

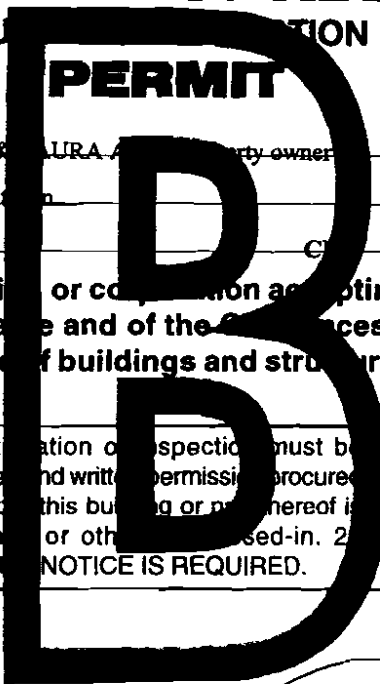
Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING DEPARTMENT

**PERMIT**



Please Read Application And Notes, if Any, Attached

PERMIT ISSUED

Permit Number: 100428  
MAY 19 2010

CITY OF PORTLAND

This is to certify that ROBINSON LAWRENCE J & LAURA A property owner

has permission to Build a 12' x 17' addition to kitchen

AT 46 BROOK RD

CITY OF PORTLAND 375 C012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise used-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0428	Issue Date:	CBL: 375 C012001
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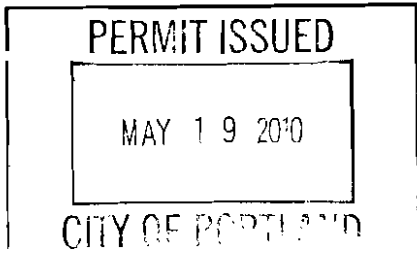
Location of Construction: 46 BROOK RD	Owner Name: ROBINSON LAWRENCE J & LA	Owner Address: 46 BROOK RD	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Build a 12' x 17' addition to kitchen	Permit Fee: \$170.00	Cost of Work: \$15,000.00	CEO District: 5	Zone: R-3 11450
Proposed Project Description: Build a 12' x 17' addition to kitchen		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>[Signature]</i>	INSPECTION: Use Group: R-3 Type: SB Signature: <i>[Signature]</i>		

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 04/29/2010	<b>Zoning Approval</b>	
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>ok with conditions</i> Date: <i>5/30/10</i>	Date: _____ Date: _____	Date: _____ Date: _____



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

12' x 17' 4" x 16"

Pined to house

10' side strak

all other straks ok  
N/A

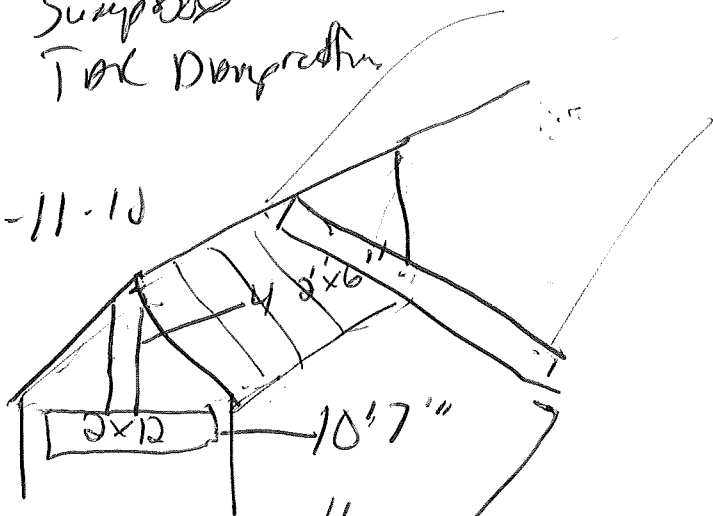
7-2-10

12' x 17' 6" 9"

Summary

Trac Diagram

8-11-10



Ridge is 1 3/4" x 12"

2x10' rafters

3x 1 3/4 (5 1/4) x 10" 18"

Need Amend plan

Need specs on joams

Need hurricane ties on rafters

ok span for boardz

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0428	Date Applied For: 04/29/2010	CBL: 375 C012001
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Location of Construction: 46 BROOK RD	Owner Name: ROBINSON LAWRENCE J & LA	Owner Address: 46 BROOK RD	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Build a 12' x 17' addition to kitchen	Proposed Project Description: Build a 12' x 17' addition to kitchen
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 04/30/2010

**Note:** **Ok to Issue:** ✓

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 05/17/2010

**Note:** **Ok to Issue:** ✓

- 1) The stairs shall have a 10" tread minimum and a 7 3/4" rise maximum. In order to achieve this the stringers must be cut to these dimensions.
- 2) The floor joists must be 2" x 12"-s. The second story floor joists must run in the same direction as the first or the building will not be properly tied together.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

  X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  X   **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>46 Brook Rd, PORTLAND</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>375</u> Block# <u>C</u> Lot# <u>12</u>		Number of Stories <u>1 1/2</u>
Applicant *must be owner, Lessee or Buyer* Name <u>LAWRENCE J. ROBINSON</u> Address <u>46 Brook Rd, Old</u> City, State & Zip <u>Portland, ME 04103</u>		Telephone: <u>207-798-2136</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>15,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>170</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units _____		
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Is property part of a subdivision? _____ If yes, please name _____		
Project description: <u>12x17 addition to kitchen</u>		
Contractor's name: <u>LARRY ROBINSON (EC)</u>		
Address: <u>46 Brook Rd</u>		
City, State & Zip <u>Portland, Me 04103</u>		Telephone: <u>798 2136</u>
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		

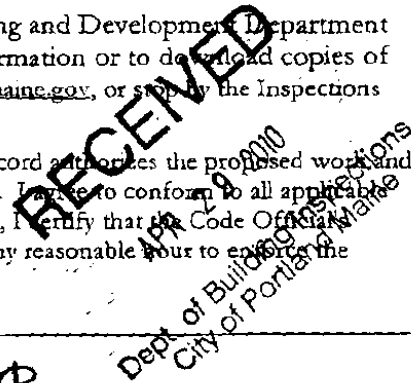
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

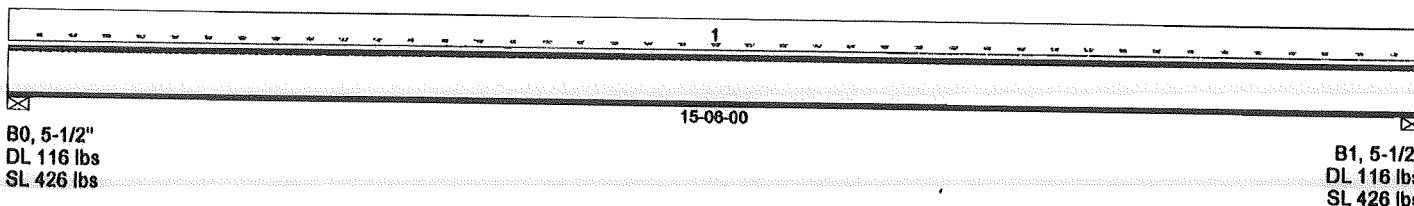
Signature: [Signature] Date: 30 APR 10

This is not a permit; you may not commence ANY work until the permit is issued



Job Name: Parker Albee Addition  
Address: 10 Helene Street  
City, State, Zip: Portland, ME  
Customer:  
Code reports: ESR-1144

File Name: Albee Beams  
Description: R01  
Specifier: JCT  
Designer: JCT  
Company: FroMus Design & Drafting, LLC  
Misc: Roof Joist (Longest Span)



Total Horizontal Product Length = 15-06-00

**Load Summary**

Tag	Description	Load Type	Ref.	Start	End	Live 100%	Dead 90%	Snow 115%	Wind 133%	Roof Live 125%	OCS
1	Standard Load	Unf. Area	Left	00-00-00	15-06-00	15 psf	55 psf				12"

Controls Summary	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	1893 ft-lbs	48.5%	115%	3	1 - Internal
End Reaction	510 lbs	32.0%	115%	3	1 - Right
Total Load Defl.	L/477 (0.37")	50.3%		3	1
Live Load Defl.	L/607 (0.291")	59.3%		3	1
Max Defl.	0.37"	74.0%		3	1
Span / Depth	18.6	n/a			1

**Disclosure**

Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

Bearing Supports	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0	Wall/Plate 5-1/2" x 2-1/2"	543 lbs	n/a	n/a	Unspecified
B1	Wall/Plate 5-1/2" x 2-1/2"	543 lbs	n/a	n/a	Unspecified

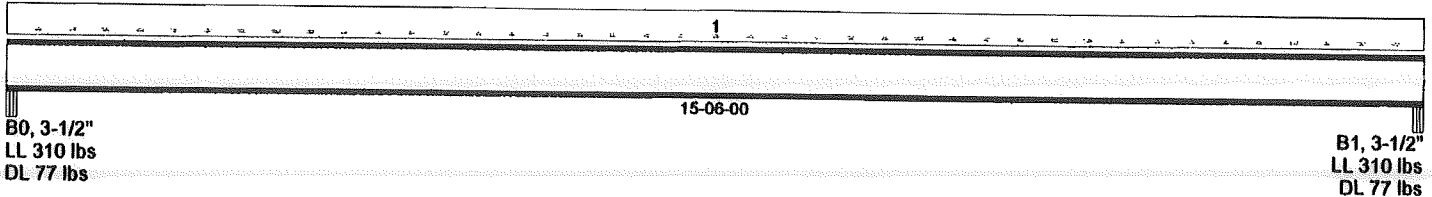
**Notes**

Design meets User specified (L/240) Total load deflection criteria.  
Design meets User specified (L/360) Live load deflection criteria.  
Design meets arbitrary (0.5") Maximum load deflection criteria.  
Member Slope = 0, consider drainage.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND™, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.

Job Name: Parker Albee Addition  
Address: 10 Helene Street  
City, State, Zip: Portland, ME  
Customer:  
Code reports: ESR-1144

File Name: Albee Beams  
Description: J01  
Specifier: JCT  
Designer: JCT  
Company: FroMus Design & Drafting, LLC  
Misc: Floor Joist (Longest Span)



Total Horizontal Product Length = 15-06-00

Load Summary		Load Type	Ref.	Start	End	Live	Dead	Snow	Wind	Roof Live	OCS
Tag	Description					100%	90%	115%	133%	125%	
1	Standard Load	Unf. Area	Left	00-00-00	15-06-00	40 psf	10 psf				12"

Controls Summary	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	1414 ft-lbs	41.6%	100%	1	1 - Internal
End Reaction	373 lbs	26.9%	100%	1	1 - Right
Total Load Defl.	L/729 (0.248")	49.4%		1	1
Live Load Defl.	L/912 (0.198")	52.7%		1	1
Max Defl.	0.248"	49.5%		1	1
Span / Depth	19.0	n/a			1

**Disclosure**

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Bearing Supports	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0 Beam	3-1/2" x 2-1/2"	388 lbs	5.9%	n/a	Versa-Lam 2.0
B1 Beam	3-1/2" x 2-1/2"	388 lbs	5.9%	n/a	Versa-Lam 2.0

**Notes**

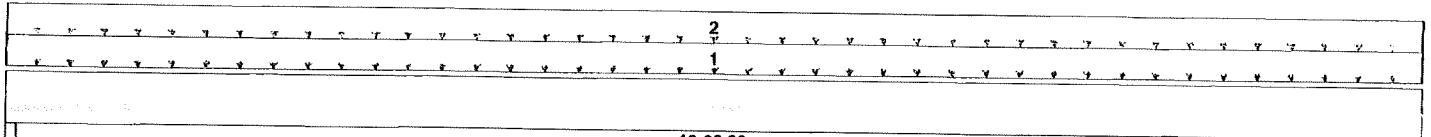
Design meets User specified (L/360) Total load deflection criteria.  
Design meets User specified (L/480) Live load deflection criteria.  
Design meets arbitrary (0.5") Maximum load deflection criteria.  
Composite EI value based on 23/32" thick sheathing glued and nailed to joist.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCi®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND™, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.



Job Name: Parker Albee Addition  
Address: 10 Helene Street  
City, State, Zip: Portland, ME  
Customer:  
Code reports: ESR-1040

File Name: BC CALC Project  
Description: FB01  
Specifier: JCT  
Designer: JCT  
Company: FroMus Design & Drafting, LLC  
Misc: Floor Beam (Longest Span)



B0, 5-1/4"  
LL 617 lbs  
DL 428 lbs  
RLL 848 lbs

B1, 5-1/4"  
LL 617 lbs  
DL 428 lbs  
RLL 848 lbs

Total Horizontal Product Length = 10-00-00

**Load Summary**

Tag	Description	Load Type	Ref.	Start	End	Live 100%	Dead 90%	Snow 115%	Wind 133%	Roof Live 125%	Trib.
1	1st Floor Load	Unf. Area	Left	00-00-00	10-00-00	40 psf	10 psf				03-01-00
2	Roof Load	Unf. Area	Left	00-00-00	10-00-00		15 psf			55 psf	03-01-00

Controls Summary	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	4049 ft-lbs	23.2%	125%	4	1 - Internal
End Shear	1427 lbs	18.1%	125%	4	1 - Left
Total Load Defl.	L/890 (0.125")	40.4%		4	1
Live Load Defl.	L/1151 (0.096")	41.7%		4	1
Max Defl.	0.125"	24.9%		4	1
Span / Depth	11.7	n/a			1

**Disclosure**

Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

Bearing Supports	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0 Post	5-1/4" x 3-1/2"	1893 lbs	n/a	13.7%	Unspecified
B1 Post	5-1/4" x 3-1/2"	1893 lbs	n/a	13.7%	Unspecified

**Cautions**

Column at Bearing B0 analyzed for bearing only, column analysis has not been performed.  
Column at Bearing B1 analyzed for bearing only, column analysis has not been performed.

