

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that SHALOM HOUSE INC

Located At 184 AUBURN ST - UNIT # 74

Job ID: 2012-01-3058-ALTCOMM

CBL: 374- A-031-001

has permission to Repair after fire dwelling #74, complete renovation, removal and replacement of coverings, walls, windows provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 4/31/12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2012-01-3058-ALTCOMM

Located At: 184 AUBURN ST

CBL: 374- A-031-001

Conditions of Approval:

Fire

1. The dwelling will be gutted out. There is only one-hour separation between units, but it extends from the slab to the under side of the roof deck. It was designed and built as an apartment building (R-2).
2. All construction shall comply with City Code Chapter 10.
3. A sprinkler system is not required, but recommended. The portion of the story that is being renovated is less than 20% of the story; there is no reconfiguration of the unit; and the work does not affect common egress. If a sprinkler system is installed it will need to meet the requirements of NFPA 13 or 13R.
4. All smoke detectors and smoke alarms shall be photoelectric.
5. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
6. Private fire mains and fire hydrants shall be maintained, tested and painted in accordance with Fire Department Regulations.

Building

1. Application approval based upon information provided by applicant, including revisions received 1/30/12. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
3. Smoke and Carbon Monoxide detection shall be installed per City Code Chap. 10/NFPA.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

2012 01 30 58

C-30



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>74 CROQUET LANE 184 Auburn</u>		
Total Square Footage of Proposed Structure/Area <u>625</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>374 A031</u>	Applicant *must be owner, Lessee or Buyer* Name <u>The Thaxter Co</u> Address <u>55 Bell St</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>878-5553</u> <u>X105</u>
Lessee/DBA (If Applicable) RECEIVED JAN 6 2012 Dept. of Building Inspections City of Portland, Maine	Owner (if different from Applicant) Name <u>Shalom House Inc</u> Address <u>106 Gilman St</u> City, State & Zip <u>Portland, ME 04107</u>	Cost Of Work: \$ <u>41,899</u> C of O Fee: \$ _____ Total Fee: \$ <u>440.00</u>
Current legal use (i.e. single family) <u>Bedroom Apartment</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Apartment damaged by a fire on 12/18/11. Rebuild to match existing conditions. New interior walls, new finishes, new plumbing + heating. All new electrical.</u>		
Contractor's name: <u>Thaxter Company</u> Address: <u>55 Bell St</u> City, State & Zip: <u>Portland, ME 04103</u> Telephone: <u>878-5553 X105</u> Who should we contact when the permit is ready: <u>Steve Keltomi</u> Telephone: <u>6539821</u> Mailing address: <u>Same</u>		

74

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Steve Keltomi Date: 1/6/12

This is not a permit; you may not commence ANY work until the permit is issue

10/1/03

C 30

Order 30 – 03/04
Given first reading: 7/21/03
Public Hearing and Passage 8/4/03 7-0 (O'Donnell, Griffin absent)

JAMES F. CLOUTIER (MAYOR) (A/L)
PETER E. O'DONNELL (1)
KAREN A. GERAGHTY (2)
NATHAN H. SMITH (3)
CHERYL A. LEEMAN (4)

**CITY OF PORTLAND
IN THE CITY COUNCIL**

JAMES I. COHEN (5)
JOHN W. GRIFFIN (A/L)
JILL C. DUSON (A/L)
NICHOLAS M. MAVODONES (A/L)

**ORDER AUTHORIZING AMENDMENT TO CITY CODE
SEC. 14-49 (ZONING MAP AMENDMENT)
RE: CONTRACT FOR REZONING FOR 180 AUBURN STREET**

ORDERED, that the Zoning Map of the City of Portland, dated December 2000 as amended and on file in the Department of Planning & Development, and incorporated by reference into the Zoning Ordinance by Sec. 14-49 of the Portland City Code, is hereby amended to reflect a contract zone as detailed below.

**AGREEMENT
SHALOM APARTMENTS, INC.**

This Agreement made this _____ day of _____, 2003 by **SHALOM APARTMENTS, INC.**, a Maine nonprofit corporation with an office in Portland, Maine (hereinafter "**SHALOM**").

