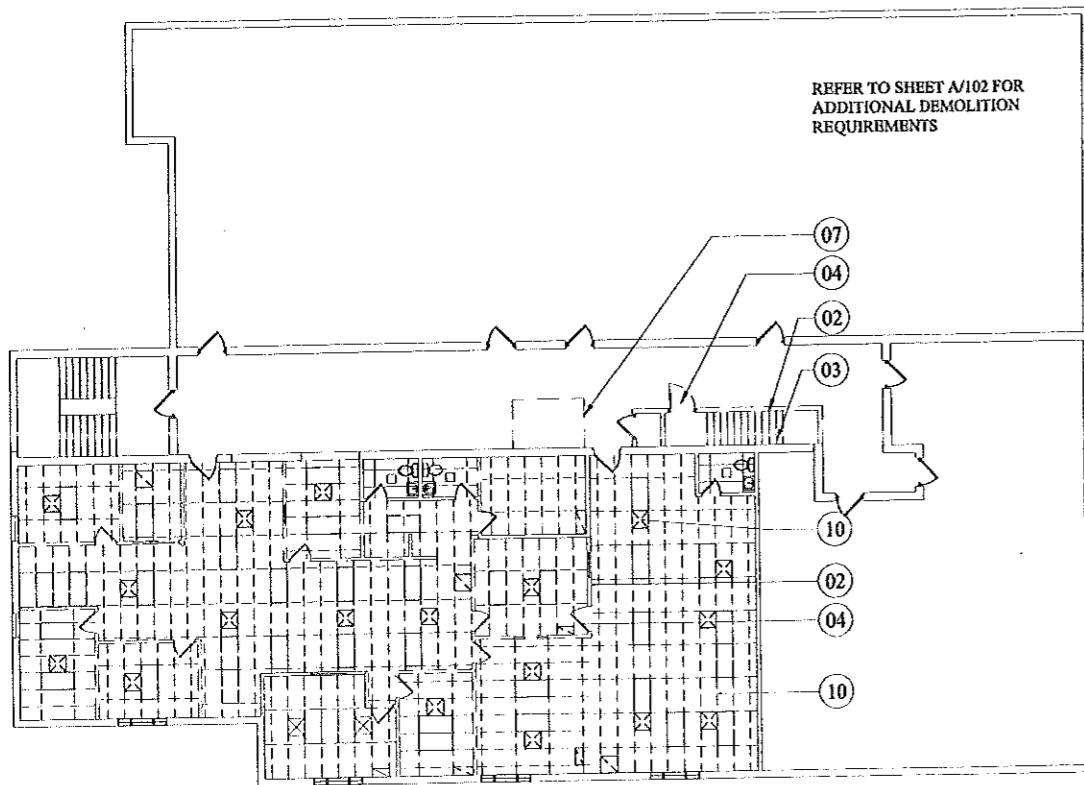


GENERAL NOTES

1. CODE COMPLIANCE: ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION.
2. COORDINATION: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT THE CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT SUCH ASSEMBLY, THE CONTRACTOR SHALL BRING TO THE ARCHITECTS ATTENTION, IN WRITING AND IN A TIMELY FASHION, SUCH CONDITION. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT WRITTEN RESOLUTION OR CLARIFICATION FROM THE ARCHITECT.
3. DISCREPANCIES AND CLARIFICATIONS: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ARCHITECTS ATTENTION, IN WRITING, ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION OR CLARIFICATION FROM THE ARCHITECT.
4. LAYOUT: UNLESS INDICATED OTHERWISE, CENTER WALL FRAMING AND PARTITION FRAMING ON COLUMN LINES. FLOOR PLAN DIMENSIONS ARE TO CENTERLINE OF FRAMING, FACE OF CONCRETE, FACE OF CMU OR FROM COLUMN CENTER LINES.
5. DOOR LOCATIONS: DOOR LOCATIONS NOT DIMENSIONED SHALL BE 6" FROM ADJACENT WALL.
6. DRAWING SCALE: WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWINGS FOR CONVENIENCE ONLY. IT IS NOT INTENDED THAT INFORMATION BE DETERMINED BY SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO SCALE.
7. FINISHES: FINISHES OTHER THAN THE STANDARD FINISHES ARE ALL INDICATED ON THE DRAWINGS. CEILING FINISHES ARE SHOWN ON THE REFLECTED CEILING PLANS AND ALL OTHER FINISHES ARE SHOWN ON THE FINISH SCHEDULE AND/OR INTERIOR ELEVATIONS. FINISHES INDICATED FOR A PARTICULAR ROOM OR SPACE ARE APPLICABLE FOR THE ENTIRE ROOM OR SPACE, UNLESS INDICATED OTHERWISE.
8. ALL EXPOSED SURFACES ARE TO BE PAINTED, WHETHER OR NOT INDICATED ON THE DRAWINGS, EXCEPT AS FOLLOWS: WHERE SPECIAL COATINGS ARE INDICATED; PREFINISHED ITEMS, CONCEALED SURFACES; OPERATING PARTS; AND LABELS. EVEN IF PREFINISHED, PAINT THE FOLLOWING: EXPOSED MECHANICAL DUCTWORK; WALL DIFFUSERS; GRILLES AND LOUVERS; ROOF TOP MECHANICAL EQUIPMENT; SPEAKER GRILLES AND EMERGENCY LIGHTS (BATTERIES AND LAMPS, NOT BULBS). FINISHED METAL SURFACES, EXCEPT AS LISTED ABOVE, ARE NOT TO BE PAINTED. SEE SPECIFICATIONS FOR SCHEDULES SHOWING TYPES OF PAINTS AND SPECIAL COATINGS TO BE USED IN ACCORDANCE WITH MATERIAL BEING PAINTED OR COATED.
9. ALL WOOD IN CONTACT WITH CONCRETE FLOOR SHALL BE PRESSURE TREATED.
10. BUILDING INSULATION: PROVIDE AS INDICATED IN WALL DETAILS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND OTHER DETAILS AND OTHER DRAWINGS. FOR CLARITY, INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS PROVIDED.
11. BLOCKING: INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES, TRIM, CASEWORK, SHELVES, BRACKETS, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, WHITE BOARDS, MIRRORS, PROJECTOR SCREENS, BASE MOULDINGS AND AS OTHERWISE REQUIRED, WHEN SUCH ITEMS ARE APPLIED ON STUD WALLS.
12. PENETRATIONS AT STRUCTURAL MEMBERS: BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT.
13. DAMAGED WORK: BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.
14. RATED CONSTRUCTION: PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT CHASES AND AT FLOORS, TO MAINTAIN COMPLETE SEPARATIONS, EVEN IF NOT SPECIFICALLY INDICATED.
15. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL INTERIOR FINISHES FOR ARCHITECTS APPROVAL.
16. THE DESIGN AND INSTALLATION OF THE ELECTRICAL, HVAC AND PLUMBING SYSTEMS SHALL BE THE RESPONSIBILITY OF THE DESIGN/BUILD CONTRACTOR. DESIGN SHALL BE IN CONFORMANCE WITH NEPA 101, 2000 EDITION, BOCA, '99 EDITION, MAINE STATE PLUMBING CODE.

ROOF DEMOLITION PLAN

SCALE: 3/32" = 1'-0"



SECOND FLOOR DEMOLITION PLAN

SCALE: 3/32" = 1'-0"



DEMOLITION GENERAL NOTES

PATCH AND REPAIR GENERAL NOTES

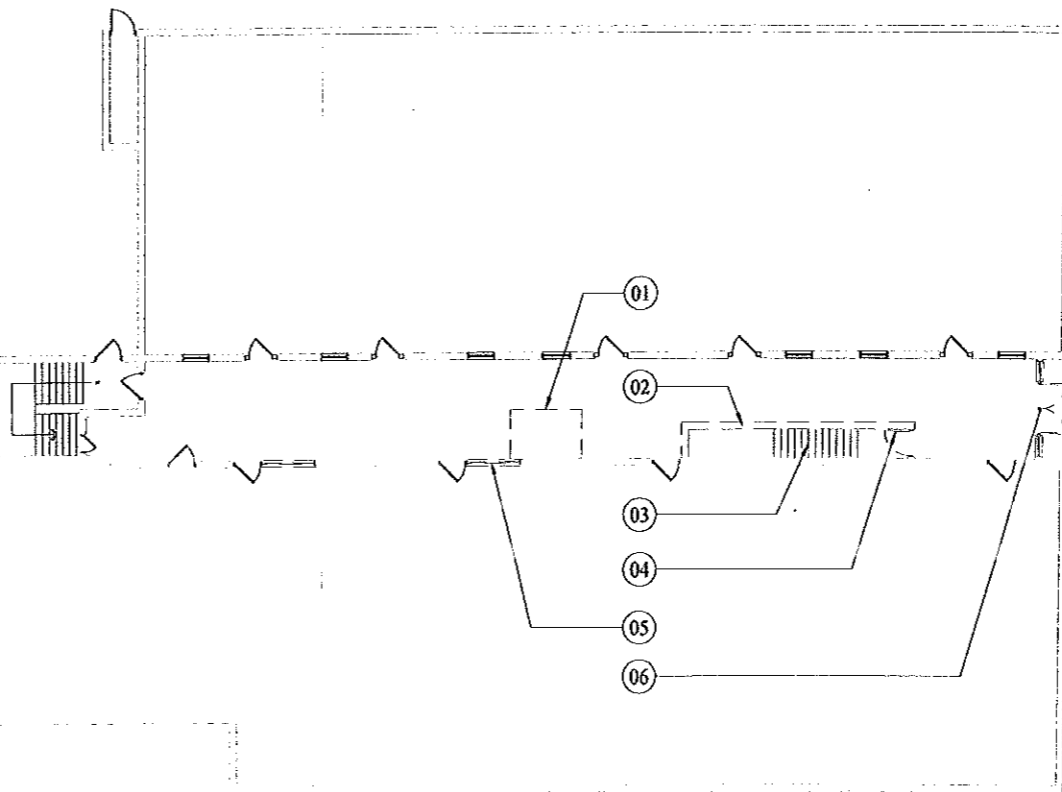
1. COORDINATION - PRIOR TO ANY DEMOLITION ALL DEMOLITION WORK SHALL BE COORDINATED WITH ALL NEW CONSTRUCTION BY ALL TRADES. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS FOR COMPLETE COORDINATION DURING ALL PHASES OF CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY AND ALL FIELD CONDITIONS NOT SHOWN IN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF DEMOLITION CONSTRUCTION. IN ABSENCE OF INFORMATION INDICATING OTHERWISE, CONTRACT SHALL BRING AREAS AND SURFACES UP TO STANDARDS OF NEW CONSTRUCTION IN THE AREAS CALLING FOR NEW CONSTRUCTION.
2. DAMAGE - EXISTING BUILDING, BUILDING SYSTEMS AND SITE COMPONENTS WHICH ARE AFFECTED BY NEW CONSTRUCTION, DEMOLITION OR ARE DAMAGED BY THE GENERAL CONTRACTOR OR HIS SUB-CONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION, COLOR AND FINISH AS DESCRIBED IN THESE DOCUMENTS OR APPROVED BY THE ARCHITECT.
3. PATCHING - UPON REMOVAL OF ALL DEMOLITION CONSTRUCTION ITEMS AND OTHER COMPONENTS CONTRACTOR SHALL PATCH, REPAIR AND PREPARE ALL SURFACES DAMAGED OR OTHERWISE FOR SMOOTH LEVEL APPLICATION OF FINISHES. UNLESS OTHERWISE INDICATED FINISHES SHALL MATCH EXISTING FINISHES.
4. CONCEALED SPACES - DAMAGED CONSTRUCTION IN CONCEALED SPACES IS NOT REQUIRED TO BE REPAIRED, EXCEPT AS REQUIRED TO MAINTAIN FIRE RATINGS, STRUCTURAL INTEGRITY, WATERPROOFING AND OR HEAT LOSS OR GAIN.
5. EQUIPMENT & FIXTURES - NEW OR RELOCATED ITEMS SHALL BE VERIFIED BY CONTRACTOR AS APPROPRIATE TO THE ADJACENT AND CONTIGUOUS CONSTRUCTION PRIOR TO INSTALLATION OR REINSTALLATION. CONTRACTOR SHALL DETERMINE APPROPRIATE ANCHORING TYPES UNLESS OTHERWISE INDICATED.

