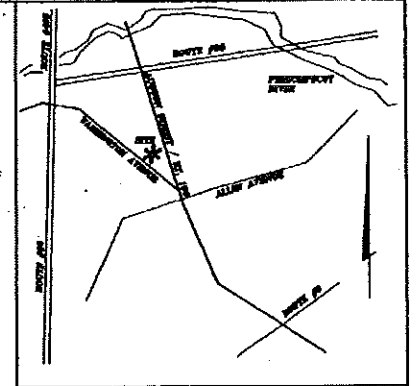


# HEAT CONVERSIONS THE SHALOM APARTMENTS 180 AUBURN STREET PORTLAND, MAINE



## Index of Drawings

- Title Sheet, Location Plan
- F.1 Future Build-out Plan
- S.1 Site Plan, Soffit Diagram, Details
- U.1 Utility Plan
- A.1 Mech. Room 100, Storage 101 - Plans,  
Typical Wall Section
- A.2 Mech. Room 200, Storage 201 - Plans
- A.3 Mech. Room 300, Storage 301,  
Unfinished Apartment 302 - Plans

*1st Mech. Room  
with Water Detail  
etc.*

### Owner

Shalom House, Inc.  
P.O. Box 560  
Portland, Maine 04112

### Architect

Archetype, P.A.  
48 Union Wharf  
Portland, Maine 04101

## Code Review

**Building Code Criteria**  
This code review is based on the 1999  
BOCA Code and the 2000 NFPA Life  
Safety Code.

## B.O.C.A.

**Building Description:**  
Apartment Building - wood framed,  
non-sprinkled, one (1) story, slab on grade.

**Construction Type**  
5B, Combustible, Unprotected (Reference BOCA  
606.0)

**Use Group:**  
Residential Use Group R-2 - Multiple Family  
Dwelling. (Reference BOCA 310.4)

**Specific Occupancy Area:**  
Boiler and Furnace Rooms: 1 Hour Separation.  
(Reference BOCA 302.1.1)

**Area Limitations (Reference BOCA Table 503):**  
Two (2) story, 35', 4800 square feet.

### Fire Resistance Ratings of Structure Elements (Table 602)

Exterior Walls: 0 Hour.  
Fire Walls & Party Walls: N/A.  
Fire Separation Assemblies: N/A.  
Fire Partitions: N/A.  
Dwelling Unit & One-story Separations: 1 Hour.  
Smoke Barriers: 1 Hour.  
Other Nonloadbearing Partitions: 0 Hour.  
Interior Loadbearing Members: 0 Hour.  
Structural Members Supporting Wall: 0 Hour.  
Floor Construction: 0 Hour.  
Roof Construction: 0 Hour.

## N.F.P.A.

**Occupancy Group**  
Chapter 30 - New Apartment Buildings.

### General Requirements

**Minimum Construction Requirements (30.1.6) -**  
No special requirements.

### Means of Egress Requirements (Section 30.2)

**Number of exits - One (1).** For 30.2.4 Exception 1.(a) a  
dwelling unit shall be permitted to have a single exit  
provided that the dwelling unit has an exit door opening  
directly to the street or yard at ground level.

### Emergency Lighting (Section 30.2.9)

Not required.

