

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** IATION

Permit Number: 081332

This is to certify that ROBINSON LAWRENCE J & MURA A
 has permission to Amendment to Permit#08-1022 place a ge group pool in a different location
 AT 46 BROOK RD CE 375 C012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notation of inspection must be given and written permission procured before this building or part thereof is lath or other closed-in. 2 HO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name

Thomas H. Markley 10/27/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1332	Issue Date:	CBL: 375 C012001
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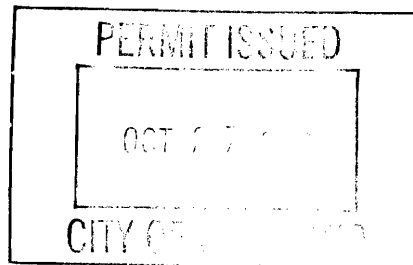
Location of Construction: 46 BROOK RD	Owner Name: ROBINSON LAWRENCE J & LA	Owner Address: 46 BROOK RD	Phone: 207-798-2136
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Amendment to Permit#08-1022, to place above ground pool in different location <i>37' diameter.</i>	Permit Fee: \$30.00	Cost of Work: \$0.00	CEO District: 5
Proposed Project Description: Amendment to Permit#08-1022, to place above ground pool in different location		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB <i>IRC 2003</i>	
		Signature: _____		Signature: <i>Am 10/27/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 10/20/2008	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>back of lot is located in 75' stream protection zone - pool is located beyond the 75' from highway.</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/23/08</i> / <i>AKA</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>AKA</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

11/14/08 - Checked setbacks for pool placement -
OK - Will put pool in Springtime.

TAMM



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>46 Brook Rd Portland ME</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>375 00200 1</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>LAWRENCE J ROBINSON</u> Address <u>46 Brook Rd</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207 798 2136</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: <u>\$36,000⁰⁰</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>single</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>→ installation of 27' dia. above ground pool moved from originally permitted location</u>		
Contractor's name: _____ Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 20 OCT 08

This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1332	Date Applied For: 10/20/2008	CBL: 375 C012001
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Location of Construction: 46 BROOK RD	Owner Name: ROBINSON LAWRENCE J & LAU	Owner Address: 46 BROOK RD	Phone: 207-798-2136
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family Home - Amendment to Permit#08-1022, to place above ground pool (27' diameter) in different location	Proposed Project Description: Amendment to Permit#08-1022, to place above ground pool (27' diameter) in different location
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/23/2008

Note:**Ok to Issue:**

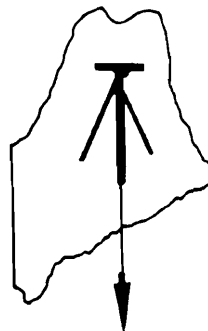
- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 10/27/2008

Note:**Ok to Issue:**

- 1) Pool and barrier installation shall meet the code requirements in Appendix G of the IRC 2003
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

WAYNE



WOOD & co.

PROFESSIONAL LAND SURVEYING
and LAND PLANNING
30 Wood Drive, Gray, Maine 04039

WETLANDS DELINEATION
Telephone (207) 657-3330
Fax (207) 657-3344

October 15, 2008

Larry Robinson
46 Brook Road
Portland, ME 04103

Dear Mr. Robinson:

I am writing this letter regarding the proposed above ground pool to be located at the above referenced property as shown on your sketch plan dated August 3, 2008.