RENOVATION GENERAL NOTES

1. LEVEL AND SMOOTH ALL FLOORS, WALLS AND CEILINGS TO RECEIVE NEW FINISHES AS INDICATED IN THE CONSTRUCTION DOCUMENTS AND SHALL BE CERTIFIED AS SUITABLE FOR NEW FINISHES BY INSTALLER PRIOR TO THE WORK.

DEMOLITION CONSTRUCTION GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY AND PROTECTION FROM DAMAGE AND WEATHER OF ANY EXPOSED BUILDING COMPONENTS (NEW OR EXISTING) RESULTING FROM DEMOLITION, REMOVALS AND NEW WORK.
2. REFER TO DEMOLITION AND STRUCTURAL PLANS FOR DEMOLITION WORK. MECHANICAL, ELECTRICAL, PLUMBING AND SITE DEMOLITION SHALL BE COORDINATED AND PERFORMED WITH AND BY A LICENSED CONTRACTOR APPROPRIATE TO THE REQUIRED WORK.
3. VERIFY STRUCTURAL CONDITIONS WITH DRAWINGS AND ACTUAL CONDITIONS PRIOR TO ANY DEMOLITION CONSTRUCTION. REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND OTHER TEMPORARY SUPPORT METHODS AS MAY BE REQUIRED.
4. CONTRACTOR SHALL STOCKPILE AND PROTECT ALL ITEMS REMOVED FROM THE BUILDING FOR THE OWNERS REVIEW. ALL ITEMS THE OWNER DOES NOT KEEP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.



FIRST FLOOR DEMOLITION PLAN

SCALE: 3/32" = 1'-0"

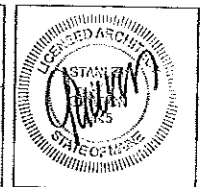


DEMOLITION LEGEND FLOOR PLAN

- 01 SAW CUT CONCRETE SLAB & REMOVE AS REQUIRED FOR NEW ELEVATOR PIT - SHORE AS REQUIRED TO INSURE STRUCTURAL INTEGRITY OF ALL CONSTRUCTION TO REMAIN
- 02 REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION - MAINTAIN EGRESS AND FIRE PROTECTION AS REQUIRED DURING CONSTRUCTION
- 03 REMOVE STAIR AS REQUIRED FOR NEW CONSTRUCTION - MAINTAIN EGRESS AND FIRE PROTECTION AS REQUIRED DURING CONSTRUCTION
- 04 REMOVE DOOR, DOOR FRAME & ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION
- 05 REMOVE WINDOW AS REQUIRED FOR NEW CONSTRUCTION
- 06 REMOVE STOREFRONT WINDOW, DOOR, DOOR FRAME & ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION
- 07 REMOVE FLOOR & STRUCTURE AS REQUIRED FOR NEW ELEVATOR - SHORE AS REQUIRED TO INSURE STRUCTURAL INTEGRITY OF ALL CONSTRUCTION TO REMAIN
- 08 REMOVE ROOF & STRUCTURE AS REQUIRED FOR NEW ELEVATOR - SHORE AS REQUIRED TO INSURE STRUCTURAL INTEGRITY OF ALL CONSTRUCTION TO REMAIN
- 09 REMOVE ROOFING AS REQUIRED FOR NEW CONSTRUCTION - PROTECT FROM WEATHER
- 10 REMOVE GRID & FIXTURES & HVAC GRILLS AS REQUIRED FOR NEW CONSTRUCTION

GENERAL NOTES

1. REMOVE ALL CEILING GRIDS AND TILES AS REQUIRED FOR NEW CONSTRUCTION.
2. REMOVE ALL WALLCOVERINGS AND FINISHES AS REQUIRED FOR APPLICATION OF NEW FINISHES.
3. REMOVE ALL FLOOR COVERINGS AND SMOOTH AND LEVEL AS REQUIRED FOR APPLICATION OF NEW FLOORING
4. REMOVE MECHANICAL, ELECTRICAL AND/OR PLUMBING FIXTURES AS REQUIRED FOR NEW CONSTRUCTION - REMOVE ALL ASSOCIATED SERVICES BACK TO MAIN BRANCH - CAP AS REQUIRED.



GAWRON ARCHITECTS
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Scarborough, ME 04074
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Tel. 207. 883. 6307
Fax. 207. 883. 0361

94 AUBURN STREET
RENOVATION

RECEIVED
AUG 05 2003
ALUED CONSTRUCTION

REVISIONS

#	DATE	DESCRIPTION
1	5/23/03	ISSUED FOR CONSTRUCTION
2	6/05/03	ISSUED FOR STAIR REVISION
3	8/14/03	ISSUED FOR AEGIS SUITE

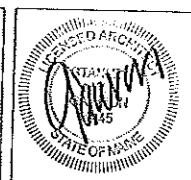
DATE:	5/23/03
PROJECT #:	090602
DRAWN BY:	DMR
CHECKED BY:	SWG
DRAWING SCALE:	AS NOTED

SHEET TITLE
FIRST & SECOND FLOOR
DEMOLITION PLANS

D101

ISSUED FOR CONSTRUCTION
5/23/03

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94 AUBURN STREET
 RENOVATION

RECEIVED
 AUG 05 2003
 ALLIED CONSTRUCTION

REVISIONS	
#	DESCRIPTION
1	ISSUED FOR CONSTRUCTION
2	ISSUED FOR STAIR REVISION
3	ISSUED FOR AEGIS SUITE

DATE:	8/04/03
PROJECT #:	090602
DRAWN BY:	DMR
CHECKED BY:	SWO
DRAWING SCALE:	AS NOTED

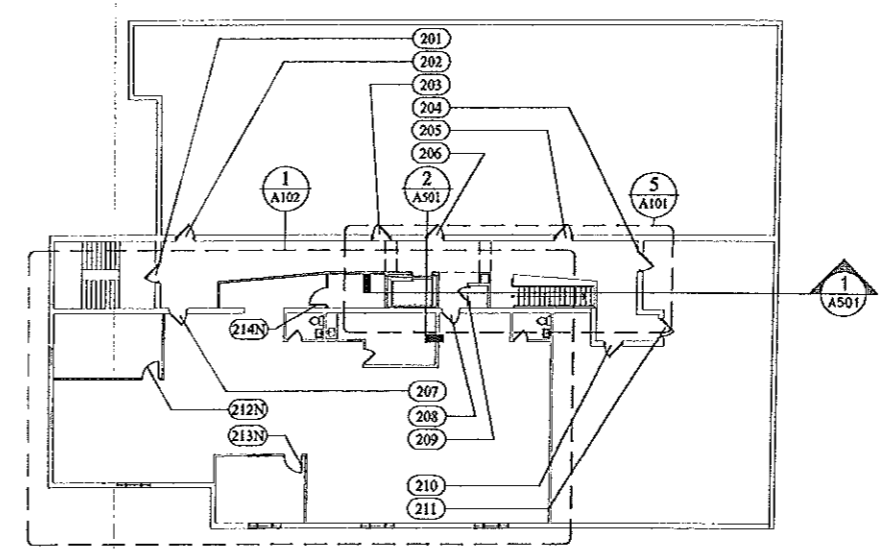
SHEET TITLE
 OVERALL FIRST & SECOND FLOOR PLAN

A100

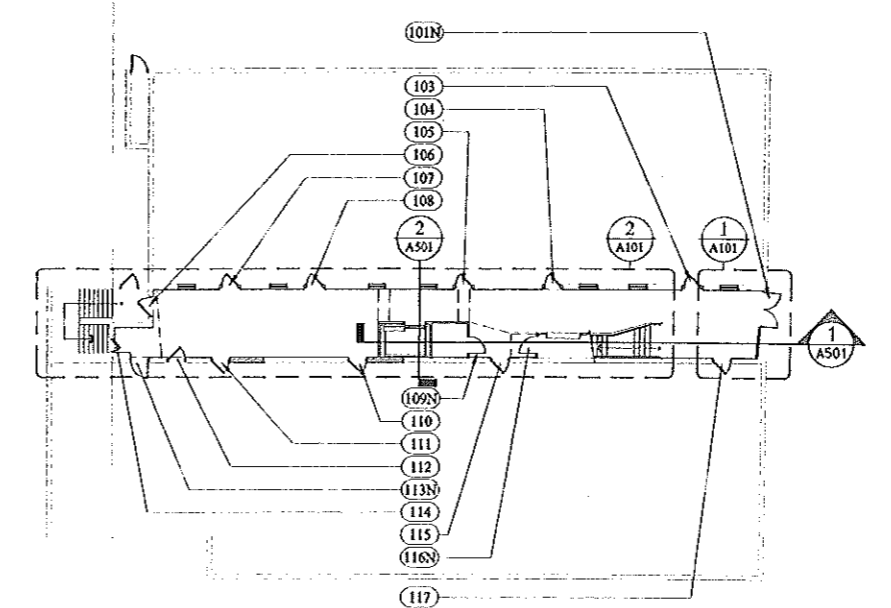
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GENERAL NOTES:

