

375-A-026

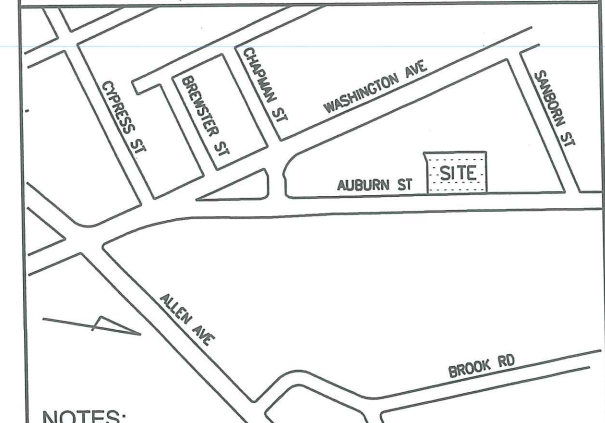
74-90 Auburn Street, Portland, ME

Auburn Street Mobil

Alliance Energy Corp.

36 East Industrial Road, Branford, CT 06405

LOCUS MAP (NOT TO SCALE):



NOTES:

1. THE SITE IS 74-90 AUBURN ST. (CALLED #84) - 375-A-036 - AND IS LOCATED IN THE B1 NEIGHBORHOOD BUSINESS ZONE.
 2. THE SITE AREA IS 28,111 SQ. FT.
 3. SETBACKS ARE AS FOLLOWS:
FRONT YARD (MAXIMUM): 10 FT.
SIDE YARD: NONE
REAR YARD: MIN. 20 FT. WHEN ABUTTING A RESIDENTIAL ZONE
MINIMUM LOT SIZE: NONE
MINIMUM FRONTAGE: 50 FT.
 4. THERE ARE NO WETLANDS OR WATERCOURSES ON THE SITE.
 5. THE ENTIRE SITE IS WITHIN FLOOD ZONE C (AREAS OF MINIMAL FLOODING) ACCORDING TO FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL #230051-000B, DATED JULY 1997.
 6. EXISTING CONDITIONS IN GRAY SCALE.
 7. SEWER, SIDEWALK, AND CURBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF PORTLAND, MAINE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES, MARCH 2000 OR CURRENT VERSION.
 8. HANDICAP ACCESS SHALL BE IN ACCORDANCE WITH ADA SPECIFICATIONS.
 9. ALL PARKING STALLS SHALL BE 9'-0" IN WIDTH AND 19'-0" IN DEPTH. AISLE WIDTH SHALL BE 24 FT.
 10. LOCATION & ELEVATION OF EXISTING BUILDING SEWER AND WATER SERVICE TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 11. ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM THE REFERENCE PLAN LISTED BELOW. THERE IS NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THERE IS NO WARRANTY THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATIONS SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND TAKE SUCH MEASURES AS CONSIDERED PRUDENT TO PROTECT SUCH UTILITIES DURING AND AFTER CONSTRUCTION OF THE WORK. CALL 1-888-DIGSAFE PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
 12. NEW PAVEMENT SHALL BE COMPOSED OF:
1 1/2" HMA PAVEMENT SURFACE COURSE (MDOT GRADE 'C')
2" HMA PAVEMENT BASE COURSE (MDOT GRADE 'B')
3" BASE COURSE (MDOT 703.06(A) TYPE 'A')
15" AGGREGATE SUBBASE (MDOT 703.06(B) TYPE 'D')
- SUBGRADE SHALL BE LEVELED AND COMPACTED PRIOR TO CONSTRUCTION OF PAVEMENT. AGGREGATE LAYERS SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 95% MAXIMUM DRY DENSITY (AASHTO T160).
13. THE CONTRACTOR SHALL INFORM THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS PRIOR TO COMMENCING THE WORK.
 14. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS AND DETAILS-CURRENT EDITION.

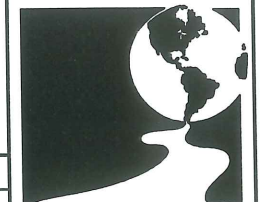
REFERENCE:

LAND TITLE SURVEY AT SITE #17247, MADE FOR EXXON MOBIL OIL CORP., BY OWEN HASKELL, INC., DATED OCTOBER 25, 2004, AND UPDATED BY ST. GERMAIN AUGUST 9, 2005.

