



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development
Building Inspections Division

Location: 184 AUBURN ST

CBL: 374- A-031-001

Issued to: SHALOM HOUSE INC

Date Issued: 3/22/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2012-01-3058-ALTCOMM, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

UNIT 74

APPROVED OCCUPANCY

USE GROUP R-2
TYPE SB
IBC 3009

Approved:

3-22-2012

(Date)

Inspector

Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that SHALOM HOUSE INC

Located At 184 AUBURN ST - UNIT # 74

Job ID: 2012-01-3058-ALTCOMM

CBL: 374-A-031-001

has permission to Repair after fire dwelling #74, complete renovation, removal and replacement of coverings, walls, windows provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 4/31/12

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

SCANNED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-01-3058-ALTCOMM	Date Applied: 1/6/2012	CBL: 374- A-031-001	
Location of Construction: 184 AUBURN ST - UNIT #74 Croquet Lane	Owner Name: SHALOM HOUSE INC	Owner Address: PO BOX 560 PORTLAND, ME 04112	Phone:
Business Name:	Contractor Name: Thaxter Company - Steve Kelton	Contractor Address: 55 Bell Street, Portland, ME 04103	Phone: 653-9821
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG repair after fire	Zone: C-30 - PRUD
Past Use: 21 dwelling unit PRUD	Proposed Use: Same: 21 dwelling unit PRUD - to repair after fire for one of the existing units, #74 Crouquet Lane	Cost of Work: \$42,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-2 Type: SB IBC-2009 Signature: <i>[Signature]</i>
Proposed Project Description: rebuild #74 after fire, match existing conditions		Signature: <i>[Signature]</i> (58)	Signature: <i>[Signature]</i> 4/31/12
Permit Taken By: Gayle	Zoning Approval		

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in Dist or Landmark
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>[Signature]</i>	Date:	Date: <i>[Signature]</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2012-01-3058-ALTCOMM

Located At: 184 AUBURN ST

CBL: 374- A-031-001

Conditions of Approval:

Fire

1. The dwelling will be gutted out. There is only one-hour separation between units, but it extends from the slab to the under side of the roof deck. It was designed and built as an apartment building (R-2).
2. All construction shall comply with City Code Chapter 10.
3. A sprinkler system is not required, but recommended. The portion of the story that is being renovated is less than 20% of the story; there is no reconfiguration of the unit; and the work does not affect common egress. If a sprinkler system is installed it will need to meet the requirements of NFPA 13 or 13R.
4. All smoke detectors and smoke alarms shall be photoelectric.
5. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
6. Private fire mains and fire hydrants shall be maintained, tested and painted in accordance with Fire Department Regulations.

Building

1. Application approval based upon information provided by applicant, including revisions received 1/30/12. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
3. Smoke and Carbon Monoxide detection shall be installed per City Code Chap. 10/NFPA.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

2012 01 30 58

C-30



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>74 CROQUET LANE 184 Auburn</u>		
Total Square Footage of Proposed Structure/Area <u>625</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>374 A031</u>	Applicant must be owner, Lessee or Buyer Name <u>The Thaxter Co</u> Address <u>55 Bell St</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>878-5553</u> <u>X105</u>
Lessee/DBA (If Applicable) RECEIVED JAN 6 2012 Dept. of Building Inspections City of Portland, Maine	Owner (if different from Applicant) Name <u>Shalom House Inc</u> Address <u>106 Gilman St</u> City, State & Zip <u>Portland, ME 04103</u>	Cost Of Work: \$ <u>41,899</u> C of O Fee: \$ _____ Total Fee: \$ <u>440.00</u>
Current legal use (i.e. single family) <u>1 Bedroom Apartment</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Apartment damaged by a fire on 12/18/11. Rebuild to match existing conditions. New interior walls, new finishes, new plumbing + heating. All new electrical.</u> unit # <u>74</u>		
Contractor's name: <u>Thaxter Company</u> Address: <u>55 Bell St</u> City, State & Zip: <u>Portland, ME 04103</u> Telephone: <u>878-5553 X105</u> Who should we contact when the permit is ready: <u>Steve Keltomci</u> Telephone: <u>6539821</u> Mailing address: <u>same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Steve A Keltomci Date: 1/6/12

This is not a permit; you may not commence ANY work until the permit is issue

10/1/03

C30

Order 30 – 03/04
Given first reading: 7/21/03
Public Hearing and Passage 8/4/03 7-0 (O'Donnell, Griffin absent)

JAMES F. CLOUTIER (MAYOR) (A/L)
PETER E. O'DONNELL (1)
KAREN A. GERAGHTY (2)
NATHAN H. SMITH (3)
CHERYL A. LEE MAN (4)

**CITY OF PORTLAND
IN THE CITY COUNCIL**

JAMES I. COHEN (5)
JOHN W. GRIFFIN (A/L)
JILL C. DUSON (A/L)
NICHOLAS M. MAVODONES (A/L)

**ORDER AUTHORIZING AMENDMENT TO CITY CODE
SEC. 14-49 (ZONING MAP AMENDMENT)
RE: CONTRACT FOR REZONING FOR 180 AUBURN STREET**

ORDERED, that the Zoning Map of the City of Portland, dated December 2000 as amended and on file in the Department of Planning & Development, and incorporated by reference into the Zoning Ordinance by Sec. 14-49 of the Portland City Code, is hereby amended to reflect a contract zone as detailed below.

**AGREEMENT
SHALOM APARTMENTS, INC.**

This Agreement made this _____ day of _____, 2003 by **SHALOM APARTMENTS, INC.**, a Maine nonprofit corporation with an office in Portland, Maine (hereinafter "**SHALOM**").

