

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that LEWIS E MCDONALD

Located At 145 AUBURN ST

Job ID: 2011-07-1625-ALTR

CBL: 374 - - B - 008 - 001 - - - -

has permission to Relocate a 18'x18' recreation room from the rear of the garage to the rear of the left side building provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

*[Handwritten signature]* 7/14/11

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-07-1625-ALTR	Date Applied: 7/5/2011	CBL: 374 - - B - 008 - 001 - - - - -	
Location of Construction: 145 AUBURN ST	Owner Name: LEWIS E MCDONALD, KW VET	Owner Address: 145 AUBURN ST PORTLAND, ME 04103	Phone: 207-797-7446
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BUILDING	Zone: <b>R-3</b>
Past Use: Single family with accessory dwelling unit	Proposed Use: Single family with accessory dwelling unit – relocate 18' 18' room from rear of garage to rear of building.	Cost of Work: 12000.000000	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <b>R3</b> Type: <b>SB</b> <b>IRC-2009</b> Signature: <b>JMB</b>
Proposed Project Description: move existing 18' x 18' room from rear of garage to rear of building		Pedestrian Activities District (P.A.D.) <b>7/14/11</b>	
Permit Taken By:		<b>Zoning Approval</b>	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <b>OK w/cond. has</b> <b>7/14/11 Agm</b>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>Agm</b>

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHON	

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
  1. Footing/Slab/Setback inspection prior to pour
  2. Close in electric, framing, plumbing prior to insulation or drywall
  3. Final at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCU0PIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-07-1625-ALTR

Located At: 145 AUBURN

CBL: 374 - - B - 008 - 001 - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling with an accessory dwelling unit. Any change of use shall require a separate permit application for review and approval.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.



2011 07 16 25 7/15/11

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>145A Auburn St</u>		
Total Square Footage of Proposed Structure <u>360</u>	Square Footage of Lot <u>15,000 sq ft</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>374-B-8</u> Block# Lot#	Owner: <u>Lewis E. McDevine</u>	Telephone <u>797-7446</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Lewis E. McDevine 145A Auburn St Portland, Me</u>	Cost Of Work: \$ <u>12,500</u> Fee: \$ <u>140.00</u>
Current use: <u>Free Am</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>Bedroom</u>		<b>JUL - 5 2011</b>
Project description: <u>Move existing Bldg about 25'</u>		<b>RECEIVED</b>
Contractor's name, address & telephone: <u>CORP Movers - GRAY, P/O - Mover 829.3570</u>		
Who should we contact when the permit is ready: <u>Lewis E. McDevine</u>		
Mailing address: <u>145A AUBURN ST PORTLAND, ME 04133</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797.7446</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of the jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Lewis E. McDevine Date: 7/15/11

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

S 16°-34'-39" N 50.00' S 07°-23'-00" E 22.00'

R-3  
lot size - 31,000 sq ft  
front - N/A  
side - lobby - 8'-15" scale  
rear - 25' min - 25'  
lot coverage - same

DOG HOUSE ■ Just clearing structure

SHED

STEPS

DECK/STEPS

N 85°-11'-24" E 120.03'

52" TREE

S 85°-11'-24" N 220.03'

22" APPLE

10413/232 PCL 2  
154/232 PCL 1

DECK/STEPS

POOL

REC. ROOM

1 STORY HOUSE

PLANTER

DECK/STEPS

2 STORY HOUSE

STEPS

N 84°-50'-22" E 230.35'

↑ 35' ↓

3'

0.45'

N 07°-23'-00" E 64.25'

N 07°-23'-00" E 75.00'

WATER SHUT

1" = 20'

1" FLUSH (HOLD FOR LINE)

