
Weight

Drawing Revisions

Drawn By	Date	Change

Quality Control

<input type="checkbox"/> Drafter	<input type="checkbox"/> Manager
<input type="checkbox"/> Lead	<input type="checkbox"/> Engineer

Approved By
Date Approved

Code 10032 **Type** C

Job Number

Sheet Number SUR-WING-DOUBLE-STD.1 **Rev.**

4 NOTE: EVERY KEY NOTE MAY NOT APPEAR ON THIS PAGE

A12.01

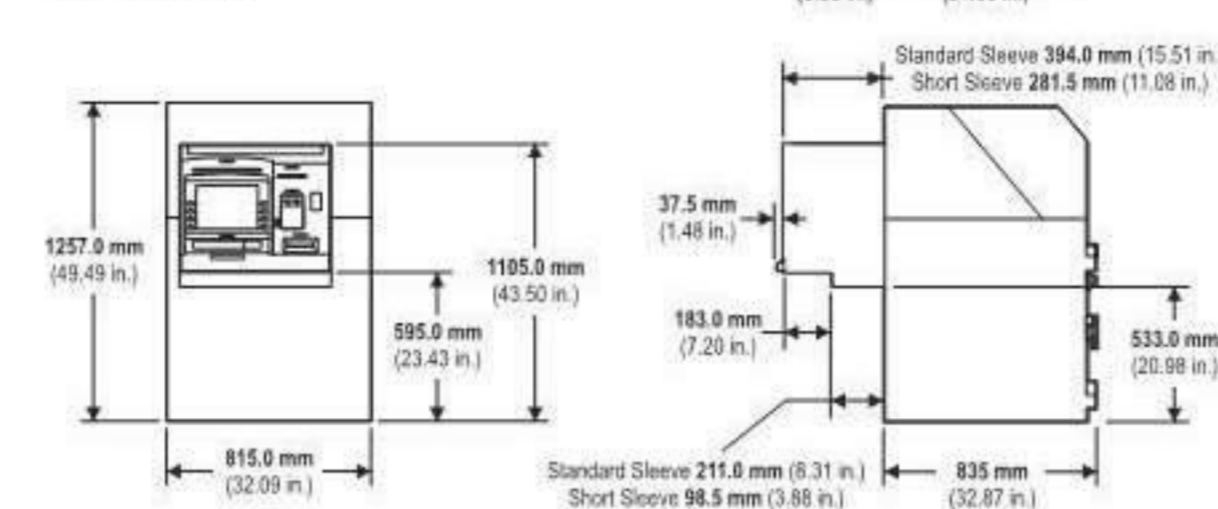
NCR Personas M Series 5886 ATM Site Preparation Datasheet (8006-7046-A000)

This Site Preparation Datasheet is specific to the Bank of America and is to be used in conjunction with the following documents:
 NCR Personas M Series 5886 Site Preparation (8006-6191)
 NCR Personas M Series 5886 Installation Manual (8006-6193)

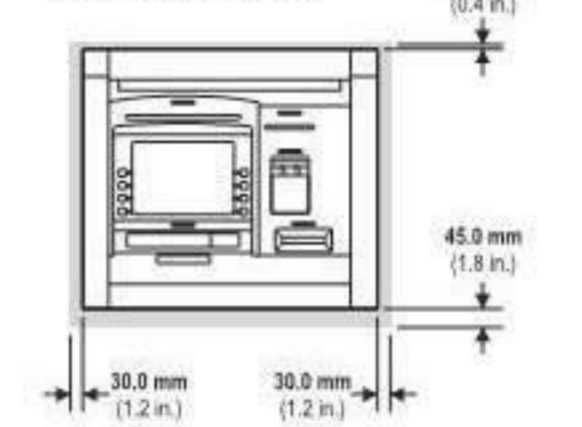
FLOOR LOADING

Maximum weight	878 kg (1938 lb.)
Floor Loading	1425 kg/m ² (292 lb./ft. ²)