WITNESSETH:

WHEREAS, SHALOM has obtained financing to build and operate ten additional units of subsidized housing in a Planned Residential Unit Development ("**PRUD**") at 180 Auburn Street, Portland, Maine, on a site already legally improved with eleven units of such housing previously created by **SHALOM** (the "**Property**"). The **PRUD** provides housing for occupancy by qualifying individuals, namely low income individuals with psychiatric disabilities who are able to live independently; and

10
11
21

WHEREAS, SHALOM has requested the rezoning of the Property to modify an existing **R-3** zone to accommodate the development and operation of the aforesaid housing, together with a community building providing laundry facilities and indoor recreational/meeting space; and

WHEREAS, the Planning Board of the **CITY**, pursuant to 30-A M.R.S.A § 4352(8) and after notice and hearing and due deliberation thereon, recommended the rezoning of the Property as aforesaid, subject, however, to certain conditions; and

WHEREAS, the **CITY OF PORTLAND** (hereinafter "**CITY**") by and through its City Council has determined because of the unusual nature of the development it is necessary or appropriate to impose by agreement the conditions and restrictions set forth herein, in order to insure that said rezoning is consistent with the **CITY'S** comprehensive land use plan; and

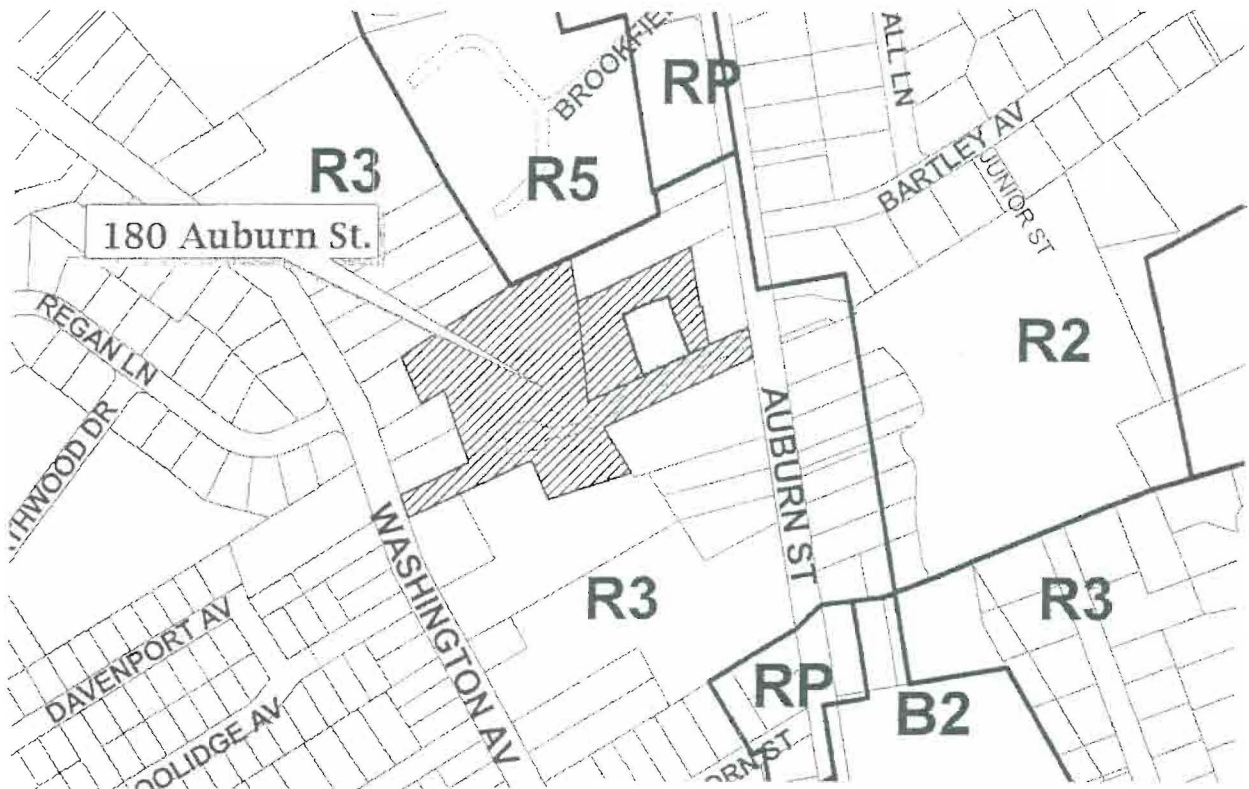
WHEREAS, the Portland Planning Board determined the rezoning would provide needed housing consistent with the Housing Component of the Comprehensive Plan and would not negatively impact the surrounding residential community; and

WHEREAS, the **CITY** authorized the execution of this Agreement on _____, 2003; and

WHEREAS, **SHALOM** has agreed to enter into this contract, with its concomitant terms and conditions, which shall hereinafter bind **SHALOM** its successors or assigns.

NOW, THEREFORE, in consideration of the rezoning of the Property, **SHALOM** contracts to be bound by the following terms and conditions:

1. The **CITY** shall amend the Zoning Map of the City of Portland dated December 2000, as amended and on file in the Department of Planning and Development, and incorporated by reference into the Zoning Ordinance by Section 14-49 of the Portland City Code, by adopting the following map change amendment:



**Proposed Zone Change from R3 to Contract
for 180 Auburn Street**



0 100 200 Feet

Map prepared by the City of Portland's Department of Planning and Urban Development and the G23 Workgroup May 2003

2. **SHALOM** shall be authorized to establish and maintain the following uses on the property:

- a. ten additional residential units resulting in a maximum of twenty-one (21) residential units within the Property; and
- b. a community room available for use by the residents of the PRUD; and
- c. a small office located within the community room to be used by staff of **SHALOM** for on-site clinical services to residents of the PRUD and/or on-site property management services for 180 Auburn Street only, if and when necessary;
- d. a laundry facility available for use by residents of the PRUD.