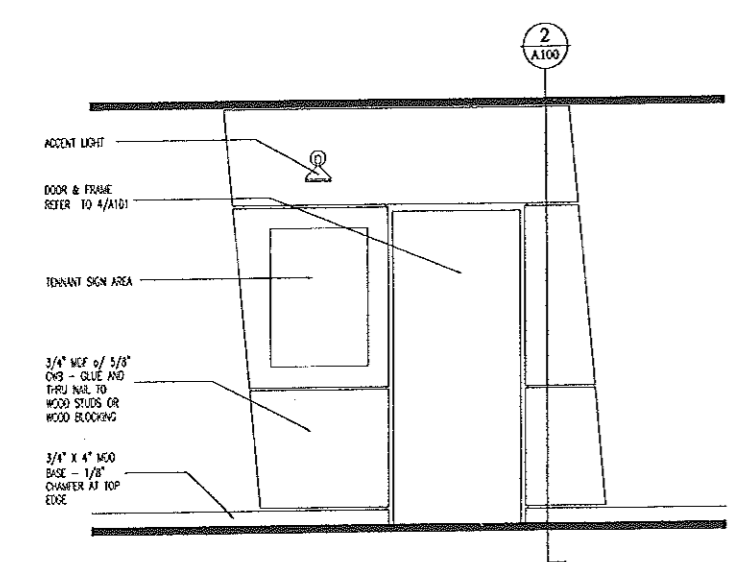
- ELEVATOR - BASE: THYSSENKRUPP, MARQUIS 25 HYDRAULIC HOLESLESS ELEVATOR SHALL MEET ALL LOCAL, STATE AND FEDERAL CODES
- ALL MECHANICAL, ELECTRICAL AND PLUMBING DESIGN SHALL BE PERFORMED BY DESIGN BUILD CONTRACTOR - CONTRACTOR SHALL DETERMINE ALL WORK REQUIRED AND COORDINATE ALL NEW AND EXISTING CONSTRUCTION TO REMAIN. DESIGN & INSTALLATION SHALL MEET ALL LOCAL, STATE & FEDERAL CODES
- ALL DOOR NUMBERS WITH A 'N' ARE NEW DOORS AND FRAMES. ALL OTHERS ARE TO BE NEW DOORS IN EXISTING FRAMES WHERE 'LABEL' REQUIREMENTS ARE MET. - ALL HARDWARE TO BE COORDINATED WITH OWNER
- SCOPE OF PROPOSED CONSTRUCTION DOES NOT INCLUDE MODIFICATIONS OF SIZE OR EGRESS FROM EXISTING TENANT SPACES



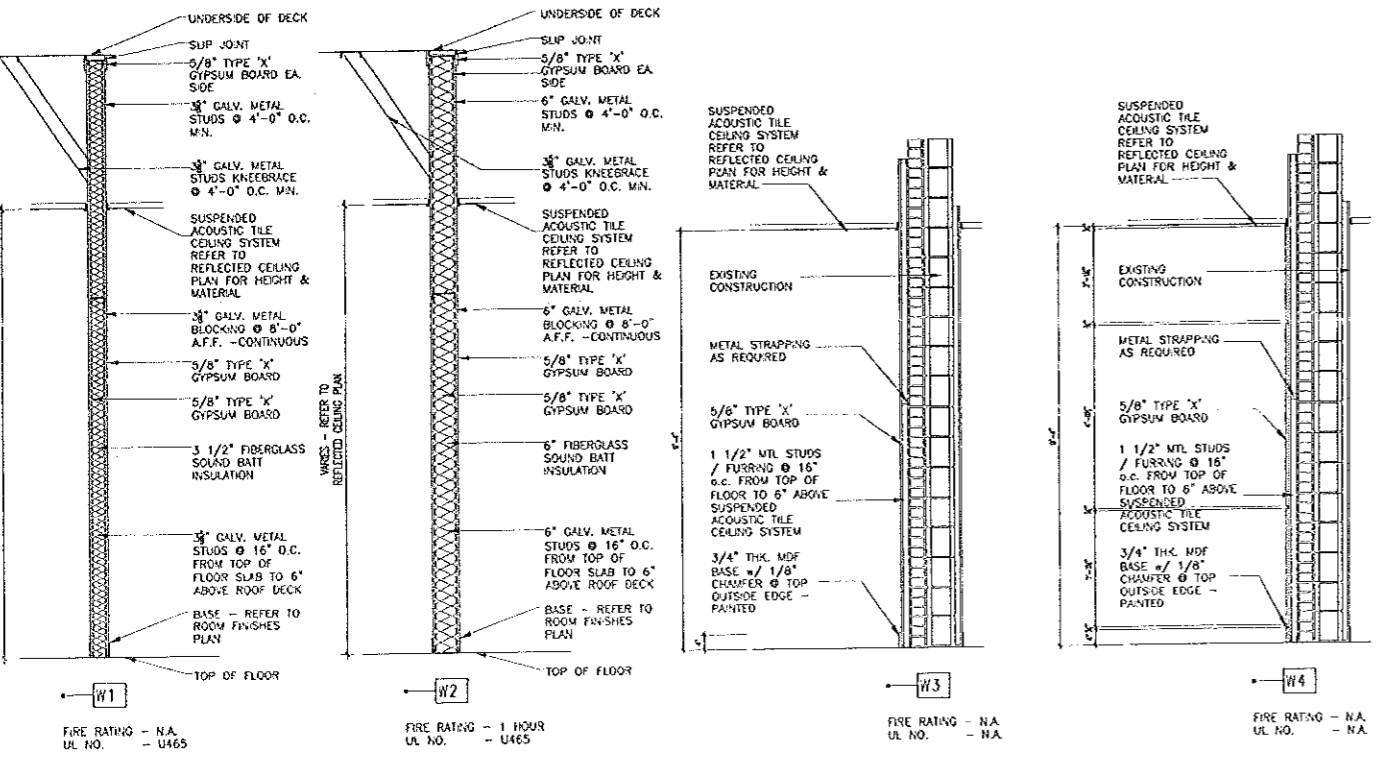
3 OVERALL SECOND FLOOR PLAN
 A100 SCALE: 1/16"=1'-0" REFER TO 5/A101 FOR DOOR TYPES



1 OVERALL FIRST FLOOR PLAN
 A100 SCALE: 1/16"=1'-0" REFER TO 5/A101 FOR DOOR TYPES



4 ELEVATION DETAIL
 A100 SCALE: 1/2"=1'-0"



2 PARTITION TYPES
 A100 SCALE: 1/2"=1'-0"

FIRE RATING - N.A. UL NO. - U465



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94 AUBURN STREET
 RENOVATION

RECEIVED
 AUG 05 2003
 ALLIED CONSTRUCTION

REVISIONS		
#	DATE	DESCRIPTION
1	5/23/03	ISSUED FOR CONSTRUCTION
2	6/05/03	ISSUED FOR STAIR REVISION
3	8/14/03	ISSUED FOR AEGIS SUITE

DATE:	8/04/03
PROJECT #:	066602
DRAWN BY:	DMR
CHECKED BY:	SWG
DRAWING SCALE:	AS NOTED

SHEET TITLE
 FIRST & SECOND FLOOR PLAN ENLARGEMENTS

A101

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PLAN NOTES:

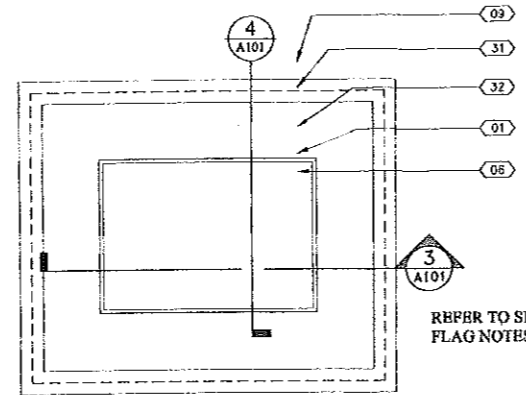
- 01 WALL OFF MAT - SET FLUSH TO CERAMIC TILE - REFER TO FLOOR FINISHES PLAN
- 02 ALUMINUM STOREFRONT WINDOW SYSTEM - REFER TO 7/A101
- 03 TRANSITION STRIP AS REQUIRED FOR SMOOTH LEVEL TRANSITION BETWEEN NEW AND EXISTING FLOOR FINISHES (TYPICAL)
- 04 5/4" BIRCH CAP REFER TO 5/A501
- 05 HANDRAIL - 1 1/2" DIA STEEL HANDRAIL SYSTEM - PAINTED
- 06 (2) 3614PL MAILBOXES w/ 13 USUAL MAILBOXES EACH BY MAILBOXES.COM
- 07 TELEPHONE DATA ROOM - TO REMAIN, PROTECT AS REQUIRED DURING CONSTRUCTION
- 08 NEW STAIR ON EXISTING STAIRWAY FLOOR OPENING - FIELD VERIFY FOR REQUIRED CLEARANCES PRIOR TO CONSTRUCTION
- 09 OPENING SUPPORT (DESIGN BY L & L STRUCTURAL) - PROVIDED BY OWNER - HEADER, (7) 2"x10" MEMBER w/ 3/4" PLYWOOD SPACER TO ACHIEVE 1 1/4" WIDTH OF EXISTING WALL. THE INDIVIDUAL MEMBERS OF THE BUILT-UP HEADER SHALL BE FASTENED TOGETHER WITH TWO ROWS OF 16d NAILS @ 12" o.c. AT THE TOP & BOTTOM OF HEADER. THE NEW HEADER SHALL BEAR ON DOUBLE 2"x12" JACK STUDS w/ A SINGLE FULL HEIGHT 2"x12" KING STUD @ BOTH ENDS OF EACH HEADER. ADDITIONAL SOLID BLOCKING SHALL BE INSTALLED BENEATH THE SECOND FLOOR ALIGNED w EACH DOUBLE JACK STUD (TWO PLACES) THE SOLID BLOCKING SHALL BE INSTALLED IN THE CAVITY CREATED BY THE SECOND FLOOR JOIST SEATS TIGHT BETWEEN THE UNDERSIDE OF THE EXISTING PLYWOOD FLOOR DECK AND THE TOP OF THE MASONRY WALL AT THE FIRST FLOOR BELOW. THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT OF THE EXISTING ROOF STRUCTURE AS REQUIRED TO INSTALL THE NEW HEADERS. DESIGN FOR 7'-0" OPENING OR SMALLER

GENERAL NOTES:

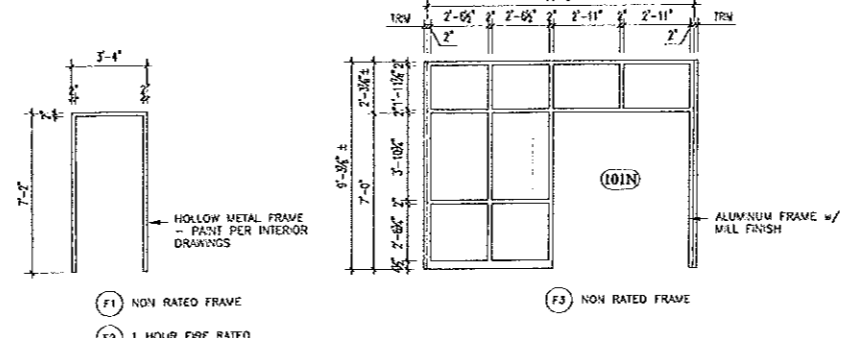
- 1. ELEVATOR - BASE: THYSSENKRUPP, MARQUIS 25 OIL-DRAULIC HOLELESS ELEVATOR SHALL MEET ALL LOCAL, STATE AND FEDERAL CODES
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- 4. SCOPE OF PROPOSED CONSTRUCTION DOES NOT INCLUDE MODIFICATIONS OF SIZE OR EGRESS FROM EXISTING TENANT SPACES

DOOR					FRAME										REMARKS	DOOR NO.
DOOR NO.	DOOR SIZE		TYPE	MAT. FINISH	TYPE	MAT. FINISH	WIDTH	HEAD	JAMB	SILL	LABEL	HDWR SET				
101N	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	101	
102	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	102	
103	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	103	
104	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	104	
105	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	105	
106	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	106	
107	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	107	
108	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	108	
109N	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	109N	
110	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	110	
111	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	111	
112	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	112	
113	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	113	
114	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	114	
115	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	115	
116N	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	116N	
117	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	117	
201														EXISTING DOOR	201	
202														EXISTING DOOR	202	
203														EXISTING DOOR	203	
204														EXISTING DOOR	204	
205														EXISTING DOOR	205	
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208														EXISTING DOOR	208	
209														EXISTING DOOR	209	
210														EXISTING DOOR	210	
211														EXISTING DOOR	211	
212N	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	212N	
213N	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	213N	
214N	2'-0"	7'-0"	1 3/4"	A	SCWD	PAINT	F2	1B4	PAINT	1HR	1	NA	2	EXISTING DOOR	214N	