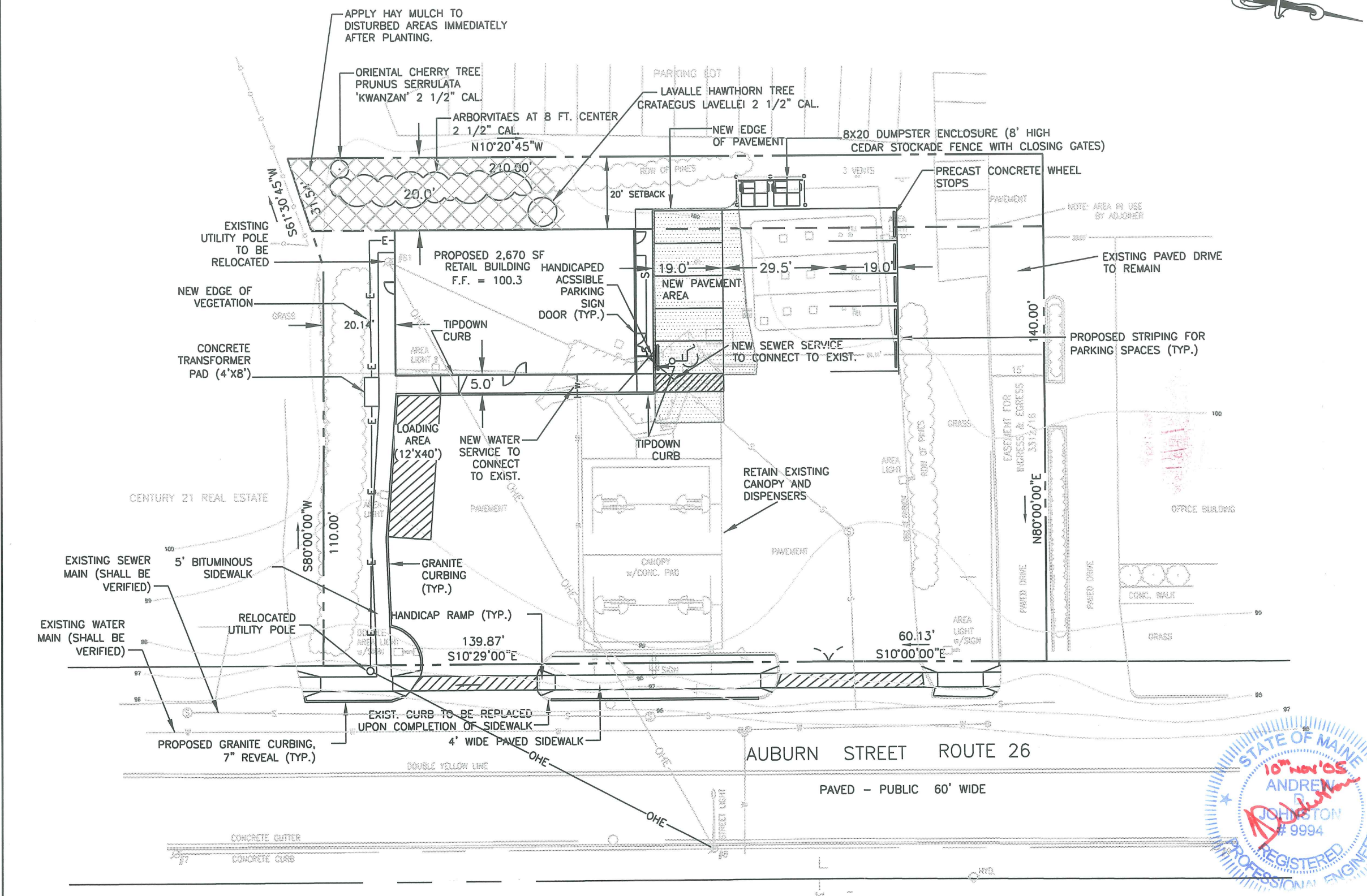
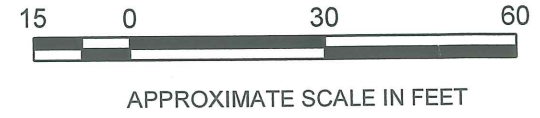
NOT FOR CONSTRUCTION

SITE PLAN
PROPOSED RE-DEVELOPMENT
AUBURN STREET MOBIL
84 AUBURN STREET
PORTLAND, MAINE

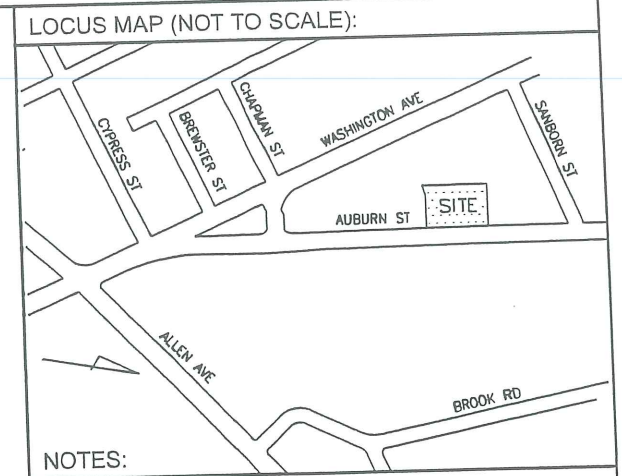
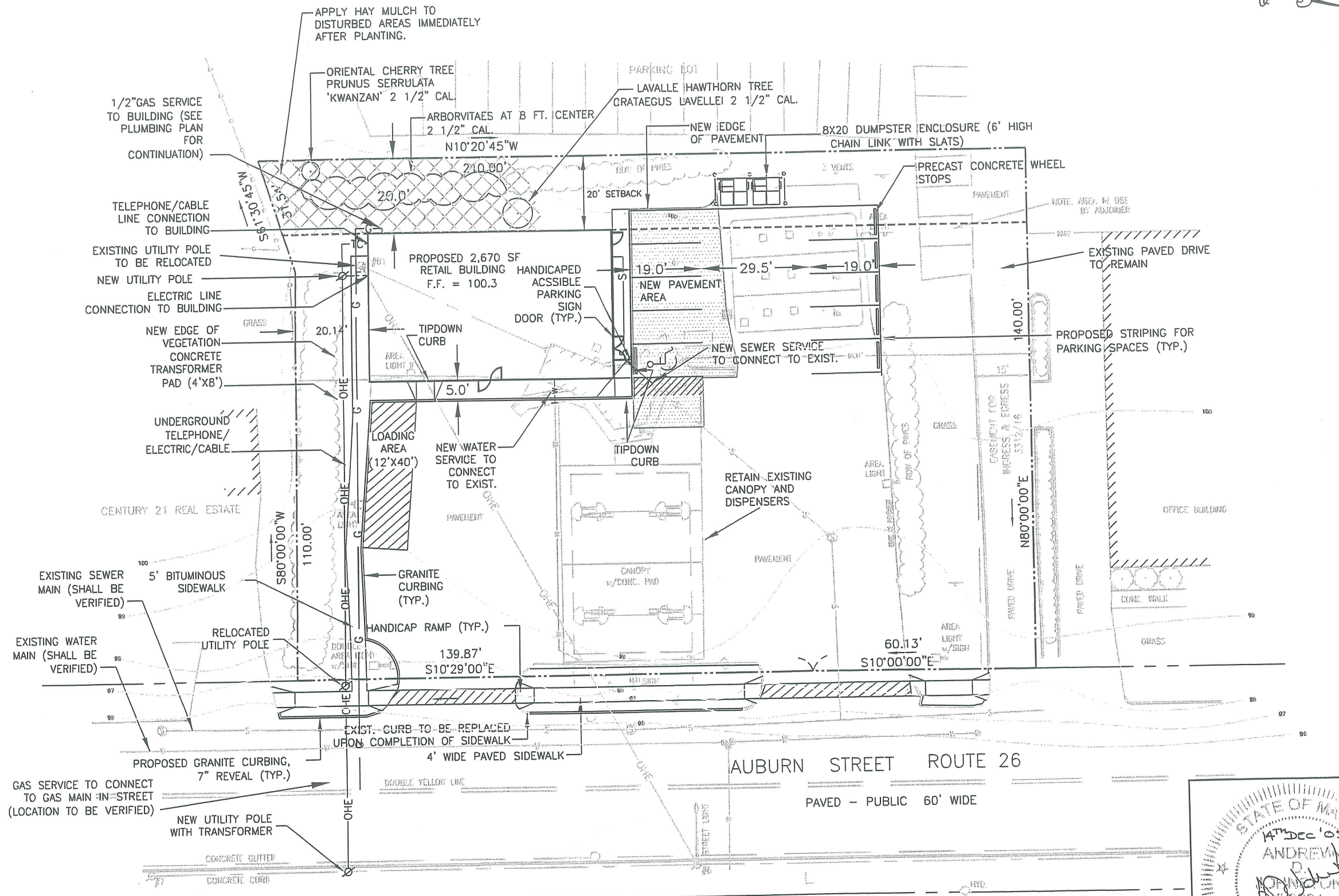
PREPARED FOR
ALLIANCE ENERGY CORP.
36 EAST INDUSTRIAL ROAD
BRANFORD, CT 06405