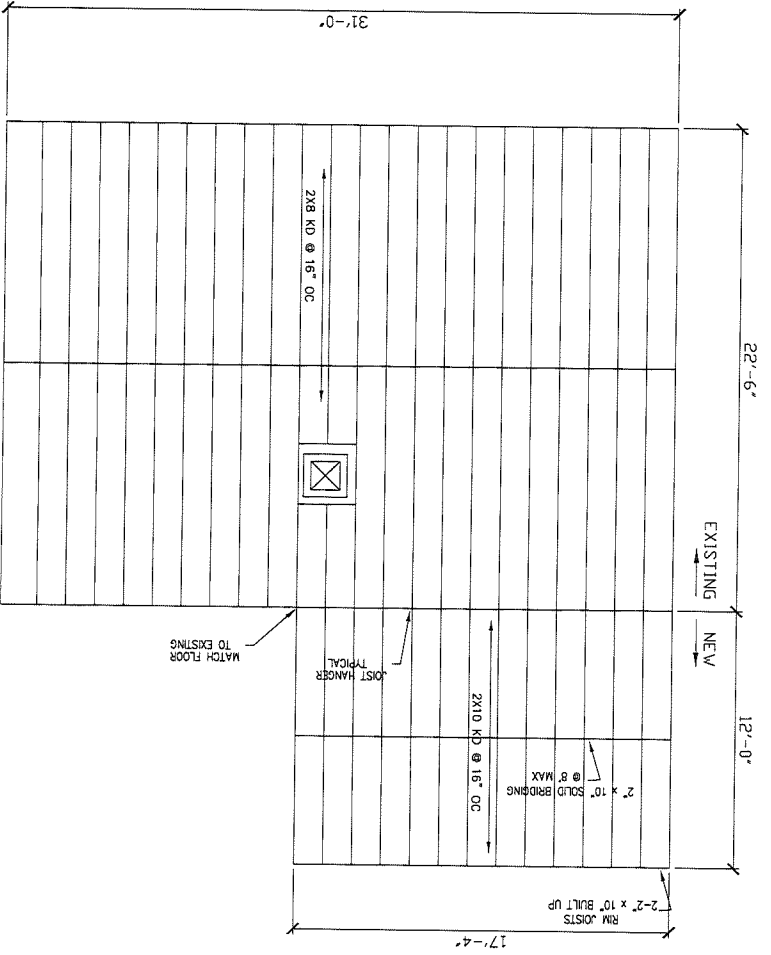
**Notes**

Design meets User specified (L/360) Total load deflection criteria.  
Design meets User specified (L/480) Live load deflection criteria.  
Design meets arbitrary (0.5") Maximum load deflection criteria.

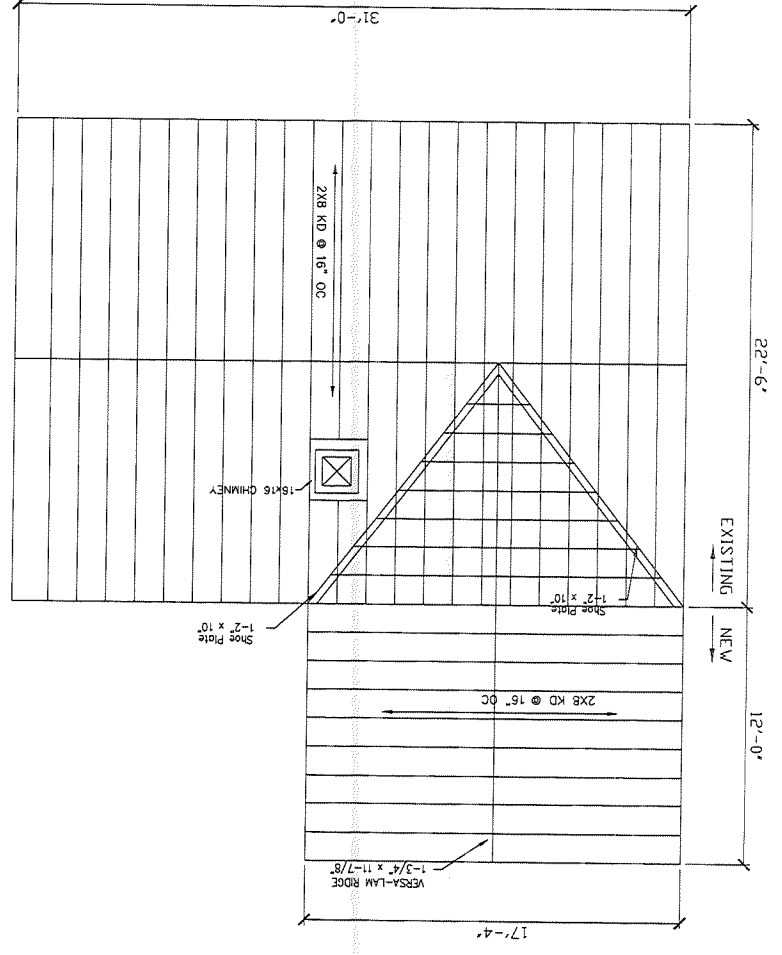
BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BC®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND™, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.

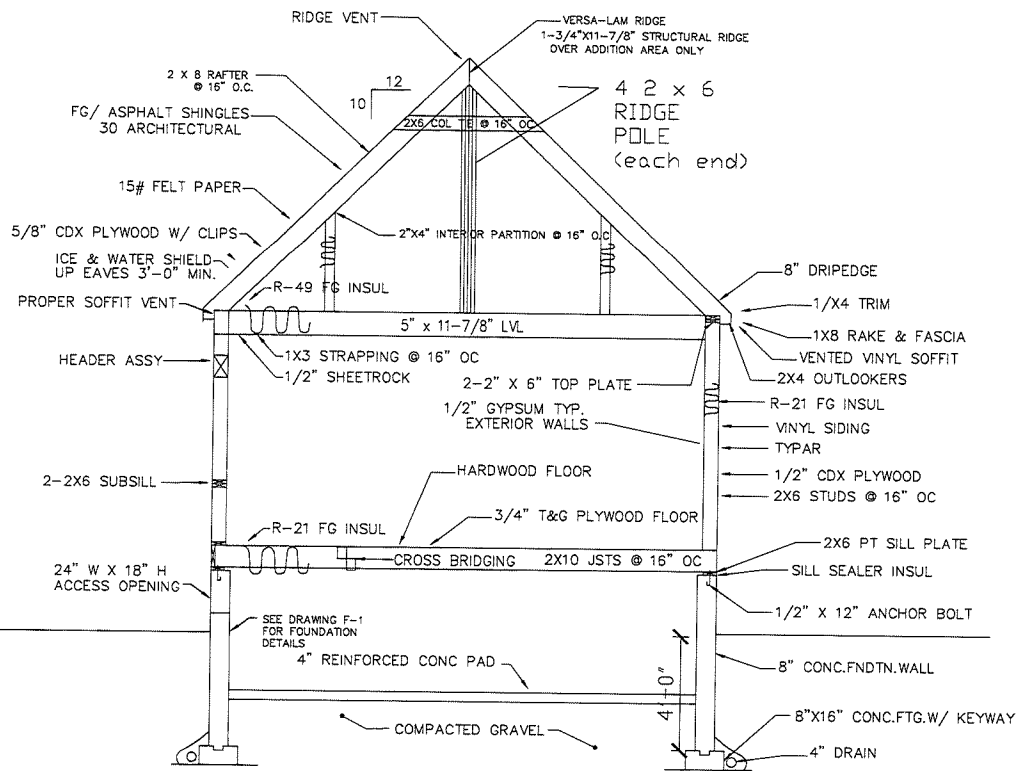
REV.					
	A-6	DRAWING NUMBER			
FOR APPROVAL		DESCRIPTION			
DATE	4/15/10	REV.	A		
DATE	4-15-10	SCALE	AS NOTED	DRAWN BY:	CAC
ROOF & FLOOR FRAMING PLANS					
NEW ADDITION					
LARRY & LAURA ROBINSON RESIDENCE					
46 BROOK RD, PORTLAND, ME					

FLOOR FRAMING PLAN  
SCALE: 3/8"=1'-0"



ROOF FRAMING PLAN  
SCALE: 3/8"=1'-0"



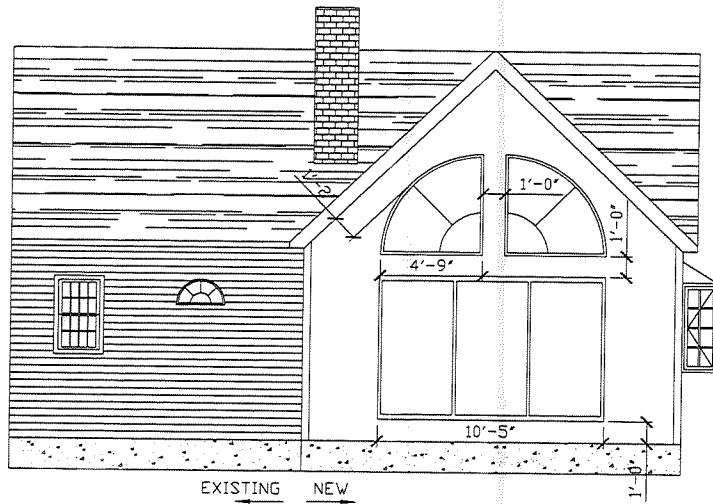


HOUSE SECTION PLAN

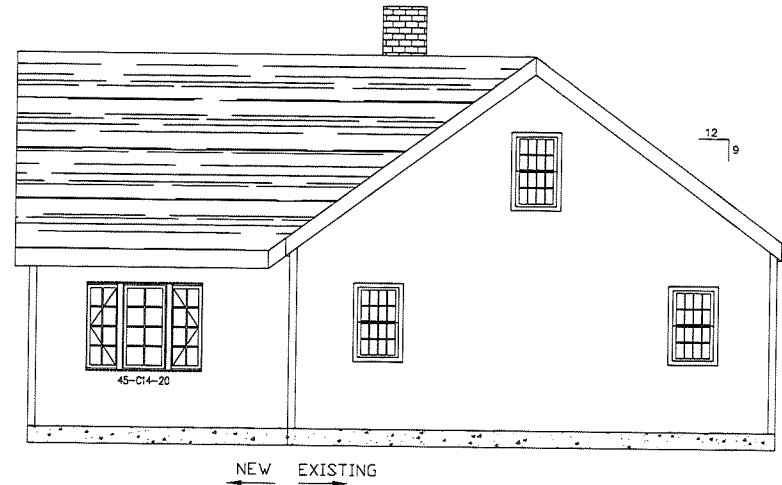
SCALE: 1/2"=1'-0"

LARRY & LAURA ROBINSON RESIDENCE			
46 BROOK RD, PORTLAND, ME			
NEW ADDITION			
SECTION THRU HOUSE ADDITION			
DRAWN BY:	CAC	SCALE:	AS NOTED
DATE:	4-15-10	DATE:	4-15-10
DRAWING NUMBER		A-5	
REV.	DATE	DESCRIPTION	REV.

A	4/15/10	FOR APPROVAL



REAR ELEVATION  
SCALE: 3/8"=1'-0"



LEFT SIDE ELEVATION  
SCALE: 3/8"=1'-0"

GENERAL NOTES:

1. SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

REV.	DATE	DESCRIPTION
A	4/15/10	FOR APPROVAL

CLIENT LARRY & LAURA ROBINSON RESIDENCE 46 BROOK RD., PORTLAND, ME		
NEW ADDITION ELEVATIONS		
DRAWN BY: CAC	SCALE: AS NOTED	DATE: 4-15-10
DRAWING NUMBER A-4		REV.

# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 7/20/10  
 Permit # 2010-4501  
 CBL# 375-C-12

LOCATION: 46 Brook Rd METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER Lawrence Robinson  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

							TOTAL EACH FEE	
OUTLETS	<u>10</u>	Receptacles	<u>4</u>	Switches	<u>1</u>	Smoke Detector		.20
FIXTURES	<u>4</u>	Incandescent		Fluorescent		Strips		.20
SERVICES		Overhead		Underground		TTL AMPS <800		15.00
		Overhead		Underground		>800		25.00
Temporary Service		Overhead		Underground		TTL AMPS		25.00
								25.00
METERS		(number of)						1.00
MOTORS		(number of)						2.00
RESID/COM		Electric units						1.00
HEATING		oil/gas units		Interior		Exterior		5.00
APPLIANCES		Ranges		Cook Tops		Wall Ovens		2.00
		Insta-Hot		Water heaters		Fans		2.00
		Dryers		Disposals		Dishwasher		2.00
		Compactors		Spa		Washing Machine		2.00
		Others (denote)						2.00
MISC. (number of)		Air Cond/win						3.00
		Air Cond/cent				Pools		10.00
		HVAC		EMS		Thermostat		5.00
		Signs						10.00
		Alarms/res						5.00
		Alarms/com						15.00
		Heavy Duty(CRKT)						2.00
		Circus/Carnv						25.00
	Alterations						5.00	
	Fire Repairs						15.00	
	E Lights						1.00	
	E Generators						20.00	
PANELS		Service		Remote		Main		4.00
TRANSFORMER		0-25 Kva						5.00
		25-200 Kva						8.00
		Over 200 Kva						10.00
							TOTAL AMOUNT DUE	
							MINIMUM FEE/COMMERCIAL 55.00	MINIMUM FEE 45.00

RECEIVED  
 JUL 28  
 Dept. of Building Inspections  
 City of Portland, Maine

CONTRACTORS NAME Scott Purcell MASTER LIC. # MS60019953  
 ADDRESS 108 Smitty Lane, Saco Me 04072 LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE (207) 590-1341

SIGNATURE OF CONTRACTOR [Signature]



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

4-24 2010

Received from Larry Robison -

Location of Work 416 Brook Rd

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 170

Building (12) Plumbing (15) Electrical (12) Site Plan (U2)

Other \_\_\_\_\_

CBL: 375-C-12

Check #: 1044 Total Collected \$170

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

Normal High Water as evidenced by no vegetation

Fall Brook Centerline  
Approx. 2" wide  
Currently dry as of 28AUG08

Willow Tree

75' High Water Offset

OK

R-3 Zone  
& Shoreland  
Zone  
Front: 25' min - 25' indicated  
Rear: 25' min - 25' indicated  
Side/Story: 8' min or more  
12' 7" indicated  
OK

NAME: Pool Area  
CODE: 27' Diameter  
AREA: 572.5 (Sq. Ft.)