WITNESSETH:

WHEREAS, SHALOM has obtained financing to build and operate ten additional units of subsidized housing in a Planned Residential Unit Development ("PRUD") at 180 Auburn Street, Portland, Maine, on a site already legally improved with eleven units of such housing previously created by **SHALOM** (the "Property"). The PRUD provides housing for occupancy by qualifying individuals, namely low income individuals with psychiatric disabilities who are able to live independently; and

10
11
—
21

WHEREAS, SHALOM has requested the rezoning of the Property to modify an existing R-3 zone to accommodate the development and operation of the aforesaid housing, together with a community building providing laundry facilities and indoor recreational/meeting space; and

3. The PRUD only shall provide housing to qualifying individuals, namely low income individuals with psychiatric disabilities (as may be classified by the State Bureau of Developmental and Behavioral Services) who are able to live independently as determined by **SHALOM**. The use of the property, by virtue of this contract rezoning, shall be limited to that of a residential PRUD with the additional uses described in paragraph 2.

4. The rezoning shall run with the property so long as it is owned and operated by **SHALOM** or by a not-for profit corporation with a similar corporate mission and qualifications as **SHALOM** all in accordance with the limitations set forth above.

Any change in ownership of the PRUD shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **SHALOM** or to the enforcement by the mortgagees of their rights under such mortgages. The Planning Board shall have a maximum of sixty (60) days from the City's receipt of a complete application for a change in ownership to act on the application. Should the Planning Board be unable to respond within such time frame, the application shall be deemed approved.

5. The Property will be developed substantially in accordance with the Site Layout Plan (the "Site Plan") and the elevations (the "Elevations"), Exhibit 1, drafted by Archetype, P.A. Architects dated January 29, 2003, last revised June 20, 2003; except as changes may be approved to accommodate traffic flow and circulation needs – which changes shall be reviewed in detail and approved during site plan review. A buffer area of not less than twenty five (25) feet from the perimeter property line of 180 Auburn Street shall be preserved in its existing vegetative state.

6. This development shall be subject to subdivision and site plan review by the Portland Planning Board.

7. The dimensional requirements and other zoning requirement for the Property shall be those of the underlying R-3 zone with respect to PRUDs except as follows:

Number of units per building:	Maximum of six.
Maximum length of buildings:	160 feet The buildings need not conform to the requirement of maintaining a distance of at least 25 feet from the provided recreation open space.
Parking:	minimum of 18 spaces

Recreation open space:

Outdoor passive recreation of not less than a total of 6000 square feet shall be provided as shown on Exhibit 1. Such passive recreational area shall be equipped with elevated footpaths and an elevated wooden seating area. This recreational space otherwise shall remain in its existing vegetative state. No structures shall be erected in this space other than benches and/or tables or a gazebo.

In addition, **SHALOM** shall provide a public recreational trail easement to the City of Portland. Said easement shall traverse the site such that a pedestrian connection is provided from Auburn Street to Washington Avenue.

8. Except as set forth above, all provisions in Sections 14-86 through 14-91 of the **CITY**'s zoning ordinance shall apply to the Property.

9. The above stated restrictions, provisions and conditions are an essential part of the rezoning, shall run with the property, shall bind **SHALOM**, its successors and assigns of the Property or any part thereof or interest therein, as well as any party in possession or occupancy as limited above, by lease or otherwise, and shall inure to the benefit and be enforceable by the **CITY**, by and through its duly authorized representatives.

10. If any of the restrictions, provisions, conditions, or portions thereof set forth herein is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed as a separate, distinct and independent provision and such determination shall not affect the validity of the remaining portions thereof.

11. Except as expressly provided herein, the use and occupancy of the Property shall be governed by and comply with the applicable provisions of the Land Use Code of the **CITY** and any applicable amendments thereto or replacements thereof. Without limiting the generality of the foregoing, nothing contained in this Agreement shall be deemed as avoiding or changing the requirement that **SHALOM** obtain subdivision/site plan approval as required under the Portland City Code.

12. In the event of a breach of the zoning provisions contained herein by **SHALOM** or its successors or assigns (whether said breach is determined by the Zoning Administrator, the Zoning Board of Appeals, or the Court) the Planning Board, after notice and hearing, may recommend to the City Council that the contract zone be amended or that the contract zone be rescinded resulting in the termination of the approved use or uses hereunder.