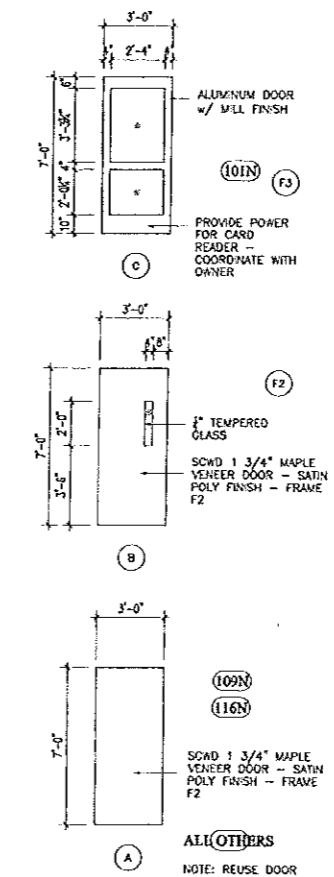
HARDWARE SET #1				HARDWARE SET #2			
2 Hinges	FA2714 4 1/2" x 1 1/2"	2nd	2nd	2 Hinges	FA2714 4 1/2" x 1 1/2"	2nd	2nd
2 Locks	SP10004 1 1/2"	2nd	2nd	2 Locks	SP10004 1 1/2"	2nd	2nd
2 Escut	SP10004 1 1/2"	2nd	2nd	2 Escut	SP10004 1 1/2"	2nd	2nd
2 Floor stop	PS434	2nd	2nd	2 Floor stop	PS434	2nd	2nd
2 Door stop	SD24	2nd	2nd	2 Door stop	SD24	2nd	2nd



6 PARTIAL ROOF PLAN
 A101 SCALE: 1/4"=1'-0"

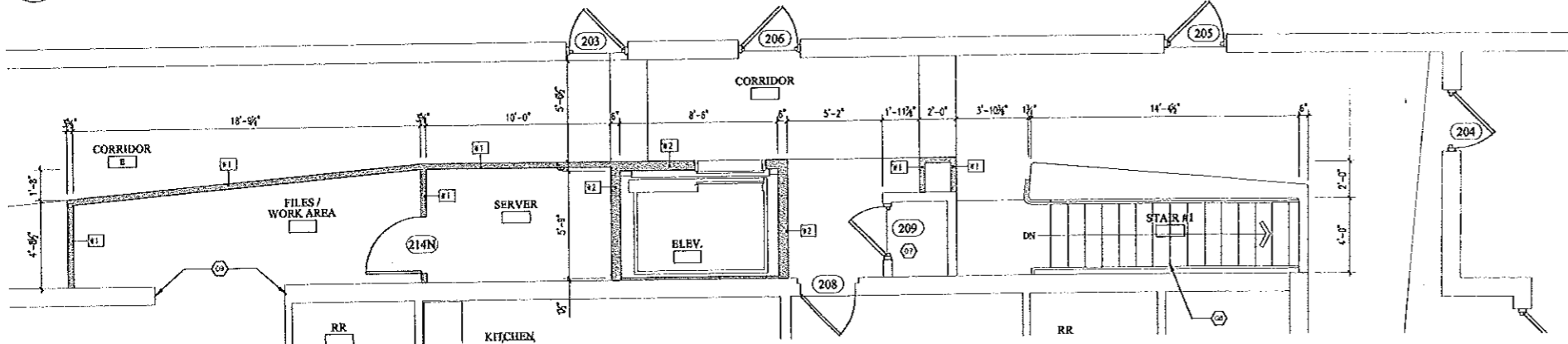


7 FLOOR FRAME TYPES
 A101 SCALE: 1/4"=1'-0"

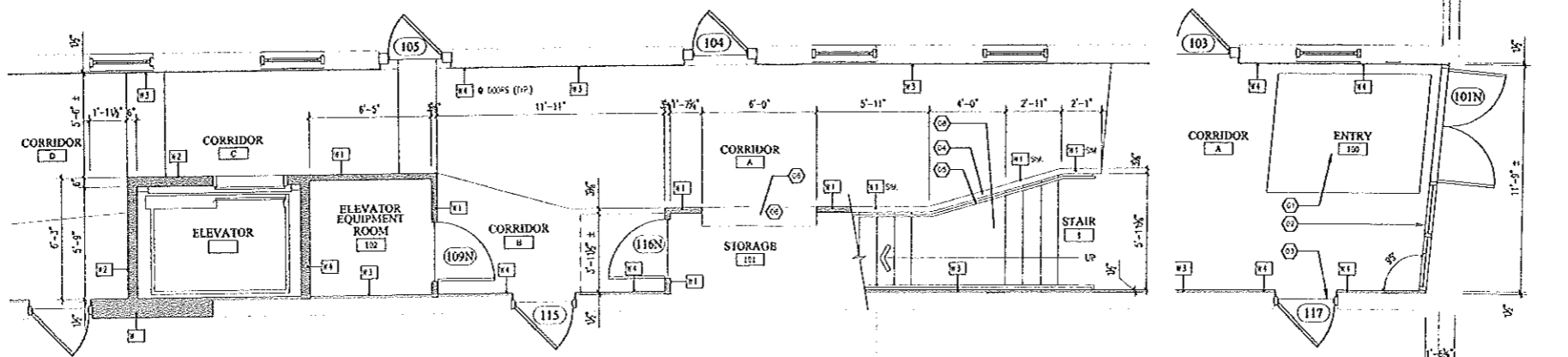


4 DOOR TYPES
 A101 SCALE: 1/4"=1'-0"

8 DOOR SCHEDULE
 A101 NA



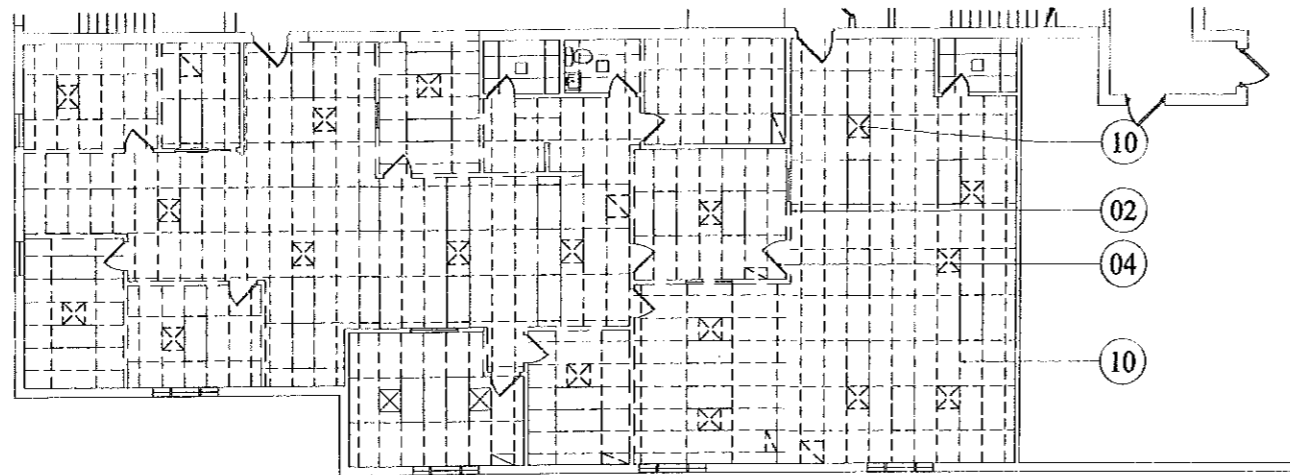
5 PARTIAL SECOND FLOOR PLAN
 A101 SCALE: 1/4"=1'-0"



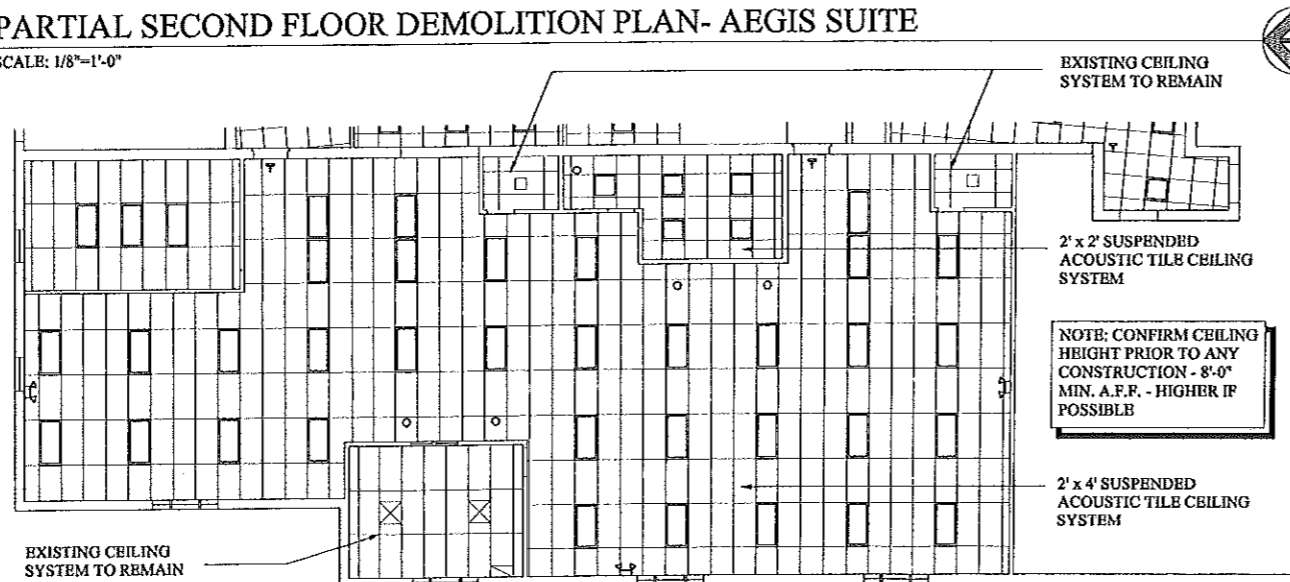
2 PARTIAL FIRST FLOOR PLAN
 A101 SCALE: 1/4"=1'-0"