3. The PRUD only shall provide housing to qualifying individuals, namely low income individuals with psychiatric disabilities (as may be classified by the State Bureau of Developmental and Behavioral Services) who are able to live independently as determined by **SHALOM**. The use of the property, by virtue of this contract rezoning, shall be limited to that of a residential PRUD with the additional uses described in paragraph 2.

4. The rezoning shall run with the property so long as it is owned and operated by **SHALOM** or by a not-for profit corporation with a similar corporate mission and qualifications as **SHALOM** all in accordance with the limitations set forth above.

Any change in ownership of the PRUD shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **SHALOM** or to the enforcement by the mortgagees of their rights under such mortgages. The Planning Board shall have a maximum of sixty (60) days from the City's receipt of a complete application for a change in ownership to act on the application. Should the Planning Board be unable to respond within such time frame, the application shall be deemed approved.

5. The Property will be developed substantially in accordance with the Site Layout Plan (the "Site Plan") and the elevations (the "Elevations"), Exhibit 1, drafted by Archetype, P.A. Architects dated January 29, 2003, last revised June 20, 2003; except as changes may be approved to accommodate traffic flow and circulation needs – which changes shall be reviewed in detail and approved during site plan review. A buffer area of not less than twenty five (25) feet from the perimeter property line of 180 Auburn Street shall be preserved in its existing vegetative state.

6. This development shall be subject to subdivision and site plan review by the Portland Planning Board.

7. The dimensional requirements and other zoning requirement for the Property shall be those of the underlying R-3 zone with respect to PRUDs except as follows:

Number of units per building:	Maximum of six.
Maximum length of buildings:	160 feet The buildings need not conform to the requirement of maintaining a distance of at least 25 feet from the provided recreation open space.
Parking:	minimum of 18 spaces

Recreation open space:

Outdoor passive recreation of not less than a total of 6000 square feet shall be provided as shown on Exhibit 1. Such passive recreational area shall be equipped with elevated footpaths and an elevated wooden seating area. This recreational space otherwise shall remain in its existing vegetative state. No structures shall be erected in this space other than benches and/or tables or a gazebo.

In addition, **SHALOM** shall provide a public recreational trail easement to the City of Portland. Said easement shall traverse the site such that a pedestrian connection is provided from Auburn Street to Washington Avenue.

8. Except as set forth above, all provisions in Sections 14-86 through 14-91 of the **CITY**'s zoning ordinance shall apply to the Property.

9. The above stated restrictions, provisions and conditions are an essential part of the rezoning, shall run with the property, shall bind **SHALOM**, its successors and assigns of the Property or any part thereof or interest therein, as well as any party in possession or occupancy as limited above, by lease or otherwise, and shall inure to the benefit and by enforceable by the **CITY**, by and through its duly authorized representatives.

10. If any of the restrictions, provisions, conditions, or portions thereof set forth herein is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed as a separate, distinct and independent provision and such determination shall not affect the validity of the remaining portions thereof.

11. Except as expressly provided herein, the use and occupancy of the Property shall be governed by and comply with the applicable provisions of the Land Use Code of the **CITY** and any applicable amendments thereto or replacements thereof. Without limiting the generality of the foregoing, nothing contained in this Agreement shall be deemed as avoiding or changing the requirement that **SHALOM** obtain subdivision/site plan approval as required under the Portland City Code.

12. In the event of a breach of the zoning provisions contained herein by **SHALOM** or its successors or assigns (whether said breach is determined by the Zoning Administrator, the Zoning Board of Appeals, or the Court) the Planning Board, after notice and hearing, may recommend to the City Council that the contract zone be amended or that the contract zone be rescinded resulting in the termination of the approved use or uses hereunder.

WITNESS:

SHALOM APARTMENTS, INC.

By: _____

Joseph C. Brannigan, its
Authorized Agent

STATE OF MAINE
COUNTY OF CUMBERLAND, SS.

2003 _____,

Personally appeared the above-named Joseph C. Brannigan, Authorized Agent of Shalom Apartments, Inc., as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

Notary Public/Attorney-at-Law
Print Name: _____
My commission expires: _____

February 13, 2004

Mike Nugent
Inspection Department
City Hall
Portland, Maine 04101

Re: The Shalom Apartments, 180 Auburn Street, Portland, Maine

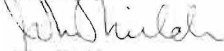
Dear Mike:

Enclosed are responses to your memo of January 26, 2004.

1. Attic Access - I will notify the Builder to increase the attic access to 22" x 50" from 21" x 50" as indicated on the plans.
2. Roof Trusses - specification section 01690 specifies the trusses. This section provides design loads and requires the truss manufacturer to provide stamped shop drawings by a structural engineer registered in Maine for the truss design. This is standard practice in the industry.
3. Existing Proposed Fire Separation - this condition occurs at two places. First, Apartment 102 and Existing Mechanical Room 102 and Existing Storage Room 103 and second at Apartment 201 and Existing Mechanical Room 203 and Existing Storage Room 204. See Drawing Ska-6 attached for detail.
4. Soils - as you know, this project was preceded by a heat conversion of the existing units. During the excavation for the heat conversion mechanical rooms I observed the soil conditions. Per BOCA Table 1804.3 the class of material is 4 sandy, silty sand, clayey sand, silty gravel and clayey gravel with a presumptive load bearing value of 2000 psf.
5. Window Type A - see attached Andersen cut sheet. Note that windows marked with a diamond meet egress requirements. Window Type A, Andersen TW3046, is so marked.
6. Railings - see attached cut sheet from CertainTeed's web site. The specified system is the Oxford, which meets BOCA requirements.
7. Smoke Detectors - see the electrical engineers memorandum attached.
8. Laundry Hookups - no laundry hookups.
9. Dwelling Unit Separation - yes, the separation wall extends to roof deck.
10. Anchor Bolts - 12" minimum from corners.