PROJECT: 2627.5	DATE: 10/05/05
SCALE: 1" = 30'	FILE: POST
ST. GERMAIN & ASSOCIATES, INC. 846 MAIN STREET, SUITE 3 WESTBROOK, MAINE 04092 TEL: (207) 591-7000 FAX: (207) 591-7329 EMAIL: INFO@STGERMAIN.COM	



REV NO.	REVISION DESCRIPTION	DATE	DRAWN	CHECKED
1	REVISED	11/04/05	RWP	



- NOTES:**
1. THE SITE IS 74-90 AUBURN ST. (CALLED #84) - 375-A-036 - AND IS LOCATED IN THE B1 NEIGHBORHOOD BUSINESS ZONE.
 2. THE SITE AREA IS 28,111 SQ. FT.
 3. SETBACKS ARE AS FOLLOWS:
FRONT YARD (MAXIMUM): 10 FT.
SIDE YARD: NONE
REAR YARD: MIN. 20 FT. WHEN ABUTTING A RESIDENTIAL ZONE
MINIMUM LOT SIZE: NONE
MINIMUM FRONTAGE: 50 FT.
 4. THERE ARE NO WETLANDS OR WATERCOURSES ON THE SITE.
 5. THE ENTIRE SITE IS WITHIN FLOOD ZONE C (AREAS OF MINIMAL FLOODING) ACCORDING TO FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL #230051-0008, DATED JULY 1997.
 6. EXISTING CONDITIONS IN GRAY SCALE.
 7. SEWER, SIDEWALK, AND CURBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF PORTLAND, MAINE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES, MARCH 2000 OR CURRENT VERSION.
 8. HANDICAP ACCESS SHALL BE IN ACCORDANCE WITH ADA SPECIFICATIONS.
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 12. NEW PAVEMENT SHALL BE COMPOSED OF:
1 1/2" HMA PAVEMENT SURFACE COURSE (MDOT GRADE 'C')
2" HMA PAVEMENT BASE COURSE (MDOT GRADE 'B')
3" BASE COURSE (MDOT 703.06(A) TYPE 'A')
15" AGGREGATE SUBBASE (MDOT 703.06(B) TYPE 'D')
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 13. THE CONTRACTOR SHALL INFORM THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS PRIOR TO COMMENCING THE WORK.
 14. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS AND DETAILS-CURRENT EDITION.

REFERENCE:

LAND TITLE SURVEY AT SITE #17247, MADE FOR EXXON MOBIL OIL CORP., BY OWEN HASKELL INC., DATED OCTOBER 25, 2004, AND UPDATED BY ST. GERMAIN AUGUST 9, 2005.