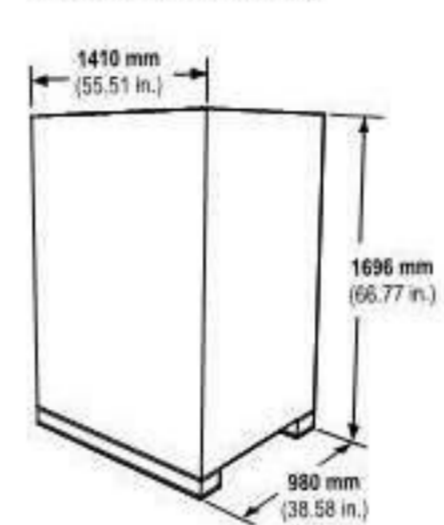
ATM DIMENSIONS



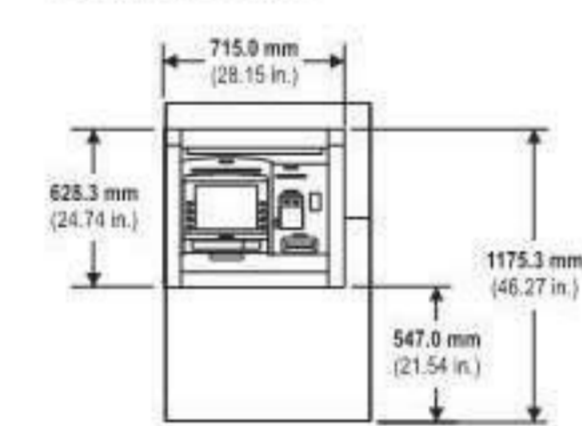
COLLAR CLEARANCE



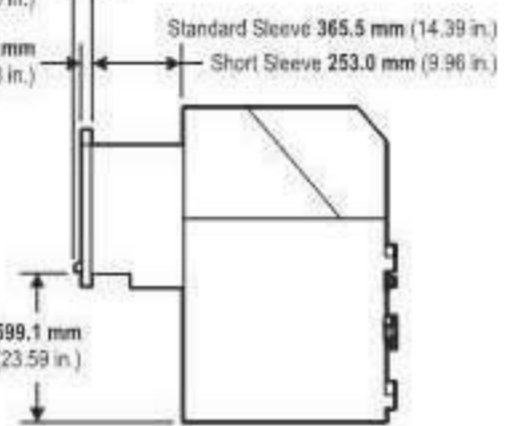
PACKAGE DIMENSIONS



COLLAR DIMENSIONS



INSTALLATION DIMENSIONS



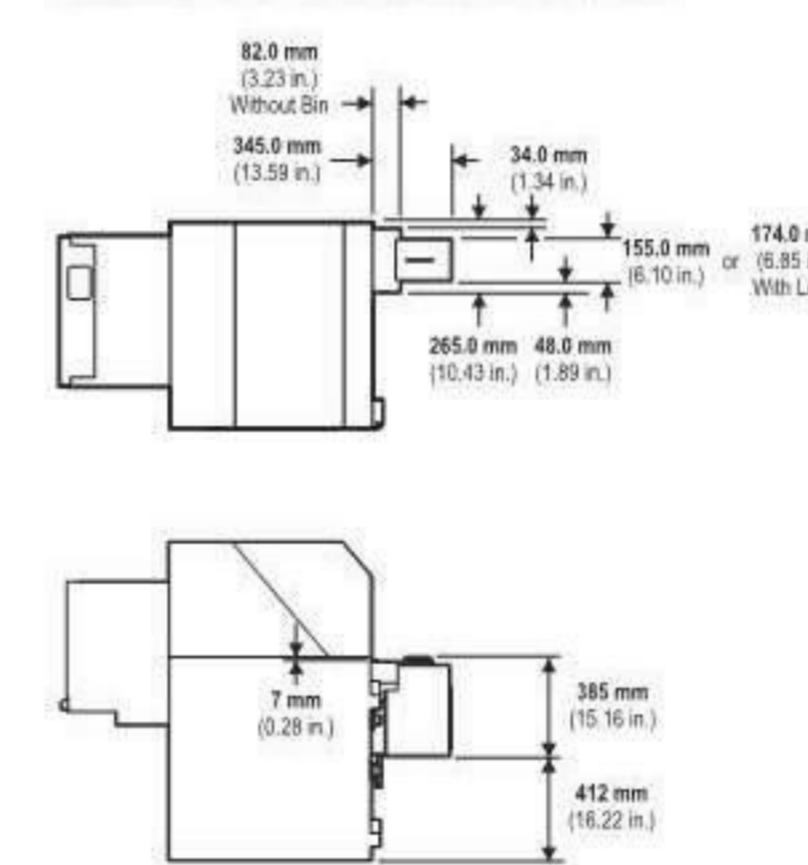
NCR Highest Operable Point (HOP) is the Statement Printer.
 Refer to: NCR ADA 2010 ATM Housing Solutions 012712.xls for the proper 2010 ADA Equipment HOP Height.

ACCESS FOR ALL

Facia Item	Height (from base of ATM) See Note	Depth (from front of collar)
A	992.7 mm (39.08 in.)	151.0 mm (5.94 in.)
B	307 mm (12.1 in.)	446.7 mm (33.33 in.)
C	492.5 mm (27.26 in.)	116.0 mm (4.57 in.)
D	856.0 mm (33.70 in.)	45.5 mm (1.83 in.)
E	636.6 mm (25.03 in.)	116.0 mm (4.57 in.)
F	753.4 mm (29.66 in.)	105.0 mm (4.13 in.)
G	886.0 mm (34.88 in.)	130.0 mm (5.12 in.)
H	882.0 mm (34.72 in.)	138.0 mm (5.43 in.)
I	882.0 mm (34.72 in.)	87.0 mm (3.43 in.)
J	969.5 mm (38.17 in.)	157.0 mm (6.18 in.)
K	1038.5 mm (40.89 in.)	179.0 mm (7.05 in.)

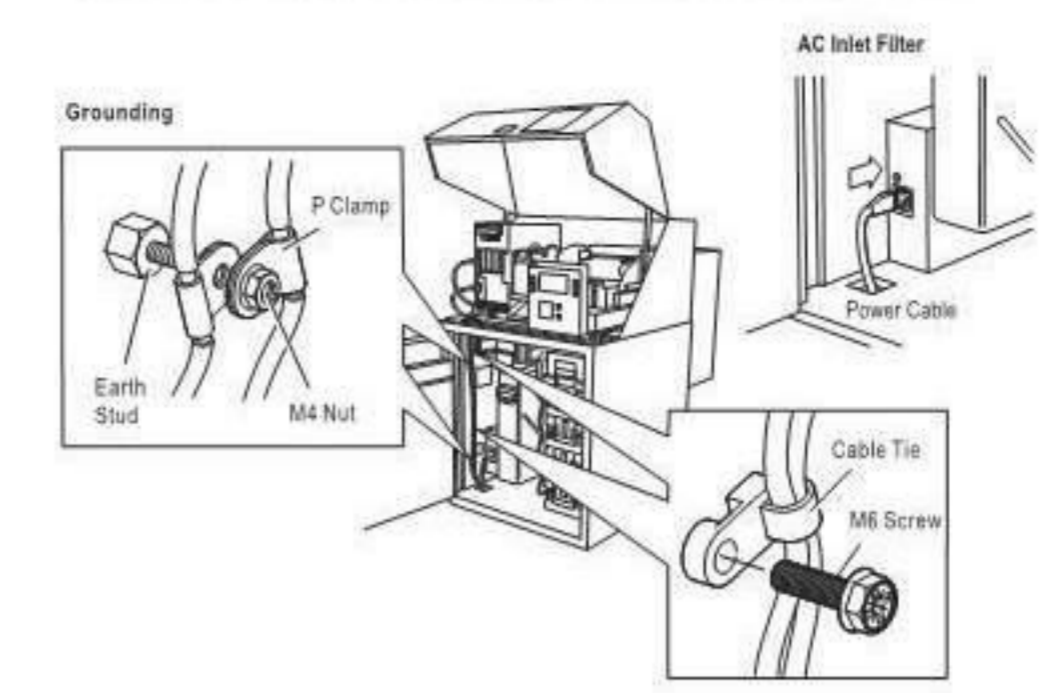
Note: For heights from the sidewalk to the main facia items, add 204 mm (8.0 in.) for US 2010 ADA height and 357 mm (14.1 in.) for non-ADA height. Refer to the "Hole in the Wall Dimensions" for more information.

TRANSCALABLE CHECK PROCESSOR DIMENSIONS



CONNECTING THE CABLES

Because there is a limited side clearance when the ATM is being installed with a minimum footprint clearance area, cable connections must be carried out before the unit is moved into its final location. Communication cables must be grounded to make sure that the ATM meets EMC requirements. Make sure that the power cable is not connected to the AC outlet while you are connecting it to the ATM.



POWER REQUIREMENTS

Voltage transients, line noise, surges, sags, impulses, and spikes may be experienced routinely or sporadically. When such phenomena occur, the use of protective devices may be required to ensure proper operation of the equipment.

Note: The power requirements below are exclusive to the ATM. The power source for all other peripherals (includes: Tapes, Receipts, Alarms, Cameras, etc.) should be provided in separate power circuits.