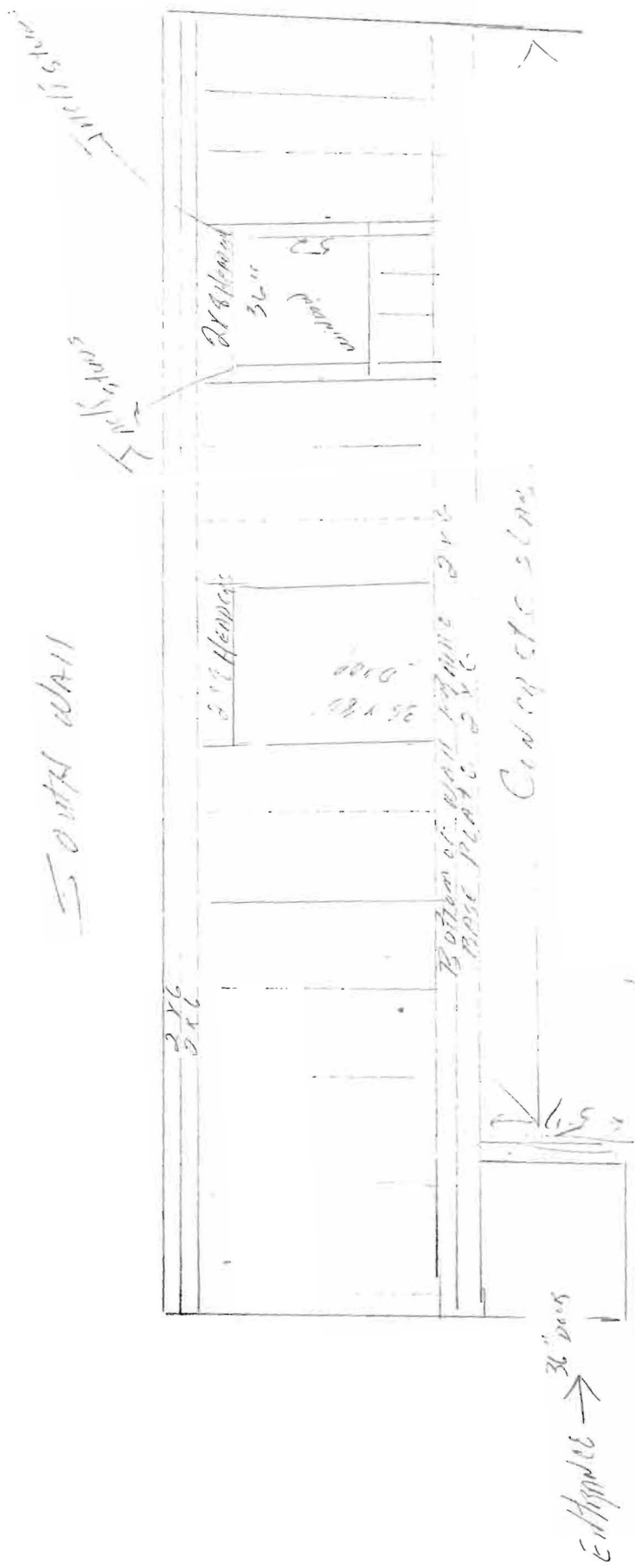
HOUSE

16.1

7 & 8' 1/2

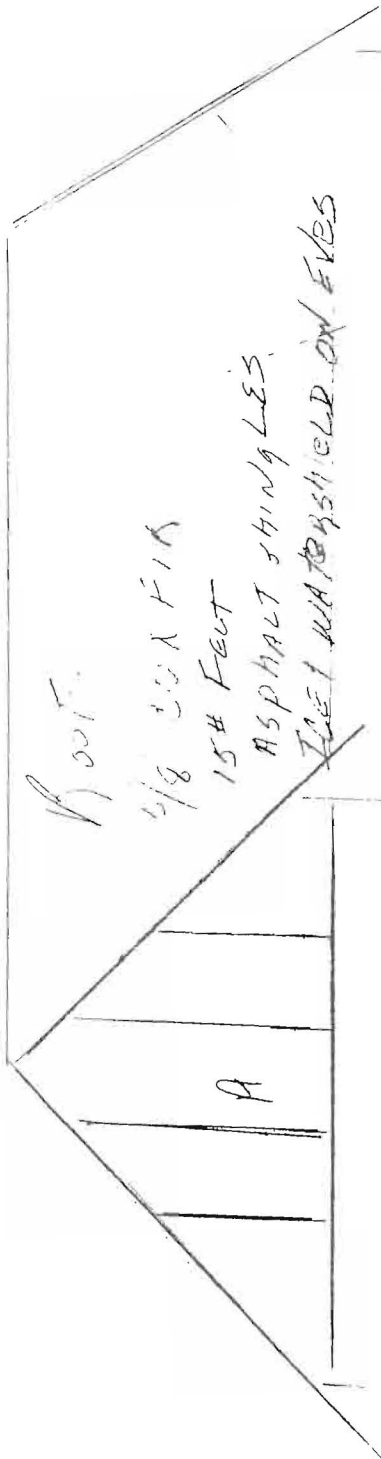
pool