APPROVED SITE PLAN
FOR CONSTRUCTION
Subject to all Conditions
Date of Approval: 12/17/05

C-1

PROPOSED RE-DEVELOPMENT

AUBURN STREET MOBIL
84 AUBURN STREET
PORTLAND, MAINE

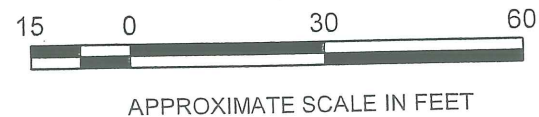
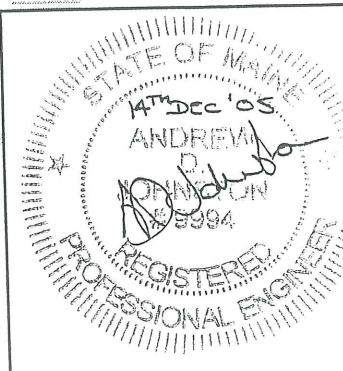
PREPARED FOR

ALLIANCE ENERGY CORP.
36 EAST INDUSTRIAL ROAD
BRANFORD, CT 06405

PROJECT: 2627.5 DATE: 12/12/05

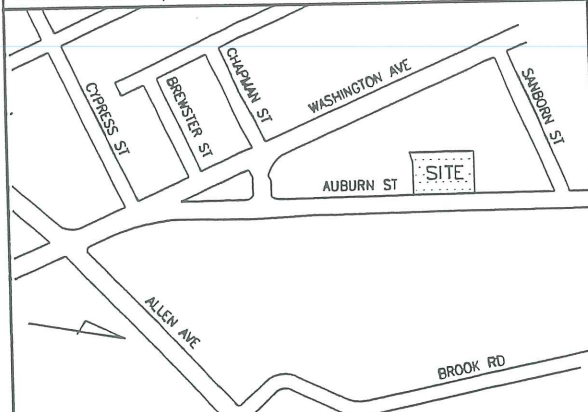
SCALE: 1" = 30' FILE: POST

ST.GERMAIN & ASSOCIATES, INC.
846 MAIN STREET, SUITE 3
WESTBROOK, MAINE 04092
TEL: (207) 591-7000 FAX: (207) 591-7329
EMAIL: INFO@STGERMAIN.COM



REV NO.	REVISION DESCRIPTION	DATE	DRAWN	CHECKED

LOCUS MAP (NOT TO SCALE):



NOTES:

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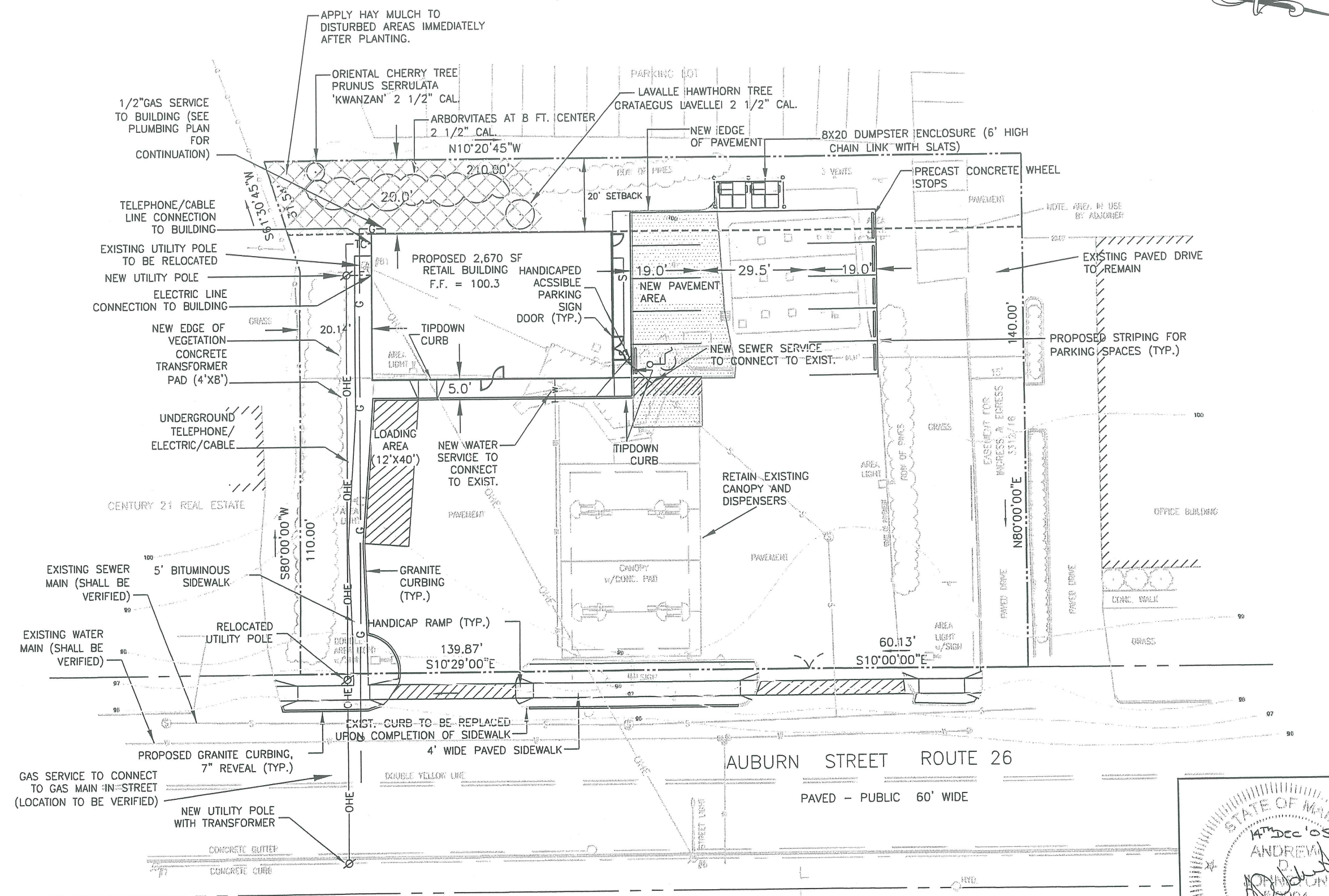
LAND TITLE SURVEY AT SITE #17247, MADE FOR EXXON MOBIL OIL CORP., BY OWEN HASKELL, INC., DATED OCTOBER 25, 2004, AND UPDATED BY ST. GERMAIN AUGUST 9, 2005.