WITNESS:

SHALOM APARTMENTS, INC.

By: _____

Joseph C. Brannigan, its
Authorized Agent

STATE OF MAINE
COUNTY OF CUMBERLAND, SS.

2003 _____,

Personally appeared the above-named Joseph C. Brannigan, Authorized Agent of Shalom Apartments, Inc., as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

Notary Public/Attorney-at-Law
Print Name: _____
My commission expires: _____

February 13, 2004

Mike Nugent
Inspection Department
City Hall
Portland, Maine 04101

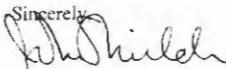
Re: The Shalom Apartments, 180 Auburn Street, Portland, Maine

Dear Mike:

Enclosed are responses to your memo of January 26, 2004.

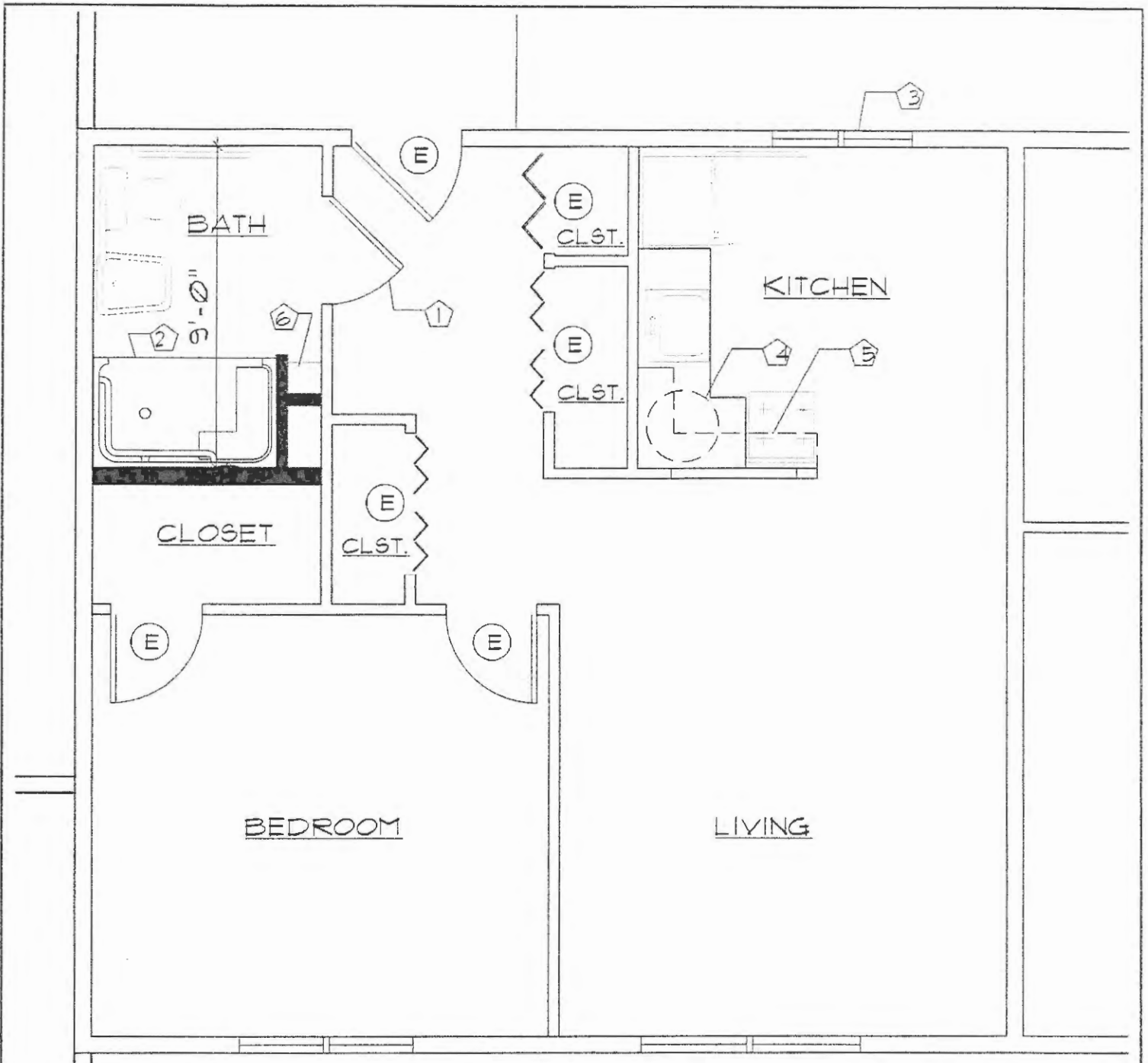
1. Attic Access - I will notify the Builder to increase the attic access to 22" x 30" from 21" x 30" as indicated on the plans.
2. Roof Trusses - specification section 01690 specifies the trusses. This section provides design loads and requires the truss manufacturer to provide stamped shop drawings by a structural engineer registered in Maine for the truss design. This is standard practice in the industry.
3. Existing Proposed Fire Separation - this condition occurs at two places. First, Apartment 102 and Existing Mechanical Room 102 and Existing Storage Room 103 and second at Apartment 201 and Existing Mechanical Room 203 and Existing Storage Room 204. See Drawing Ska-6 attached for detail.
4. Soils - as you know, this project was preceded by a heat conversion of the existing units. During the excavation for the heat conversion mechanical rooms I observed the soil conditions. Per BOCA Table 1804.3 the class of material is 4. sandy, silty sand, clayey sand, silty gravel and clayey gravel with a presumptive load bearing value of 3000 psf.
5. Window Type A - see attached Andersen cut sheet. Note that windows marked with a diamond meet egress requirements. Window Type A, Andersen TW3046, is so marked.
6. Railings - see attached cut sheet from CertainTeed's web site. The specified system is the Oxford, which meets BOCA requirements.
7. Smoke Detectors - see the electrical engineers memorandum attached.
8. Laundry Hookups - no laundry hookups.
9. Dwelling Unit Separation - yes, the separation wall extends to roof deck.
10. Anchor Bolts - 12" minimum from corners.