AC Power Requirements

The ATM is rated at 10A, 120V. Bank of America guidelines recommend a 25A at 120V Individual Branch Circuit with isolated ground for its installations. The maximum inrush current is 200A peak at 130V.

Note: For terminals with deposit devices, be aware that in the event of a power failure, there is the potential for customer cash to be retained in the device. For this reason, NCR does not recommend running an ATM with deposit devices without an Uninterruptible Power Supply (UPS).

Input Voltage Setting

The ATM can operate from the following input mains voltages:
 • 90V to 130V at 50/60Hz.

Power Cable

The ATM is supplied as a 120V unit with a power cable fitted with a NEMA type 5-15P power source connector. Information about suitable power connectors is supplied with the accessories. The power cable supplied is 3 m (9.8 ft.) in length. If it is necessary to increase this length to meet site requirements, then the extension must satisfy local or country regulations.

WARNING

This equipment must be grounded (earthed).

Grounding Requirements

The ATM operates from a single phase, 3 wire supply: live, neutral and ground. The power requirements of this unit will normally permit it to operate within existing wiring configurations and from existing branch mains circuits providing:
 1. Where the supply is provided from a general purpose distribution panel, then the other branch circuits from the panel must not be used to support heavy inductive loads such as air conditioners, elevators, microwave ovens, and so on. Nor may such equipment be spliced on the same branch circuit as the ATM.
 2. If using distribution panels, all branch circuit grounding conductors must be connected to an insulated terminal strip in the distribution panel. The grounding conductor from the distribution panel to the building ground point must be at least equal in size to the power conductor necessary to supply the NCR system.

Note:

The building ground point can affect data integrity. For additional information, refer to the Data Line Transient Protection section in the publication "NCR Personas M Series 5886 Site Preparation".

KEY NOTES

Bank of America
 39 Auburn Street, Portland, ME 04103

Gensler
 One Beacon Street
 Third Floor
 Boston, MA 02108
 Tel: 617.619.5700
 Fax: 617.619.5701

GENERAL NOTES

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

INSTALLATION CATEGORIES

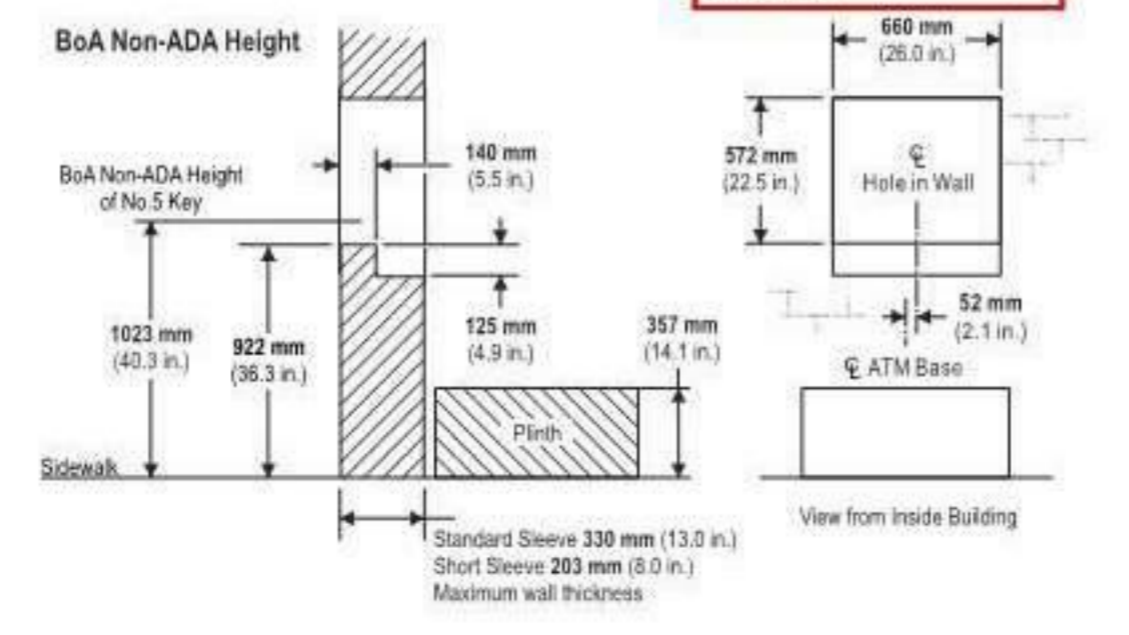
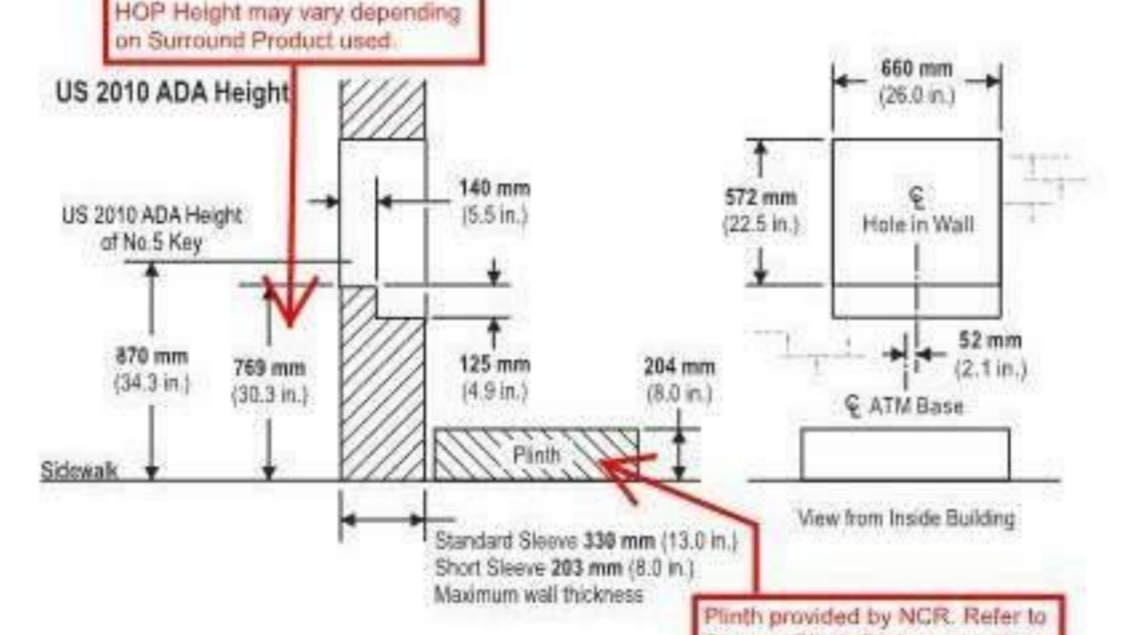
The physical installation of the ATM is divided into two categories:
 1. A new installation of a 5886 walk-up standard or short sleeve ATM at the US 2010 ADA height.
 2. A new installation of a 5886 walk-up standard or short sleeve ATM at the Bank of America (BoA) non-ADA height. This height does not comply with any regulations.

