

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 041447

ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that McDonald Lewis E Kw Vet / owner

has permission to accessory building

AT 145 Auburn St

374 B008001

CITY OF PORTLAND

OCT 22 2004

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature]
10/21/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1447	Issue Date:	CBL: 374 B008001
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Location of Construction: 145 Auburn St	Owner Name: Mcdonald Lewis E Kw Vet	Owner Address: 145 Auburn St	Phone:
Business Name:	Contractor Name: Owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type:	Zone: R-3

Past Use: single family	Proposed Use: single family accessory building	\$75.00 \$6,000.00 5
FIRE DEPT: <input checked="" type="checkbox"/> Approved		(INSPECTION: Use Group: R-3/U Type: SB IRC 2003 [Signature]
Signature: _____		Signature: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: 09/28/2004	Zoning Approval
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Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: 10/21/04	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 10/21/04

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1447	Date Applied For: 09/27/2004	CBL: 374 B008001
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Location of Construction: 145 Auburn St	Owner Name: Mcdonald Lewis E Kw Vet	Owner Address: 145 Auburn St	Phone:
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Tenant/Ressee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: single family accessory building	
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Dept: Zoning **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 10/21/2004
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 10/21/2004
Note: **Ok to Issue:**

- 1) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Separate permits are required for any electrical, plumbing, or heating.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in **6** months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- ~~Re-Bar Schedule Inspection:~~ Prior to pouring concrete
- ~~Foundation Inspection:~~ Prior to placing ANY backfill
- ~~Framing/Rough Plumbing/Electrical:~~ Prior to any insulating or drywalling
- ~~Final Certificate of Occupancy:~~ Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] 10/27/04
Signature of Applicant/Designee Date

[Signature] 10/22/04
Signature of Inspections Official Date

CBL: 374-B 208 Building Permit #: 04-1447

MONOLITHIC SLAB

Construction of a **FPSF** monolithic slab is very similar to that of a conventional slab. (See Figures 12 and 13). The only **step** requiring additional consideration is whether to place the insulation before or after casting the slab. Tacking the vertical insulation in place with nails after the pour is a simple technique, made even easier if it is done when the concrete is **new**, or "green".

As an alternative installation technique, the vertical insulation boards may be tacked in place to the inside of the formwork before the pouring of concrete. This technique allows the insulation to adhere, or if nails are used, to fasten to the concrete and eliminates the necessity for securing the insulation to the wall later. If the insulation is installed in this manner, it should be noted that the foundation line **is** actually at the inside face of the insulation board, which may affect overall dimensions used for framing.

If both vertical and horizontal insulation are used, the vertical wall insulation should be placed first. The horizontal insulation, where used, is then placed directly on the subgrade, or on the gravel drainage layer, if provided. Measures should be taken to ensure a smooth bed for the horizontal insulation, and sub-slab insulation, if used.