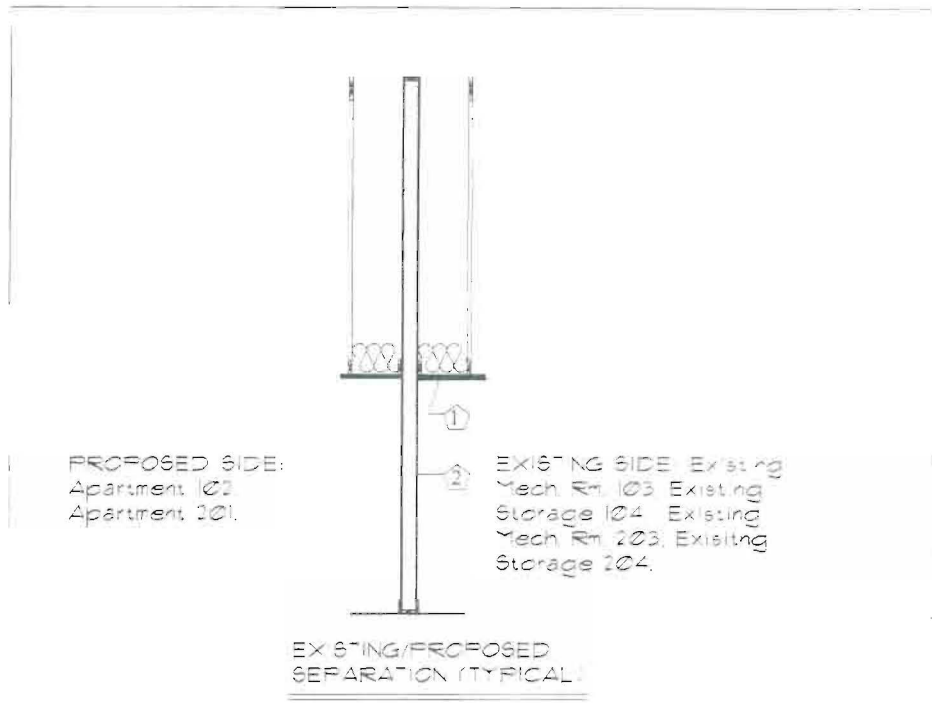
Any questions please call me.

Sincerely,


John Shields
Architect

Cc: Bill Floyd - Shalom House, Steve Keltomic - The Thaxter Company

from permit # 09.0016



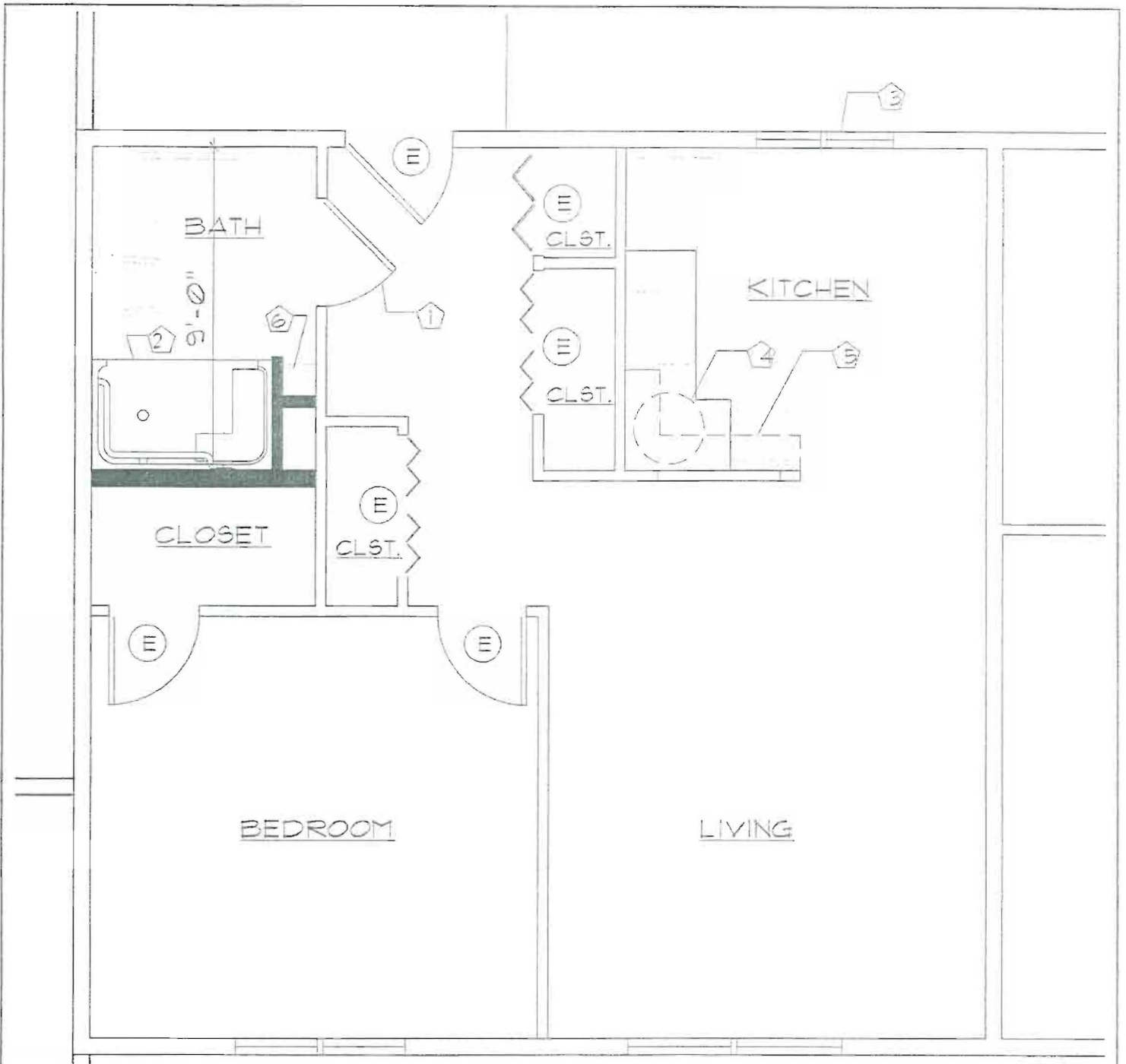
① CEILING: (2) layers 5/8" g.c. Firecode
"C" attached to bottom of wood truss.
Fire Test GA FCB406 or FCB601