3 NOT USED
 A101 NA

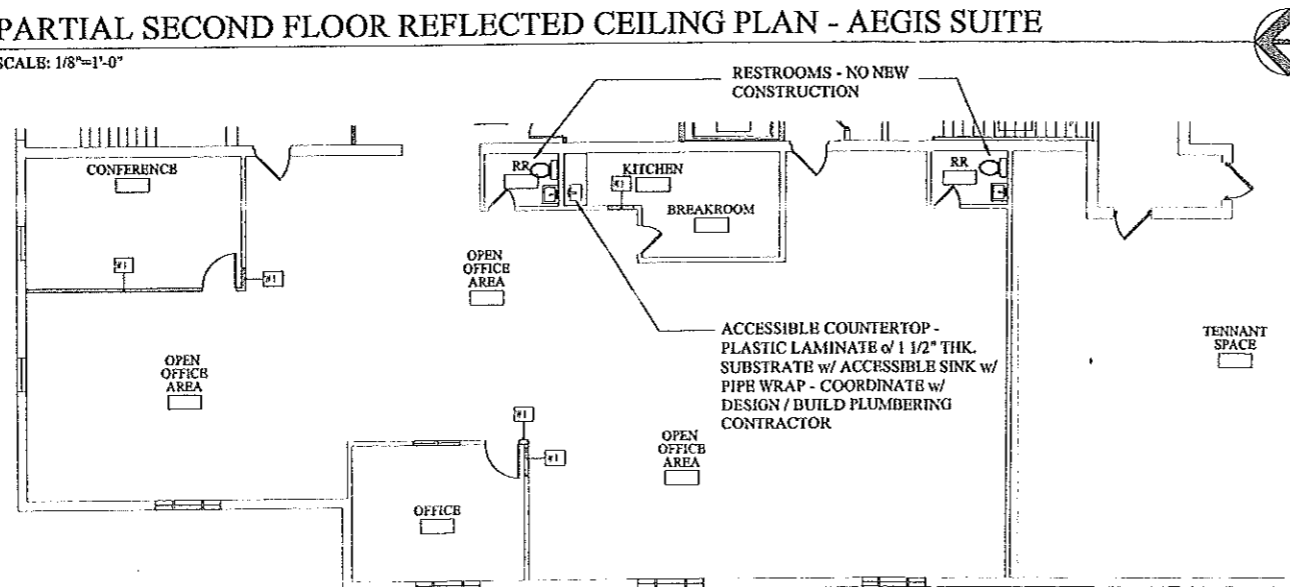
1 PARTIAL FIRST FLOOR PLAN
 A101 SCALE: 1/4"=1'-0"



2 PARTIAL SECOND FLOOR DEMOLITION PLAN- AEGIS SUITE
A102 SCALE: 1/8"=1'-0"



2 PARTIAL SECOND FLOOR REFLECTED CEILING PLAN - AEGIS SUITE
A102 SCALE: 1/8"=1'-0"



1 PARTIAL SECOND FLOOR PLAN- AEGIS SUITE
A102 SCALE: 1/8"=1'-0"

DEMOLITION LEGEND
FLOOR PLAN

- 01 SAW CUT CONCRETE SLAB & REMOVE AS REQUIRED FOR NEW ELEVATOR PIT - SHORE AS REQUIRED TO INSURE STRUCTURAL INTEGRITY OF ALL CONSTRUCTION TO REMAIN
- 02 REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION - MAINTAIN EGRESS AND FIRE PROTECTION AS REQUIRED DURING CONSTRUCTION
- 03 REMOVE STAIR AS REQUIRED FOR NEW CONSTRUCTION - MAINTAIN EGRESS AND FIRE PROTECTION AS REQUIRED DURING CONSTRUCTION
- 04 REMOVE DOOR, DOOR FRAME & ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION
- 05 REMOVE WINDOW AS REQUIRED FOR NEW CONSTRUCTION
- 06 REMOVE STOREFRONT WINDOW, DOOR, DOOR FRAME & ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION
- 07 REMOVE FLOOR & STRUCTURE AS REQUIRED FOR NEW ELEVATOR - SHORE AS REQUIRED TO INSURE STRUCTURAL INTEGRITY OF ALL CONSTRUCTION TO REMAIN
- 08 REMOVE ROOF & STRUCTURE AS REQUIRED FOR NEW ELEVATOR - SHORE AS REQUIRED TO INSURE STRUCTURAL INTEGRITY OF ALL CONSTRUCTION TO REMAIN
- 09 REMOVE ROOFING AS REQUIRED FOR NEW CONSTRUCTION - PROTECT FROM WEATHER
- 10 REMOVE GRID & FIXTURES & HVAC GRILLS AS REQUIRED FOR NEW CONSTRUCTION

DEMOLITION NOTES

1. REMOVE ALL CEILING GRIDS AND TILES AS REQUIRED FOR NEW CONSTRUCTION.
2. REMOVE ALL WALLCOVERINGS AND FINISHES AS REQUIRED FOR APPLICATION OF NEW FINISHES.
3. REMOVE ALL FLOOR COVERINGS AND SMOOTH AND LEVEL AS REQUIRED FOR APPLICATION OF NEW FLOORING
4. REMOVE MECHANICAL, ELECTRICAL AND/OR PLUMBING FIXTURES AS REQUIRED FOR NEW CONSTRUCTION - REMOVE ALL ASSOCIATED SERVICES BACK TO MAIN BRANCH - CAP AS REQUIRED.

REFLECTED CEILING PLAN LEGEND

- 2x2 PARABOLIC LIGHT FIXTURE
- RECESSED FLORESCENT
- DECORATIVE SUSPENDED LIGHT FIXTURE
- SUSPENDED FLORESCENT
- ⊠ RETURN AIR GRILL
- ⊠ SUPPLY AIR GRILL
- ⊠ EMERGENCY LIGHTING WALL PACK
- ⊠ HORN STROBE
- ⊠ EXIT SIGN

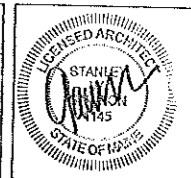
PLAN NOTES:

- 01 WALL OFF MAT - SET FLUSH TO CERAMIC TILE - REFER TO FLOOR FINISHES PLAN
- 02 ALUMINUM STOREFRONT WINDOW SYSTEM - REFER TO 7/A101
- 03 TRANSITION STRIP AS REQUIRED FOR SMOOTH LBVBL TRANSITION BETWEEN NEW AND EXISTING FLOOR FINISHES (TYPICAL)
- 04 5/4" BIRCH CAP REFER TO 5/A501
- 05 HANDRAIL - 1 1/2" DIA STEEL HANDRAIL SYSTEM - PAINTED
- 06 (2) 3614FL MAILBOXES w/ 13 USUAL MAILBOXES EACH BY MAILBOXES.COM
- 07 TELEPHONE DATA ROOM - TO REMAIN, PROTECT AS REQUIRED DURING CONSTRUCTION
- 08 NEW STAIR ON EXISTING STAIRWAY FLOOR OPENING - FIELD VERIFY FOR REQUIRED CLEARANCES PRIOR TO CONSTRUCTION

- 09 OPENING SUPPORT (DESIGN BY L & L STRUCTURAL) - PROVIDED BY OWNER - HEADER, (7) 2"x10" MEMBER w/ 3/4" PLYWOOD SPACER TO ACHIEVE 11 1/4" WIDTH OF EXISTING WALL. THE INDIVIDUAL MEMBERS OF THE BUILT-UP HEADER SHALL BE FASTENED TOGETHER WITH TWO ROWS OF 16d NAILS @ 12" o.c. AT THE TOP & BOTTOM OF HEADER. THE NEW HEADER SHALL BEAR ON DOUBLE 2"x12" JACK STUDS w/ A SINGLE FULL HEIGHT 2"x12" KING STUD @ BOTH ENDS OF EACH HEADER. ADDITIONAL SOLID BLOCKING SHALL BE INSTALLED BENEATH THE SECOND FLOOR ALIGNED w EACH DOUBLE JACK STUD (TWO PLACES) THE SOLID BLOCKING SHALL BE INSTALLED IN THE CAVITY CREATED BY THE SECOND FLOOR JOIST SEATS TIGHT BETWEEN THE UNDERSIDE OF THE EXISTING PLYWOOD FLOOR DECK AND THE TOP OF THE MASONRY WALL AT THE FIRST FLOOR BELOW. THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT OF THE EXISTING ROOF STRUCTURE AS REQUIRED TO INSTALL THE NEW HEADERS. DESIGN FOR 7'-0" OPENING OR SMALLER

GENERAL NOTES:

1. ELEVATOR - BASE: THYSSENKRUPP, MARQUIS 25 OIL/DRAULIC HOLELESS ELEVATOR SHALL MEET ALL LOCAL, STATE AND FEDERAL CODES
2. ALL MECHANICAL, ELECTRICAL AND PLUMBING DESIGN SHALL BE PREFORMED BY DESIGN BUILD CONTRACTOR - CONTRACTOR SHALL DETERMINE ALL WORK REQUIRED AND COORDINATE ALL NEW AND EXISTING CONSTRUCTION TO REMAIN. DESIGN & INSTALLATION SHALL MEET ALL LOCAL, STATE & FEDERAL CODES
3. ALL DOOR NUMBERS WITH A 'N' ARE NEW DOORS AND FRAMES. ALL OTHERS ARE TO BE NEW DOORS IN EXISTING FRAMES WERE 'LABEL' REQUIREMENTS ARE MEET. - ALL HARDWARE TO BE COORDINATED WITH OWNER
4. SCOPE OF PROPOSED CONSTRUCTION DOES NOT INCLUDE MODIFICATIONS OF SIZE OR EGRESS FROM EXISTING TENANT SPACES



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94 AUBURN STREET
RENOVATION

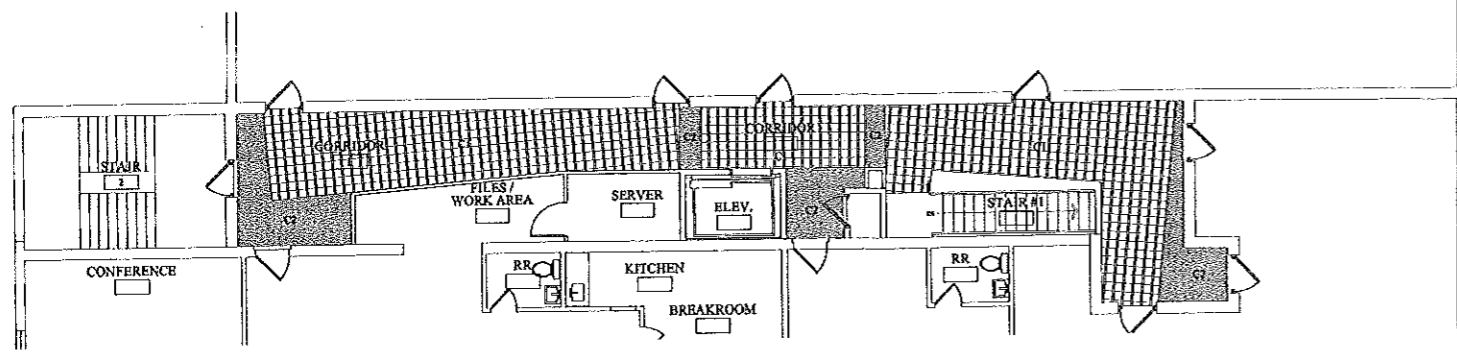
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REVISIONS	
#	DESCRIPTION
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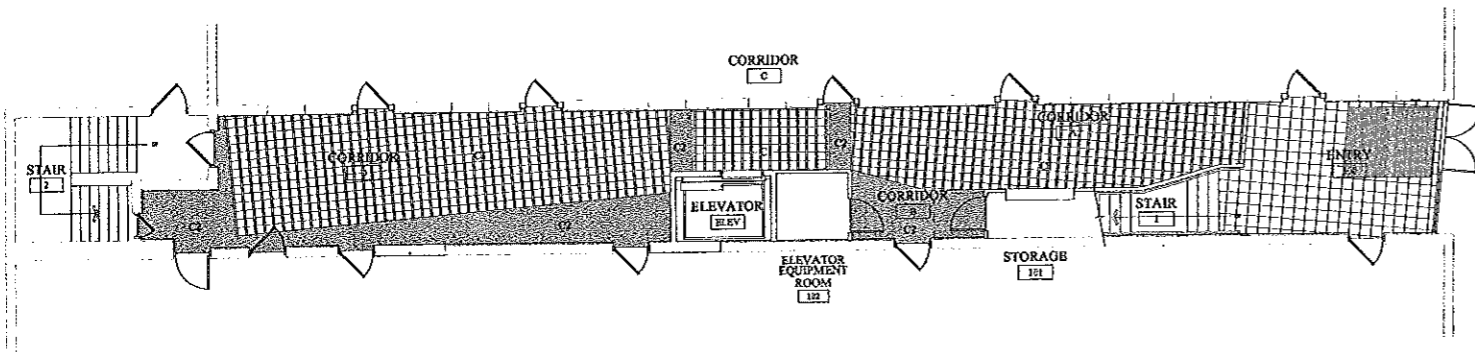
DATE:	8/04/03
PROJECT #	066602
DRAWN BY:	DNR
CHECKED BY:	SWG
DRAWING SCALE	AS NOTED