CITY OF PORTLAND
FOR CONSTRUCTION
APPROVED SITE PLAN

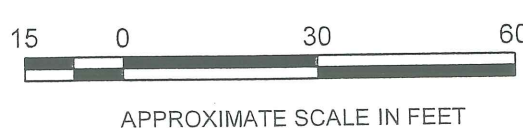
SITE PLAN
PROPOSED RE-DEVELOPMENT
AUBURN STREET MOBIL
84 AUBURN STREET
PORTLAND, MAINE
Date of Approval: 12/17/05

PREPARED FOR
ALLIANCE ENERGY CORP.
36 EAST INDUSTRIAL ROAD
BRANFORD, CT 06405

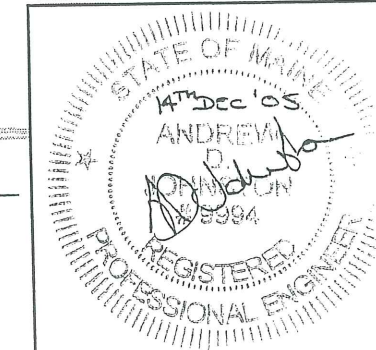
PROJECT: 2627.5 DATE: 12/12/05
SCALE: 1" = 30' FILE: POST
ST. GERMAIN & ASSOCIATES, INC.
846 MAIN STREET, SUITE 3
WESTBROOK, MAINE 04092
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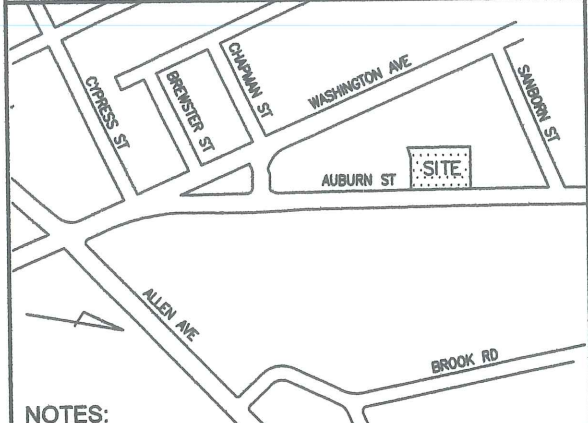
REV NO.	REVISION DESCRIPTION	DATE	DRAWN	CHECKED



APPROXIMATE SCALE IN FEET



LOCUS MAP (NOT TO SCALE):



NOTES:

1. THE SITE IS 74-60 AUBURN ST. (CALLED #84) - 375-A-036 - AND IS LOCATED IN THE B1 NEIGHBORHOOD BUSINESS ZONE.
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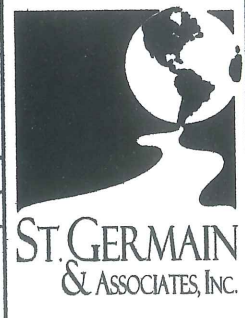
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NOT FOR CONSTRUCTION

**SITE PLAN
PROPOSED RE-DEVELOPMENT
AUBURN STREET MOBIL
84 AUBURN STREET
PORTLAND, MAINE**

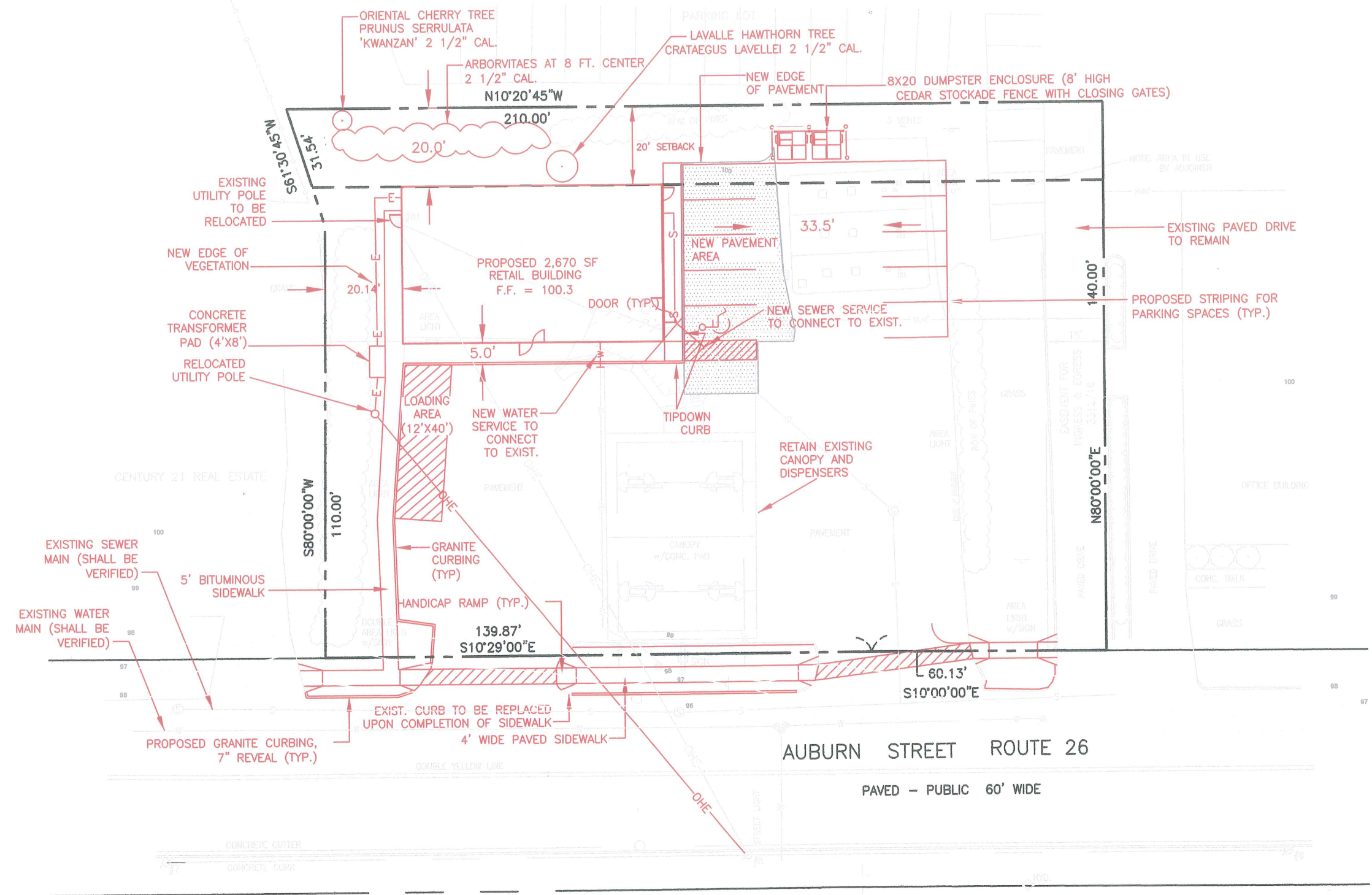
PREPARED FOR
**ALLIANCE ENERGY CORP.
36 EAST INDUSTRIAL ROAD
BRANFORD, CT 06405**