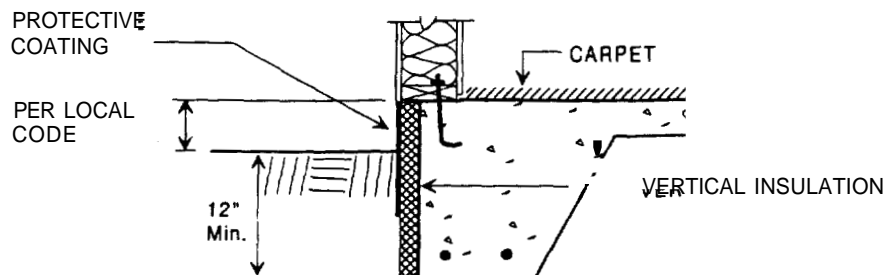


Figure 12. One Example of a FPSF Monolithic Slab in a Mild Climate

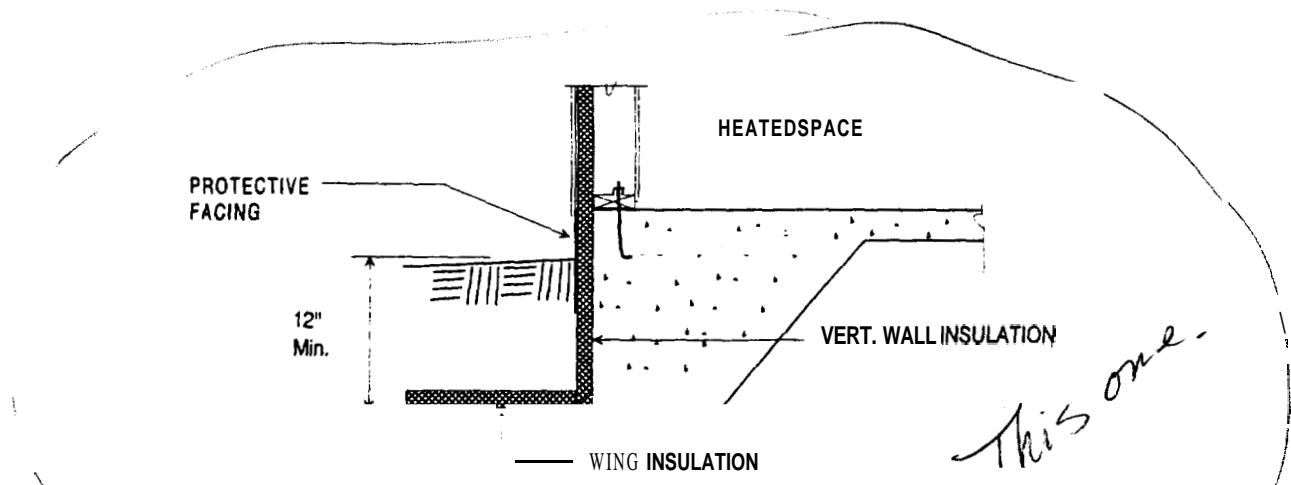
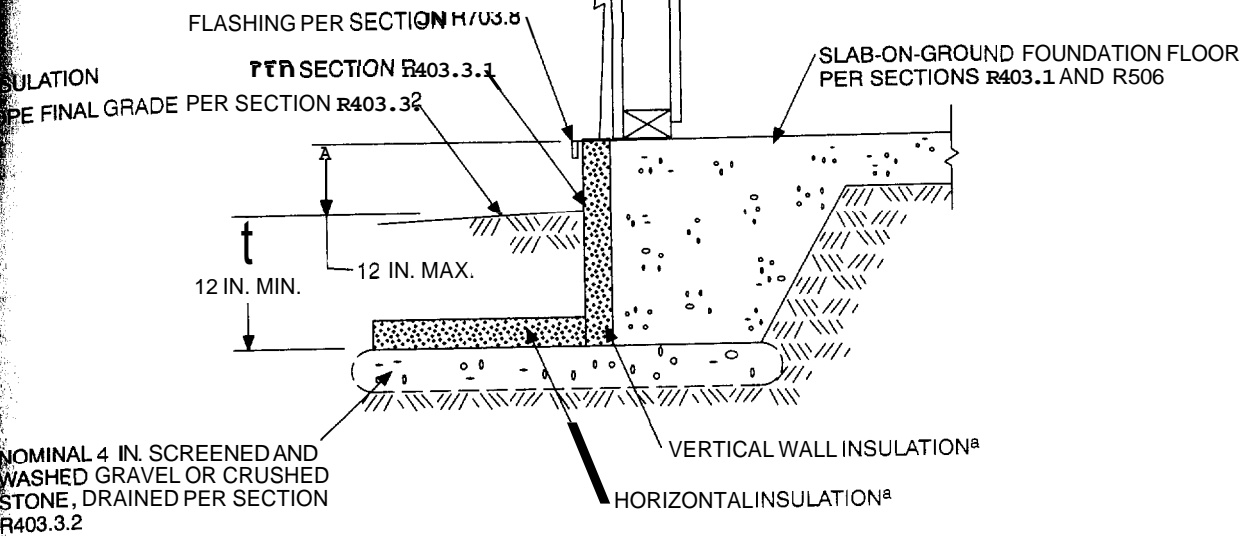
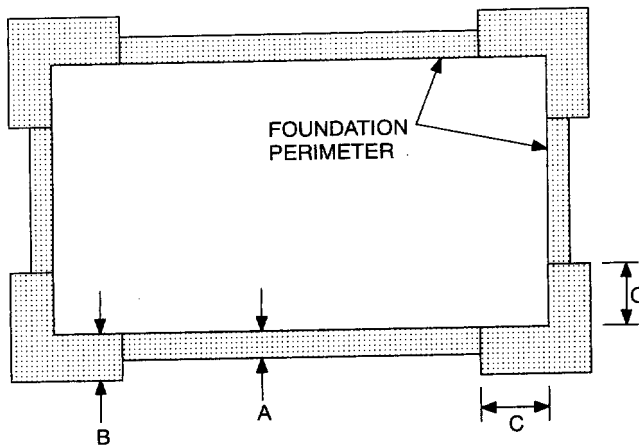


Figure 13. One Example of a FPSF Monolithic Slab with Horizontal Wing Insulation for Colder Climates.

INSULATION DETAIL



HORIZONTAL INSULATION PLAN



For SI: 1 inch = 25.4 mm.

a. See Table R403.3 for required dimensions and R-values for vertical and horizontal insulation.