SHEET TITLE
PARTIAL SECOND FLOOR PLANS
AEGIS SUITE

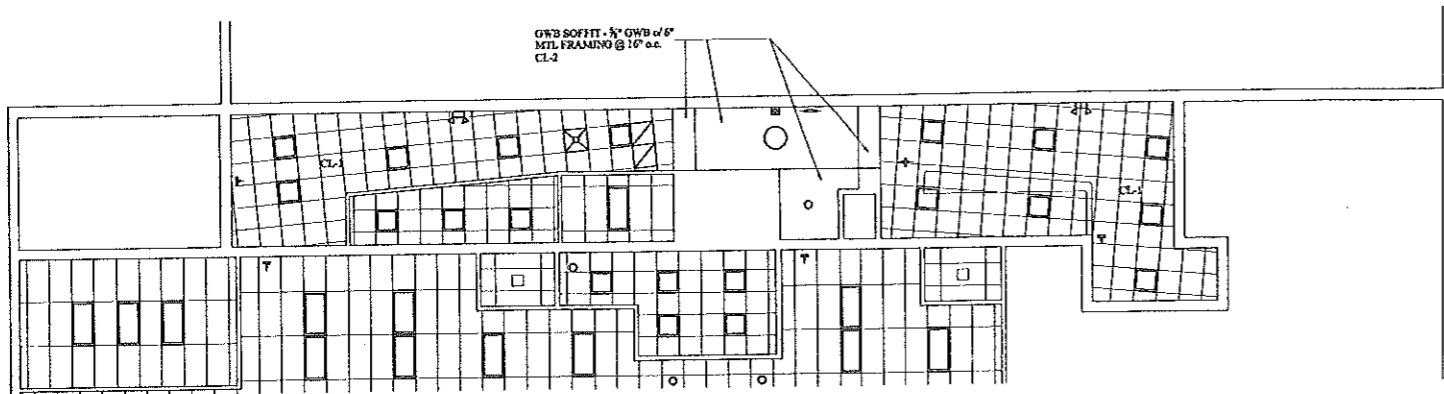
A102
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SCARBOROUGH, ME 04074



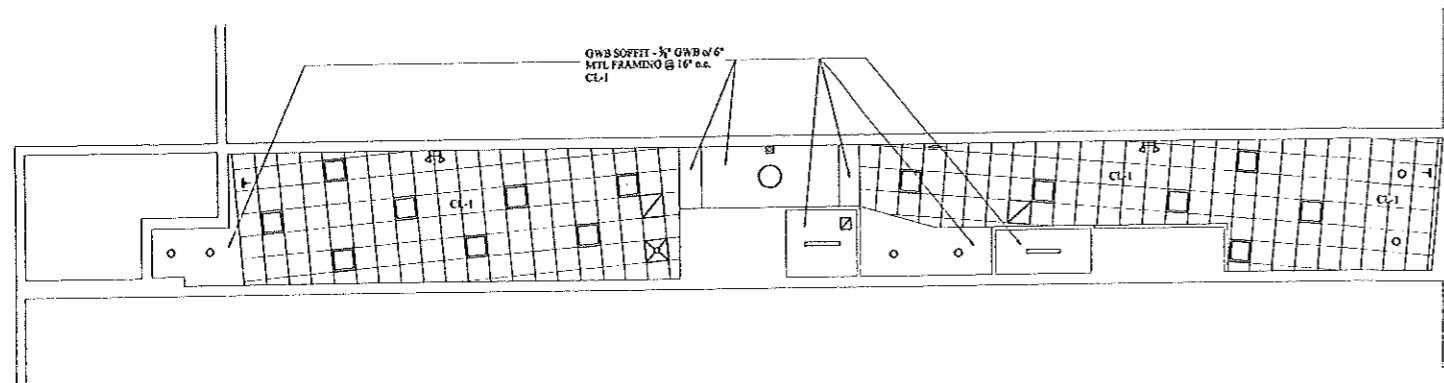
4 PARTIAL SECOND FLOOR FINISHES PLAN
SCALE: 1/8"=1'-0"



3 PARTIAL FIRST FLOOR FINISHES PLAN
SCALE: 1/8"=1'-0"



2 PARTIAL SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"



1 PARTIAL FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"

INTERIOR FINISH SCHEDULE

94 Auburn Street Renovation
090602

Room #	Room Name	Floor	Grid	Base	Ceiling	North Wall	East Wall	South Wall	West Wall	Trim	Count/Date	Remarks
100	Entry	T1/E1	G1	TB1	ACT	P2	P4	P2	P4	P5	N/A	N/A
101	Storage	VCT1	N/A	VCB1	GWB.PTD.	P4	P4	P4	P4	P5	N/A	N/A
102	Elev Equip Rm	VCT1	N/A	VCB1	GWB.PTD.	P4	P4	P4	P4	P5	N/A	N/A
A	Corridor	C1/C2/T1	N/A	VCB1	ACT	P1/P2/P3	P2	P1/P2/P3	P2	P5	N/A	See D601 for ptd. Locations
B	Corridor	C2	N/A	VCB1	GWB.PTD.	N/A	P2	P1/P2/P3	P2	P5	N/A	See D601 for ptd. Locations
C	Corridor	C1/C2	N/A	VCB1	ACT	P1/P2/P3	P2	P1/P2/P3	P2	P5	N/A	See D601 for ptd. Locations
D	Corridor	C1/C2	N/A	VCB1	ACT/GWB.PTD.	P1/P2/P3	P2	P1/P2/P3	P2	P5	N/A	See D601 for ptd. Locations
1	Stair	VTN1	N/A		GWB.PTD.	P4	P4	P4	P1	P5	N/A	N/A
2	Stair	VTN1	N/A		GWB.PTD.	P4	P4	P4	P1	P5	N/A	N/A
Elev	Elevator	*	*	*	*	*	*	*	*	*	*	* Finishes TBD upon cab system selection
Second Floor												
201	Closet	VCT1	N/A	VCB1	ACT	P4	P4	P4	P4	P5	N/A	N/A
E	Corridor	C1/C2	N/A	VCB1	ACT	P1/P2/P3	P4	P1/P2	P4	P5	N/A	See D601 for ptd. Locations
F	Corridor	C1/C2	N/A	VCB1	ACT	N/A	P1/P2	P1/P2	P4	P5	N/A	See D601 for ptd. Locations

INTERIOR FINISH LEGEND

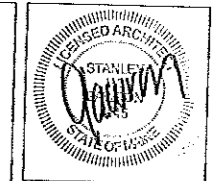
Project Title Name: 94 Auburn Street Renovation
Project Number: 090602.00

Code	Material	Manufacturer	Product Name	Size	Finish
G1	Carpet	Shaw Commercial Contract	Mode (50655), Energetic (85546)	N/A	Factory
O2	Carpet	Shaw Commercial Contract	Zanzibar (50742), Bongo Juice (42545)	N/A	Factory
VCT1	Vinyl Composition Tile	Mannington Commercial	Designer's Essentials, 235-Moss	12"x12"	Sealed
EM1	Entrance Mat	Mats Floor Matting	Barber, Light Beige	Roll goods	Factory
T1	Glazed Porcelain Floor Tile	Del-Tile	Petra Vecchia, Champagne-PV02	13"x13"	Sealed
G1	Grout	Hydroment Grouts	Archie White, S120	N/A	Sealed
VCB1	Vinyl Core Wall Base	Johnsontite	Sage-13	6"	Factory
VTN1	Vinyl Tread/Riser System	Johnsontite	Raised round tread/riser combination (RTR), 80 Fawn	Verify in field	Factory
TB1	Glazed Porcelain Wall Base Tile	Del-Tile	Petra Vecchia, Champagne-PV02, S-43E8	5"x13"	Sealed
P1	Paint	Sherwin Williams	Ambitious Amber, SW6366	N/A	Satin
P2	Paint	Sherwin Williams	Celery, SW6421	N/A	Satin
P3	Paint	Sherwin Williams	Artchoke, SW6178	N/A	Satin
P4	Paint	Sherwin Williams	Queen Anne's Lace, SW6420	N/A	Satin
P5	Paint, trim	Sherwin Williams	Venezian Lace, SW7119	N/A	Semi-Gloss
CL-1	Suspended acoustic tile ceiling system	Armstrong	Dura	2' x 2'	5/16" white grid
CL-2	Paint of GWB	Sherwin Williams	Bright ceiling white	N/A	Flat

REFLECTED CEILING PLAN LEGEND

- 2x2 PARABOLIC LIGHT FIXTURE
- RECESSED FLORESCENT
- DECORATIVE SUSPENDED LIGHT FIXTURE
- SUSPENDED FLORESCENT
- ⊠ RETURN AIR GRILL
- ⊠ SUPPLY AIR GRILL
- ⊠ EMERGENCY LIGHTING WALL PACK
- ⊠ HORN STROBE
- ⊠ EXIT SIGN

NOTE: ALL FLOORING, CEILINGS, & FINISHES IN AEGIS SUITE SHALL BE SELECTED BY OWNER



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94 AUBURN STREET RENOVATION

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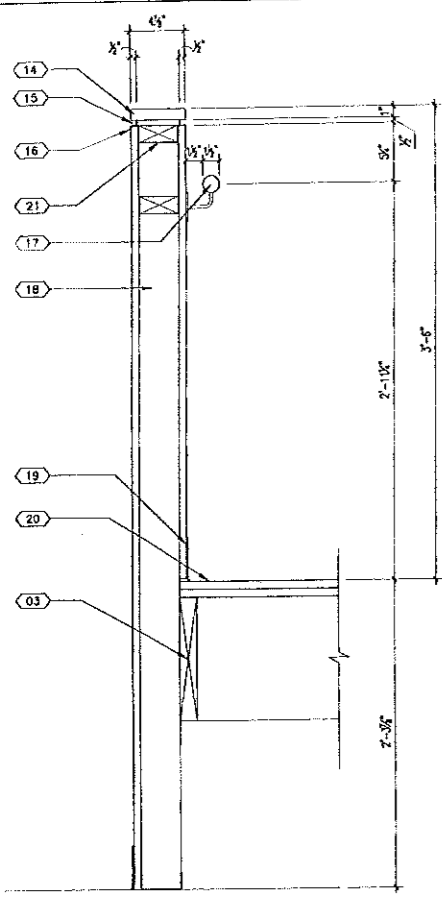
REVISIONS