Installing Through a Glass Wall
 If you are installing your ATM through a glass wall you may require a suitable glass support (normally a steel collar) to sit between the ATM collar and the glass. The requirement for this support should be determined by the architect. If required, any such support should be sourced locally.

Installing in the State of California
 For installations in the State of California, please consult your project manager.

HOLE IN THE WALL DIMENSIONS

NOT TO SCALE
 Refer to: NCR ADA 2010 ATM Housing Solutions 012712.xls for the proper Bottom of Rough Opening Height.
 HOP Height may vary depending on Surround Product used.

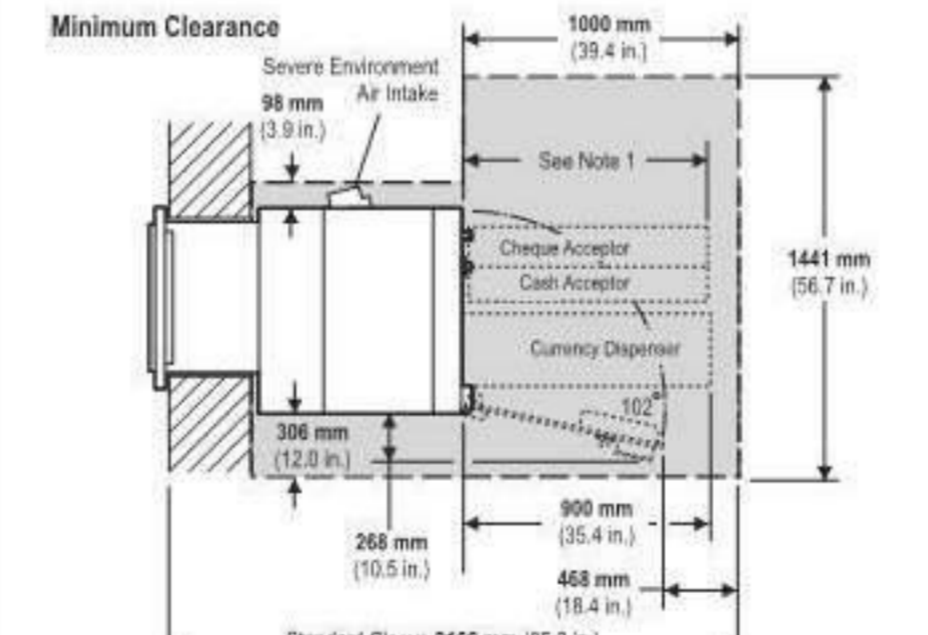
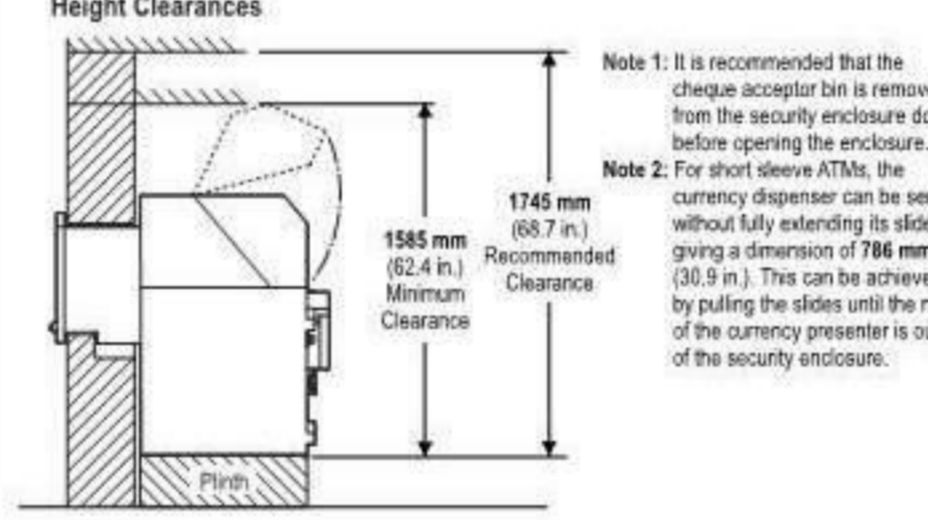


Support Plinth Options

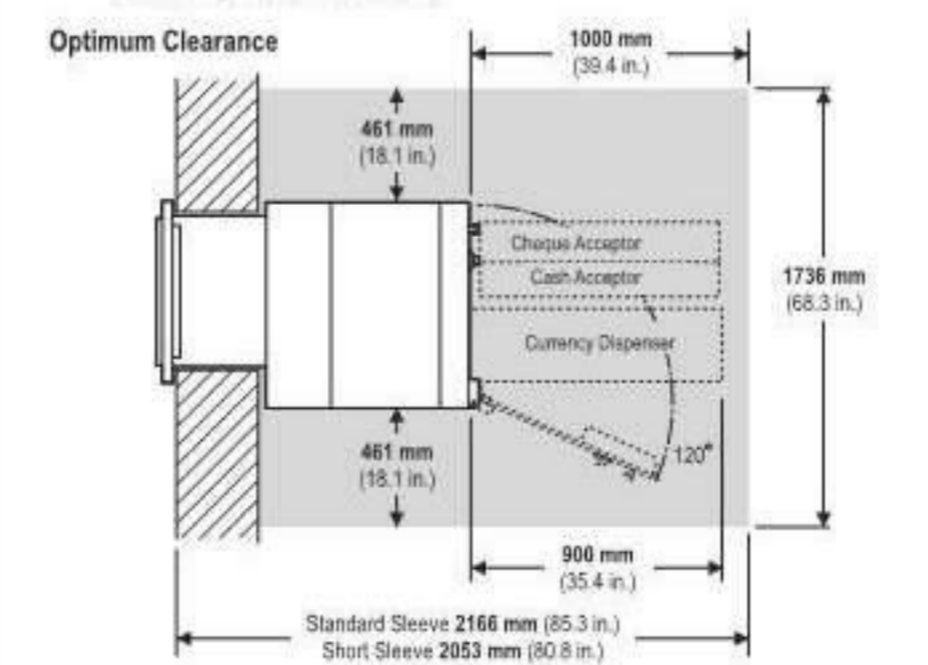
7949-4366-V001	Variable Height Plinth (100 mm (3.94 in.) to 202 mm (7.95 in.))
7949-4325-V001	Variable Height Plinth (202 mm (7.95 in.) to 380 mm (14.96 in.))