SHED



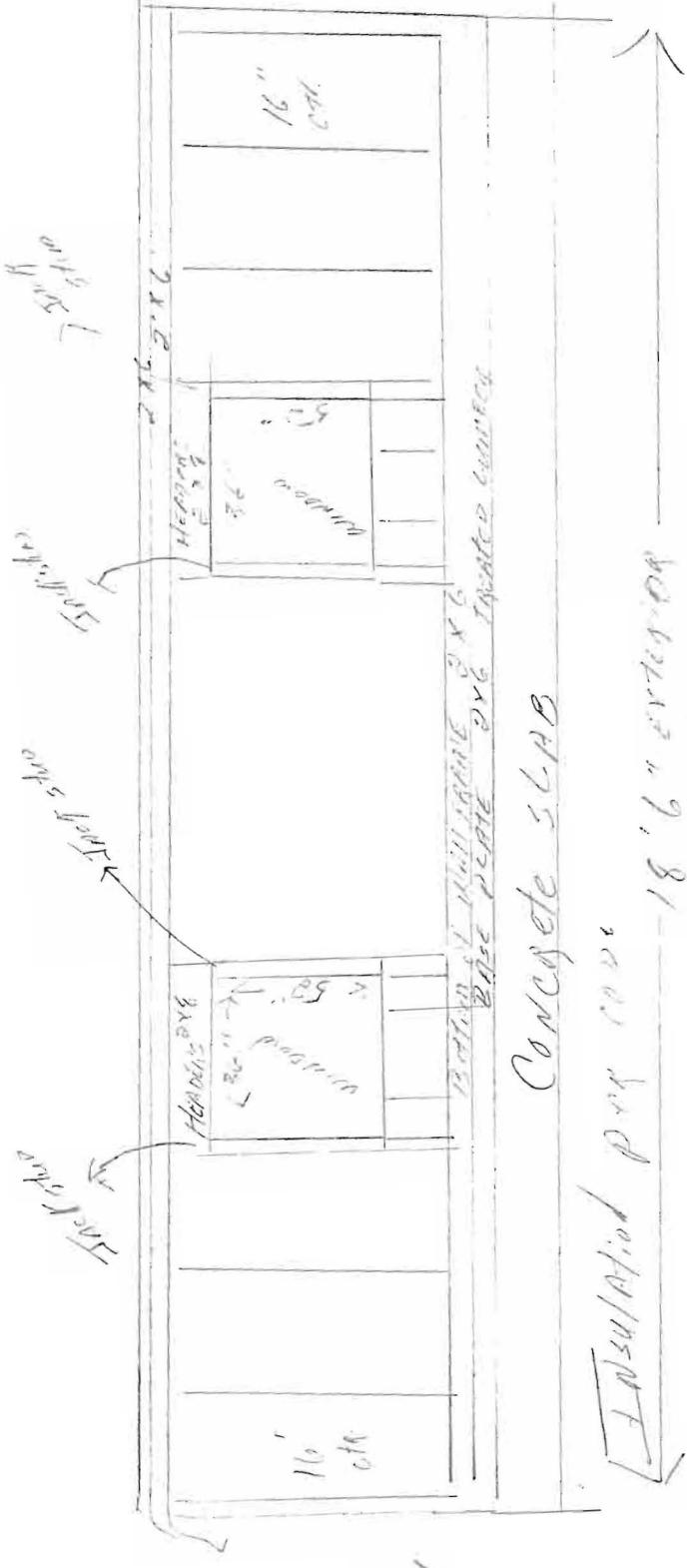
FRAMING WILL BE 2x6"  
 ALTHOUGH MAY WINDOWS & DOORS 2x8"