### Protection (Section 30.3)

**Hazardous Area Protection (Table 30.3.2.1) - Boiler rooms:**  
1 Hour and sprinklers.

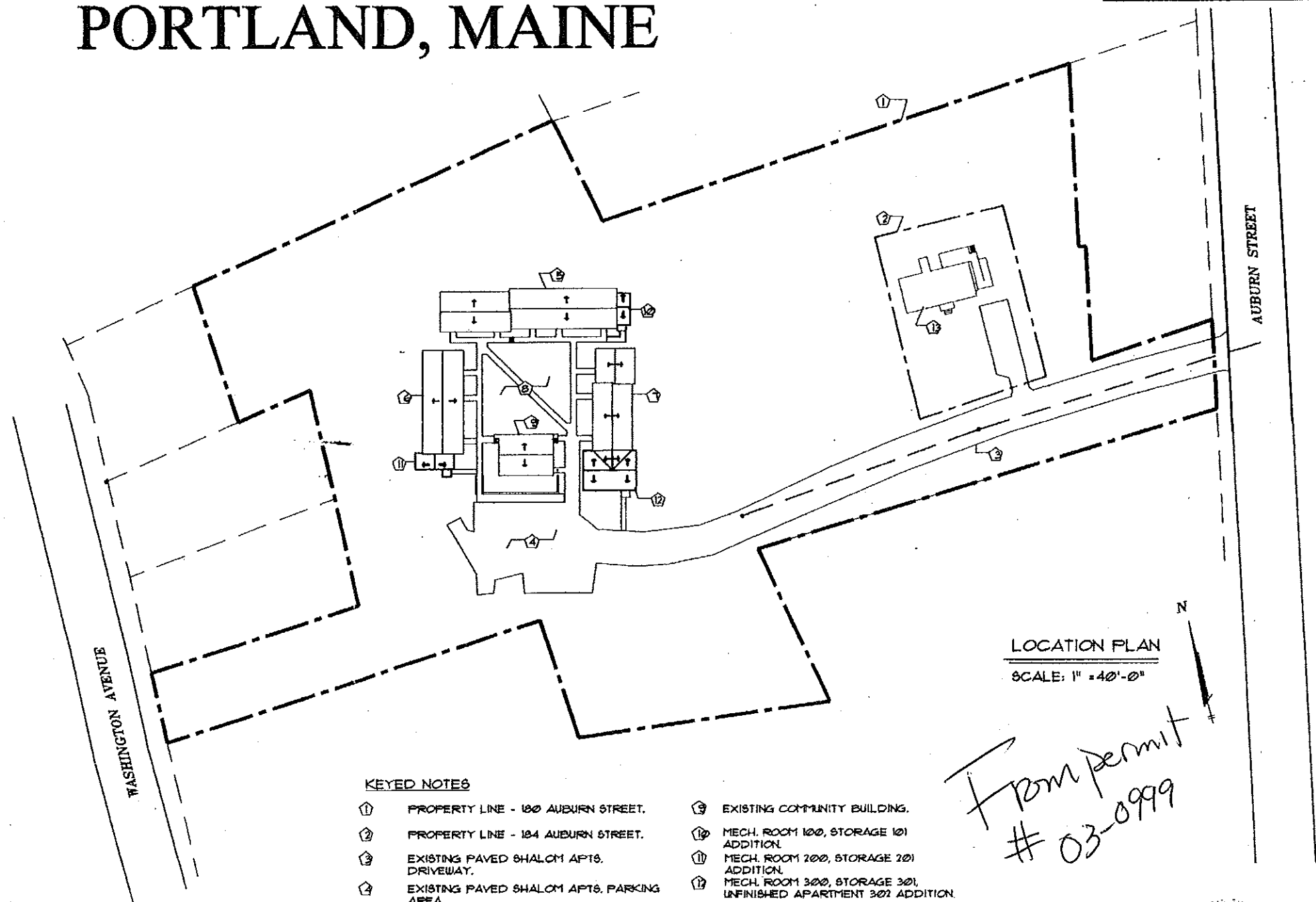
**Detection, Alarm and Communication Systems (30.3.4.1) -**  
Fire Alarm System: Not required.

### Smoke Alarms (30.3.4.5)

**Single-station smoke alarms outside every sleeping area**  
and on all levels (30.3.4.5.1).  
**Single-station smoke alarms in every sleeping room**  
(30.3.4.5.2).

### Extinguishment Requirements (Section 30.3.5)

**Not required - Section 30.3.5.2 Exception (a) - not required**  
where every dwelling unit is provided with an exit door  
opening directly to the street or yard at ground level.  
**Portable Fire Extinguishers - (30.3.5.7) Provided in**  
hazardous areas, i.e. boiler rooms.



LOCATION PLAN

SCALE: 1" = 40'-0"

*From permit  
# 03-0999*

### KEYED NOTES

- ① PROPERTY LINE - 180 AUBURN STREET.
- ② PROPERTY LINE - 184 AUBURN STREET.
- ③ EXISTING PAVED SHALOM APTS. DRIVEWAY.
- ④ EXISTING PAVED SHALOM APTS. PARKING AREA.
- ⑤ EXISTING (5) UNIT APARTMENT BUILDING.
- ⑥ EXISTING (3) UNIT APARTMENT BUILDING.
- ⑦ EXISTING (3) UNIT APARTMENT BUILDING.
- ⑧ EXISTING OPEN SPACE.
- ⑨ EXISTING COMMUNITY BUILDING.
- ⑩ MECH. ROOM 100, STORAGE 101 ADDITION.
- ⑪ MECH. ROOM 200, STORAGE 201 ADDITION.
- ⑫ MECH. ROOM 300, STORAGE 301, UNFINISHED APARTMENT 302 ADDITION.
- ⑬ EXISTING RESIDENCE OPERATED BY SHALOM HOUSE, INC.