Property Line

12'-7"

11'-10"

15'-10"

30'-3"

Garage 14' x 16'

Proposed Kitchen Addition 12' x 17'-4"

House 31' x 22'6"

Driveway

Lot Usage Calculation:  
Lot= 11,990 Sq.Ft.  
House= 697.5 Sq. Ft.  
Garage= 224 Sq. Ft.  
Addition= 207 Sq. Ft.

Total= 1,128 Sq. Ft.  
% of Lot used= 10%

OK 10' Set Back

Brook Road

NAME: Property Area  
CODE: NONE  
AREA: 11590.6310 (Sq. Ft.)

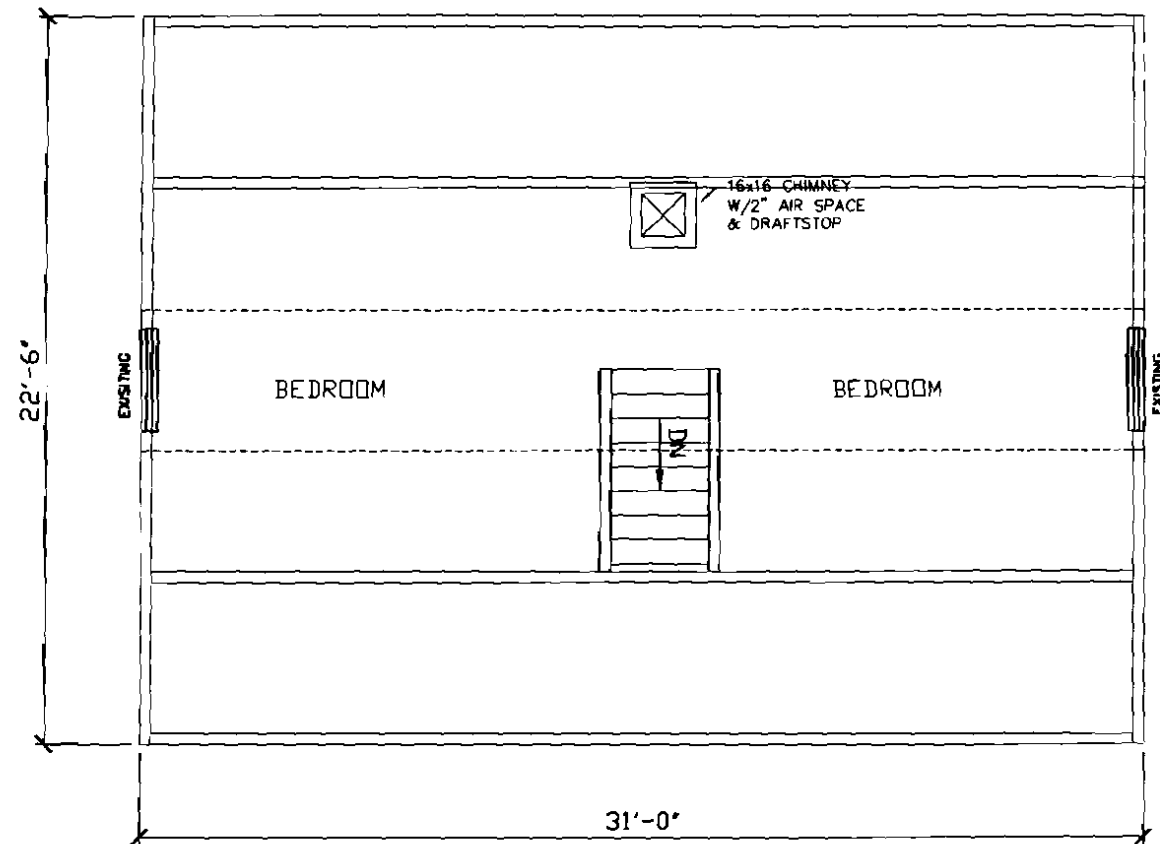


REV.	DESCRIPTION	BY	DATE
C	Added New Kitchen Addition	LR	29APR10
B	Added Willow Tree, Normal High Water lines and additional dimensions	LR	29AUG08
A	Added Brook Location and dimension details	LR	28AUG08

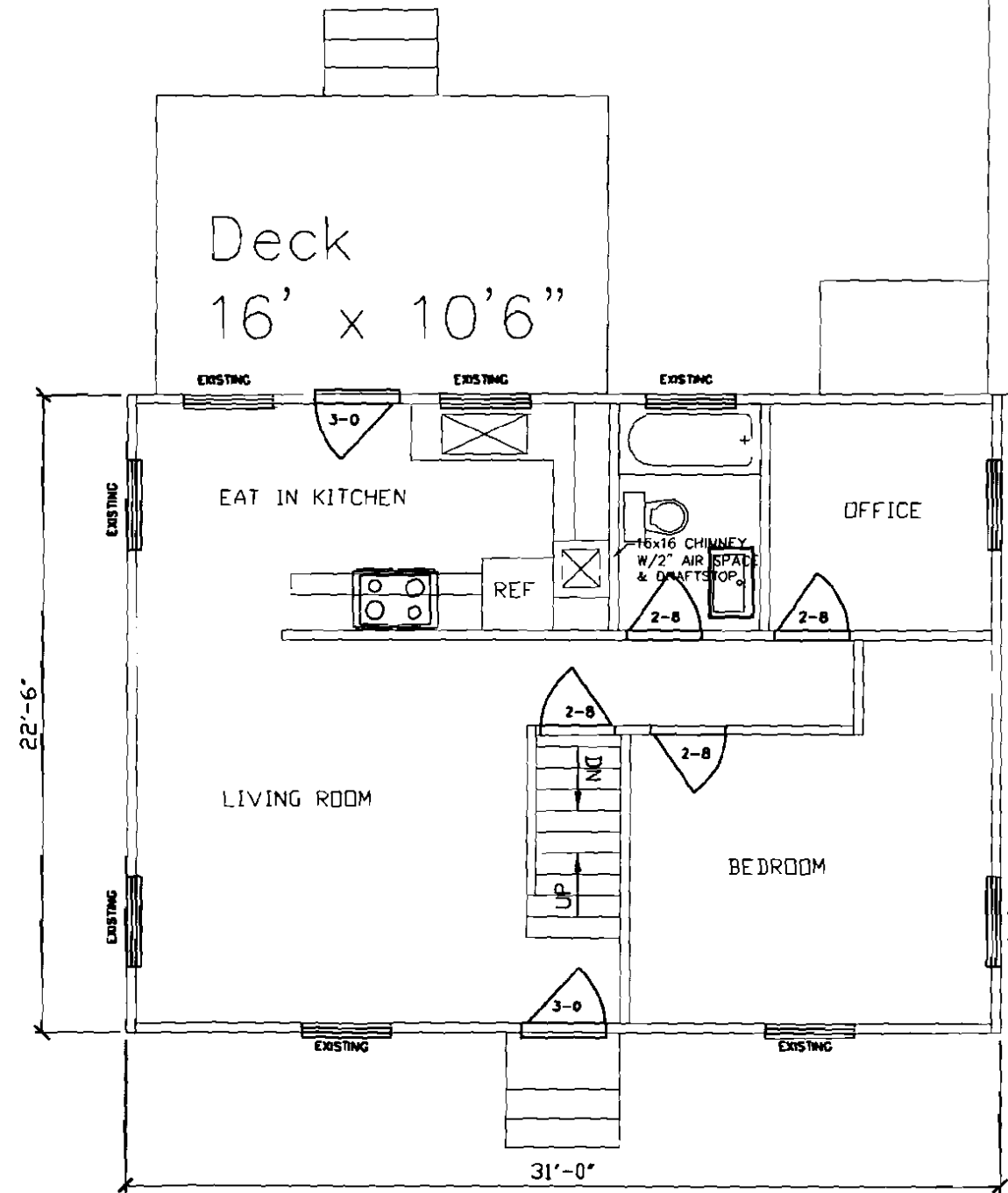
Maine  
Manufacturing Extension Partnership  
COMPANY 46 Brook Road  
PROJECT NAME Lot Layout  
DRAWN BY Larry Robinson DATE 03AUG08 1/32"=1'  
CONTRACT Number 1 SHEET NO. of DWG. NO. REV. NO.







SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

Garage  
14' x 20'

LEGEND

- (X) WINDOW TYPE (SEE SCHEDULE)
- (X) DOOR TYPE (SEE SCHEDULE)

GENERAL NOTES:

1. SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

REV.	DATE	DESCRIPTION
A	4/15/10	FOR APPROVAL

CLIENT LARRY & LAURA ROBINSON RESIDENCE 46 BROOK RD, PORTLAND, ME		
NEW ADDITION EXISTING FLOOR PLAN		
DRAWN BY: CAC	SCALE: AS NOTED	DATE: 4-15-10
DRAWING NUMBER A-2		REV.

**EARTHWORK**

1. EXCAVATING: THE SUBCONTRACTOR SHALL DO ALL EXCAVATING AS REQUIRED ON THE DRAWING. EARTH BANKS SHALL BE BRACED AGAINST CAVING IN THE WORKING AREA. THE BOTTOMS OF ALL FOOTING EXCAVATIONS SHALL BE EXACTLY LEVEL ON SOLID UNDISTURBED EARTH. EXCAVATIONS ARE TO BE KEPT FREE OF STANDING WATER. CONTRACTOR WILL BE RESPONSIBLE FOR ROUGH AND FINISH GRADE.
- A. EXCAVATE TOPSOIL AND STOCKPILE IN AREA DESIGNATED ON SITE.
- B. EXCAVATE SUBSOIL REQUIRED FOR BUILDING FOUNDATIONS, CONSTRUCTION OPERATION AND OTHER WORK.
- C. IN EXCAVATING FOR FOOTINGS AND FOUNDATIONS, TAKE CARE NOT TO DISTURB BOTTOM OF EXCAVATION. EXCAVATE THE ENTIRE AREA OF THE BASEMENT AS SHOWN ON THE DRAWINGS. SAME TO BE MADE 18 INCHES LARGER THAN OUTSIDE WALL DIMENSIONS IN EVERY DIRECTION TO ALLOW FOR INSPECTION, WATERPROOFING, DRAINAGE, ETC.
- D. EXCAVATE AND BACKFILL IN A MANNER AND SEQUENCE THAT WILL PROVIDE PROPER DRAINAGE AT ALL TIMES. DRAIN PIPE AND TRENCHING WILL BE REQUIRED. DRAIN PIPE TO BE INSTALLED BOTH INSIDE AND OUTSIDE THE FOUNDATION WITH THE INSIDE CONNECTED TO SUMP AND OUTSIDE PIPE CONNECTED TO INSIDE PIPE. SUBCONTRACTOR TO PROVIDE DRAIN PIPE AND SUMP.
- E. PROTECT ACTIVE UTILITY LINES. IF DAMAGED, REPAIR OR REPLACE AT NOT ADDITIONAL COST TO THE OWNER. IF EXISTING UTILITIES ARE FOUND TO INTERFERE WITH THE PERMANENT FACILITIES BEING CONSTRUCTED, IMMEDIATELY NOTIFY THE OWNER AND SECURE HIS INSTRUCTIONS.
- F. WHERE ROCKS, BOULDERS, GRANITE OR SIMILAR MATERIAL IS ENCOUNTERED, REMOVE SUCH MATERIAL BY MEANS WHICH WILL NEITHER CAUSE ADDITIONAL COST TO THE OWNER NOR ENDANGER BUILDINGS OR STRUCTURES ON OR OFF THE SITE.

**TRENCHES**

- A. DIG TRENCHES FOR FOUNDATION WALLS AND FOOTINGS TO DIMENSIONS SHOWN ON THE DRAWINGS. SEWER TRENCH SHALL BE PITCHED WITH A UNIFORM FALL AND THE TRENCH BACKFILLED UPON COMPLETION OF THE INSTALLATION AND AFTER PROPER INSPECTION.
- B. DIG TRENCH FOR UTILITIES TO STANDARDS REQUIRED BY UTILITY COMPANIES. BACKFILL TO SAME STANDARDS.
2. BACKFILLING: BACKFILL EXCAVATIONS AS PROMPTLY AS PROGRESS OF THE WORK PERMITS, BUT NOT UNTIL COMPLETION OF THE FOLLOWING:
  - A. ACCEPTANCE OF CONSTRUCTION BELOW GRADE.
  - B. REMOVAL OF CONCRETE FORMWORK.
  - C. INSPECTING, TESTING, AND APPROVING UNDERGROUND UTILITIES.
  - D. REMOVING TRASH AND DEBRIS.
  - E. PLACEMENT OF HORIZONTAL BRACING ON HORIZONTALLY SUPPORTED WALLS.
  - F. APPLICATIONS OF DAMPPROOFING.