LEWIS McDONALD  
145 MURKIN ST  
KERRVILLE, TEXAS  
773-1040



A. TRUSSES - READY MADE FROM LUMBER YARD:  
20' 6 1/2 REG TRUSS - BUILT WITH 2 X 4"  
1 FOR GABLE END  
24" ON CTR

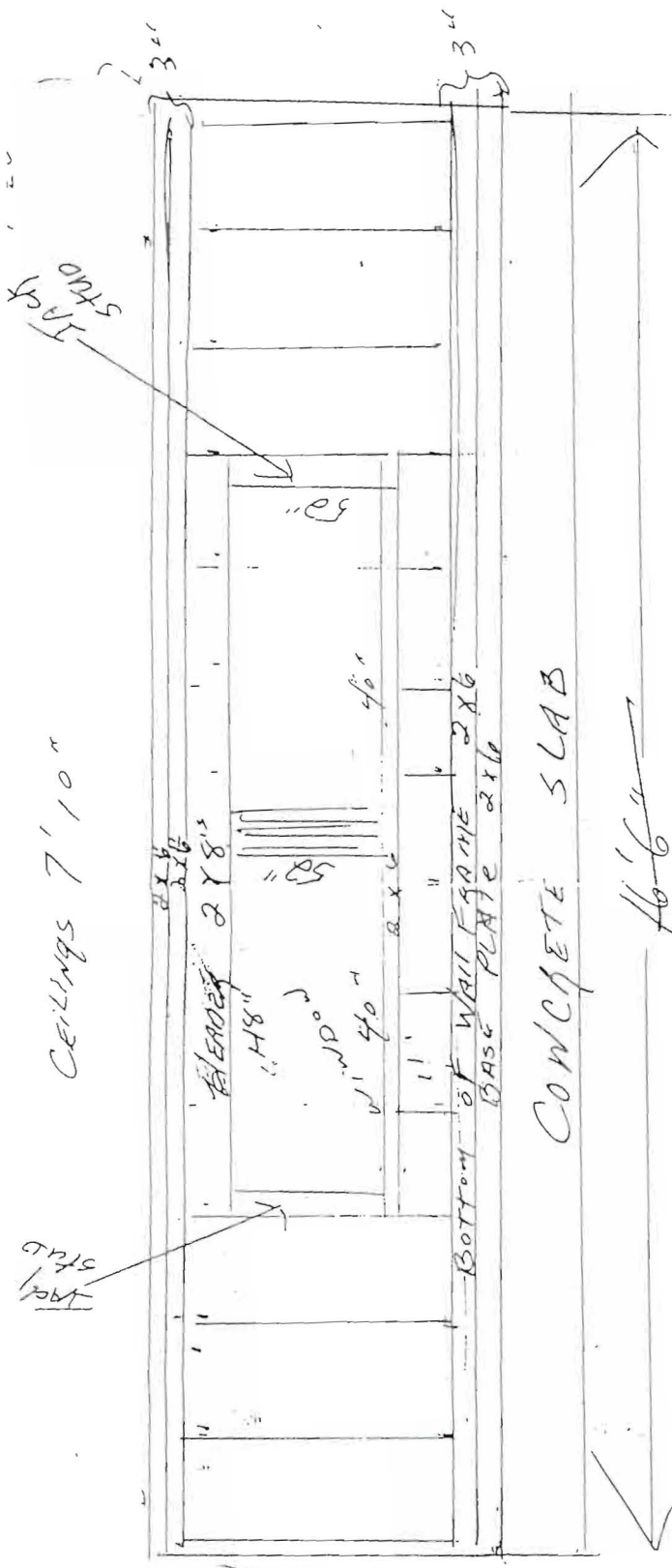




North wall

East wall  
Interior

Framing will be 2x6"  
Headers over windows & doors 2x8"



Front Wall  
Facing Around  
St. - West

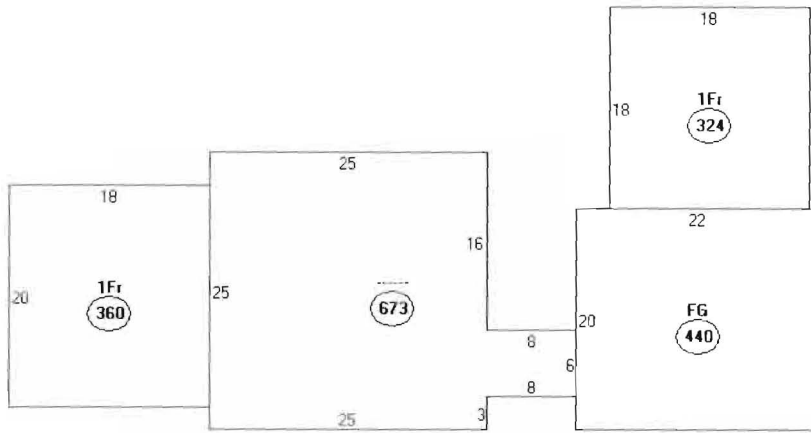
CONCRETE SLAB

46'6"  
18'6"