FIGURE R403.3(1)
INSULATION PLACEMENT FOR FROST-PROTECTED FOOTINGS IN HEATED BUILDINGS

**LEWIS E MCDONALD
145 AUBURN STREET
PORTLAND, MAINE 04103**

TELEPHONE: (207)773-1040

10/21/04



ATTENTION: TAMMY

THE EXISTING SLAB UNDER THE GARAGE IS A 4" STAB. THE PERIMETER IS AROUND 9". I BELIEVE THIS WAS STANDARD WHEN THE GARAGE WAS BUILT ABOUT 75 YEARS AGO.

THE SLAB UNDER THE ADDITION:

A 6" SLAB WITH 12" AROUND THE PERIMETER. GARAGE AND ADDITION TO BE TIED TOGETHER WITH REBAR RODS EVERY TWO FEET. REBAR RODS AROUND THE PERIMETER. INSULATION AROUND PERIMETER, VERTICAL AND HORIZONTAL.

AS I MENTIONED ON MY MESSAGE TO YOU YESTERDAY THE BUILDING WILL BE HEATED WITH A MONITOR AS I WILL BE STORING LIQUIDS SUCH AS PAINT ETC.

THE OLD SLAB IS IN EXCELLENT CONDITION. NO CRACKS IN FLOOR OR WALLS AS A RESULT OF ANY FROST.

TAMMY, THIS IS THE THIRD SLAB I HAVE PUT IN ON MY PROPERTY AND I HAVE NOT HAD ANY PROBLEMS WITH THE OTHER TWO WHICH ARE CONSTRUCTED THE SAME AS THIS ONE WITH THE EXCEPTION OF MORE INSULATION THAN THIS ONE.

IF YOU HAVE ANY QUESTIONS, PLEASE GIVE ME A CALL AT 773-1040. IF I AM OUT THE ANSWERING UNIT WILL PICK UP YOUR MESSAGE AND I WILL GET BACK TO YOU AS SOON AS POSSIBLE.

THANK YOU.

10/20/04 Attention Lewis Mc Donald
145 August St
SLAB Portland, OR 97202
773-1040

Tuesday -

The existing slab under the garage
is 4" - Above the perimeter curb
about 8" I believe this was shown
75 1/2" x 75 1/2"

THE SLAB UNDER ADDITION:
6" with 12" square perimeter
attached to old slab with rebar
every 12" x 12" - Rebar square
perimeter. Insulation per spec

Note: The new slab is in excellent
condition. No cracks in floor or
walls from inside.

PAGE 3 of 3

Lewis Mc Donald
145 August St
Portland, OR 97205
773-1042

SLAB

TAMM -

The existing SLAB UNDER THE GYM
is 12" around the perimeter runs
about 8". I believe this was standard
75 yrs ago.

THE SLAB UNDER ADDITION:
6" with 12" around perimeter.
Attached to old slab with REBAR
every two feet. REBAR around
perimeter. Insulated per code.

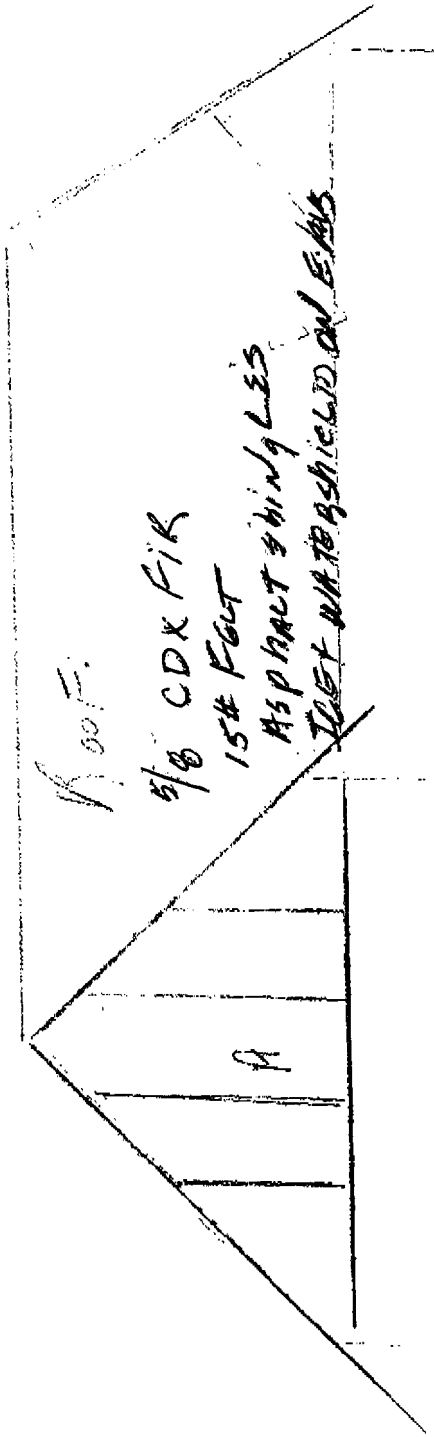
NOTE: The old slab is in excellent
condition. No cracks in floor or
walls from inside.