SERVICE CLEARANCES

Important Notice to Users: If it is likely that the ATM will be upgraded with new modules as they become available, you should use the optimum clearances.



Note 1: To allow a cheque acceptor to be serviced within the minimum clearance area, the rear transport can be pivoted from its horizontal position to a vertical position.
 Note 2: To service the keyboard, shutter areas and severe environment (if fitted), the 80 Column printer must be removed.

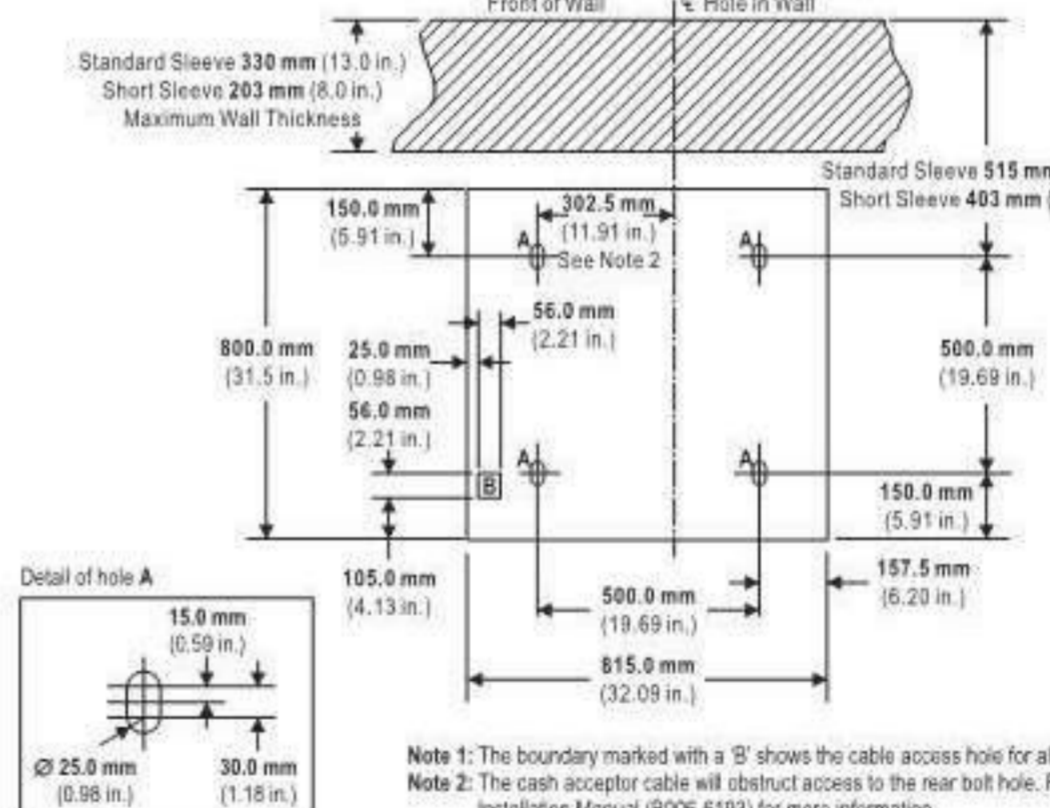


Note: For installations where there is enough room to stand at the right hand side of the sleeve (when viewing the ATM from the rear) there is an access panel which can be removed to allow easier access to the keyboard and shutter areas. It is not accessible if severe environment is fitted. There is another access panel on the left hand side which is only accessible if the ATM is installed through a thin wall. This panel is located on the sleeve.

BOLT HOLE LOCATIONS

Security Bolts
 The ATM should be bolted to the floor or plinth through the 'A' holes, using four bolts with anchor washers. The floor or plinth must be capable of withstanding the loading imposed by the anchor points for the bolts. The bolts and anchors must be supplied by the owning organization.

If an adjustable plinth is used, it must be bolted to the floor. The minimum specification for bolts, to secure the ATM to a concrete floor, is high tensile M16 (5/8 in.) bolts with appropriate anchor washers of 6 mm (0.2 in.) minimum thickness. It is recommended that these bolts be a minimum depth of 150 mm (5.9 in.) and that either resin anchor bolts or real type bolts are used.



Note 1: The boundary marked with a 'B' shows the cable access hole for all cables.
 Note 2: The cash acceptor cable will obstruct access to the rear bolt hole. Refer to the installation manual (8006-6193) for more information.

ENVIRONMENTAL REQUIREMENTS

Temperature and Humidity

ATM installation through an exterior wall must meet the requirements of both the Intellor and Exterior (through the wall) environments.

Normal Operating Range

	Interior Environment	Exterior Environment
Temperature (dry bulb)	10°C to 40°C (50°F to 104°F) See Note 2.	-35°C to 50°C (-31°F to 122°F) See Note 2.
Relative humidity	20% to 80% See Note 1.	10% to 100% See Note 2.
Dew point temperature restriction	26°C (79°F) max.	

Note 1: The humidity inside the building is restricted to a maximum of 30% at an outside temperature of -35°C (-31°F) with a linear relationship between temperature and humidity to a maximum humidity of 80%.
 Note 2: If a passbook printer is fitted, the minimum exterior temperature is 0°C (32°F) and the maximum relative humidity is 80%.

Temperature	Storage Range (Up To Three Months)	Travel Range (Up To One Week)	Extreme Power On Range (Up To One Hour)
	-10°C to 50°C (-14°F to 122°F)	-40°C to 60°C (-40°F to 140°F)	0°C to 40°C (32°F to 104°F)
Relative humidity	10% to 90%	5% to 95%	10% to 95%

Barometric Pressure

Operating and travel limits	105 kPa (15.2 lb. F/in. ²)
Equivalent altitude	Up to a maximum of 3000 m (9842.5 ft.)