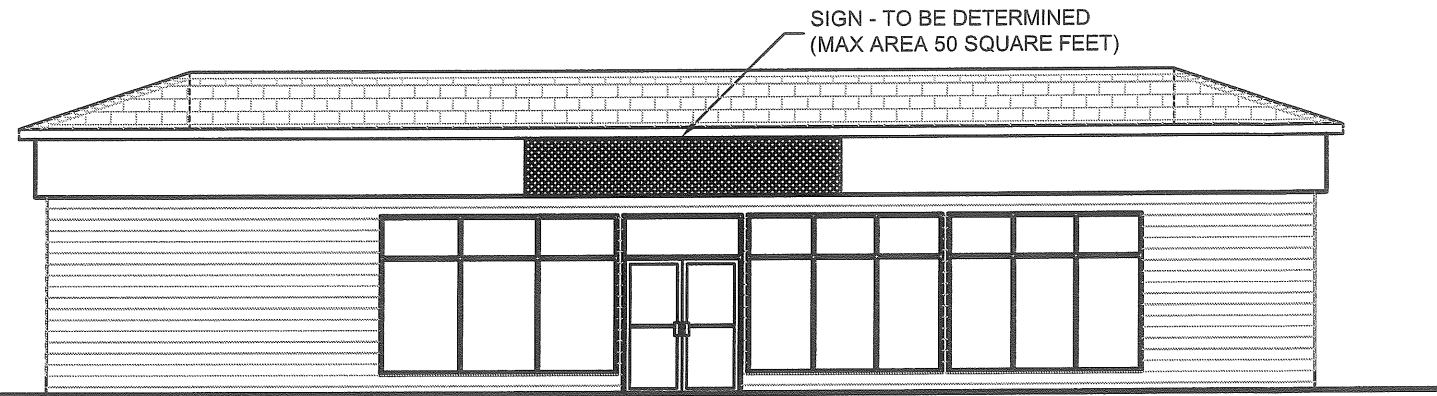


PROJECT: 2627.5 DATE: 09/09/05
SCALE: 1" = 30' FILE: POST
ST. GERMAIN & ASSOCIATES, INC.
846 MAIN STREET, SUITE 3
WESTBROOK, MAINE 04092
TEL: (207) 591-7000 FAX: (207) 591-7329
EMAIL: INFO@STGERMAIN.COM