THE CONTRACTOR SHALL BRING THE ROUGH GRADE TO 12 INCHES BELOW TOP OF FOUNDATION WALL WITH CLEAN FILL AND SOCKPILED SUB SOIL. BACKFILL TO BE WELL PUDDLED AND TAMPED.

G. FILL AND BACKFILL MATERIALS: PROVIDE SOIL MATERIALS FREE FROM ORGANIC MATTER AND DELETERIOUS SUBSTANCES, CONTAINING NO ROCKS OR LUMPS OVER 3 INCHES IN GREATEST DIMENSION.

**3. GRADING**

- A. THE CONTRACTOR SHALL BRING THE FINISH GRADE TO 12 INCHES BELOW THE TOP OF THE FOUNDATION WALL WITH STOCKPILED TOP SOIL. BACKFILL TO BE WELL PUDDLED AND TAMPED.
- B. GRADE THE AREA TO PROVIDE DRAINAGE AWAY FROM THE STRUCTURES AND TO PREVENT PONDING.
- C. WHERE AND IF SHOWN ON THE DRAWINGS OF OTHERWISE REQUIRED, PROVIDE TOPSOIL CONSISTING OF FRIABLE, FERTILE SOIL OF LOAMY CHARACTER, CONTAINING AN AMOUNT OF ORGANIC MATTER NORMAL TO THE REGION, CAPABLE OF SUSTAINING HEALTHY PLANT LIFE, AND REASONABLE FREE FROM SUBSOIL, ROOTS, HEAVY OF STIFF CLAY, STONES LARGER THAN 2 INCHES IN GREATEST DIMENSIONS, NOXIOUS WEEDS, STICKS, BRUSH, LITTER AND OTHER DELETERIOUS MATTER.

**DAMP-PROOFING**

1. PROVIDE ASPHALT BITUMEN DAMPROOFING AS SHOWN ON THE DRAWINGS, AS SPECIFIED HEREIN AND NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
2. USE MATERIALS THAT COMPLY WITH THE FOLLOWING STANDARDS:
  - A. ASPHALT ASTM D449, TYPE I
  - B. ASPHALT PRIMER: ASTM D41, COMPATIBLE WITH SUBSTRATE.

**GENERAL REQUIREMENTS**

1. THE SUB-CONTRACTOR SHALL MAINTAIN, AT HIS OWN EXPENSE, FULL AND COMPLETE INSURANCE ON ITS WORK UNTIL FINAL APPROVAL OF THE WORK DESCRIBED IN THE CONTRACT. THE SUB-CONTRACTOR SHALL NOT HOLD THE CONTRACTOR LIABLE FROM ANY AND ALL COSTS, DAMAGES, FEES AND EXPENSES FROM ANY CLAIMS ARISING ON THE PROJECT. FAILURE OF THE SUB-CONTRACTOR TO MAINTAIN APPROPRIATE INSURANCE COVERAGE MAY DEEM A MATERIAL BREACH ALLOWING THE CONTRACTOR TO TERMINATE THIS CONTRACT OR TO PROVIDE INSURANCE AT THE SUB-CONTRACTOR'S EXPENSE. PRIOR TO THE START OF WORK, SUB-CONTRACTOR SHALL PROVIDE TO THE CONTRACTOR, A CERTIFICATE OF INSURANCE SHOWING, AS APPLICABLE GENERAL LIABILITY AND WORKMEN'S COMPENSATION COVERAGE FOR EACH WORKMEN.
2. PRIOR TO THE START OF WORK, SUB-CONTRACTOR SHALL PROVIDE THE THE CONTRACTOR A COMPLETED IRS FORM W-9.
3. SUB-CONTRACTOR UNDERSTANDS AND AGREES THAT NO CHANGE ORDERS OR CONTRACT ADDITIONS WILL BE MADE UNLESS AGREED TO IN WRITING BY CONTRACTOR. IF ANY ADDITIONAL WORK IS PERFORMED AND NOT COVERED IN THIS CONTRACT, THE SUB-CONTRACTOR PROCEEDS AT HIS OWN RISK AND EXPENSE. NO ALTERATIONS, ADDITIONS, OR SMALL CHANGES CAN BE MADE IN THE WORK OR METHOD OF THE PERFORMANCE, WITHOUT THE WRITTEN CHANGE ORDER SIGNED BY THE CONTRACTOR AND SUB-CONTRACTOR.
4. SUB-CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING UP THE JOB ON A DAILY BASIS, INCLUDING ALL GENERATED CONSTRUCTION DEBRIS, DRINK CANS, FOOD WRAPPERS, AND/OR OTHER TRASH IF IT BECOMES NECESSARY, THE SUB-CONTRACTOR WILL BE BACK CHARGED FOR APPROPRIATE CLEAN UP BY DEDUCTING CLEAN UP COSTS FROM PAYMENTS.
5. SUB-CONTRACTOR SHALL WARRANT ALL LABOR, MATERIALS AND EQUIPMENT FURNISHED ON THE PROJECT FOR ONE YEAR AGAINST DEFECTS IN WORKMANSHIP OR MATERIALS UTILIZED THE MANUFACTURERS WARRANTY WILL PREVAIL.

**CONCRETE**

**CONCRETE FORMWORK**

1. PROVIDE FORMWORK FOR CAST-IN-PLACE CONCRETE FOR THE CONSTRUCTION SHOWN ON THE DRAWINGS, AS SPECIFIED HEREIN AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
2. FOR FOUNDATIONS, USE WOOD, METAL OR FIBERGLASS FORMS SUBSTANTIALLY CONSTRUCTED TO PREVENT BOWING OR DISFIGUREMENT DURING CONCRETE PLACEMENT AND CURING.
3. CONSTRUCT FORMWORK SO CONCRETE MEMEBERS AND STRUCTURES ARE OF CORRECT SIZE, SHAPE ALIGNMENT, ELEVATION AND POSITIONS.
4. FOR FOOTING AND FOUNDATIONS, USE BOARDS OR PLANKS SECURED TO WOOD OR STEEL STAKES, SUBSTANTIALLY CONSTRUCTED TO SHAPES INDICATED AND TO SUPPORT THE REQUIRED LOADS.

**CAST-IN-PLACE CONCRETE**

1. PROVIDE CAST-IN-PLACE CONCRETE WHERE SHOWN ON THE DRAWINGS, AS SPECIFIED HEREIN AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION
2. CONCRETE:
  - A. PROVIDE A STANDARD BRAND OF PORTLAND CEMENT, TYPE I OR II
  - B. FINE AGGREGATE: PROVIDE WASHED NATURAL SAND HAVING STRONG, HARD, DURABLE PARTICLES. GRADE FROM COARSE TO FINE.
  - C. COARSE AGGREGATE: USE COARSE AGGREGATE OF THE LARGEST PRACTICALBE SIZE FOR EACH CONDITION OF PLACEMENT.
  - D. USE ONLY CLEAN POTABLE WATER.
  - E. UNLESS OTHERWISE DIRECTED USE PORTLAND CEMENT TO ACHIEVE A WEIGHT OF NOT MORE THAN 110 PSF AND A ULTIMATE COMPRESSIVE STENGTH OF 3000 PSI AT 28 DAYS.
  - F. CONCRETE FLOORS TO BE 4" THICK WITH MONOLITHIC FINISH TROWELED TO A HARD SMOOTH SURFACE. PROVIDE 6"x6" #8/8 WELDED WIRE MESH REINFORCING (OR EQUIVALENT) WHERE SHOWN ON DRAWINGS. INSTALL 6-MIL POLY BELOW SLABS AND OVERLAP SEAMS 12 INCHES.
  - G. CURING: PREVENT PREMATURE DRYING AND EXCESSIVE HOT OR COLD TEMPERATURES.

**ELECTRICAL**

1. PROVIDE COMPLETE ELECTRIC, TELEPHONE, ETHERNET (CAT 5), AND CABLE (COAX) SERVICE AS SPECIFIED HEREIN AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
2. PROVIDE INTERIOR AND EXTERIOR LIGHTING AS SPECIFIED HEREIN AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
  - A. KITCHEN LIGHTING TO BE RECESSED IN CEILING.
  - B. BATHROOMS: OVERHEAD GENERAL LIGHT, MIRROR LIGHT, EXHAUST FANS.
  - C. BEDROOM LIGHTS TO BE WIRED FOR PADOLE FANS.
3. USE ONLY NEW MATERIALS OF THE TYPE AND QUALITY SPECIFIED. WHERE UNDERWRITERS' LABORATORIES, INC. HAVE ESTABLISHED STANDARDS FOR SUCH MATERIALS, USE ONLY MATERIALS BEARING UL LABEL.
4. WIRING
  - A. NONMETALLIC SHEATHED CABLE, SIZE 12 THROUGH 4 AWG: COPPER CONDUCTOR, 600-VOLT INSULATION, RATED 60 DEGREE C, TYPE NM.
  - B. SERVICE ENTRANCE CABLE: COPPER CONDUCTORS, 600-VOLT INSULATION, TYPE SE.
5. TELEPHONE & CABLE
  - A. PROVIDE SERVICE ENTRANCE EQUIPMENT, OUTLETS, TERMIAL BOARDS AND OTHER ITEMS REQUIRED FOR A COMPLETE, APPROVED, AND OPERATING TELEPHONE AND CABLE SERVICE, EXCEPT FOR SUCH ITEMS AS ARE PROVIDED BY THE SERVICE COMPANY.
  - B. PROVIDE TELEPHONE, CAT-5, AND COAX OUTLETS IN LIVING ROOM, FAMILY ROOM AND ALL BEDROOMS.
6. MAIN DISTRIBUTION PANELS: NEMA PB 1, CIRCUIT BREAKER TYPE OF 200-AMP CAPACITY.
  - A. PROVIDE SUFACE CABINET FRONT WITH SCREW COVER AND HINGED DOOR.
  - B. BUS: COPPER.
  - C. GROUND BUS: COPPER
  - D. VOLTAGE: 120/208 VOLTS.
7. WIRING DEVICES AND WALL PLATES
  - A. PROVIDE EXTERIOR RECEPTACLES AT FRONT AND REAR OF RESIDENCE.
  - B. WALL SWITCH: AC GENERAL USE, QUIET OPERATING SNAP SWICH RATED 20-AMP AND 120-277 VOLTS AC, COLOR AND HANDLE TYPE AS SELECTED BY THE OWNER.
  - C. RECEPTACLE: TYPE 5-20 R, PLASTIC FACE, COLOR SELECTED BY OWNER. ALL RECEPTACLES TO BE SPACED AND INSTALLED TO CODE.
  - D. WALL DIMMER: LINEAR SLIDE/ROTARY DIAL TYPE, COLOR SELECTED BY OWNER. RATED FOR 600 WATTS MINIMUM. SIZE TO ACCOMMODATE CIRCUIT SHOWN ON THE DRAWINGS.
  - E. WEATHERPROOF COVER PLATE: GASKETED CAST METAL WITH HINGED GASKETED DEVICE COVERS.
8. SMOKE DETECTORS
  - A. SMOKE DETECTORS TO BE INSTALLED IN THE CEILING OF EACH BEDROOM, UPSTAIRS HALL, BASEMENT, AND FIRST LEVEL. DETECTORS TO HAVE BATTERY BACKUP AND BE INTERCONNECTED.

**INSULATION**

1. PROVIDE INSULATION AS SPECIFIED HEREIN AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
2. INSULATION BATTS WITH AN R-VALUE NOT LESS THAN 19 SHALL BE USED IN ALL LIVING SPACE EXTERIOR WALLS AND SLOPED CEILINGS OF THE DWELLING AND 2ND STORY OR THE GARARE AND IN THE FLOORS OVER UNINSULATED SPACES. INSULATION BATTS WITH AN R-VALUE NOT LESS THAN 11 SHALL BE USED IN ALL EXTERIOR WALLS OF THE GARAGE.
3. BLOWN-IN INSULATION 12" THICK SHALL BE INSTALLED IN ALL HORIZONTAL UNDER-ROOF CEILING.
4. MOISTURE BARRIER: INSTALL POLY VAPOR BARRIER ON INSIDE SURFACE OF ALL EXTEROR WALLS AND CEILING.
5. INSULATION SHALL MEET THE REQUIREMENTS OF THE MAINE STATE ENERGY CODE AND MAINE LAW TITLE 10 CHAPTER 214.