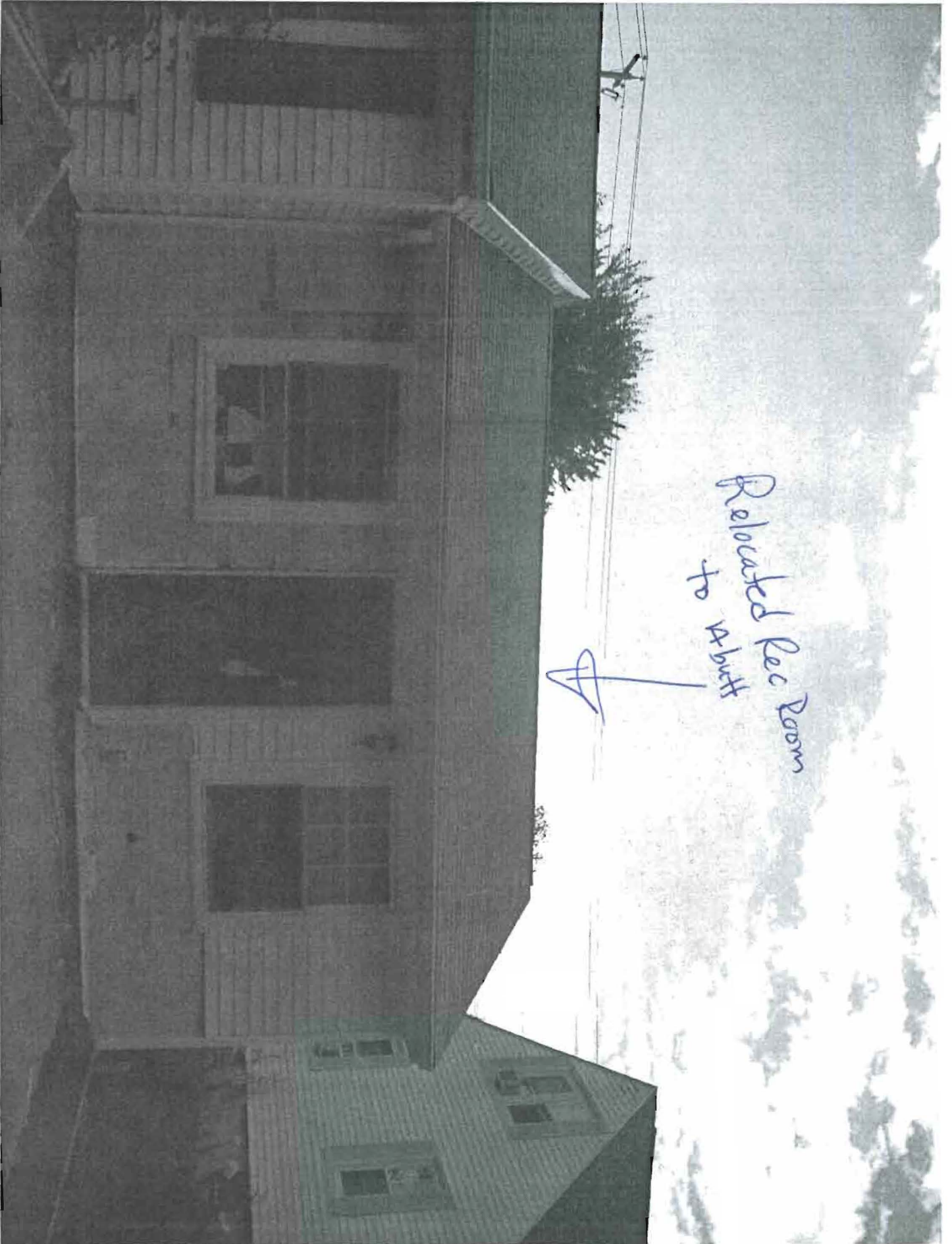
Back Wall  
Facing  
East  
Dimensions  
Same as Above.  
As Above  
Added Door  
Added