OCT 20 2004



PAGE 3 of 3

Lewis Mc Donnell
1475 ...
773-1040



OCT 20 2004

A- TRUSSES - READY MADE FROM LUMBER YARD:
20' 6 1/2 BEG TRUSS - BUILT WITH 3 X 6'S
1 FOR GABLE END
24" on CTR

Page 2 of 3

Fax 874-8776

0. City of Portland

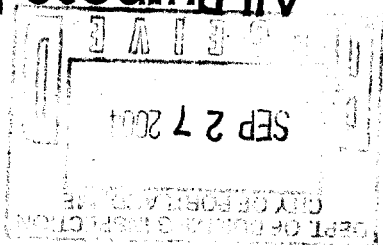
Att: Jimmy Meadows

Address: Bureau 1001200000
175 Broadway St
Portland, ME 04101
Tel: 773-1090

OCT 20 2004

By your usual
Cathy Jones

Page 1 of 3



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 145 Auburn Street

Total Square Footage of Proposed Structure: 324

Square Footage of Lot: 31,050

Tax Assessor's Chart, Block & Lot Chart# <u>374</u> Block# <u>B</u> Lot# <u>008</u>	Owner: <u>Lewis E. McDonald</u>	Telephone: <u>773-1040</u>
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Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Lewis E. McDonald</u> <u>773-1040 145 Auburn St</u> <u>Portland, Me 04103</u>	Cost of Work: \$ <u>6,000</u> Fee: \$ <u>75.00</u>
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Current use: _____

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: 75 yrs

Proposed use: Accessory Bldg Primarily For Storage

Project description: _____

Contractor's name, address & telephone: _____

Who should we contact when the permit is ready: Lewis E. McDonald

Mailing address: 145 Auburn St
Portland, Me 04103

We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

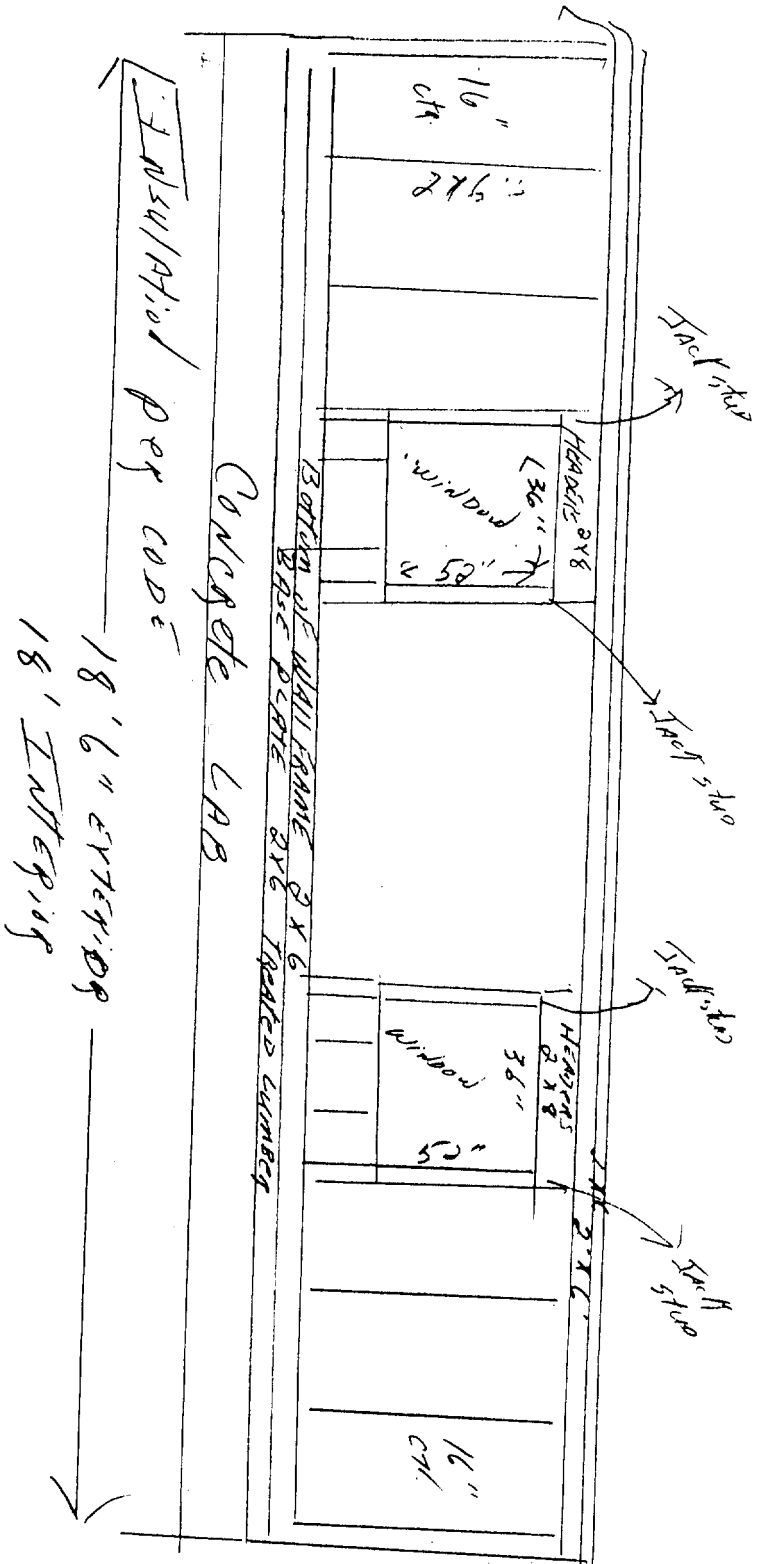
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 9/28/04