**PLUMBING & HEATING**

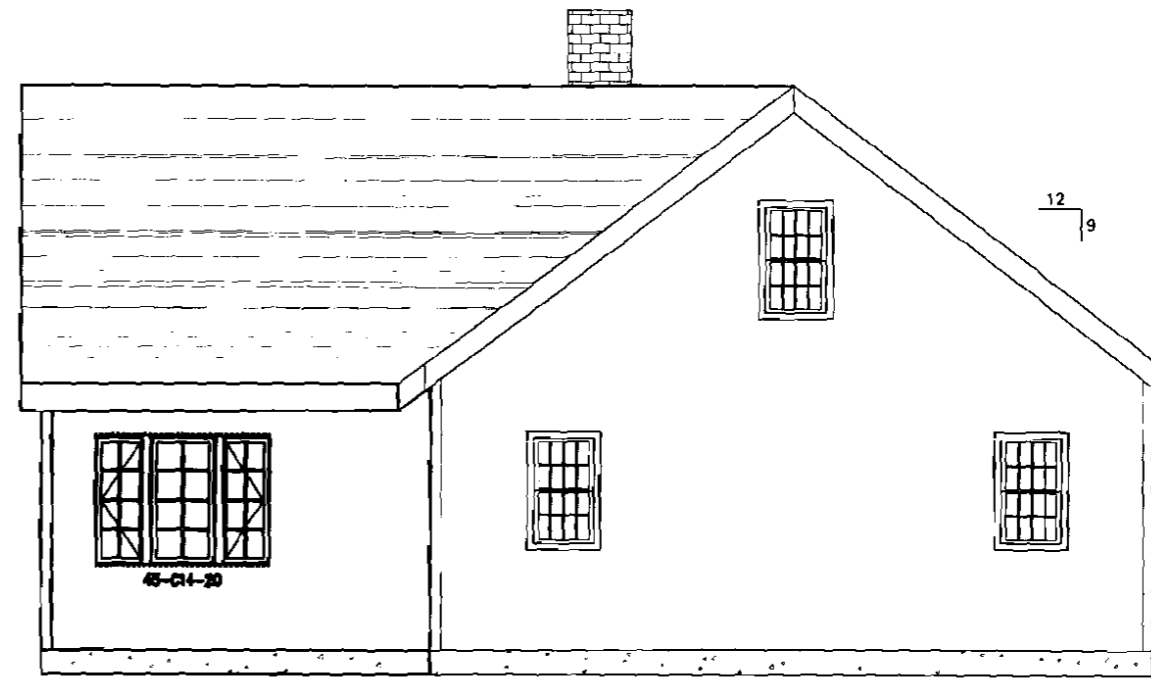
1. PROVIDE PLUMBING AND HEATING AS SHOWN ON THE DRAWING, AS SPECIFIED HEREIN AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION INCLUDING, BUT NOT LIMITED TO:
  - A. PEX TUBING WITH COPPER HEADERS DOMESTIC HOT AND COLD WATER PIPING SYTEMS.
  - B. DRAIN, WASTE AND VENT SYSTEMS.
  - C. PLUMBING FIXTURES AND TRIM AS SHOWN ON THE DRAWINGS.
  - D. OIL PIPING & TANK.
  - E. SUMP PUMP AND DISCHARGE PIPING.
  - F. CAST IRON OIL-FIRED BOILER W/INTEGRAL DOMESTIC WATER HEATER AND 2-ZONE COPPER BASEBOARD DISTRIBUTION SYSTEM
2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE STATE AND LDCAL CODES AND ALL WORK SHALL BE IN ACCORDANCE THEREWITH.
3. PROVIDE FROST-FREE HOSE BIBS AT FRONT AND REAR OF DWELLING.
4. PROVIDE SHUTOFF VALVES AT ENTRANCE OF SYSTEM, AT FIXTURES AND AT HOSE BIB BRANCHES.
5. FURNISH AND INSTALL ALL PLUMBING FIXTURES AS INDICATED AND SELECTED BY OWNER.
6. BEFORE COVERING PIPES, THE ENTIRE WATER SYSTEM SHALL BE TESTED TO 100 LBS. PRESSURE AND DEFICIENCIES CORRECTED.

A	4/15/10	FOR APPROVAL
REV.	DATE	DESCRIPTION

CLIENT <b>LARRY &amp; LAURA ROBINSON RESIDENCE</b> 46 BROOK RD, PORTLAND, ME		
<b>NEW ADDITION NOTES</b>		
DRAWN BY: CAC	SCALE: AS NOTED	DATE: 4-15-10
<b>DRAWING NUMBER</b>		<b>A-3</b>
		△ REV



EXISTING NEW  
REAR ELEVATION  
 SCALE: 3/8"=1'-0"



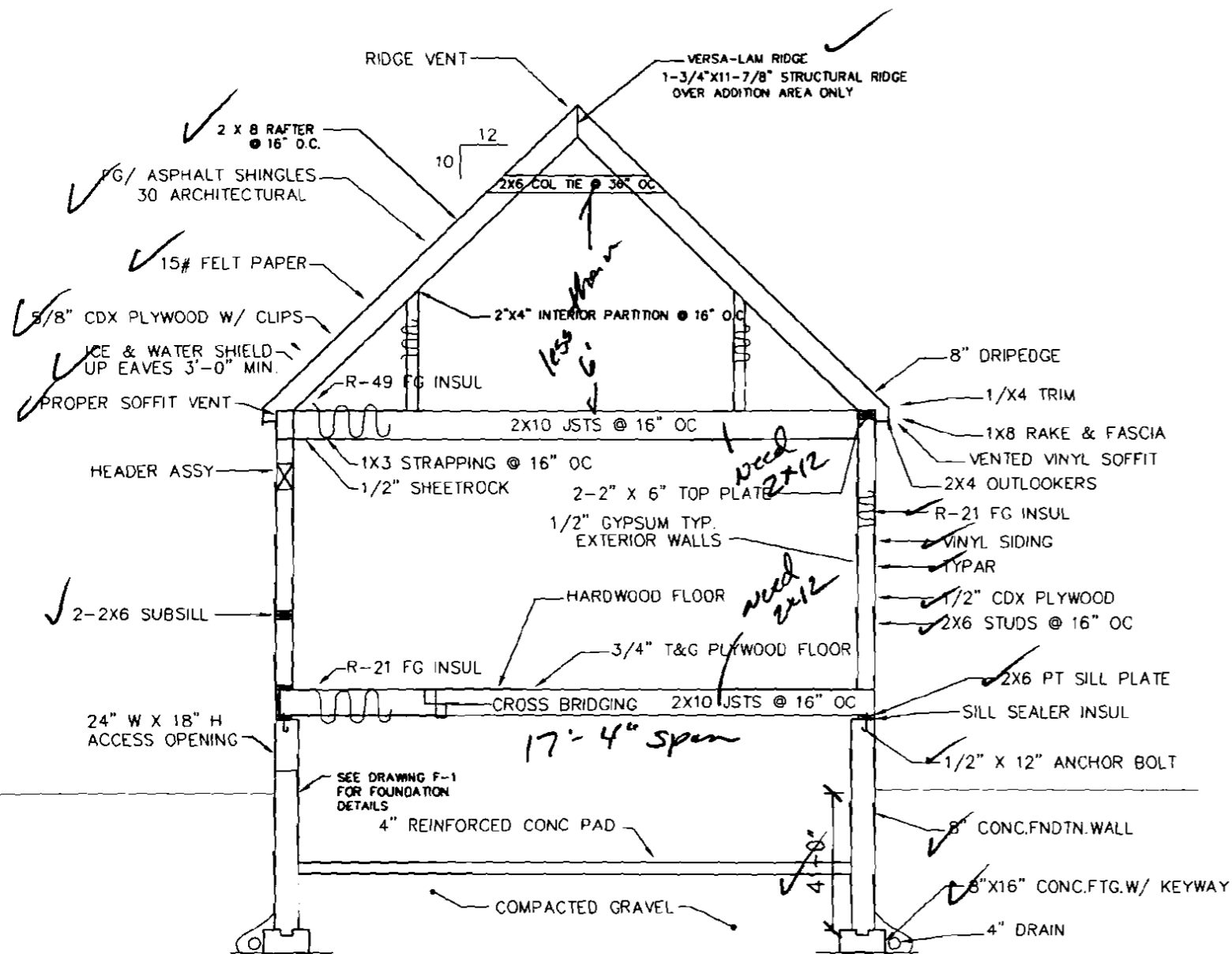
NEW EXISTING  
LEFT SIDE ELEVATION  
 SCALE: 3/8"=1'-0"

GENERAL NOTES:

1. SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

REV	DATE	DESCRIPTION
A	4/15/10	FOR APPROVAL

CLIENT LARRY & LAURA ROBINSON RESIDENCE 46 BROOK RD, PORTLAND, ME		
NEW ADDITION ELEVATIONS		
DRAWN BY: CAC	SCALE AS NOTED	DATE: 4-15-10
DRAWING NUMBER A-4		△ REV



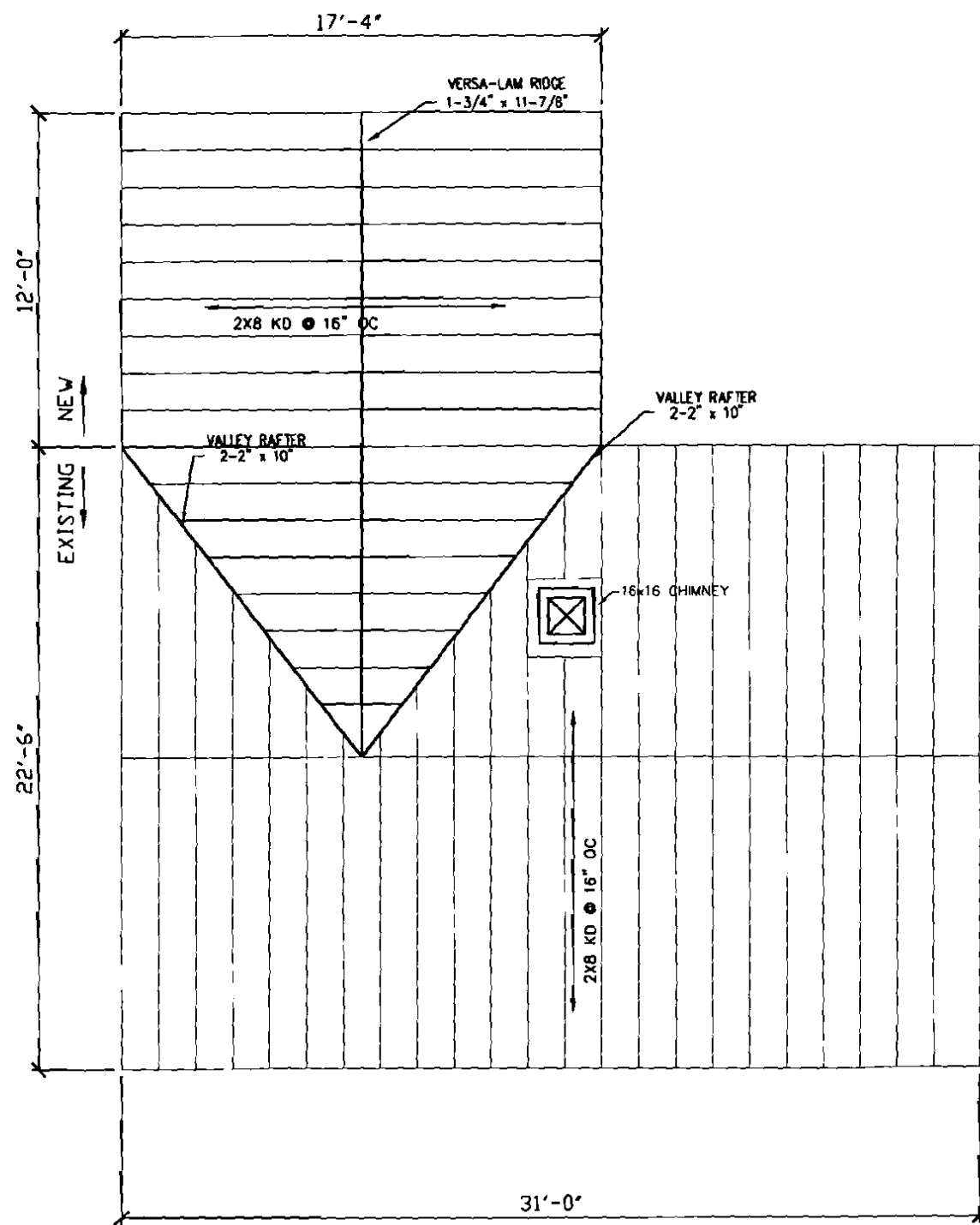
*15# Felt Paper*

HOUSE SECTION PLAN  
SCALE: 1/2"=1'-0"

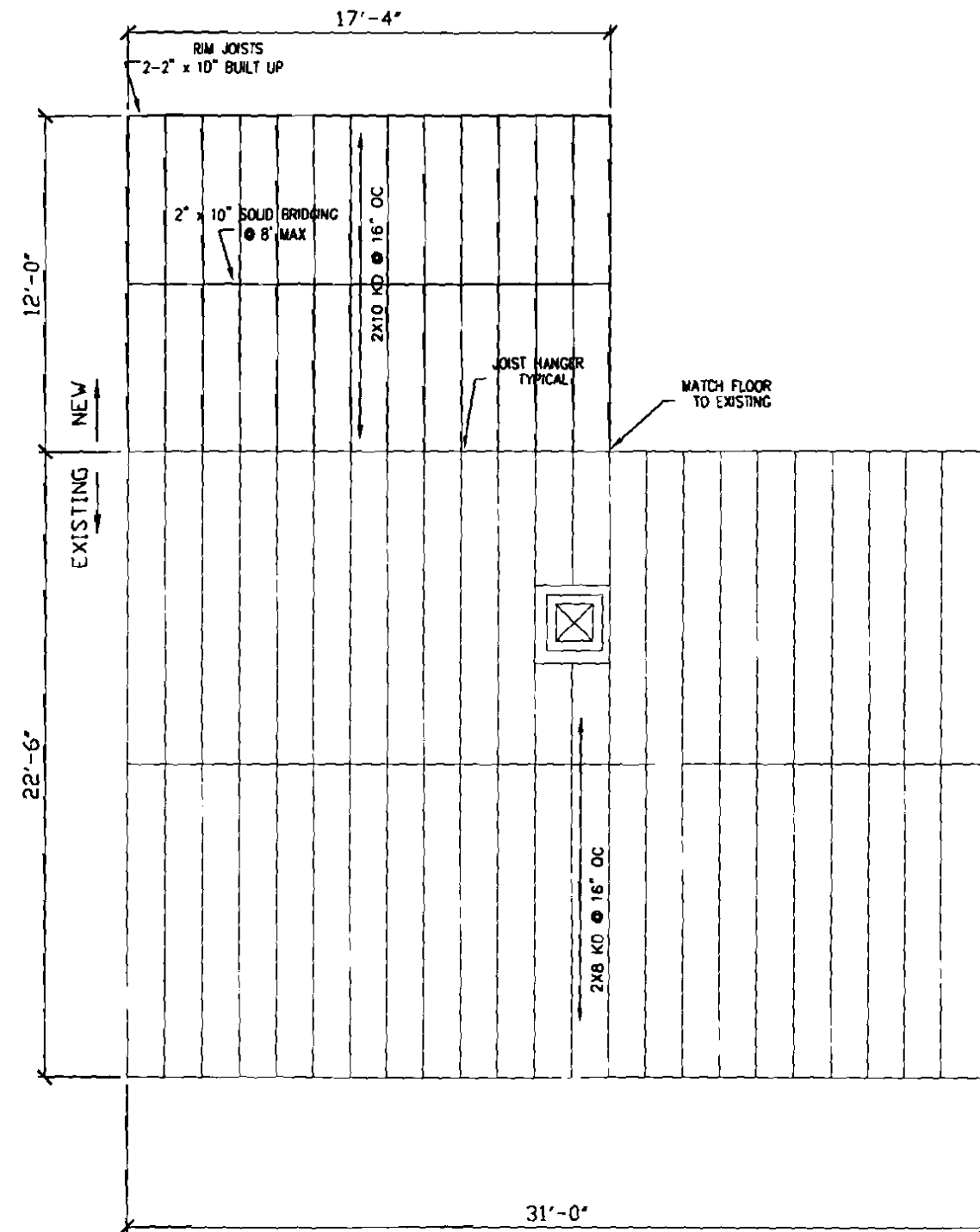
LARRY & LAURA ROBINSON RESIDENCE  
46 BROOK RD, PORTLAND, ME  
NEW ADDITION  
SECTION THRU HOUSE ADDITION