REAR EGRESS DOOR AND FA PULL TO BE MADE COMPLIANT



VIEWING ROOM ACCESS TO BE RECONFIGURED



TELLER LINE AND SDV ENTRY TO BE RECONFIGURED FOR NEW ADA TELLER STATION AND VIEWING ROOM



TELLER STATION TO BE MADE ADA COMPLIANT

DOORS & HARDWARE

SCALE: N/A

2

TELLER STATION

SCALE: N/A

1



CHECK DESK TO BE REPLACED



REMOVE NON-COMPLIANT WALK OFF MATS



LOBBY FURNITURE TO BE REPLACED



CARPET TO BE REPLACED

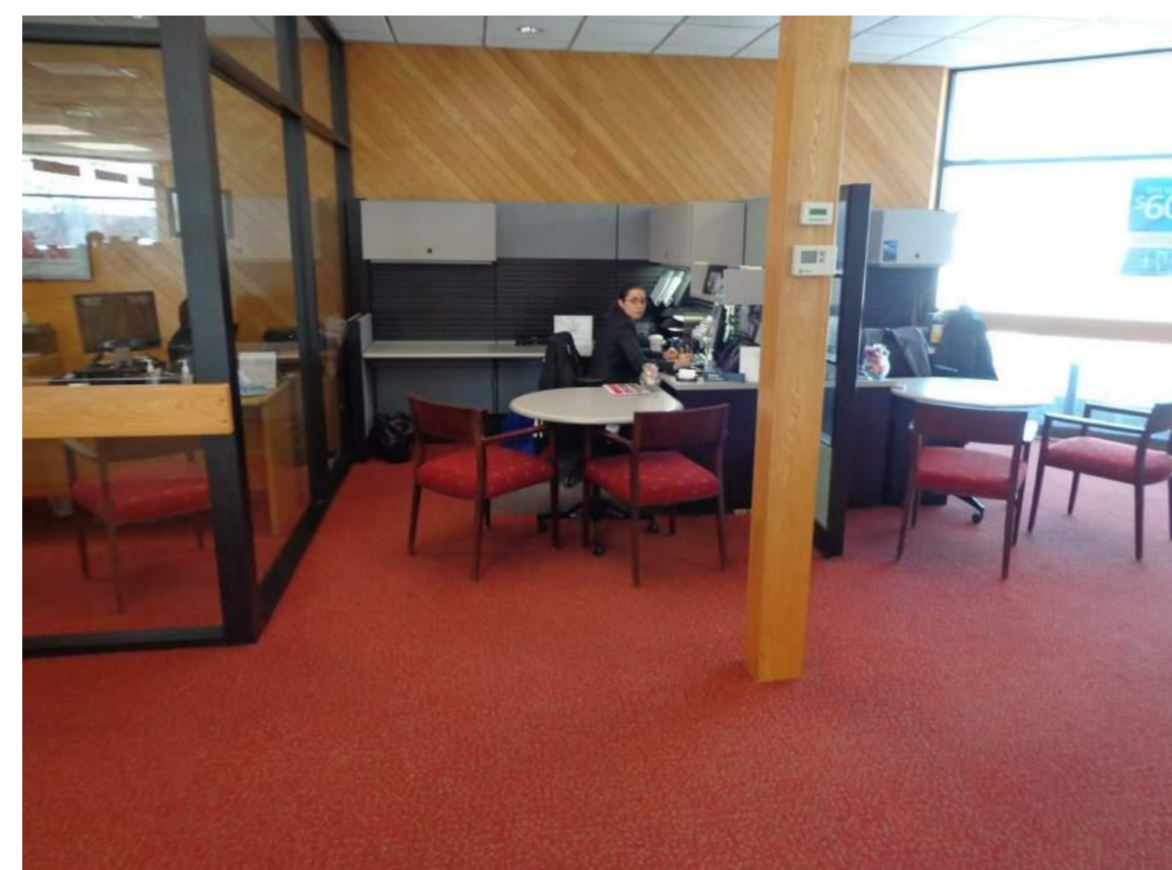
LOBBY

SCALE: N/A

3



REMOVE & REPLACE FURNITURE AS PART OF CONSOLIDATION CAP ADD PROJECT.



REMOVE & REPLACE FURNITURE AS PART OF CONSOLIDATION CAP ADD PROJECT.

FURNITURE

SCALE: N/A

4



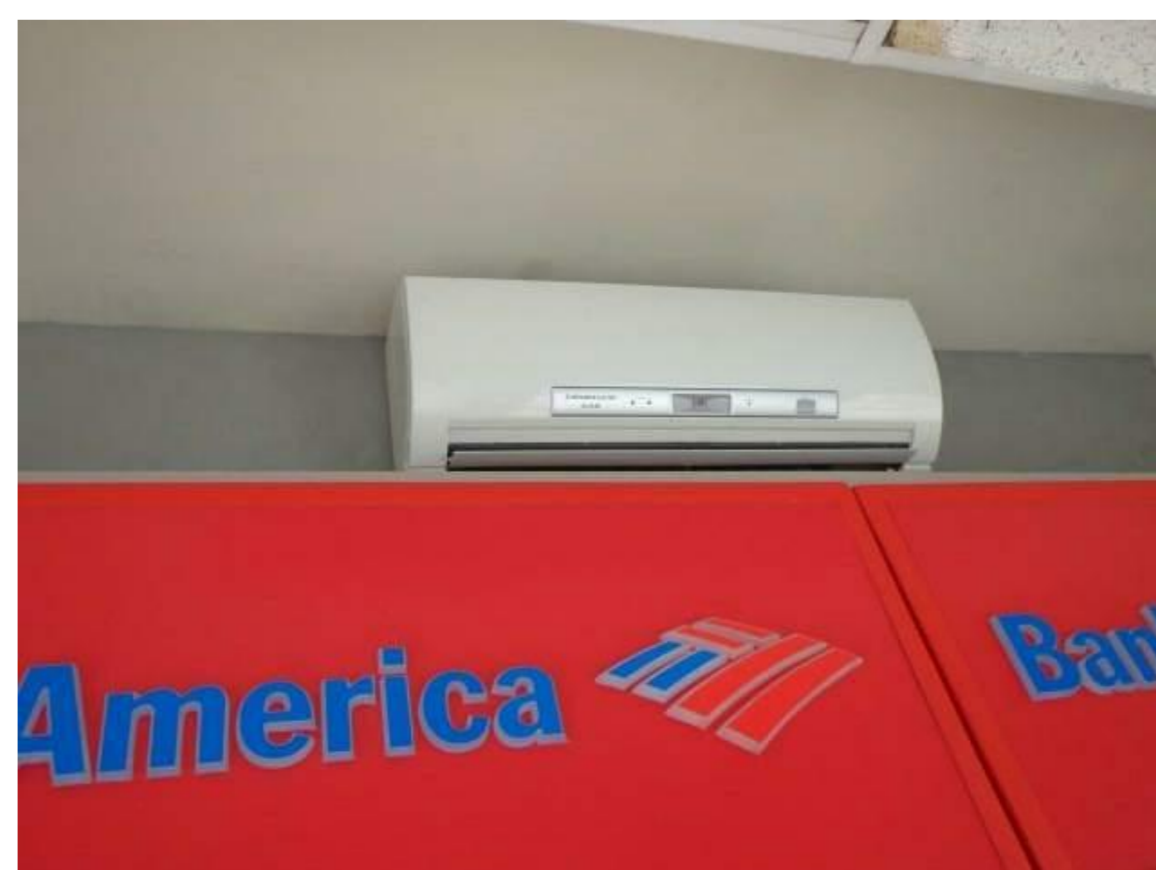
RELOCATE AND RECONFIGURED ATM'S. REPLACE EXISTING SURROUNDS.