Any questions please call me.

Sincerely,

John Shields
Architect

Cc: Bill Floyd - Shalom House, Steve Keltonic - The Thaxter Company

from permit # 040016



LEGEND:

EXISTING WALL. 

NEW WALL. 

① 3'-0" x 6'-8" SCW DOOR/ WOOD FRAME.

② 5'-0" x 3'-0" ADA COMPLIANT CUSTOM TILE HC ROLLIN SHOWER.

③ CASEMENT WINDOW - SILL AT 30" AFF.

④ LAZY SUSAN BASE CABINET.

⑤ WALL CABINET.

⑥ OPEN SHELVING.

ⓔ EXISTING DOOR.

PROJECT:
ADDITIONS TO SHALOM APTS.

DRAWING:
PROPOSED UNIT 11.

SCALE: 1/4"=1'-0"

DATE: AUG. 24, 2004

ARCHITECT:
ARCHETYPE, P.A.

SKa-12b

Map



Parcels	Stream Overlay Zone	Zoning (continued)	Zoning (continued)
<input type="checkbox"/> Interstate	<input type="checkbox"/> Stream_protection	<input type="checkbox"/> R2 Residential	<input type="checkbox"/> C25
<input type="checkbox"/> Streets	Island Zoning	<input type="checkbox"/> R3 Residential	<input type="checkbox"/> C26
Buildings	<input type="checkbox"/> C43	<input type="checkbox"/> R4 Residential	<input type="checkbox"/> C27
<input type="checkbox"/> Building	<input type="checkbox"/> I-B	<input type="checkbox"/> R5 Residential	<input type="checkbox"/> C28
<input type="checkbox"/> Out Building	<input type="checkbox"/> I-TS	<input type="checkbox"/> R6 Residential	<input type="checkbox"/> C29
	<input type="checkbox"/> I-R1	<input type="checkbox"/> ROS Recreation Open Space	<input type="checkbox"/> C30
	<input type="checkbox"/> I-R2		<input type="checkbox"/> C31