② WALL: wood stud - 5/8" g.c. Firecode
"C" ea. side - 2X6 @ 16" o.c. - 5" batt
Insulation - joints finished.
Fire Test UL Des U305

PROJECT: SHALOM APARTMENTS	ARCHITECT: ARCHETYPE, P.A. PORTLAND, MAINE
DRAWING: EXISTING/PROPOSED FIRE SEPARATION	SCALE: 1/4" = 1'-0" DATE: FEB. 10, 2004

SKa - 6

From permit # 04-0016



LEGEND:

EXISTING WALL. 

NEW WALL. 

① 3'-0" x 6'-8" SCW DOOR/ WOOD FRAME.

② 5'-0" x 3'-0" ADA COMPLIANT CUSTOM TILE HC ROLLIN SHOWER.

③ CASEMENT WINDOW - SILL AT 30" AFF.

④ LAZY SUSAN BASE CABINET

⑤ WALL CABINET.

⑥ OPEN SHELVING.

ⓔ EXISTING DOOR.

PROJECT:
ADDITIONS TO SHALOM APTS.

DRAWING:
PROPOSED UNIT 11.

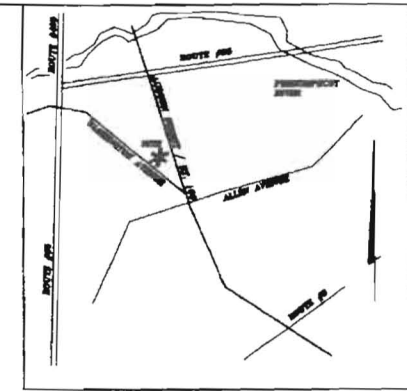
SCALE: 1/4"=1'-0"

DATE: AUG. 24, 2004

ARCHITECT:
ARCHETYPE, P.A.

SKa-12b

HEAT CONVERSIONS THE SHALOM APARTMENTS 180 AUBURN STREET PORTLAND, MAINE



Index of Drawings

- Title Sheet, Location Plan
- F.1 Future Build-out Plan
- S.1 Site Plan, Soffit Diagram, Details
- U.1 Utility Plan
- A.1 Mech. Room 100, Storage 101 - Plans, Typical Wall Section
- A.2 Mech. Room 200, Storage 201 - Plans
- A.3 Mech. Room 300, Storage 301, Unfinished Apartment 302 - Plans

*1st Mech. Room
2nd Mech. Room, Date to be
the*

Owner

Shalom House, Inc.
P.O. Box 560
Portland, Maine 04112

Architect

Archetype, P.A.
48 Union Wharf
Portland, Maine 04101

Code Review

Building Code Criteria
This code review is based on the 1999
BOCA Code and the 2000 NFPA Life
Safety Code.

B.O.C.A.

Building Description:
Apartment Building - wood framed,
non-sprinkled, one (1) story, slab on grade.

Construction Type
SB, Combustible, Unprotected (Reference BOCA
606.0)

Use Group:
Residential Use Group R-2 - Multiple Family
Dwelling. (Reference BOCA 310.4)

Specific Occupancy Area:
Boiler and Furnace Rooms: 1 Hour Separation.
(Reference BOCA 302.1.1)

Area Limitations (Reference BOCA Table 503):
Two (2) story, 35, 4800 square feet.

Fire Resistance Ratings of Structure Elements (Table 602)

Exterior Walls: 0 Hour.
Fire Walls & Party Walls: N/A.
Fire Separation Assemblies: N/A.
Fire Partitions: N/A.
Dwelling Unit & Guestroom Separations: 1 Hour.
Smoke Barriers: 1 Hour.
Other Nonloadbearing Partitions: 0 Hour.
Interior Loadbearing Members: 0 Hour.
Structural Members Supporting Wall: 0 Hour.
Floor Construction: 0 Hour.
Roof Construction: 0 Hour.

N.F.P.A.

Occupancy Group
Chapter 30 - New Apartment Buildings.

General Requirements
Minimum Construction Requirements (30.1.6) -
No special requirements.

Means of Egress Requirements (Section 30.2)
Number of exits - One (1). Per 30.2.4 Exception 1.(a) a
dwelling unit shall be permitted to have a single exit
provided that the dwelling unit has an exit door opening
directly to the street or yard at ground level.

Emergency Lighting (Section 30.2.9)

Not required.

Protection (Section 30.3)
Hazardous Area Protection (Table 30.3.2.1) - Boiler rooms:
1 Hour and sprinklers.