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

NORTH
Wall
EAST WALL
IDENTICAL



INSULATION per code

18' 6" EXTERIOR
18' INTERIOR

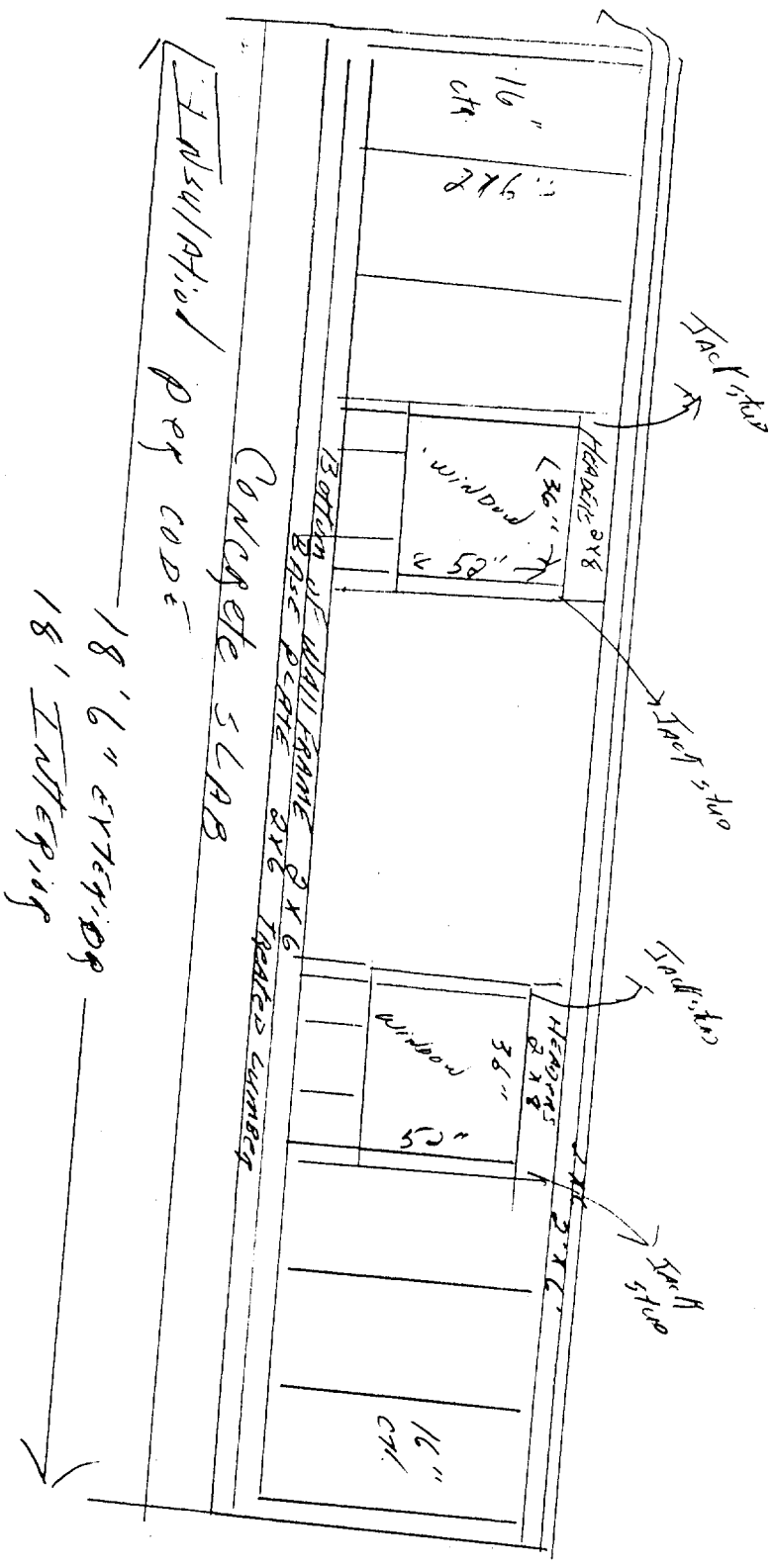
Framing will Be 2x6's

HEADERS OVER WINDOWS & DOORS 2x8's

Structure will Be closed in w/ 7/16" OSB
SIDING

Roof 5/8" CDX - Asph/Flt shingles

WALL
ENTICAL



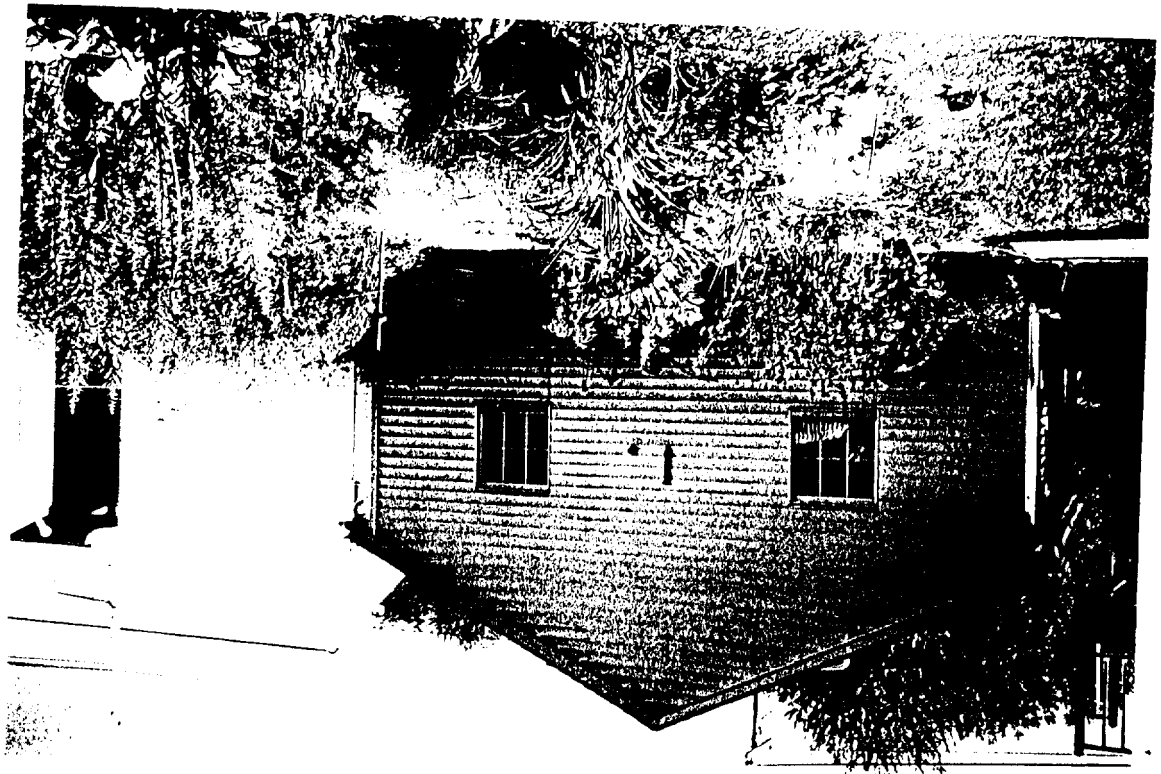
Framing will Be 2x6's

HEADERS OVER WINDOWS & DOORS 2x8's

Structure will Be closed in with 7/16" OSB
with siding

Roof 5/8" CDX - Asph/Flt shingles

ADDITION WILL ABOUT THE ABOVE
UNHEATED GARAGE.



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner information

Card Number	1 of 2
Parcel ID	374 8008001
Location	145 AUBURN ST
Land Use	TWO FAMILY
Owner Address	MCDONALD LEWIS E KW VET 145 AUBURN ST PORTLAND DE 04103
Book/Page	10413/232
Legal	374-B-8-13 AUBURN ST 141-151
	31050 SF

Valuation Information

Land	Building	Total
\$48,510	\$100,800	\$149,310

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1941	Cape	1.5	1450	0.713	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1	1	6	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1900	8X10	C	P