#	DATE	DESCRIPTION
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2	6/05/03	ISSUED FOR STAIR REVISION
3	6/17/03	ISSUED FOR AEGIS SUITE

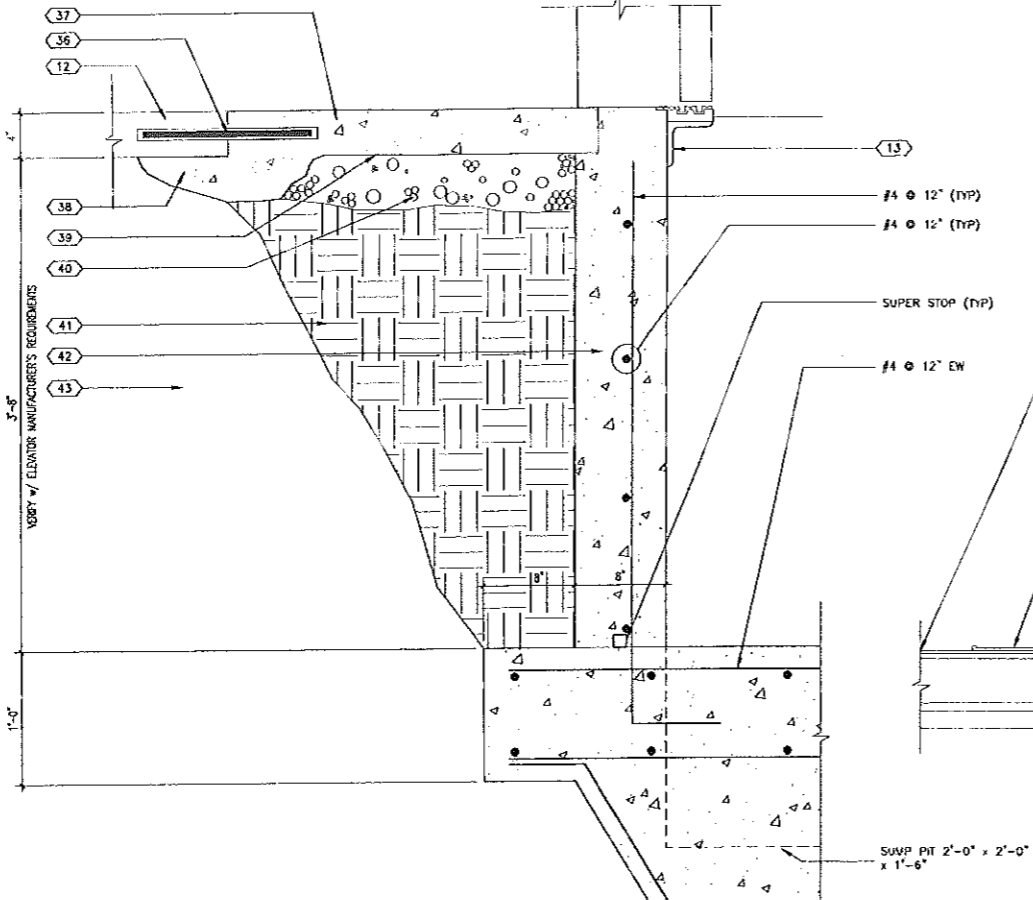
DATE:	8/04/03
PROJECT #:	090602
DRAWN BY:	DJR
CHECKED BY:	SWD
DRAWING SCALE:	AS NOTED

SHEET TITLE
FIRST & SECOND FLOOR PARTIAL REFLECTED CEILING PLAN

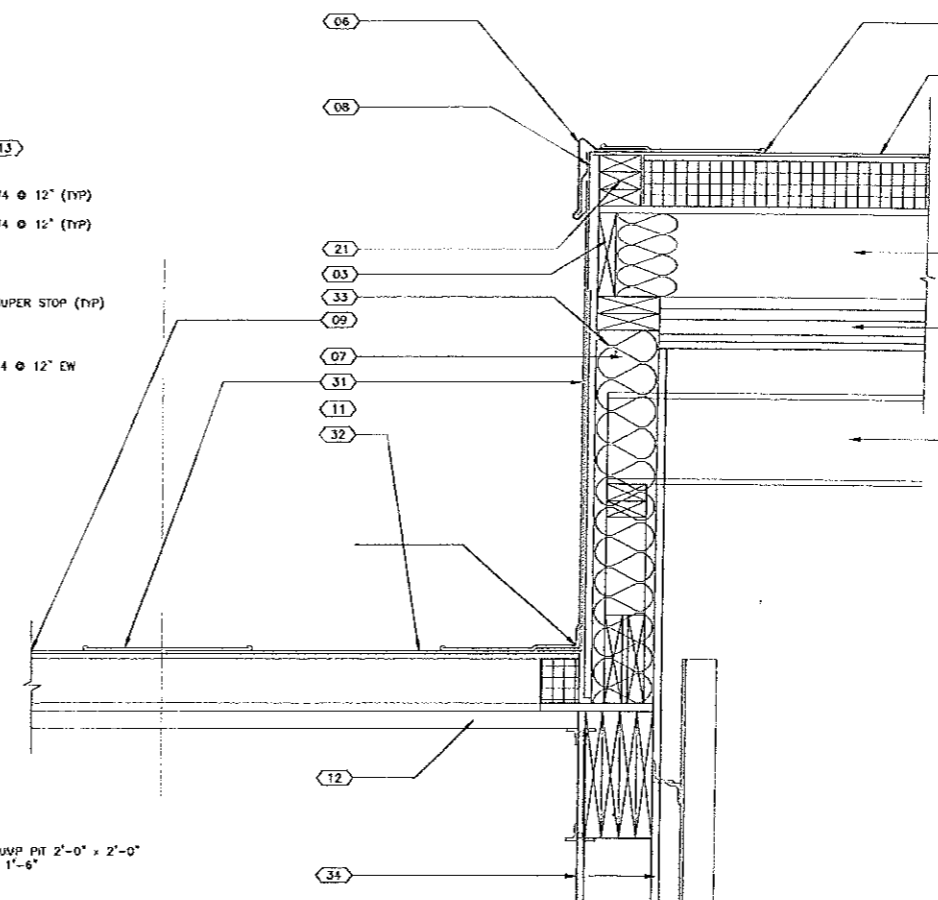
A301



5 SECTION DETAIL
A501 SCALE: 1 1/2"=1'-0"



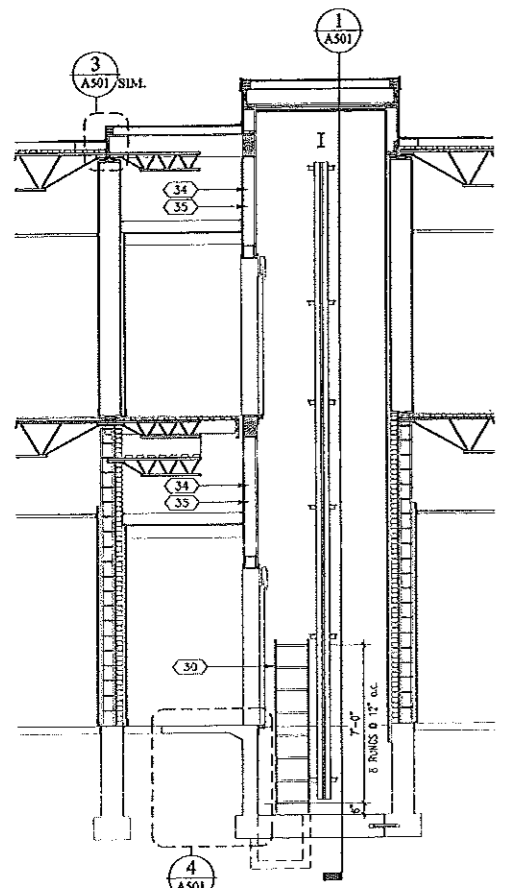
4 SECTION DETAIL
A501 SCALE: 1 1/2"=1'-0"



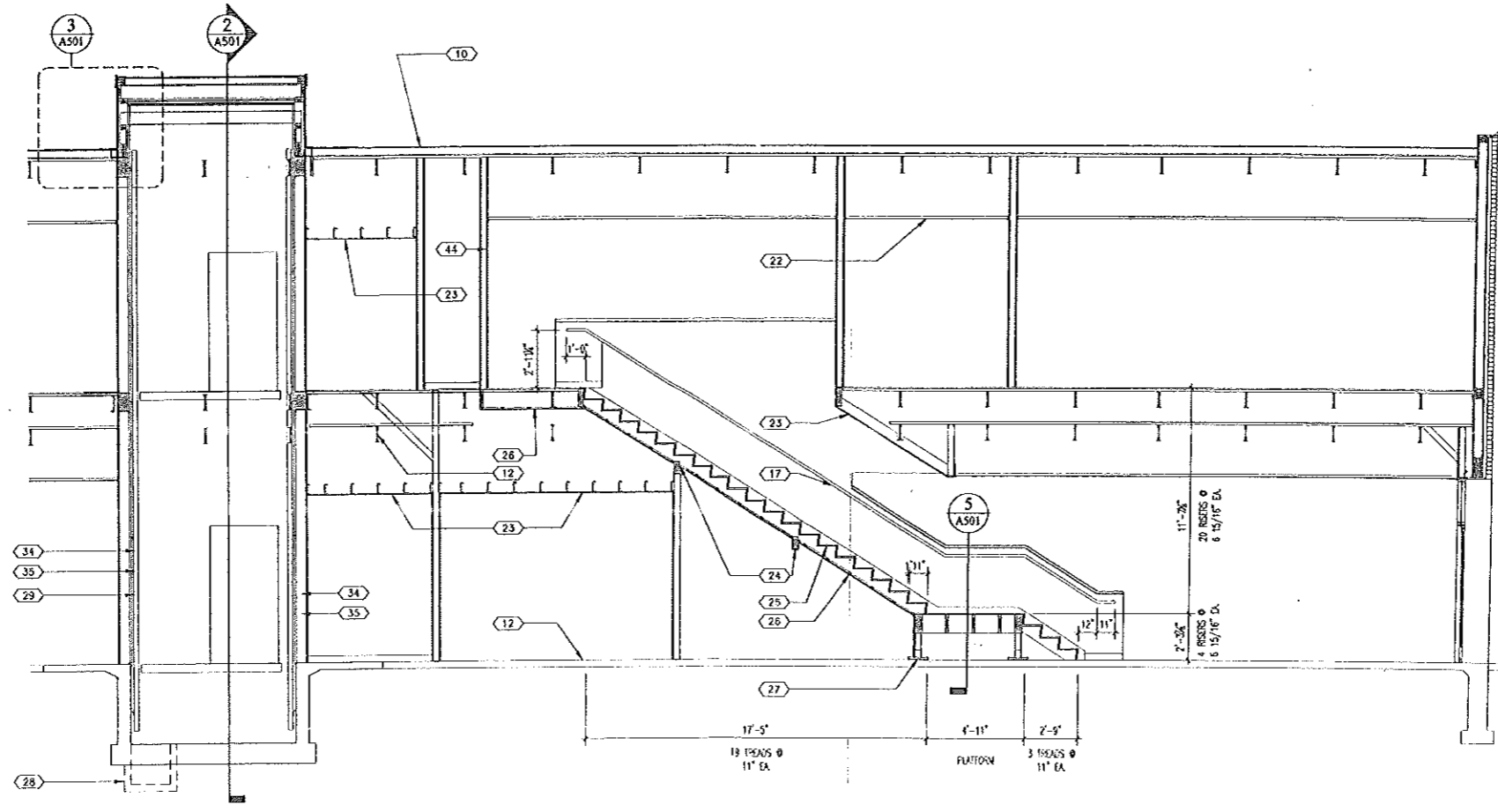
3 SECTION DETAIL
A501 SCALE: 1 1/2"=1'-0"