CONCRETE SLAB



Descriptor/Area

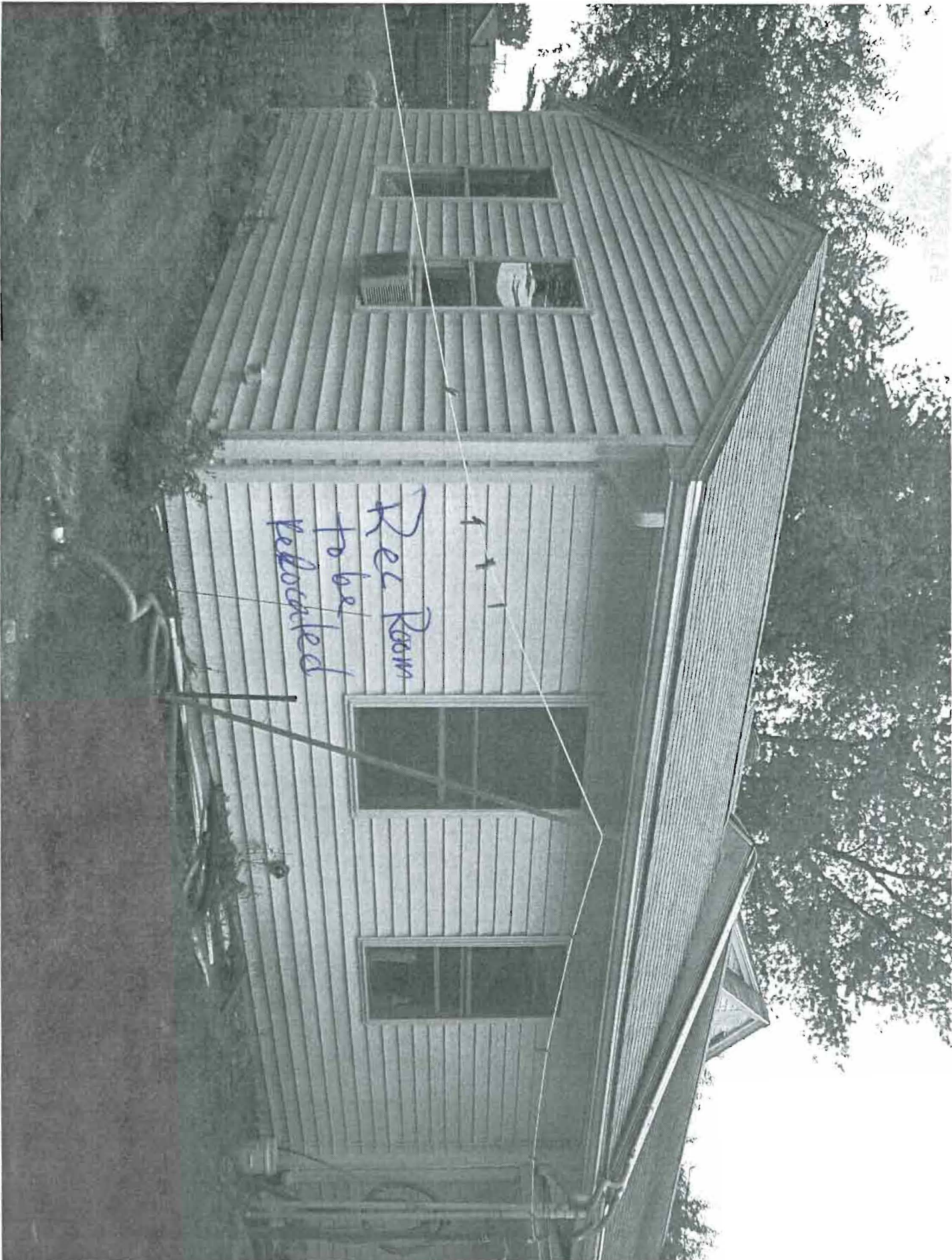
- A: -----  
673 sqft
- B: 1Fr  
360 sqft
- C: FG  
440 sqft
- D: 1Fr  
324 sqft