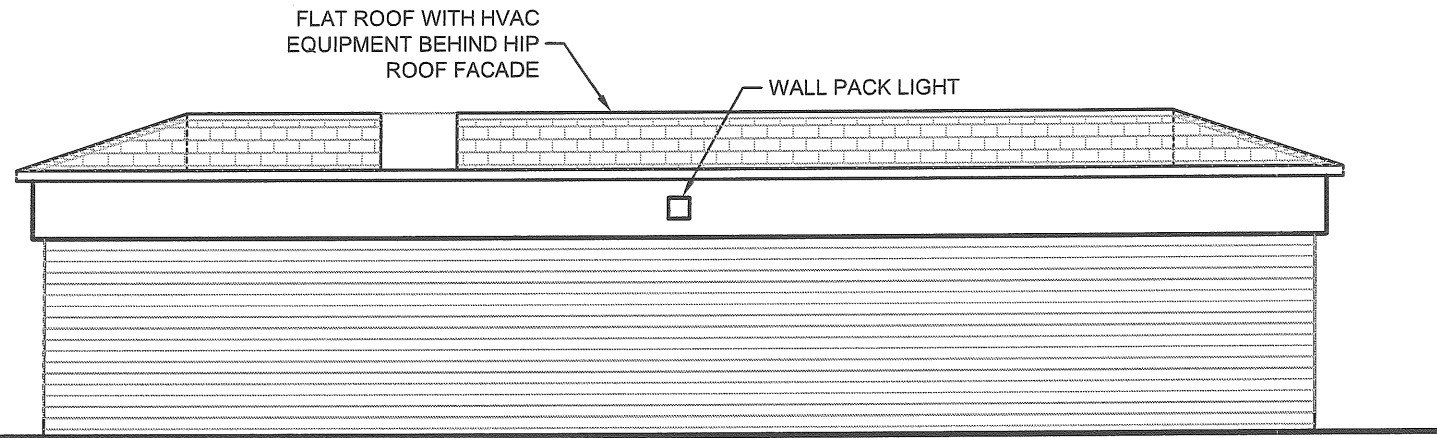


APPROXIMATE SCALE IN FEET

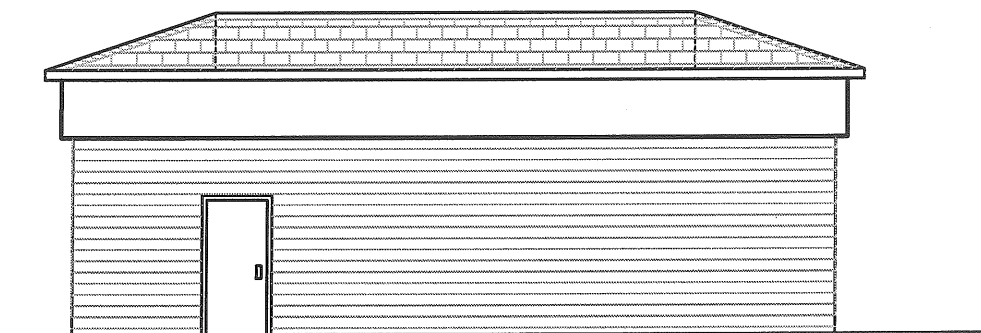




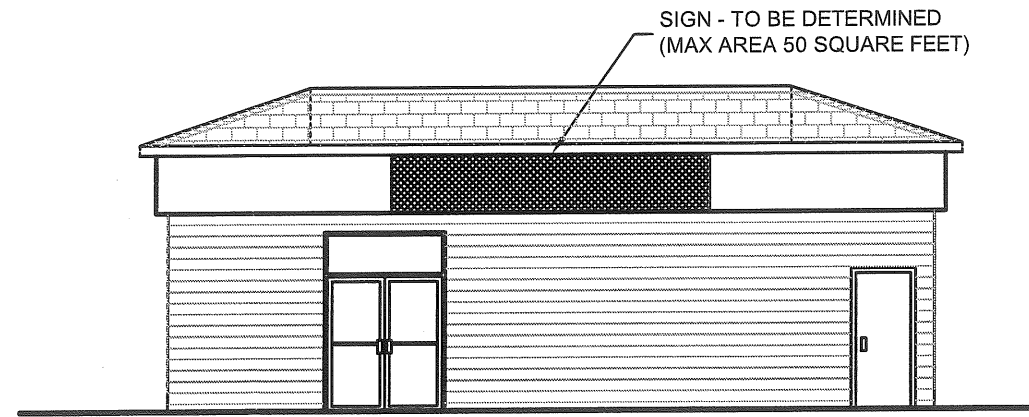
FRONT ELEVATION
SCALE 1"=10'



REAR ELEVATION
SCALE 1"=10'

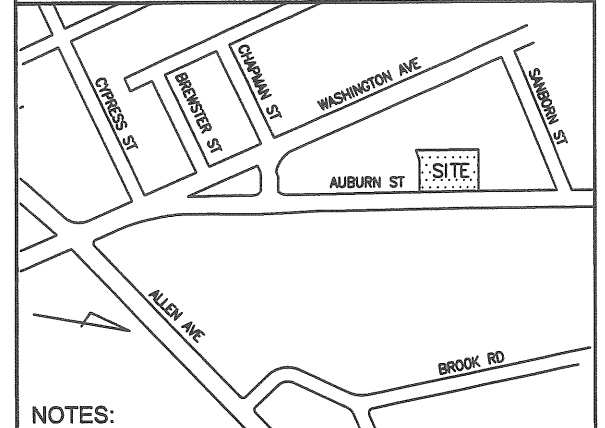


LEFT ELEVATION
SCALE 1"=10'



RIGHT ELEVATION
SCALE 1"=10'

LOCUS MAP (NOT TO SCALE):



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE ARCHITECTURAL STYLE AND VISUAL ASPECT OF THE PROPOSED BUILDING. DETAILS OF THE CONSTRUCTION ARE SUBJECT TO FURTHER REVIEW AND CHANGE PRIOR TO SUBMISSION OF BUILDING PERMIT APPLICATION AND FULL CONSTRUCTION PLANS.
2. SIDING SHALL BE 7" EXPOSURE HARDIPLAK® FIBER CEMENT SIDING, RUSTIC CEDAR STYLE WITH VEIL GRAY FINISH.
3. ROOF SHINGLES SHALL BE CERTAINTED LANDMARK SERIES/COLONIAL SLATE.
4. SIGN SHALL CONFORM TO CITY OF PORTLAND SIGN ORDINANCES. MAXIMUM SIGN AREA 50 SQUARE FEET.