Issue Date: August 7, 2003

# SHALOM APARTMENTS 52 - 74 CROQUET LANE PORTLAND, MAINE

## REHABILITATION OF APARTMENT 74

Index of Drawings  
--- Title Sheet, Site Plan  
RP.1 Rehabilitation Plan,  
Wall Types

Owner  
Shalom Apartments, Inc.  
106 Gilman Street  
Portland, Maine 04102

Architect  
Shields Architecture  
216 Range Road  
Cumberland, Maine 04102

Contractor  
The Thaxter Company  
Bell Street  
Portland, Maine

Project Description  
Apartment 74 was damaged by fire on 12/18/2011. Rehabilitation of the apartment requires demolition of existing non-bearing interior partition walls, finishes, appliances and fixtures. Walls will be rebuilt as they were before the fire, new finishes include drywall, resilient flooring and carpet.

The apartment has a single exit directly to the outside, was not sprinkled and is separated from adjacent spaces with (1) hour rated construction extending from concrete slab floor to underside of roof deck.

The mechanical room adjacent to Apartment 74 is sprinkled and has (1) hour rated ceiling and wall construction.

See Drawing A-1 for additional information.

Square Footages  
The building in which Apartment 74 is located is 4,183 square feet.  
Apartment 74 is 629 square feet.  
Apartment 74 is 15% of the building's total.

Code References  
2009 International Building Code  
2009 International Existing Building Code  
2009 NFPA 101 Life Safety Code  
City of Portland Code of Ordinances - Chapter 10, Fire Prevention & Protection

2009 IBC  
Building Description:  
6 Unit Apartment Building - wood framed, one (1) story, slab on grade.

Construction Type  
5B

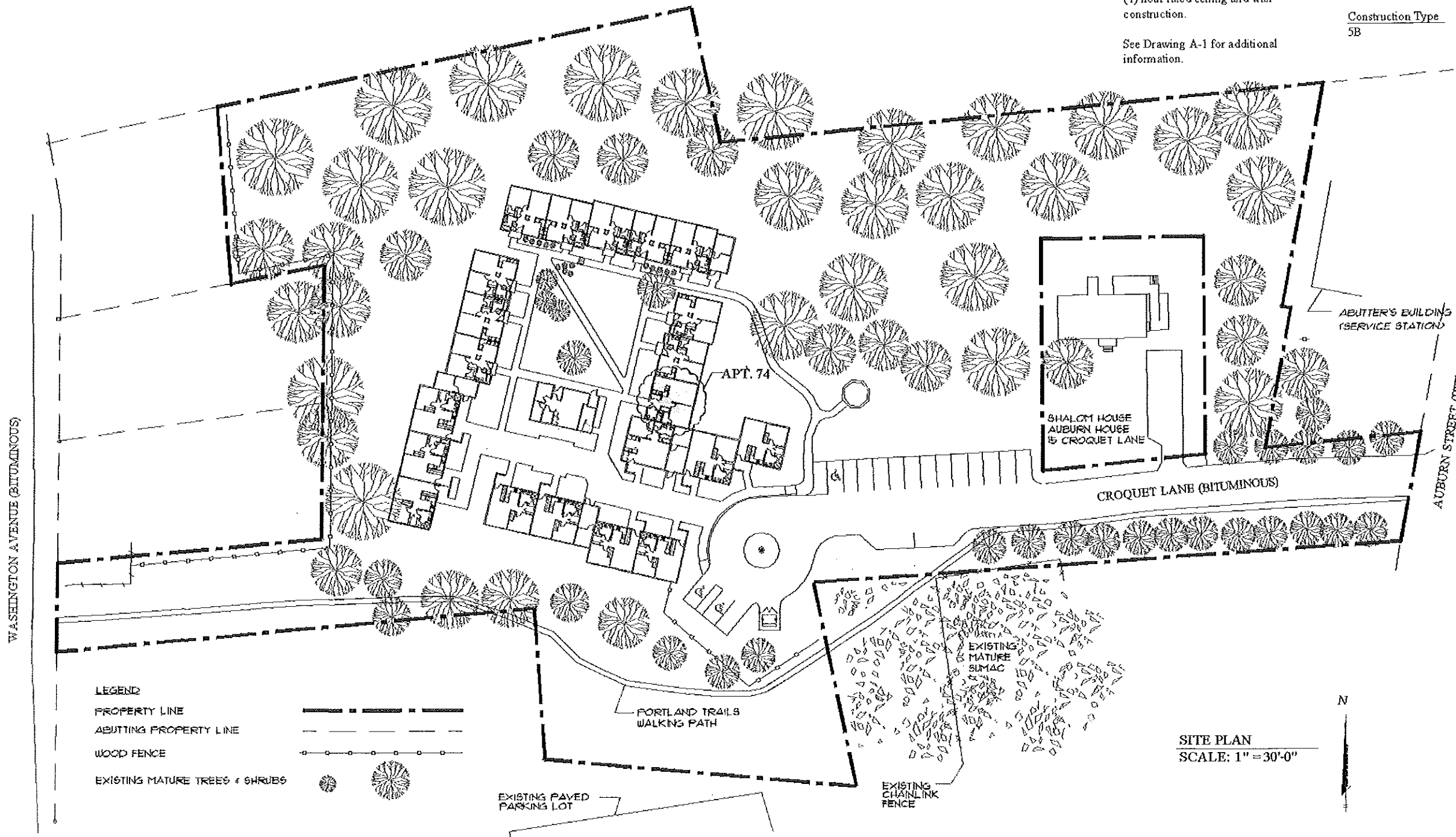
Use Group:  
Residential Use Group R-2 - Multiple Family Dwelling.