RELOCATE ONE ATM. RELOCATE AND LOWER SECOND ATM TO COMPLY WITH 2010 ADAAG.



ATM ROOM - RELOCATE EXISTING HVAC UNIT .



ATM LOBBY - EXISTING HVAC UNIT TO REMAIN.

ATM

SCALE: N/A

6

EXISTING HVAC

SCALE: N/A

5

KEY NOTES

Issue #	Issue Date	Issue Description
1	08/15/2014	ISSUE FOR BID AND PERMIT

Seal/Signature

Project Name
ADA UPGRADES

Project Number
11.6560.125

Description
EXISTING CONDITION PHOTOS

Scale

A12.20

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Reviewed for Code Compliance
Inspections Division
Approved with Conditions
10/27/14

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any Date: _____
within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: 39 Auburn St (Bank of America)		
Total Square Footage of Proposed Structure: _____		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant Name: Gordon Weber Address: 14 West St City, State & Zip: Douglas MA 01516	Telephone: 508-901-0735 Email: gordonweber1@yahoo.com
Lessee/Owner Name: Bank of America (if different than applicant) Address: 39 Auburn St City, State & Zip: Portland ME Telephone & E-mail: 339-237-8407 dan.mcaulisse@Cbre.com	Contractor Name: (if different from Applicant) Address: City, State & Zip: Telephone & E-mail:	Cost Of Work: \$ 189,000. — C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ _____
Current use (i.e. single family) <u>Banking Center</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>Same</u>		
Is property part of a subdivision? <input type="checkbox"/> If yes, please name _____		
Project description: ADA Ramp and ADA teller station Upgrades		
Who should we contact when the permit is ready: Gordon Weber		
Address: 14 West St.		
City, State & Zip: Douglas MA. 01516		
E-mail Address: gordonweber1@yahoo.com		
Telephone: 508-901-0735		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: **9/25/14**

This is not a permit; you may not commence ANY work until the permit is issued.



Jeff Levine, AICP, Director
Planning & Urban Development Department

Tammy Munson, Director
Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

- Within 24-48 hours, once my complete permit application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- Within 24-48 hours, once my permit application and corresponding paperwork has been electronically delivered, I intend to **hand deliver** a payment method to the Inspections Office, Room 315, Portland City Hall.
- I intend to deliver a payment method through the U.S. Postal Service mail once my permit paperwork has been electronically delivered.

Applicant Signature:

Date:

09/25/14

I have provided digital copies and sent them on:

Date:

10/1/14

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.



Accessibility Building Code Certificate



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 10/27/14

Designer: Gensler

Address of Project: 39 Auburn Street, Portland, ME

Nature of Project: ADA Upgrades - Minor Renovation

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: 

Title: Principal

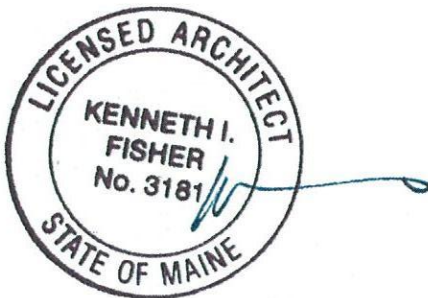
Firm: Gensler

Address: One Beacon Street
Boston, MA 02108

Phone: 6176195700

E-mail: ken_fisher@gensler.com

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 10/27/14



Certificate of Design

Date: 9/3/2014

From: Kenneth I. Fisher, FAIA

These plans and / or specifications covering construction work on:
Bank of America, 39 Auburn Street, Portland, ME

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2009 International Building Code** and local amendments.

Signature: 