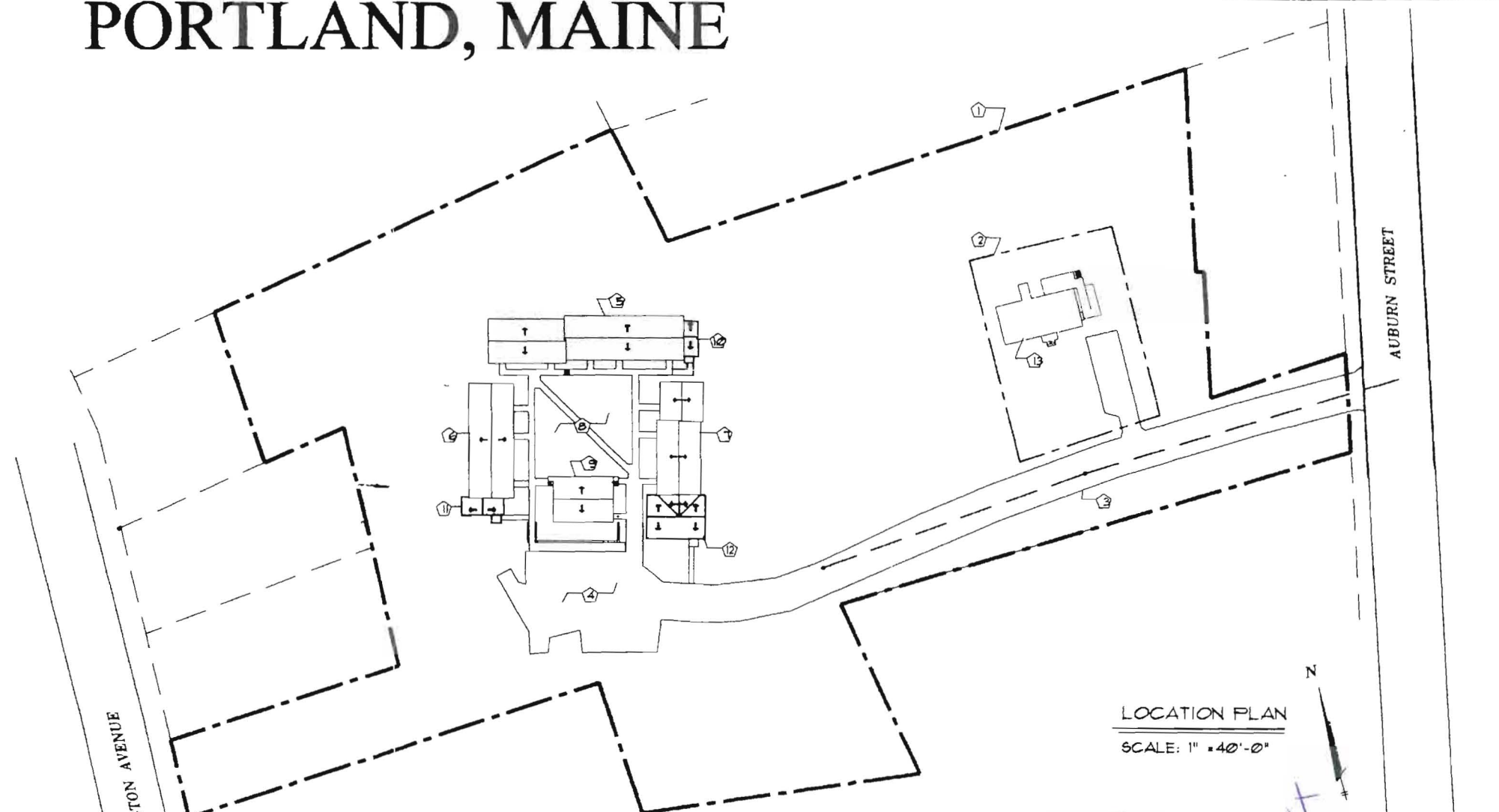
Detection, Alarm and Communication Systems (30.3.4.1) -
Fire Alarm System: Not required.

Smoke Alarms (30.3.4.5)
Single-station smoke alarms outside every sleeping area
and on all levels (30.3.4.5.1).
Single-station smoke alarms in every sleeping room
(30.3.4.5.2).

Extinguishment Requirements (Section 30.3.5)

Not required - Section 30.3.5.2 Exception (a) - not required
where every dwelling unit is provided with an exit door
opening directly to the street or yard at ground level.

Portable Fire Extinguishers - (30.3.5.7) Provided in
hazardous areas, i.e. boiler rooms.



LOCATION PLAN
SCALE: 1" = 40'-0"

*From permit
03-0999*

KEYED NOTES

- ① PROPERTY LINE - 180 AUBURN STREET
- ② PROPERTY LINE - 184 AUBURN STREET.
- ③ EXISTING PAVED SHALOM APTS. DRIVEWAY
- ④ EXISTING PAVED SHALOM APTS. PARKING AREA.
- ⑤ EXISTING (5) UNIT APARTMENT BUILDING.
- ⑥ EXISTING (3) UNIT APARTMENT BUILDING.
- ⑦ EXISTING (3) UNIT APARTMENT BUILDING.
- ⑧ EXISTING OPEN SPACE.
- ⑨ EXISTING COMMUNITY BUILDING.
- ⑩ MECH. ROOM 100, STORAGE 101 ADDITION.
- ⑪ MECH. ROOM 200, STORAGE 201 ADDITION.
- ⑫ MECH. ROOM 300, STORAGE 301, UNFINISHED APARTMENT 302 ADDITION
- ⑬ EXISTING RESIDENCE OPERATED BY SHALOM HOUSE, INC



Issue Date: August 7, 2003

SHALOM APARTMENTS 52 - 74 CROQUET LANE PORTLAND, MAINE REHABILITATION OF APARTMENT 74

Index of Drawings

--- Title Sheet, Site Plan
RP-1 Rehabilitation Plan, Wall Types

Owner

Shalom Apartments, Inc
106 Gilman Street
Portland, Maine 04102

Architect

Shields Architecture
216 Range Road
Cumberland, Maine 04102

Contractor

The Thaxter Company
Bell Street
Portland, Maine

Project Description

Apartment 74 was damaged by fire on 12/18/2011. Rehabilitation of the apartment requires demolition of existing non-bearing interior partition walls, finishes, appliances and fixtures. Walls will be rebuilt as they were before the fire, new finishes include drywall, resilient flooring and carpet.