DRAWN BY: CAC	SCALE: AS NOTED	DATE: 4-15-10
DRAWING NUMBER A-5		REV

REV	DATE	DESCRIPTION
A	4/15/10	FOR APPROVAL



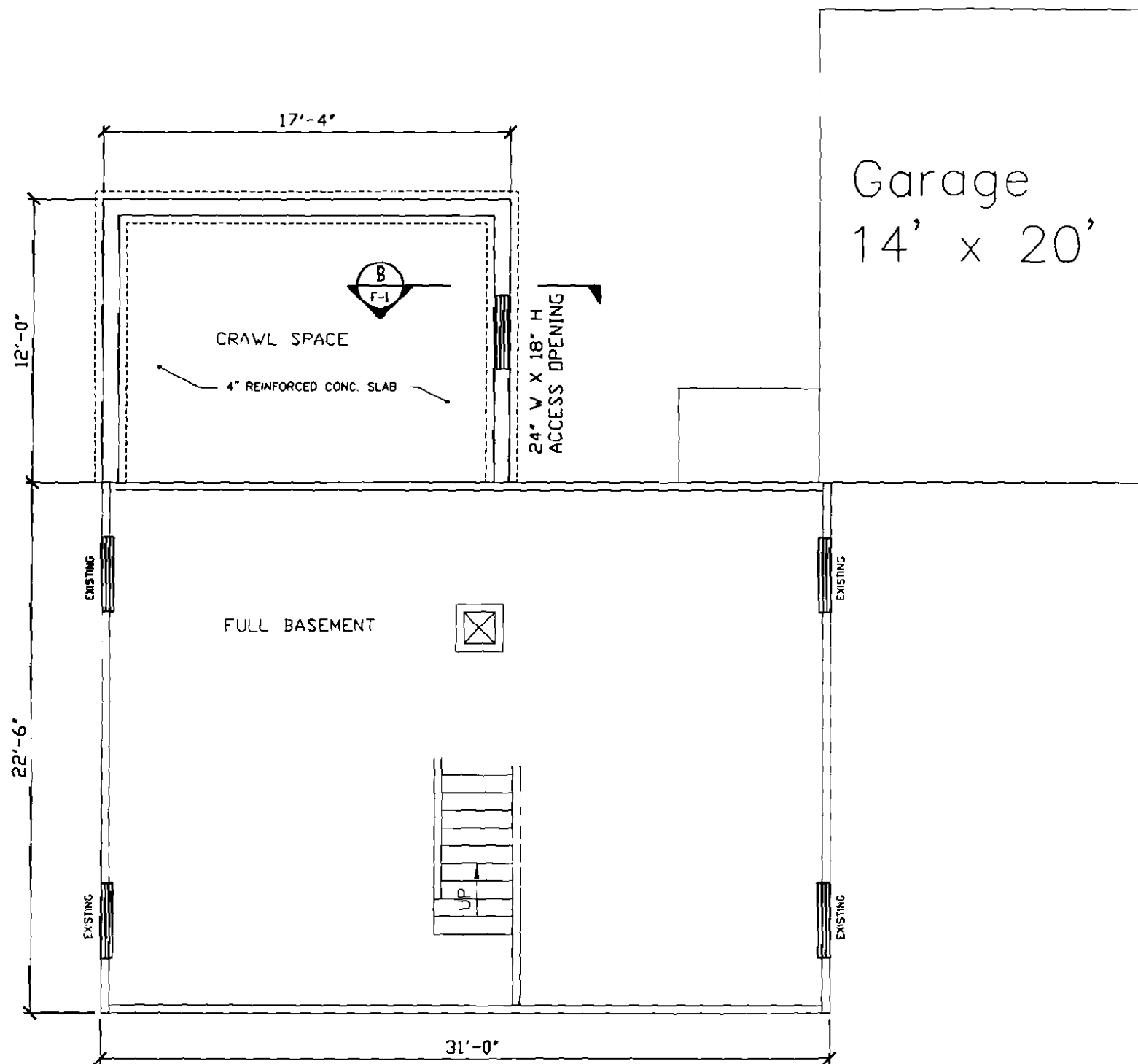
ROOF FRAMING PLAN  
SCALE: 3/8"=1'-0"



FLOOR FRAMING PLAN  
SCALE: 3/8"=1'-0"

REV.	DATE	DESCRIPTION
A	4/15/10	FOR APPROVAL

LARRY & LAURA ROBINSON RESIDENCE 46 BROOK RD. PORTLAND, ME		
NEW ADDITION ROOF & FLOOR FRAMING PLANS		
DRAWN BY: CAC	SCALE: AS NOTED	DATE: 4-15-10
DRAWING NUMBER A-6		REV

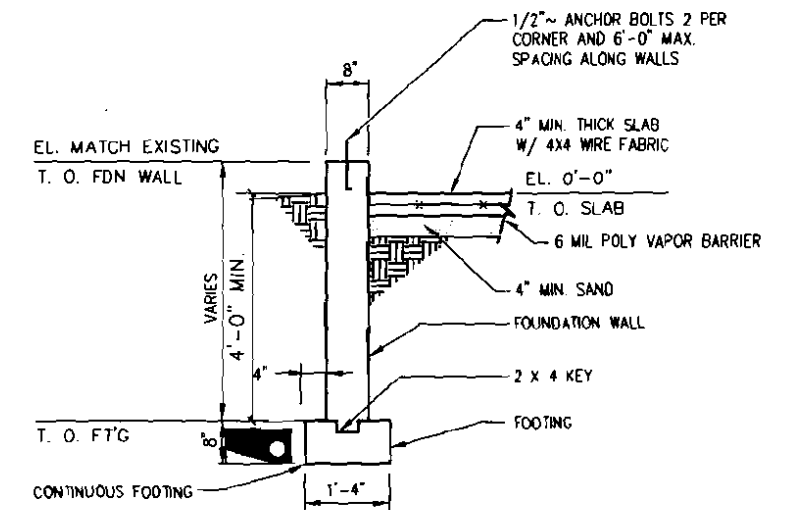


**BASEMENT PLAN**

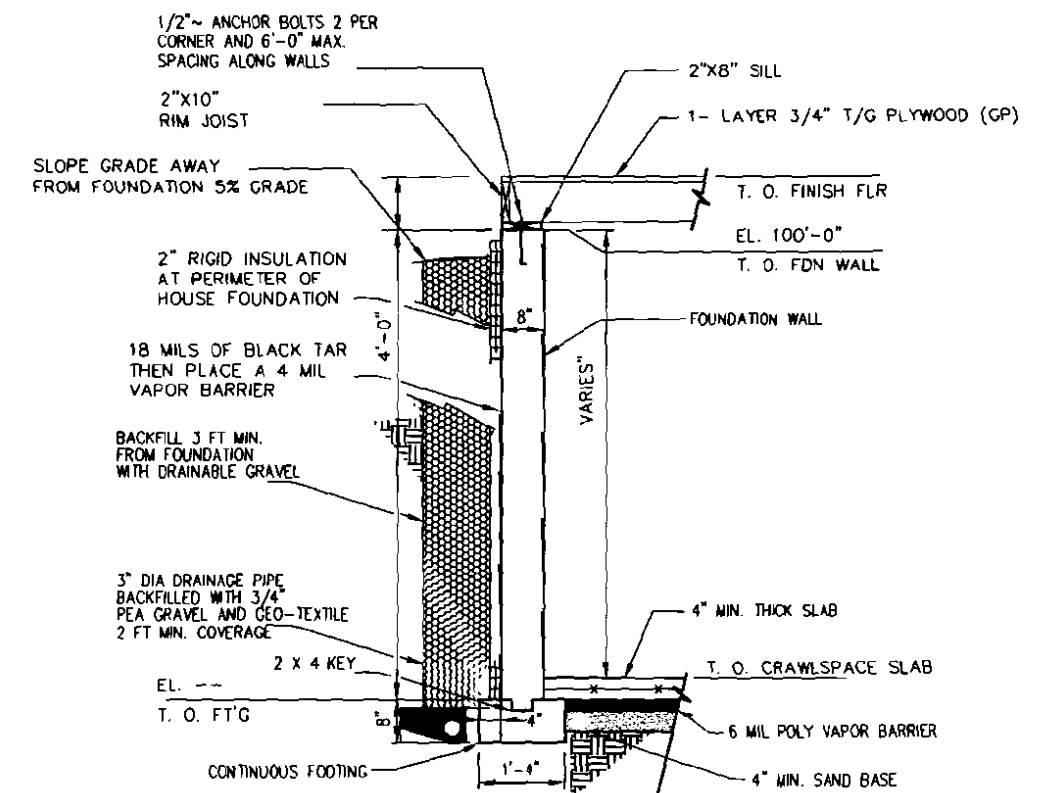
SCALE: 3/8"=1'-0"

**GENERAL NOTES:**

1. SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.



**SECTION A**  
SCALE: NTS



**SECTION B**  
SCALE: NTS

CLIENT **LARRY & LAURA ROBINSON RESIDENCE**  
46 BROOK RD, PORTLAND, ME  
**NEW ADDITION FOUNDATION**

DRAWN BY: CAC SCALE: AS NOTED DATE: 4-15-10

REV.	DATE	DESCRIPTION
A	4/15/10	FOR APPROVAL

DRAWING NUMBER **F-1**



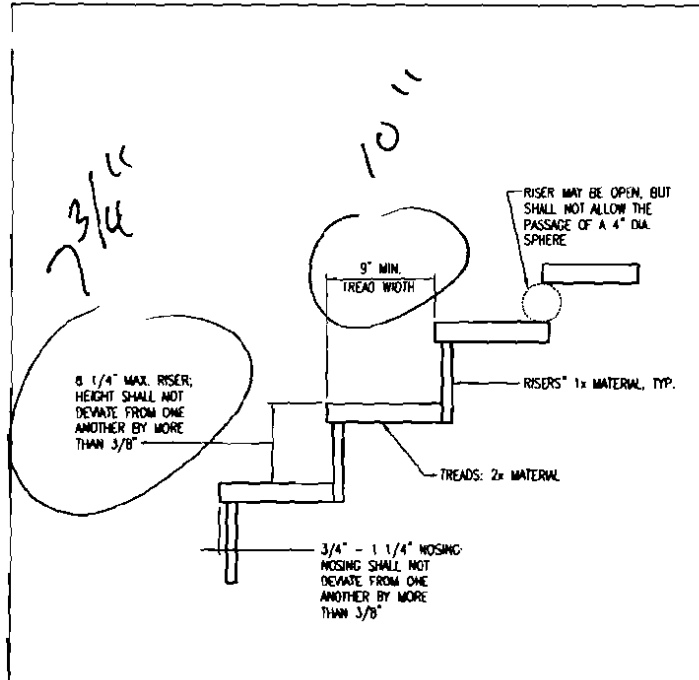


FIGURE 16: TREAD AND RISER DETAIL  
SCALE: 1 1/2"=1'-0"