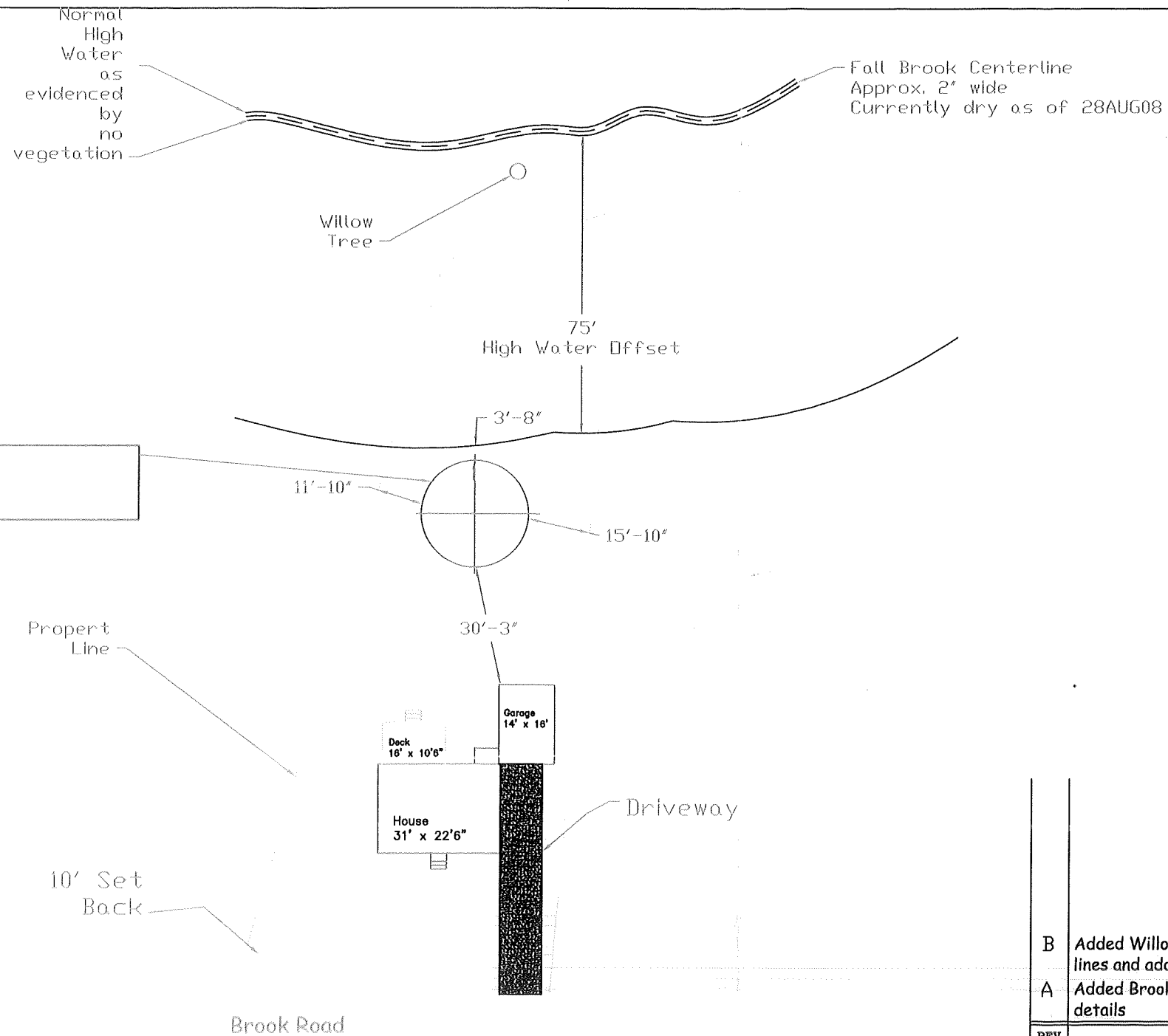
On October 14, 2008 we performed a field check of the proposed pool and the normal high water line of "Fall Brook" and hereby certify that the location you are planning for the pool is 80 feet from the nearest point of the brook. Since City of Portland zoning requires a minimum of 75 feet from normal high water, you are easily in compliance.

If you have any questions, or if I can be of further assistance, please do not hesitate to contact me.

Sincerely,

Wayne T. Wood, PLS #1328
WAYNE T. WOOD & CO.

28089-L1



B	Added Willow Tree, Normal High Water lines and additional dimensions	LR	29AUG08
A	Added Brook Location and dimension details	LR	28AUG08

REV.	DESCRIPTION	BY	DATE
<i>Maine</i>			
<i>Manufacturing Extention Partnership</i>			
COMPANY <i>46 Brook Road</i>			
PROJECT NAME <i>Lot Layout</i>			
DRAWN BY <i>Larry Robinson</i>		DATE <i>03 AUG08</i> 1/32"=1'	
CONTRACT Number <i>1</i>	SHEET NO. of	DWG. NO.	REV. NO.

DATE: 03 AUG 08
 DRAWN BY: LARRY ROBINSON
 CHECKED BY: LARRY ROBINSON