Title: Principal

Firm: Gensler

Address: One Beacon Street
Boston, MA 02108

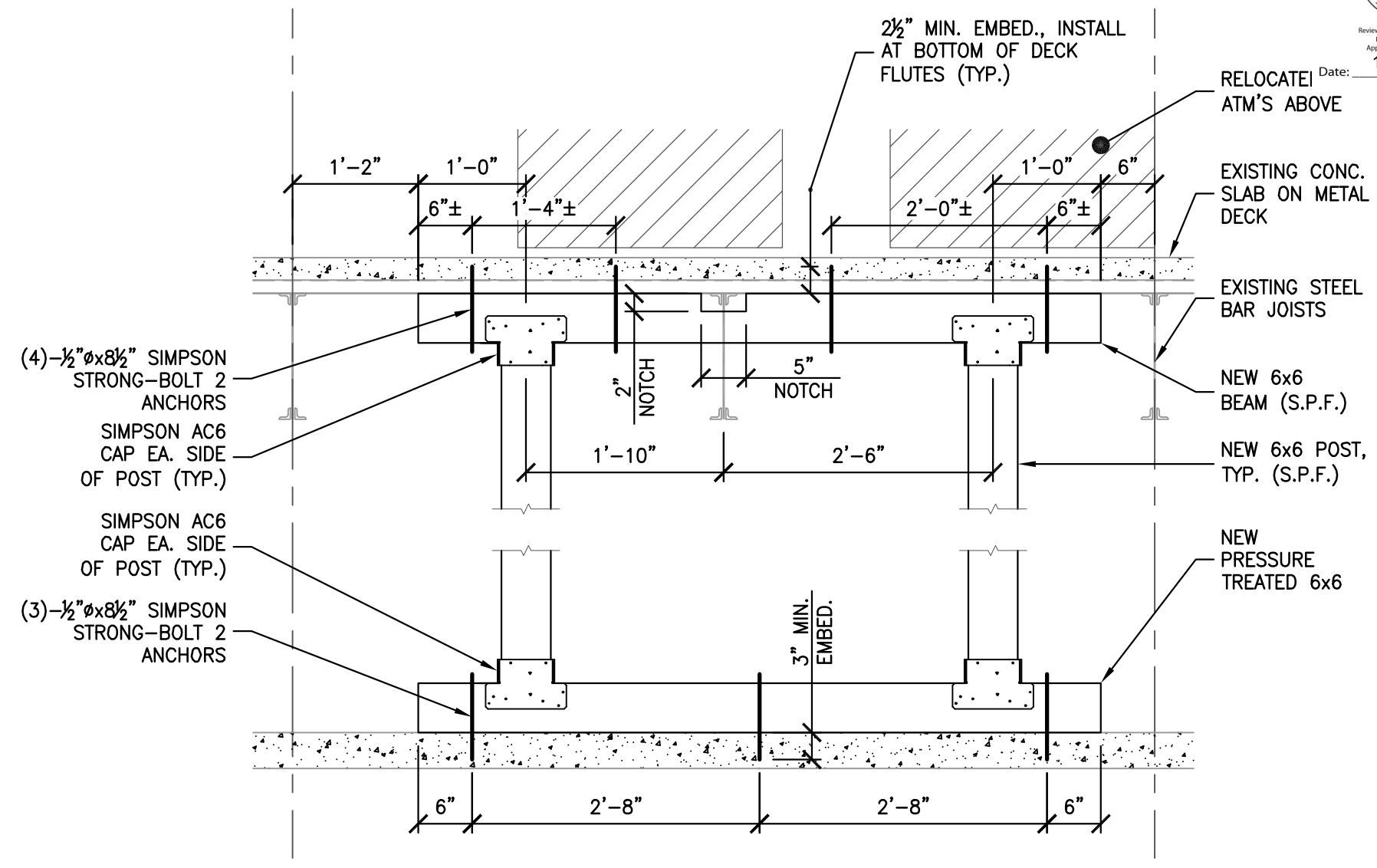
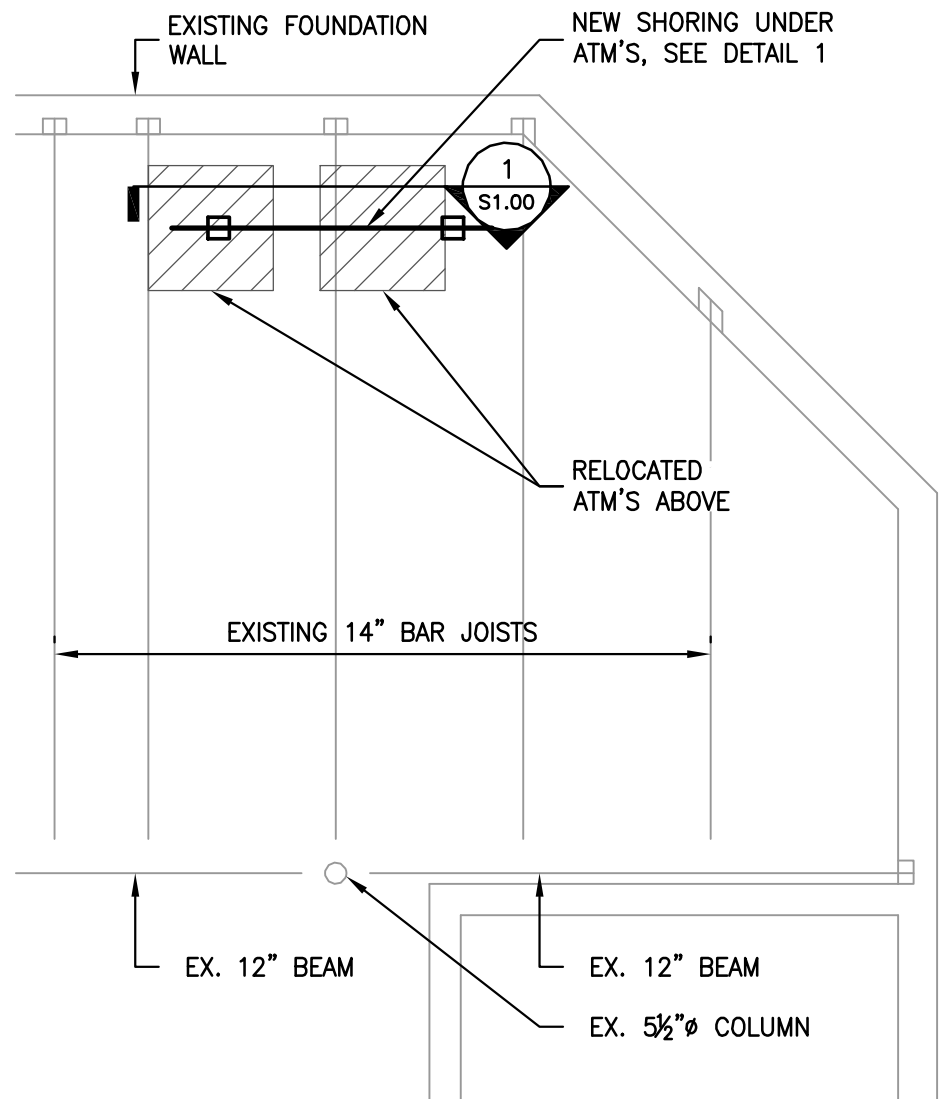
Phone: 6176195700

E-mail: ken_fisher@gensler.com

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



PARTIAL FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

1 DETAIL

SCALE: 3/4" = 1'-0"

GENERAL NOTES:

- G-1 Structural drawings shall be used in conjunction with the architectural, mechanical, electrical and shop drawings, and specifications.
- G-2 All dimensions and conditions must be verified in the field by the Contractor. Any discrepancies between these drawings and as-built conditions shall be brought to the attention of the Structural Engineer before proceeding with any work.
- G-3 Sections, details, notes, methods, or materials shown and/or noted on any plan, section, or elevation shall apply to all other similar locations unless noted otherwise.
- G-4 The contractor shall be responsible for all shoring and bracing required during construction. Temporary supports required for stability during all intermediate stages of construction shall be designed, furnished, and installed by the Contractor.

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 48 Constitution Drive, Bedford, N.H. 03110

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com	Bank of America 39 Auburn Street Portland, ME 04103 PREPARED FOR Gensler	
		FLOOR SHORING AT ATM	
REFERENCE DWG -	TFM JOB No. 34345.14	S1.00	
DATE 08/13/14	SCALE AS NOTED		

Bank of America



ADA UPGRADES

CBRE Project Name: 39 Auburn St, Portland ME
Manhattan ID: ME1-132

08/15/2014

Issue for Bid and Permit

39 Auburn Street, Portland, ME 04103
GENSLER PROJECT NUMBER: 11.6560.125

Gensler

Architect
One Beacon Street 3rd Floor
Boston MA 02108
Telephone: 617.619.5700
Attn: Stephen Newbold

CB Richard Ellis

Project Management
14 Tall Pines Dr.
Stratham, NH 03885
t: 339.237.8907
Attn: Dan McAuliffe

Stonefield Engineering

Civil Engineer
36 Ames Ave, Suite 2B
Rutherford NJ 07070
t: 201.340.4468
Attn: Tim Ponton