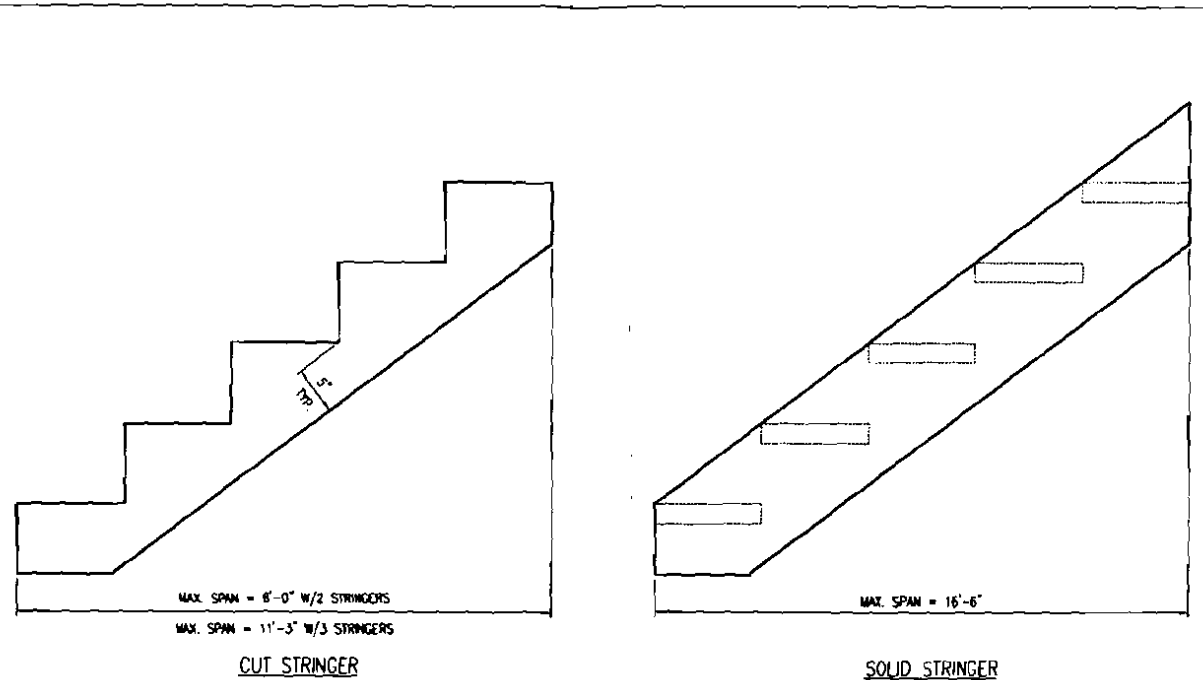


FIGURE 17: STAIR STRINGER REQUIREMENTS  
SCALE: 1 1/2"=1'-0"

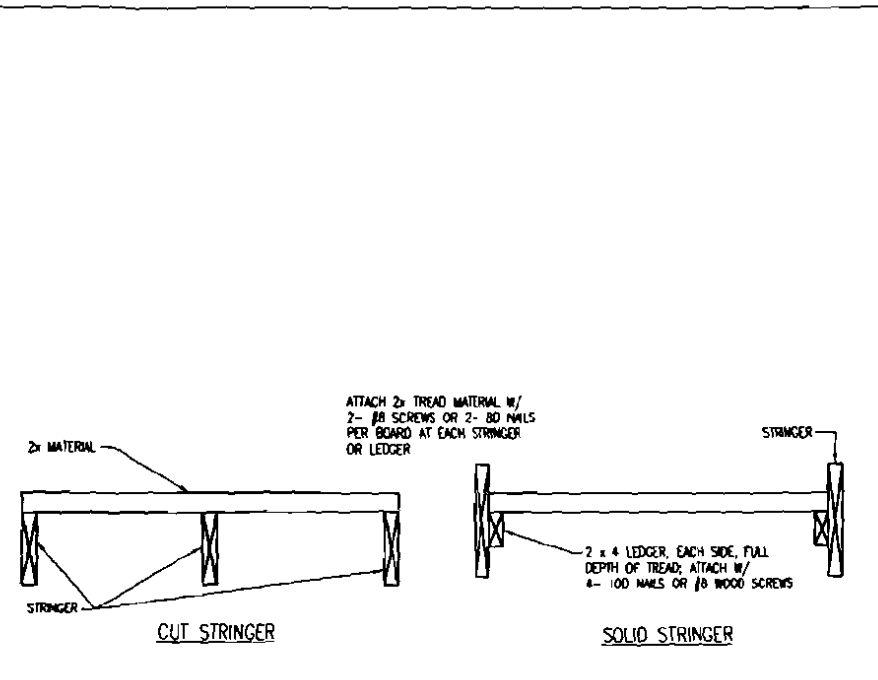


FIGURE 18: TREAD CONNECTION REQUIREMENTS  
SCALE: 1 1/2"=1'-0"

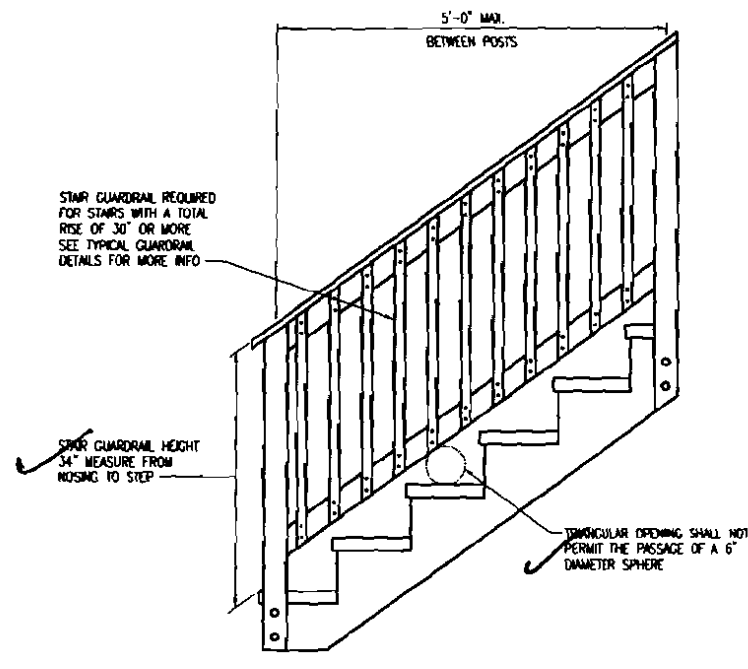


FIGURE 19: STAIR GUARD REQUIREMENTS  
SCALE: 1"=1'-0"

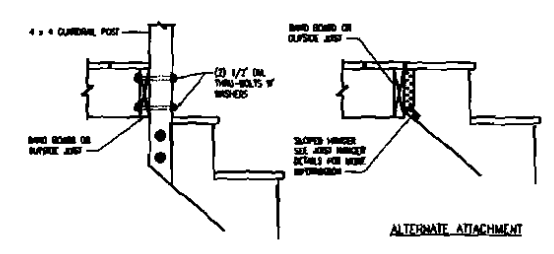


FIGURE 20: STAIR STRINGER CONNECTION DETAIL  
SCALE: 1"=1'-0"

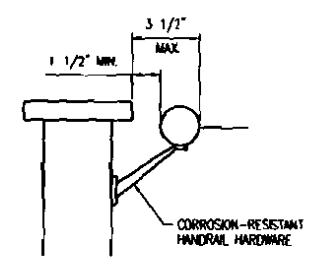


FIGURE 21: HANDRAIL REQUIREMENTS  
SCALE: 1"=1'

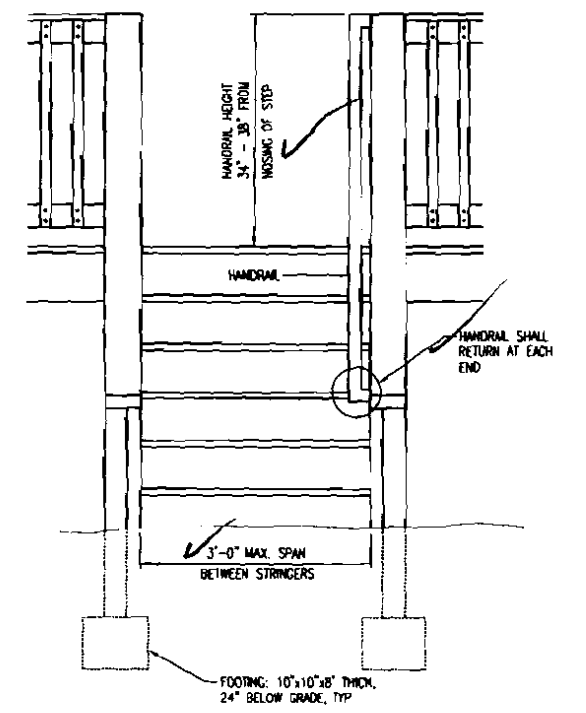


FIGURE 22: MISCELLANEOUS STAIR REQUIREMENTS  
SCALE: 1 1/2"=1'-0"

REV.	DATE	DESCRIPTION
A	4/15/10	FOR APPROVAL

CLIENT: LARRY & LAURA ROBINSON RESIDENCE  
46 BROOK RD, PORTLAND, MAINE

NEW ADDITION  
DECK DETAILS

DRAWN BY: SMS SCALE: AS NOTED DATE: 4-15-10

DRAWING NUMBER: D-3

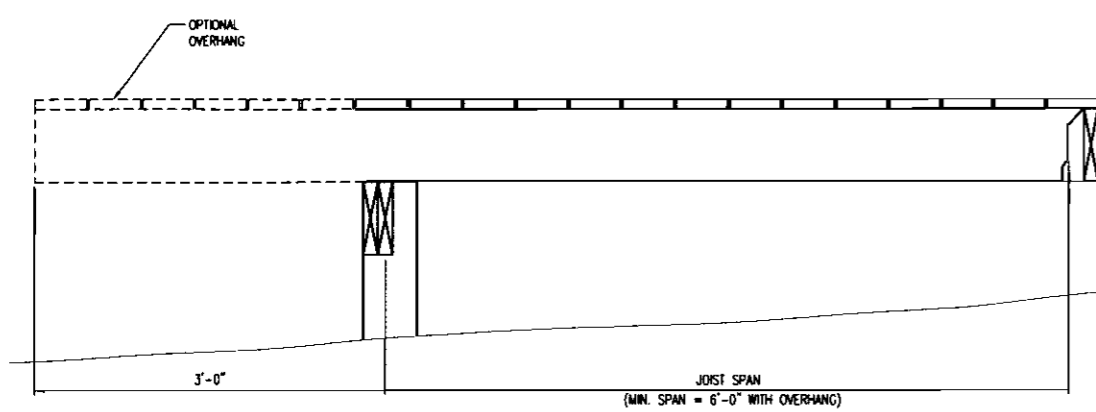


FIGURE 1: JOIST SPAN - DECK ATTACHED AT HOUSE

SCALE: 1 1/2"=1'-0"

TABLE 1: MAXIMUM JOIST SPANS

JOIST SIZE	JOIST SPACING ON CENTER	JOIST SPAN* (DOES NOT INCLUDE OVERHANG)
2x6	16"	9'-4"
2x6	24"	7'-10"
2x8	16"	12'-2"
2x8	24"	10'-1"
2x10	16"	15'-9"
2x10	24"	13'-1"
2x12	16"	18'-9"
2x12	24"	15'-4"

\* SPANS BASED ON 40 PSF LIVE LOAD, 10 PSF DEAD LOAD, SOUTHERN PINE #2, NORMAL LOADING DURATION, WET SERVICE CONDITIONS.

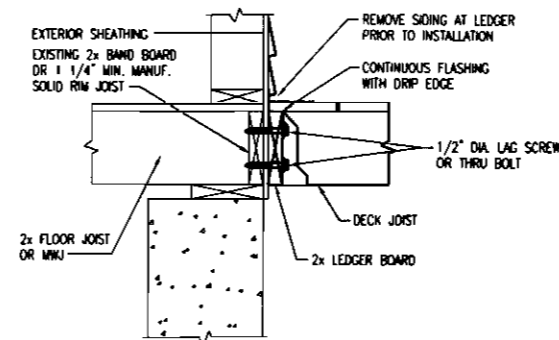


FIGURE 3: ATTACHMENT OF LEDGER BOARD TO BAND BOARD

SCALE: 1 1/2"=1'-0"

GENERAL NOTES

1. ALL LUMBER SHALL BE SOUTHERN PINE, GRADE #2 OR BETTER AND SHALL BE PRESSURE TREATED ACO OR CH-B IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARDS FOR GROUND CONTACT.
2. ALL NAILS SHALL BE SPIRAL OR ANNULAR.
3. ALL SCREWS AND NAIL SHALL BE NOT-DIPPED GALVANIZED OR STAINLESS STEEL.
4. ALL HARDWARE (JOIST HANGER, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL.
5. DECKS CONSTRUCTED ACCORDING TO THESE DRAWINGS ARE NOT APPROVED FOR FUTURE HOT TUB INSTALLATIONS.
6. DECKS SHALL NOT BE ATTACHED TO HOUSE OVERHANGS, BAY WINDOWS, BRICK VENEERS, OR CHIMNEYS.
7. ALL DECKING MATERIAL SHALL BE COMPOSED OF 2x6 OR 5/4 (TINE-QUARTER) BOARD. ATTACH DECKING TO EACH JOIST WITH 2-8D NAILS OR 2-#8 SCREWS. DECKING MAY BE PLACED FROM AN ANGLE PERPENDICULAR TO THE JOISTS TO AN ANGLE OF 45 DEGREES TO THE JOISTS. DECKING MUST HAVE A SPAN LENGTH SUCH THAT EACH BOARD BEARS ON A MINIMUM OF 4 JOISTS.
8. SIDING OR THE EXTERIOR FINISH SYSTEM MUST BE REMOVED PRIOR TO THE INSTALLATION OF THE LEDGER BOARD. FLASHING IS REQUIRED AT ANY LEDGER BOARD CONNECTION TO A WALL OF WOOD FRAMED CONSTRUCTION AND SHALL BE COMPOSED OF COPPER (ATTACHED USING COPPER NAILS), STAINLESS STEEL, UV RESISTANT PLASTIC OR GALVANIZED STEEL COATED WITH 1.85 OZ/SF OF ZINC (G-185 COATING).
8. LAG SCREWS SHALL HAVE A MINIMUM DIAMETER OF 1/2" AND SHALL BE NOT-DIPPED GALVANIZED OR STAINLESS STEEL. EACH LAG SCREW SHALL HAVE LEAD (PILOT) HOLES DRILLED AS FOLLOWS:
  - 1) DRILL A 1/2" DIAMETER HOLE IN THE LEDGER BOARD
  - 2) DRILL A 5/16" DIAMETER HOLE INTO THE SOLID CONNECTION MATERIAL OF THE EXISTING HOUSE. DO NOT DRILL A 1/2" DIAMETER HOLE INTO THE SOLID CONNECTION MATERIAL.