The apartment has a single exit directly to the outside, was not sprinkled and is separated from adjacent spaces with (1) hour rated construction extending from concrete slab floor to underside of roof deck.

The mechanical room adjacent to Apartment 74 is sprinkled and has (1) hour rated ceiling and wall construction.

See Drawing A-1 for additional information.

Square Footages

The building in which Apartment 74 is located is 4,183 square feet.
Apartment 74 is 629 square feet.
Apartment 74 is 15% of the building's total.

Code References

2009 International Building Code
2009 International Existing Building Code
2009 NFPA 101 Life Safety Code
City of Portland Code of Ordinances - Chapter 10, Fire Prevention & Protection

2009 IBC

Building Description
6 Unit Apartment Building - wood framed, one (1) story, slab on grade

Construction Type

5B

Use Group

Residential Use Group R-2 - Multiple Family Dwelling

Specific Occupancy Area

Boiler and Furnace
Rooms - 1 Hour Separation or Sprinkled

Fire Resistance Ratings

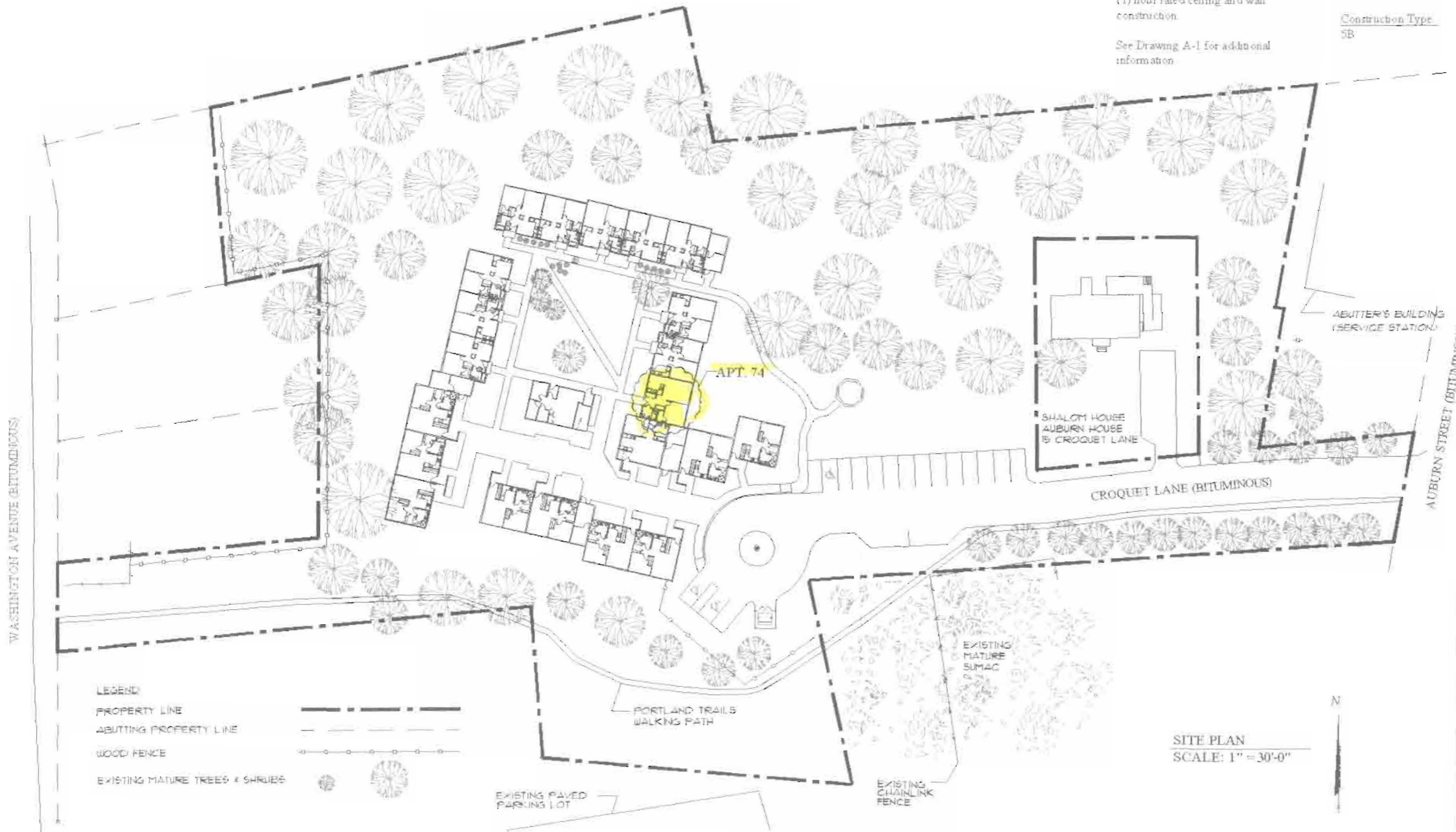
Dwelling Unit Separation - 1 Hour

2009 NFPA 101

Occupancy Group
Chapter 31 - Existing Apartment Buildings

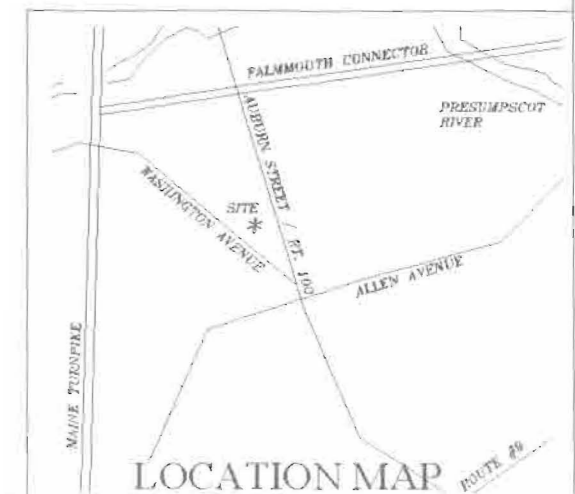
Hazardous Area Protection

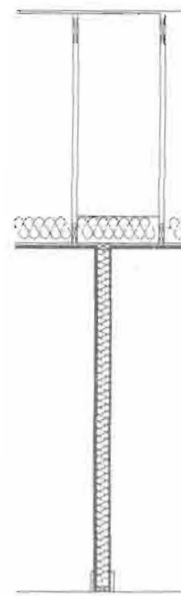
Boiler rooms - 1 Hour or sprinklers



ISSUED
FOR
REVIEW:
1/30/12

RECEIVED
JAN 30 2012
Dept. of Building Inspections
City of Portland, Maine

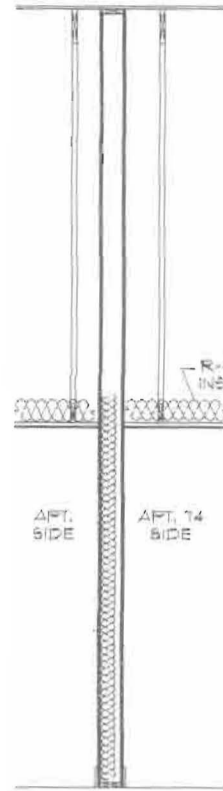




WALL TYPE 3
SCALE: 1/2" = 1'-0"

NON-RATED TYPICAL INTERIOR PARTITION WALL, GYPSUM BOARD, WOOD STUDS, INSULATION.

5/8" g.b. - 2x4 @ 16" o.c. - panels fastened 7" o.c. with 1 7/8" fasteners - 3 1/2" batt insulation - joints finished - perimeter caulked.



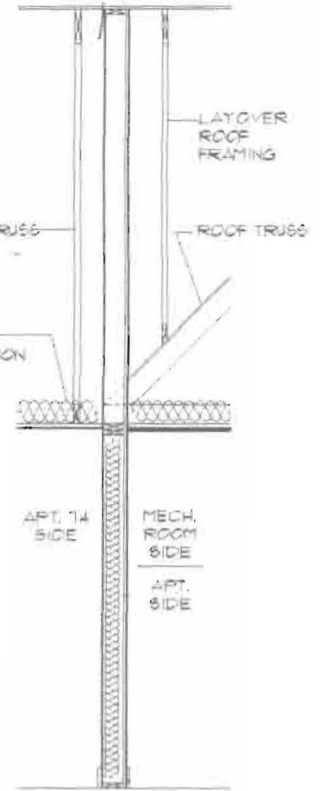
WALL TYPE 2
SCALE: 1/2" = 1'-0"

1 HR. DWELLING UNIT SEPARATION WALL ASSEMBLY, GYPSUM BOARD, WOOD STUDS, INSULATION.

Apartment 14 side - 5/8" g.b. Firecode "C" joints finished - 2x6 @ 16" o.c. - 5" Thermafiber SAFB - RC-1 channel spaced 24" o.c. - panels applied horizontally and attached to channels - end joints back-blocked with RC-1 channel with 1" Type 5 screws. Neighboring apartment side - resilient channel, g.b. joints finished.

G.B. extends from floor slab to roof deck both sides.

Apartment ceilings - wood strapping secured to bottom chord of truss, g.b. joints finished.



WALL TYPE 1
SCALE: 1/2" = 1'-0"

1 HR. DWELLING UNIT SEPARATION WALL ASSEMBLY, GYPSUM BOARD, PLYWOOD SHEATHING, WOOD STUDS, INSULATION.

Apartment 14 side - 5/8" g.b. Firecode "C" - 2x6 @ 16" o.c. - 5" Thermafiber SAFB - RC-1 channel spaced 24" o.c. - panels applied horizontally and attached to channels - end joints back-blocked with RC-1 channel with 1" Type 5 screws. Mechanical room side - plywood wall sheathing 5/8" g.b. Firecode "C" - joints finished - perimeter caulked.

G.B. extends from floor slab to roof deck both sides.

Ceilings - (2) layers 5/8" Firecode "C" g.b. ceiling in Mechanical Room, (1) layer in neighboring apartment, (1) layer in Apartment 14.

REHABILITATION PLAN
SCALE: 1/4" = 1'-0"

LEGEND



KEYED NOTES



GENERAL NOTE

APARTMENT 14 REHABILITATION: WALLS, DOORS FINISHED, EQUIPMENT AND FIXTURES ARE NEW.

*9/2/12
Per Steve K.
All new windows*

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City of Portland Maine

RP.1

UNIT 74
REHABILITATION PLAN
Project: SHALOM APARTMENTS
52-74 CROQUETLANE, PORTLAND, MAINE

Date: 1/30/13
Scale: As Noted
Revisions:

Architect: SHIELDS ARCHITECTURE
216 Range Road
Cumberland, Maine

Owner: SHALOM APARTMENTS, INC.
106 GILMAN STREET
PORTLAND, MAINE 04102