Sales Information

Date	Type	Price	Book/Page
10/14/1992	LAND		10413-232

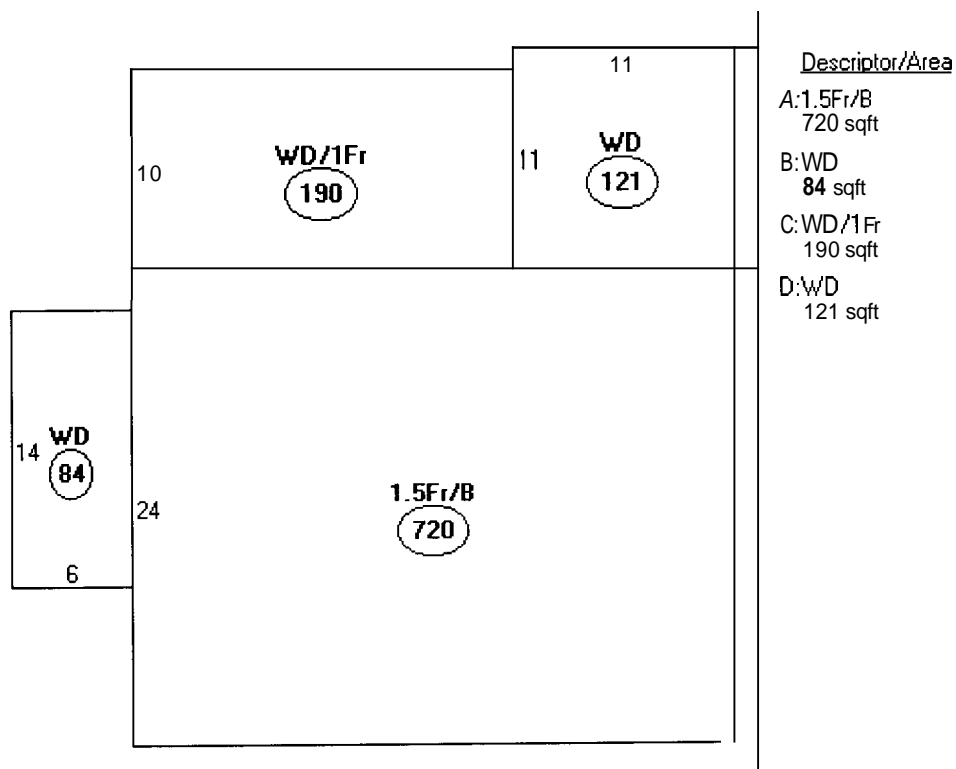
Picture and Sketch

[Picture](#) [Sketch](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



MONOLITHIC SLAB

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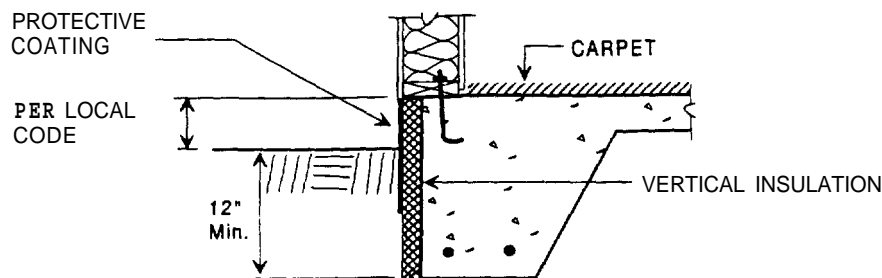