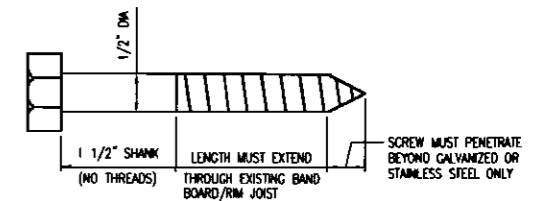


FIGURE 5: LAG SCREW REQUIREMENTS

SCALE: 1" = 1"

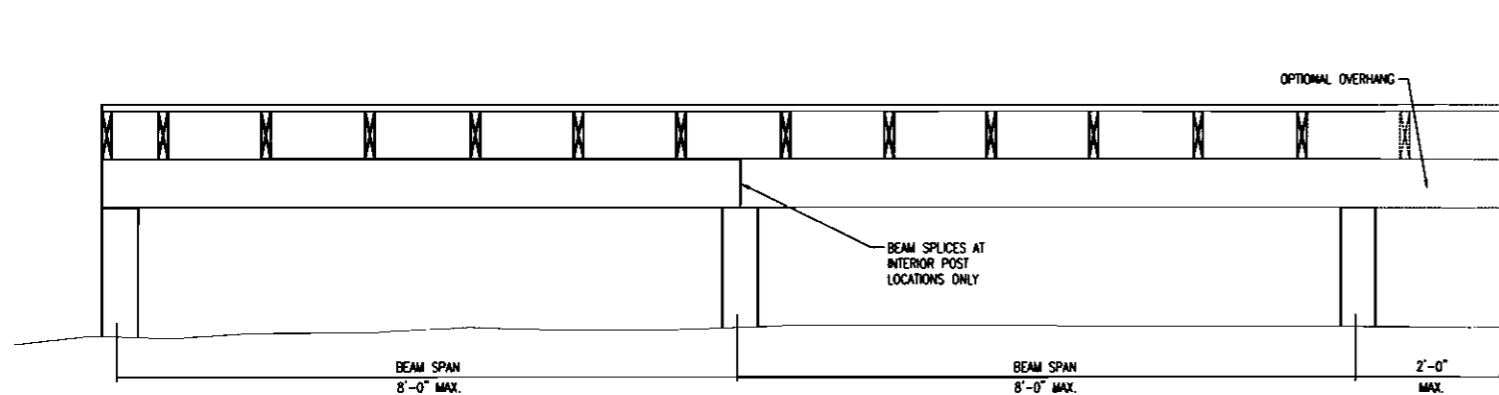


FIGURE 2: BEAM SPAN TYPES

SCALE: 1"=1'-0"

TABLE 2: MAXIMUM BEAM SIZE FOR JOISTS WITH NO OVERHANGS

JOIST SPAN	BEAM SIZE
0 - 6'-8"	(2) 2x6"
8'-8" - 11'-2"	(2) 2x8"
11'-2" - 15'-9"	(2) 2x10"
15'-9" - 18'-9"	(2) 2x12"

\* YOU MAY SUBSTITUTE A LARGER BEAM SIZE FOR THE ONE SHOWN IN THE TABLE. FOR INSTANCE, IF THE TABLE REQUIRES (2) 2x6, YOU MAY SUBSTITUTE A (2) 2x10 OR (2) 2x12.

TABLE 3: MINIMUM BEAM SIZE FOR JOISTS WITH OVERHANGS

JOIST SPAN	BEAM SIZE
0 - 6'-0"	(2) 2x8"
8'-0" - 12'-8"	(2) 2x10"
12'-8" - 18'-9"	(2) 2x12"

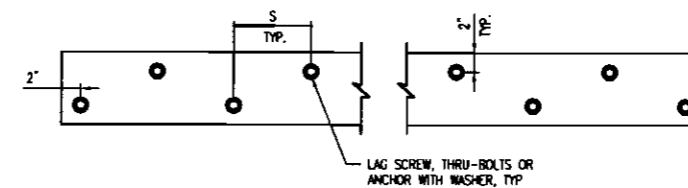


FIGURE 4: LEDGER BOARD FASTENER SPACING AND CLEARANCES

SCALE: 1 1/2"=1'-0"

JOIST SPAN	S (SPACING), ON CENTER
0 - 8'	10"
8' - 10'	8"
10' - 14'	6"
14' - 18'	5"
GREATER THAN 18'	4"

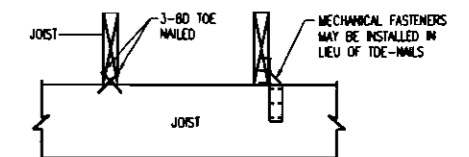


FIGURE 6: JOIST-TO-BEAM DETAIL

SCALE: 1 1/2" = 1'-0"

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DRAWING NUMBER D-1		REV	

REV.	DATE	DESCRIPTION
A	4/15/10	FOR APPROVAL



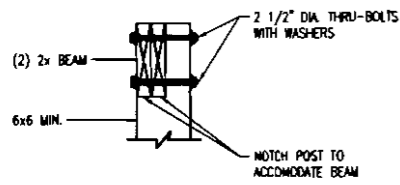


FIGURE 9: POST-TO-BEAM REQUIREMENTS  
SCALE: 1 1/2"=1'-0"

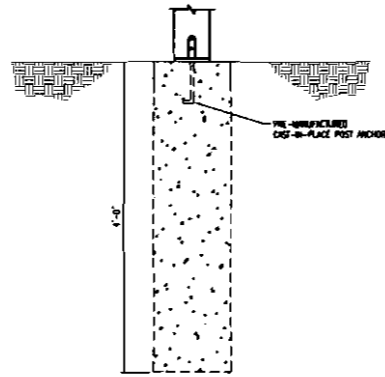


FIGURE 10: TYPICAL FOOTING DETAILS  
SCALE: 1 1/2"=1'-0"

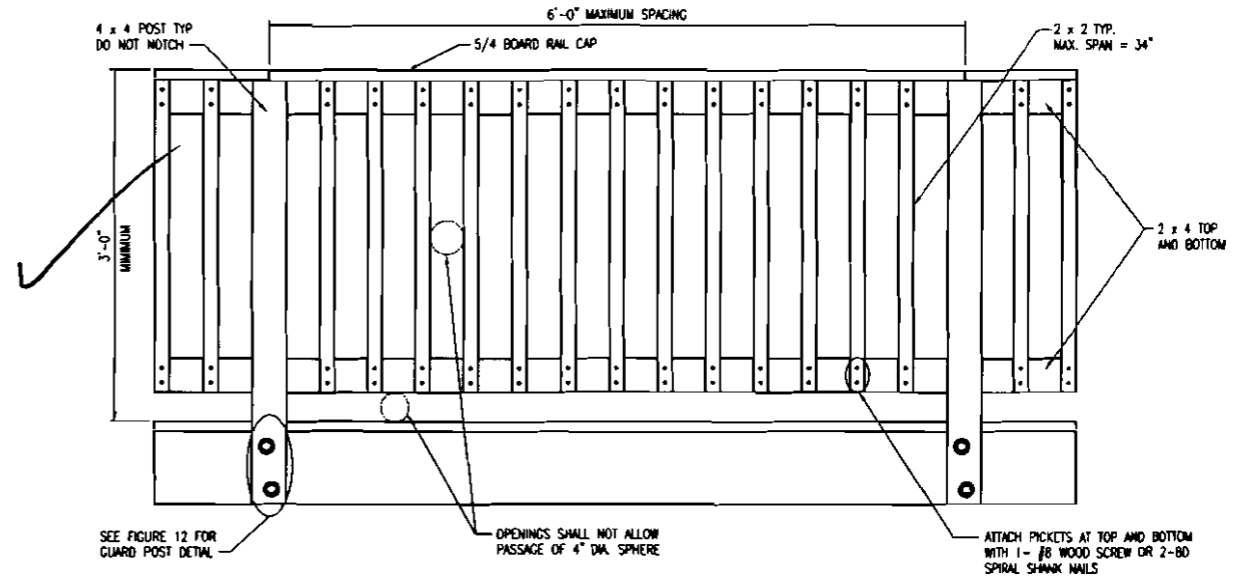


FIGURE 11: TYPICAL RAILING DETAIL  
SCALE: 1 1/2"=1'-0"

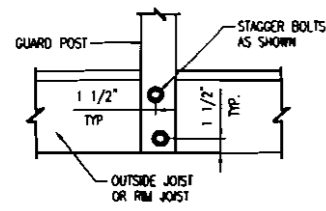


FIGURE 12: GUARD POST ATTACHMENT DETAIL  
SCALE: 1 1/2"=1'-0"

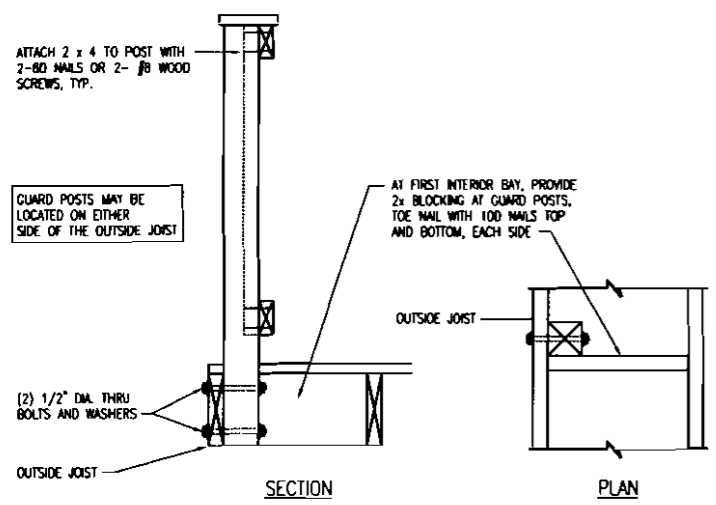


FIGURE 13: GUARD POST TO OUTSIDE JOIST DETAIL  
SCALE: 1 1/2"=1'-0"

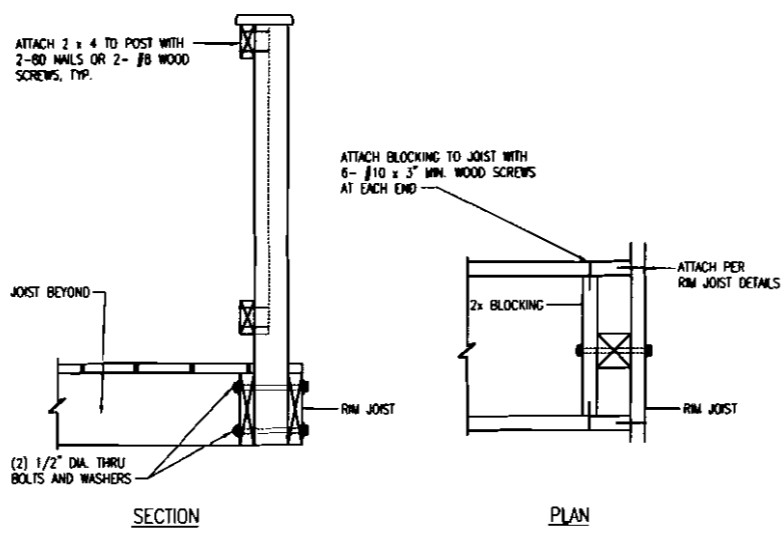


FIGURE 14: GUARD POST TO RIM JOIST DETAIL - OPTION 1  
SCALE: 1 1/2"=1'-0"

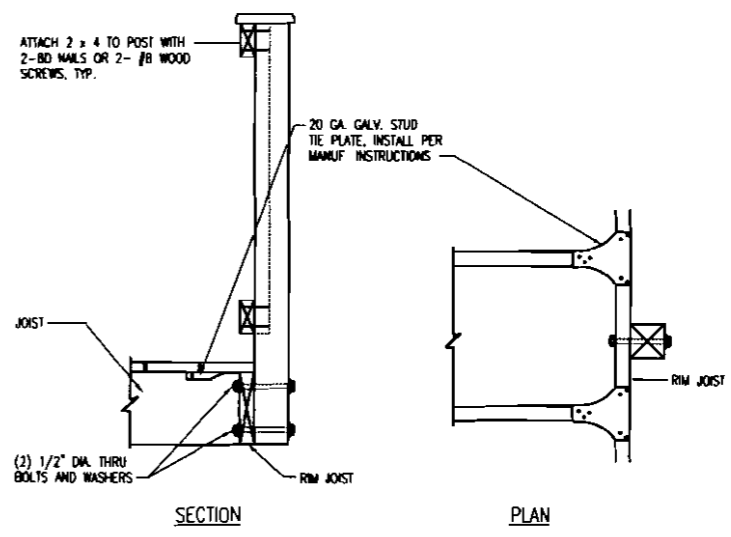


FIGURE 15: GUARD POST TO RIM JOIST DETAIL - OPTION 2  
SCALE: 1 1/2"=1'-0"

REV	DATE	DESCRIPTION
A	4/15/10	FOR APPROVAL

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46 BROOK RD, PORTLAND, MAINE

**NEW ADDITION DECK DETAILS**

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