SECTION LEGEND:

- 01 ROOFING SYSTEM - SINGLE PLY EPDM MEMBRANE w/ 1/2" ROOFING BOARD w/ 4" POLYISOCYANURATE INSULATION w/ 1/2" PLYWOOD ROOF DECK
- 02 LAP SEALANT
- 03 REFER TO STRUCTURAL
- 04 1 HOUR FIRE RATED SHAFT WALL CONSTRUCTION HORIZONTALLY ATTACHED
- 05 ELEVATOR ERECTION BEAM - REFER TO STRUCTURAL
- 06 PRE-FINISHED ALUMINUM COPING w/ SPRING CLIPS - COLOR BY ARCHITECT
- 07 5 1/2" WOOD STUDS @ 16" o.c.
- 08 ROOFING MEMBRANE SHALL CONTINUE UP SURFACE & OVER TOP OF WALL / PARAPET AND CONTINUE DOWN OPPOSITE SIDE 1" ABOVE COPING / TRIM
- 09 EXISTING BUILT-UP ROOFING SYSTEM
- 10 LOCATE ROOF SLOPE AND PROVIDE CRICKETS AS REQUIRED TO INSURE PROPER MOVEMENT OF WATER TO EXISTING ROOF DRAINAGE SYSTEM
- 11 ROOFING SYSTEM STANDARD EDGE TIE-IN DETAIL - ATTACH TO VERTICAL SURFACE
- 12 EXISTING CONSTRUCTION TO REMAIN
- 13 ELEVATOR DOOR SILL STEEL ANGLE - BY ELEVATOR INSTALLER
- 14 5/4" BIRCH WOOD CAP w/ 1/8" CHAMFERS AT EA TOP SIDE - CLEAR POLY FINISH
- 15 1/2" x 1/2" REVEAL
- 16 1" MOLDING @ TOP EDGE EACH SIDE
- 17 HANDRAIL - 1/2" DIA. STEEL TUBE - PAINTED - E. SIDE
- 18 3 1/2" WOOD STUD FRAMING @ 16" o.c.
- 19 BASE - REFER TO FINISHES LEGEND
- 20 DECK - (2) LAYER 1/2" PLYWOOD
- 21 2" x WOOD BLOCKING
- 22 SUSPENDED ACOUSTICAL CEILING SYSTEM - REFER TO REFLECTED CEILING PLANS
- 23 GWB SOFFIT - 5/8" GWB w/ 6" MTL STUDS @ 16" o.c.
- 24 (2) 2"x8" WOOD BRACE w/ (2) 2"x4" WOOD POSTS EA. SIDE
- 25 STAIR RAISERS (SLOPED) & TRADS 1/2" PLYWOOD - REFER TO FLOOR FINISHES PLAN
- 26 5/8" TYPB "X" GWB w/ 1/4" WOOD FURRING
- 27 2"x12"x 3/8" STEEL CHANNEL STAIR LANDING FOOTING
- 28 ELEVATOR SUMP - 2x2x1'-6" POURED-IN-PLACE CONCRETE
- 29 ELEVATOR RAIL SYSTEM - BY ELEVATOR SUPPLIER - LATERAL SUPPORT AT EACH FLOOR
- 30 ELEVATOR PIT LADDER - STEEL LADDER PER CODE - PAINTED
- 31 BASE FLASHING
- 32 NEW TO EXISTING ROOF SPLICE - CONSTRUCTION AS REQUIRED BY ROOFING MANUFACTURER TO COMPLY WITH ROOFING WARRANTY CONSTRUCTION
- 33 6" FIBERGLASS BATT INSULATION
- 34 5/8" TYPB "X" GWB
- 35 1/2" PLYWOOD
- 36 #4 BAR 12" LONG @ 16" o.c. BORE & EPOXY INTO EXISTING SLAB
- 37 4" POURED-IN-PLACE CONCRETE SLAB w/ FIBER MESH
- 38 UNDER POUR SLAB AS REQUIRED TO ELIMINATE POTENTIAL UNDERMINING
- 39 6 MILL VAPOR RETARDER
- 40 6" COMPACTED GRANULAR FILL
- 41 BACKFILL COMPACTED TO 98 %
- 42 POURED-IN-PLACE CONCRETE FOUNDATION WALL
- 43 UNDISTURBED EARTH
- 44 1 HOUR FIRE RATED WALL - VERIFY EXISTING CONSTRUCTION FOR COMPLIANCE OR RECONSTRUCT AS WALL TYPE W1



2 PARTIAL BUILDING SECTION: ELEVATOR
A501 SCALE: 1/4"=1'-0"



1 PARTIAL BUILDING SECTION: ELEVATOR
A501 SCALE: 1/4"=1'-0"



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94 AUBURN STREET
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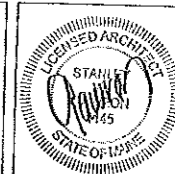
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2	6/05/03	ISSUED FOR STAIR REVISION
3	8/14/03	ISSUED FOR AEGIS SUITE

DATE:	8/04/03
PROJECT #	060602
DRAWN BY:	DMR
CHECKED BY:	SWG
DRAWING SCALE:	AS NOTED

SHEET TITLE

SECTIONS & DETAILS

A501



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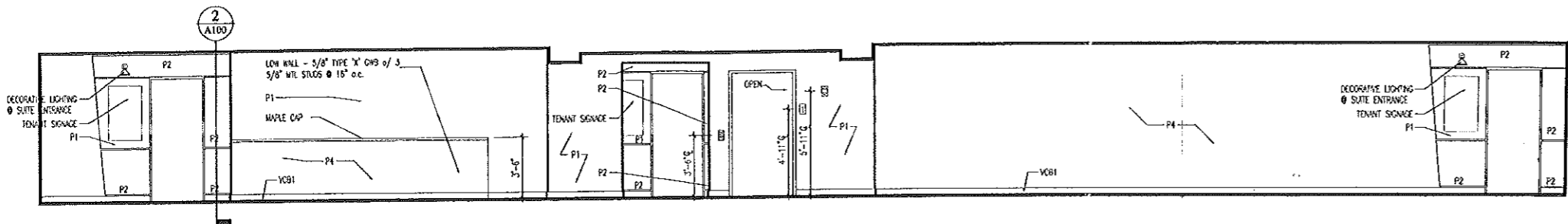
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DATE:	8/04/03
PROJECT #:	060602
DRAWN BY:	EMR
CHECKED BY:	SWJ
DRAWING SCALE:	AS NOTED

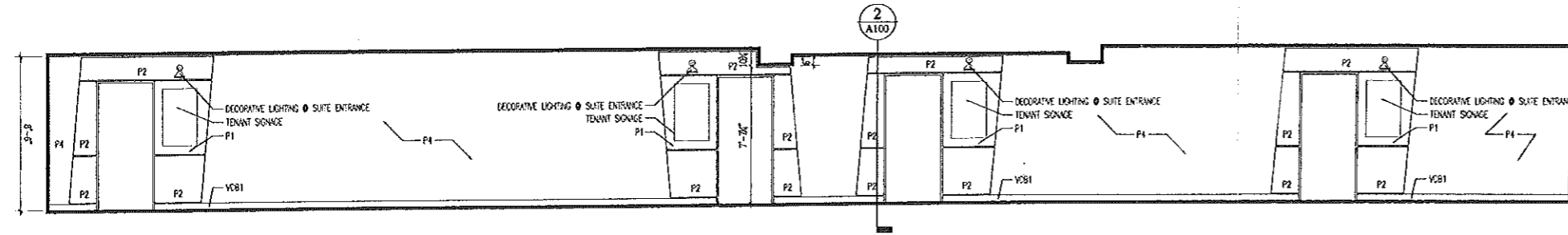
SHEET TITLE
 INTERIOR ELEVATIONS

A601

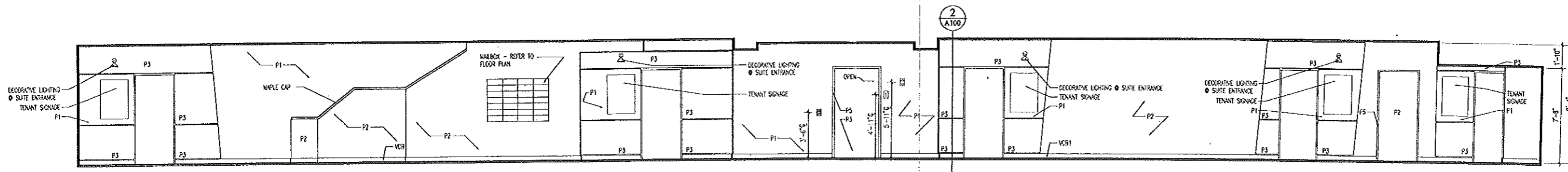
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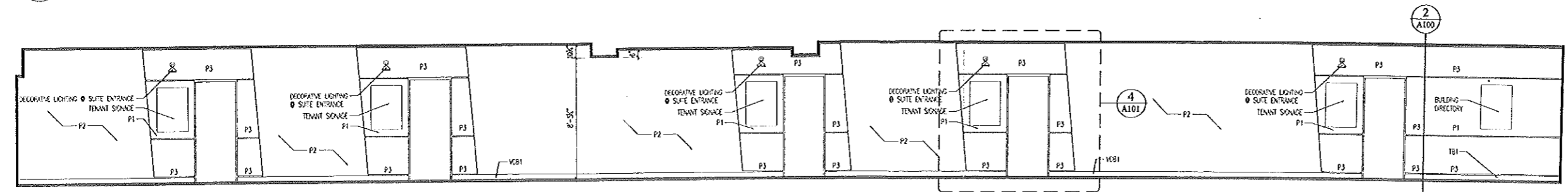
4 INTERIOR ELEVATION: SECOND FLOOR - WEST WALL
 A601 SCALE: 1/4"=1'-0"



3 INTERIOR ELEVATION: SECOND FLOOR - EAST WALL
 A601 SCALE: 1/4"=1'-0"



2 INTERIOR ELEVATION: FIRST FLOOR - WEST WALL
 A601 SCALE: 1/4"=1'-0"



1 INTERIOR ELEVATION: FIRST FLOOR - EAST WALL
 A601 SCALE: 1/4"=1'-0"



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CHECKED BY:	SWG
DRAWING SCALE:	AS NOTED

SHEET TITLE
 STRUCTURE

S100

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