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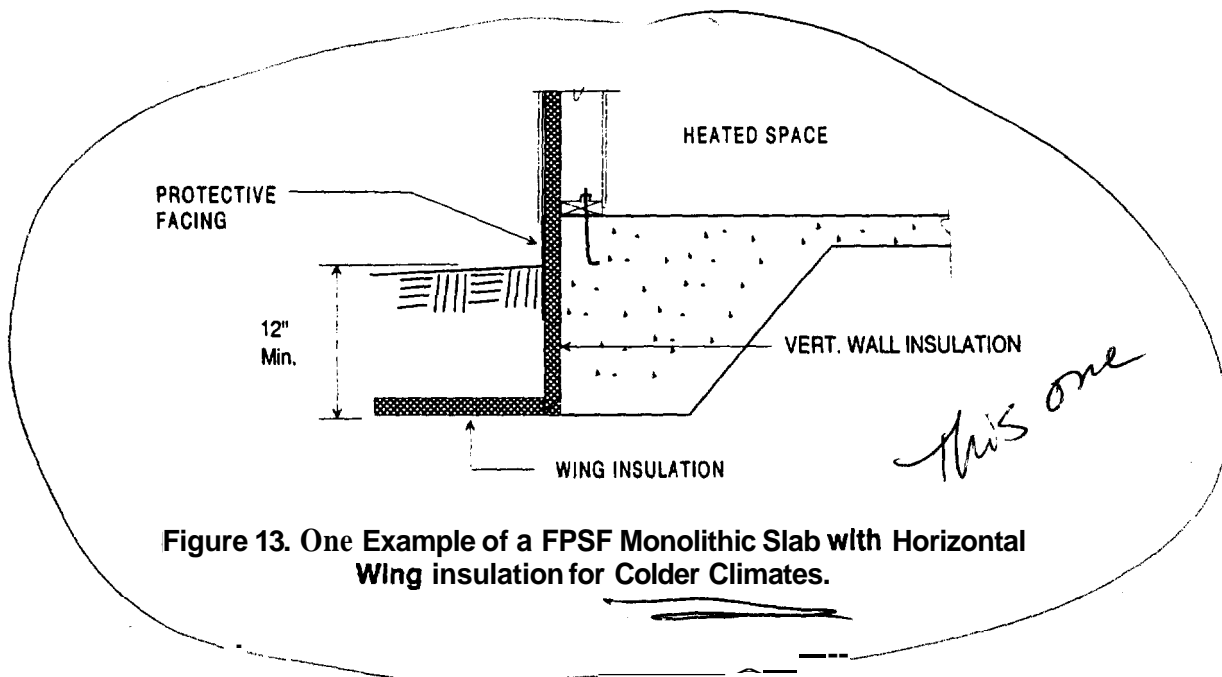
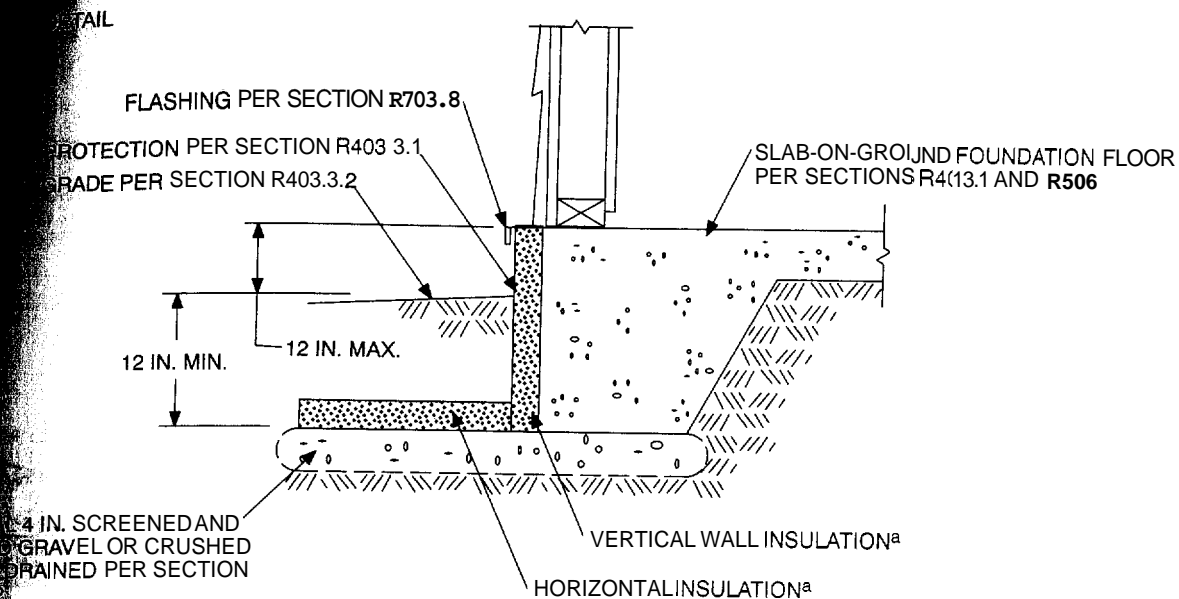
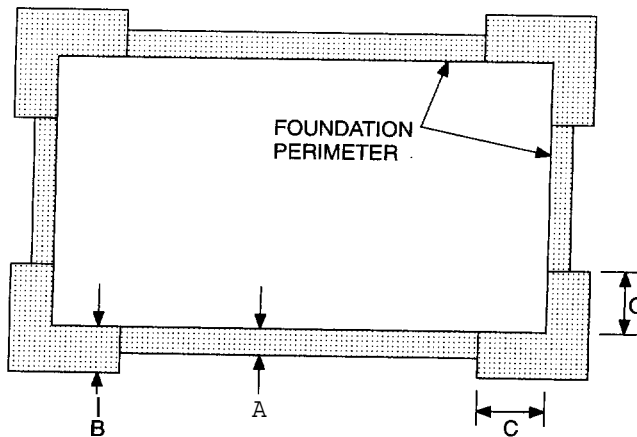


Figure 13. One Example of a FPSF Monolithic Slab with Horizontal Wing insulation for Colder Climates.



HORIZONTAL INSULATION PLAN



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