Specific Occupancy Area:  
Boiler and Furnace  
Rooms: 1 Hour  
Separation or Sprinkled.

Fire Resistance Ratings  
Dwelling Unit Separation: 1 Hour.

2009 NFPA 101  
Occupancy Group  
Chapter 31 - Existing  
Apartment Buildings.

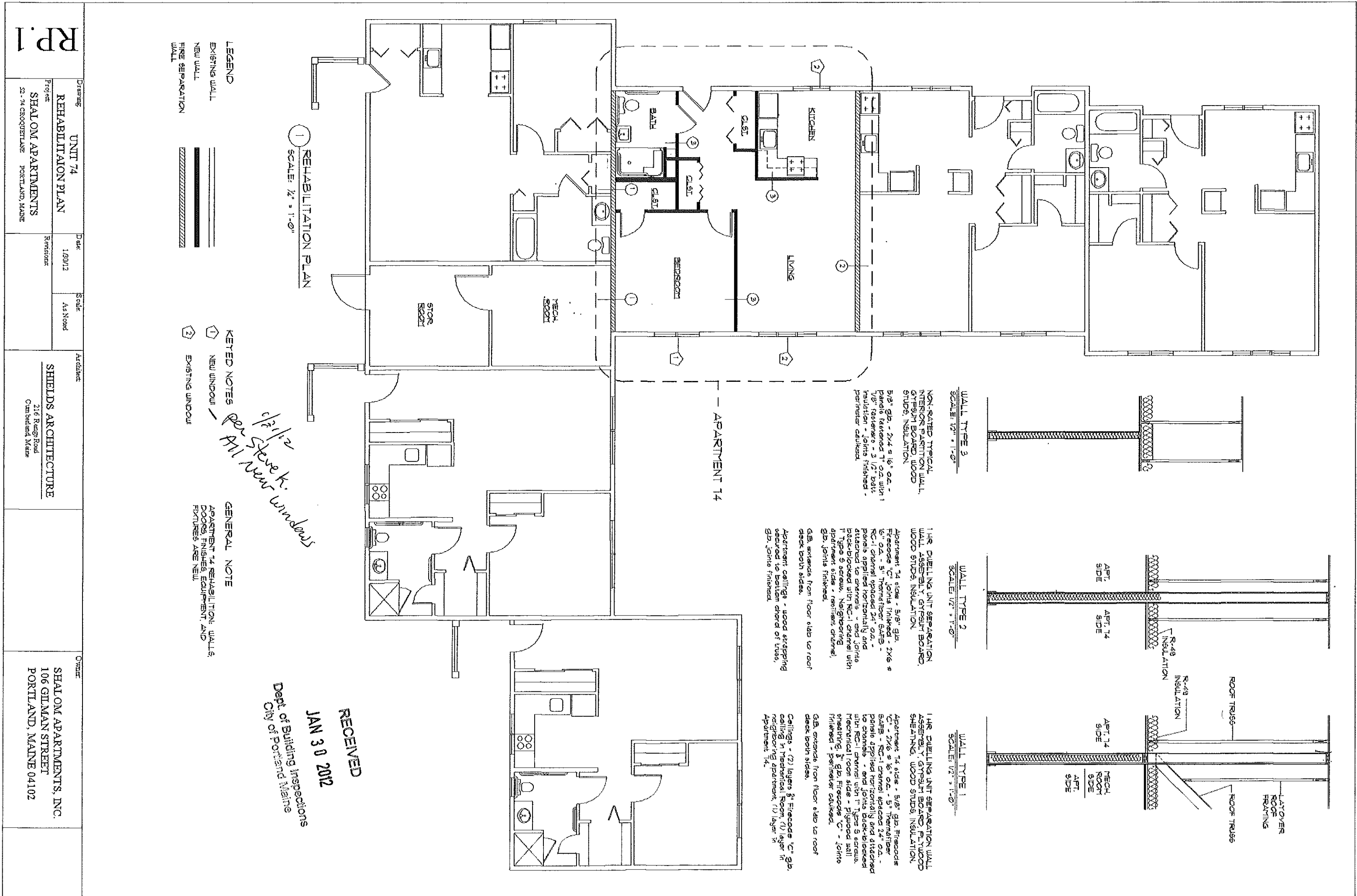
Hazardous Area Protection  
Boiler rooms: 1 Hour or  
sprinklers.



ISSUED  
FOR  
REVIEW:  
1/30/12

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1 REHABILITATION PLAN  
SCALE: 1/2" = 1'-0"

- LEGEND**
- EXISTING WALL
  - NEW WALL
  - FIRE SEPARATION WALL

- KEYED NOTES**
- 1 NEW WINDOW
  - 2 EXISTING WINDOW

**GENERAL NOTE**  
APARTMENT 14 REHABILITATION: WALLS, DOORS, FINISHES, EQUIPMENT, AND FIXTURES ARE NEW.

**WALL TYPE 3**  
SCALE: 1/2" = 1'-0"

NON-RATED TYPICAL INTERIOR PARTITION WALL. GYP/PLUM BOARD, WOOD STUDS, INSULATION.

**WALL TYPE 2**  
SCALE: 1/2" = 1'-0"

1 HR. DWELLING UNIT SEPARATION WALL ASSEMBLY: GYP/PLUM BOARD, WOOD STUDS, INSULATION.

**WALL TYPE 1**  
SCALE: 1/2" = 1'-0"

1 HR. DWELLING UNIT SEPARATION WALL ASSEMBLY: GYP/PLUM BOARD, PLYWOOD SHEATHING, WOOD STUDS, INSULATION.

Apartment 14 side - 5/8" g.p. Firecode "C" joints finished - 2x6 @ 16" o.c. - 5" Thermalfloor S&F's - RC-1 channel spaced 24" o.c. - panels applied horizontally and attached to channels - and joints back-blocked with 1" Type 5 screws. Neighboring apartment side - resilient channel; g.p. joints finished.

g.s. extends from floor slab to roof deck both sides.

Apartment ceiling - wood strapping secured to bottom chord of truss, g.p. joints finished.

Apartment 14 side - 5/8" g.p. Firecode "C" - 2x6 @ 16" o.c. - 5" Thermalfloor S&F's - RC-1 channel spaced 24" o.c. - panels applied horizontally and attached to channels - and joints back-blocked with RC-1 channel with 1" Type 5 screws. Mechanical room side - plywood wall sheathing; 5" g.p. Firecode "C" - joints finished - perimeter caulked.

g.s. extends from floor slab to roof deck both sides.

Ceiling - (2) layers 5" Firecode "C" g.p. ceiling in Mechanical Room, (1) layer in neighboring apartment, (1) layer in Apartment 14.

*1/21/12 per Steve K. All New Windows*

RECEIVED  
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Dept of Building Inspections  
City of Portland Maine

Drawings <b>UNIT 74 REHABILITATION PLAN</b>	Date 1/30/12	Scale As Noted	Architect <b>SHIELDS ARCHITECTURE</b> 216 Ramp Road Carmel, Maine	Owner <b>SHALOM APARTMENTS, INC.</b> 106 GILMAN STREET PORTLAND, MAINE 04102
	Fig. no. <b>SHALOM APARTMENTS</b> 52 - 74 CROQUETLANE PORTLAND, MAINE	Revisions		
<b>RP.1</b>				