NOT FOR CONSTRUCTION

BUILDING ELEVATIONS
PROPOSED RE-DEVELOPMENT

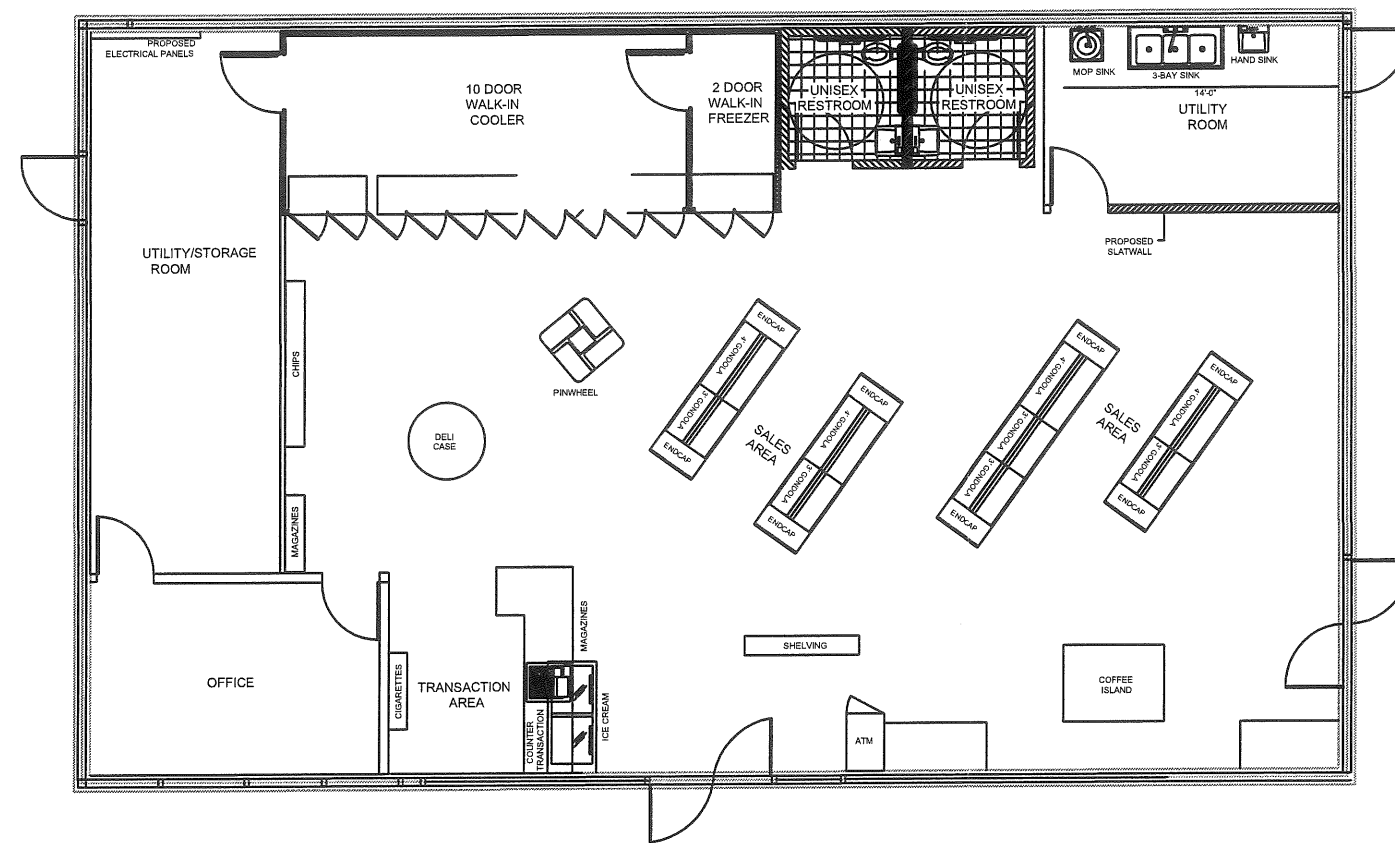
AUBURN STREET MOBIL
84 AUBURN STREET
PORTLAND, MAINE

PREPARED FOR
ALLIANCE ENERGY CORP.
36 EAST INDUSTRIAL ROAD
BRANFORD, CT 06405

PROJECT: 2627.5 DATE: 09/09/05
SCALE: 1"=10' FILE: ELEVATION

ST.GERMAIN & ASSOCIATES, INC.
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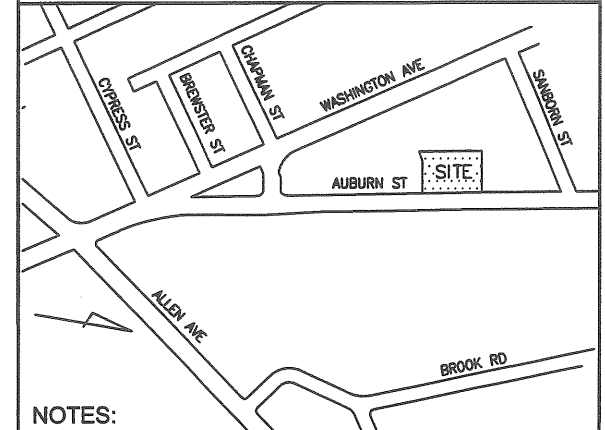




FLOOR PLAN

SCALE 1" = 10'

LOCUS MAP (NOT TO SCALE):



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE CONCEPTUAL INTERIOR LAYOUT FOR A NEW CONVENIENCE STORE ON THE SITE. ACTUAL FLOOR PLAN IS SUBJECT TO CHANGE PRIOR TO CONSTRUCTION.
2. ALL BUILDING CONSTRUCTION AND COMPONENTS SHALL CONFORM TO THE CITY OF PORTLAND REGULATIONS AND THE APPLICABLE BUILDING CODES FOR THE STATE OF MAINE.

REFERENCE:

NOT FOR CONSTRUCTION

CONCEPTUAL FLOOR PLAN
PROPOSED RE-DEVELOPMENT

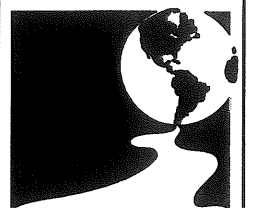
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84 AUBURN STREET
PORTLAND, MAINE

PREPARED FOR

ALLIANCE ENERGY CORP.
36 EAST INDUSTRIAL ROAD
BRANFORD, CT 06405

PROJECT: 2627.5 DATE: 09/09/05
SCALE: 1"=10' FILE: FLOOR PLAN

ST. GERMAIN & ASSOCIATES, INC.
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**ST. GERMAIN
& ASSOCIATES, INC.**