Relocated Rec Room  
to Annex

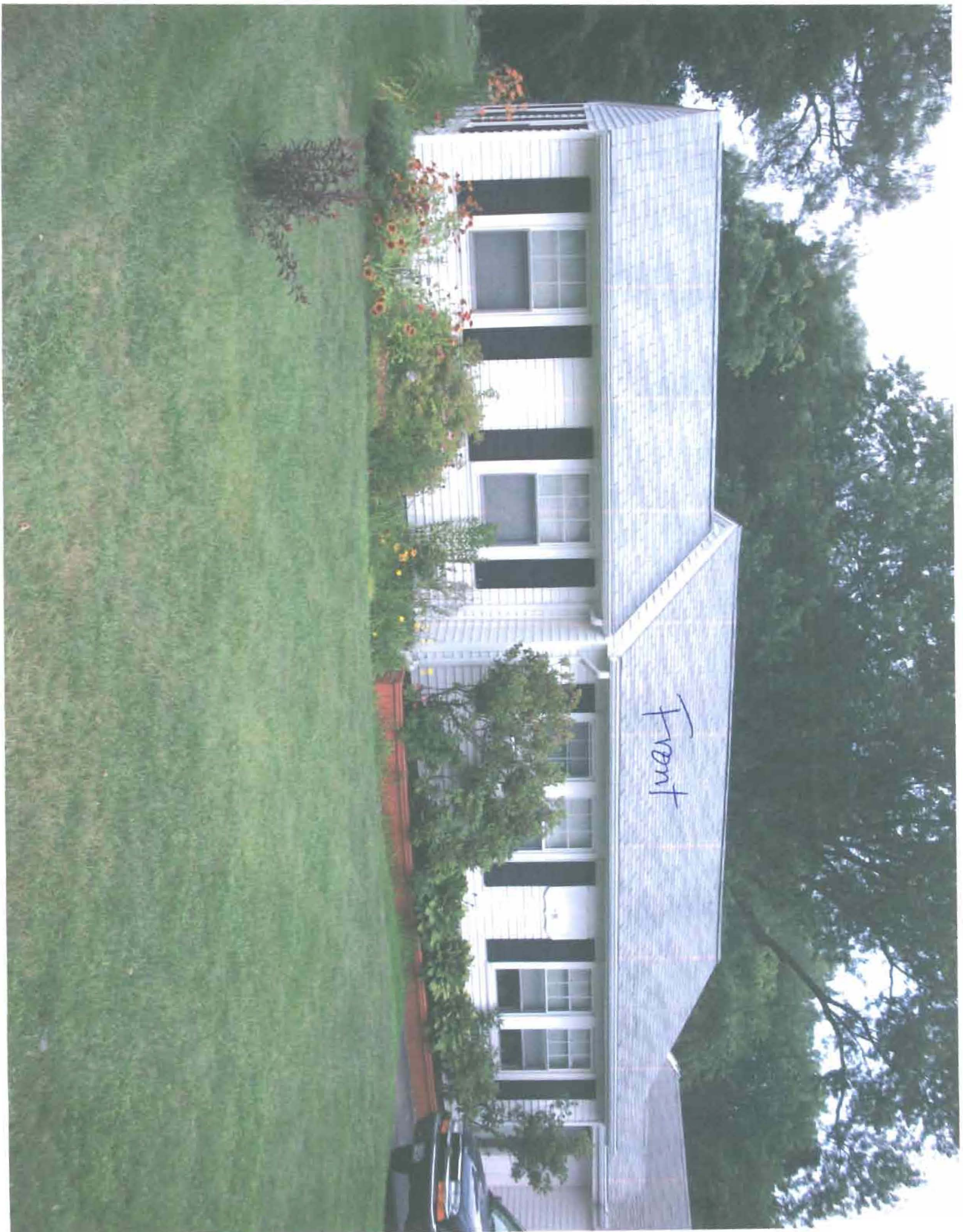






Rec Room  
relocated





Front





2 story  
Rt side  
house



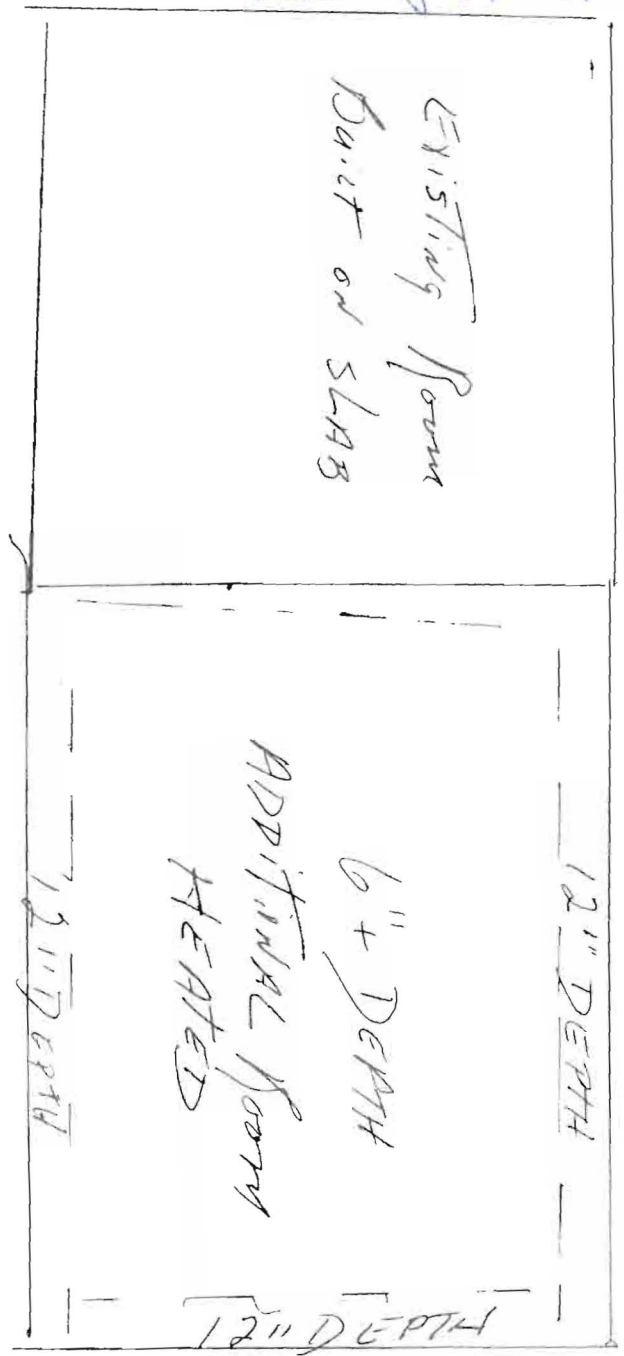






- SLAB  
145 Auburn St. Unit A

Rear of Structure



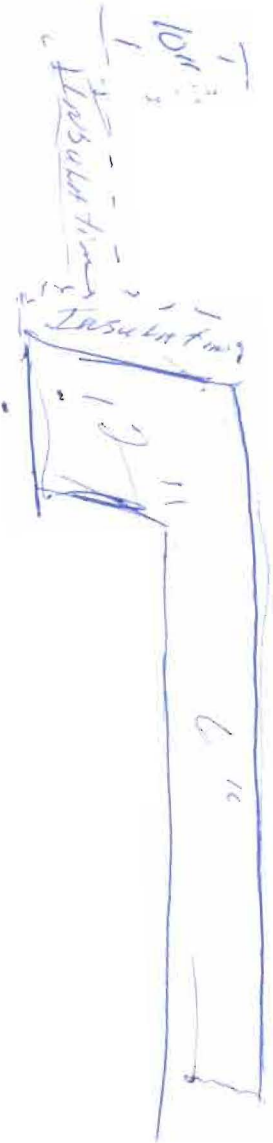
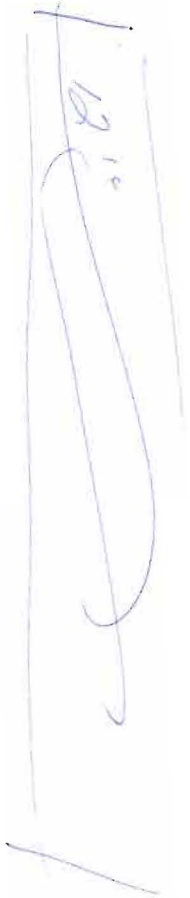
FORMS joined Together with REBAR  
REBAR USED for Reinforcement on Body of Unit

SLAB To Be installed BY:

DAVE BRACKET, WINDHAM, ME

THIS IS THE THIRD SLAB THIS COMPANY  
HAS INSTALLED. NEVER HAD ANY PROBLEMS  
WITH THE INSTALLATION

6"



Horizontal + vertical combination of 4' and R-10

Anchored with metal straps or Anchor Bolts

Per code per low W<sup>c</sup> 7/15/11

Dept. of Building Inspections  
City of Portland Maine

JUL 15 2011

RECEIVED



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

Received on June 5 2011

Received from W. J. [unclear]

Location of Work 145 [unclear]

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 142.00

Building (IL)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 274 P 008

Check #: 3152 Total Collected \$ 142.00

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy