

comments Submitted 6/19/13

City of Portland
Development Review Application
Planning Division Transmittal Form

Application Number: 2013-146

Application Date: 06/14/2013

CBL: 374 A030001

Application Type: Zoning Contract/Conditional Rezoni

Project Name: R3 to B2 Rezoning

Address: 194- AUBURN ST

Project Description: Conditional Rezoning from R-3 to B-2

Distribution List:

Planner	Jean Fraser	Parking	John Peverada
Zoning	Marge Schmuckal	Design Review	Alex Jaegerman
Traffic Engineer	Tom Errico	Corporation Counsel	Danielle West-Chuhta
Civil Engineer	David Sensus	Sanitary Sewer	John Emerson
Fire Department	Chris Pirone	Inspections	Tammy Munson
City Arborist	Jeff Tarling	Historic Preservation	Deb Andrews
Engineering	David Margolis-Pineo	DRC Coordinator	Phil DiPierro
		Outside Agency	

MEMORANDUM

To: FILE
From: Jean Fraser
Subject: Application ID: 2013-146
Date: 6/19/2013

Comments Submitted by: Marge Schmuckal/Zoning on 6/19/2013

The dispensing of gas and working on cars in the repair garage was abandoned years ago. Underground tanks were removed by a permit in 2005. There never was a true retail in the office area like in gas stations today. The Land Use Zoning Ordinance addresses abandon uses as lost and the use to revert to those allowed in the underlying zone (R-3). It should be noted that a conditional contract rezoning should not permit more pumps than those present previously.

Marge Schmuckal
Zoning Administrator



Alex Jaegerman, FAICP
Division Director, Planning Division

December 19th, 2013

Tom Saucier, PE President
Site Design Associates
23 Whitney Way
Topsham, ME 04086

Kevin Moore
C. N. Brown Co.
P.O. Box 200
South Paris, ME 04281

**RE: C N Brown Company
Conditional Rezoning
194 Auburn Street
Application ID Number: 2013-146**

Dear Mr. Saucier and Mr. Moore:

I write to confirm that on October 22nd, 2013 the Portland Planning Board voted 4-3 (Boepple, Morrissette and O'Brien opposed) to recommend the Conditional Zoning Amendment (Agreement and the associated Conceptual Site Plan) to the City Council for its approval.

On December 16th, 2013 the City Council considered the Conditional Zoning Agreement as Order 111-13/14, Amendment to City Code §14-49 (Zoning Text and Map Amendment) Re: Conditional Rezoning for Property in the Vicinity of 194 Auburn Street. The City Council voted to pass the amendment with a vote of 8-0 (Hinck absent).

The Conditional Zone Agreement (certified copy as noted below) must be signed and recorded at the Cumberland County Registry of Deeds within 90 days of the date of approval by the City Council and prior to the submission of any site plan application. Please work directly with Corporation Counsel to finalize the agreement and associated documentation, and please send the Planning Division a copy of the recorded agreement.

A certified copy of the agreement, in Order No 111-13/14 as passed, is available from the City Clerk's Office; Attachment 2 (Conceptual Site Plan, as approved and attached to this letter) should be appended to it, and the blanks filled in, prior to final signature and recording.

If there are any questions, please contact Jean Fraser, Planner, at 874-8728 or at jf@portlandmaine.gov.

Sincerely,

Alexander Jaegerman
Planning Division Director

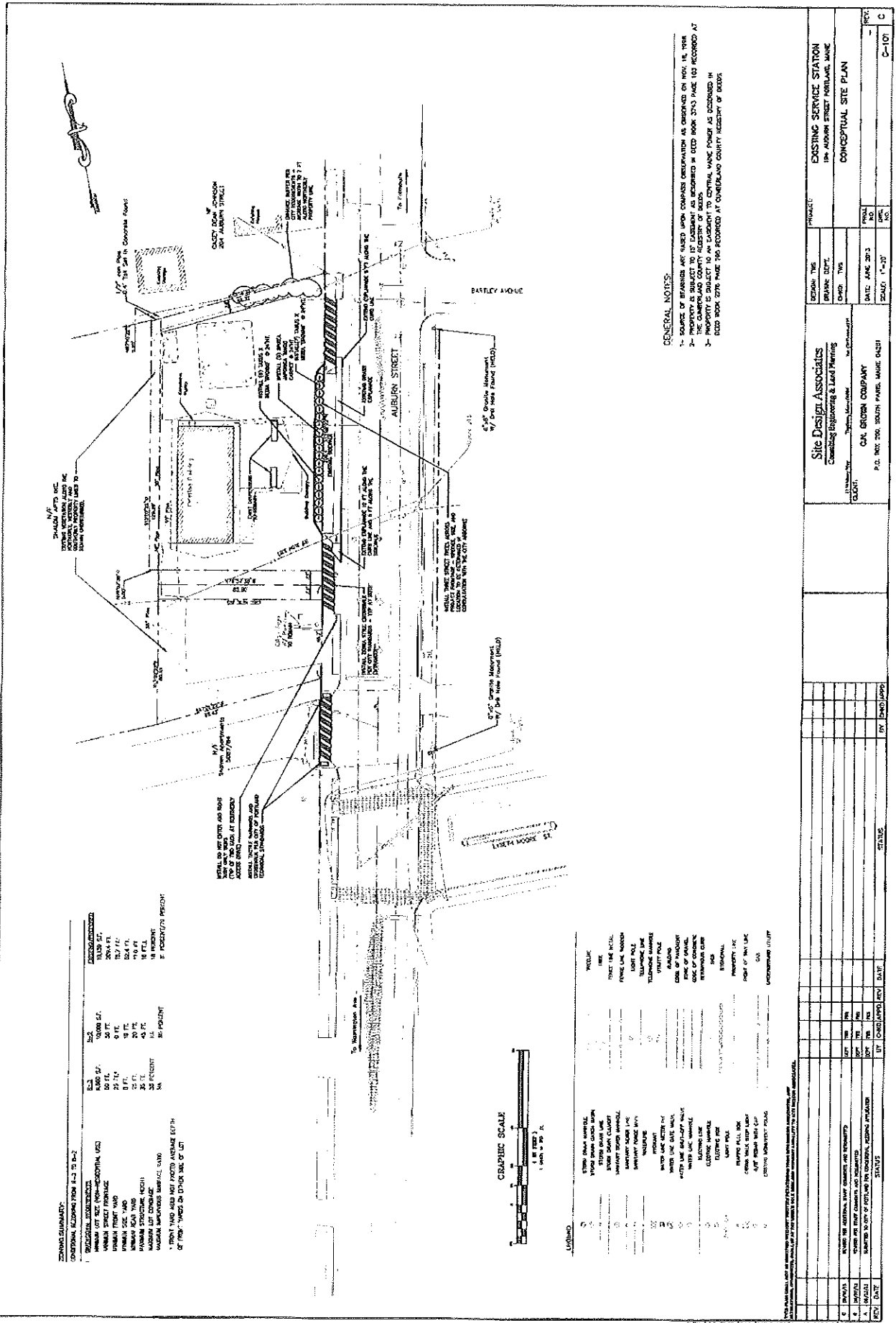
Attachments: Conceptual Site Plan Rev B dated 9.16.2013 (Attachment 2 to the Conditional Rezoning Agreement)

cc. Electronic circulation:

Jeff Levine, AICP, Director, Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Danielle West-Chuhita, Corporation Counsel
Jennifer Thompson, Associate Corporation Counsel

Michael Bobinsky, Public Services Director
Katherine Earley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Jeff Farling, City Arborist
Tom Errico, TY Lin
Assessor's Office
Approval Letter File

City Hall, 389 Congress Street . Portland, ME 04101-3509 . Ph (207) 874-8719 . Fx 756-8258 . TTY 874-8936



CONCRETE FOOTING ELEVATIONS

WALKWAY	6.00' FT.
CONCRETE	6.00' FT.
FOUNDATION	6.00' FT.
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GENERAL NOTES:

- 1- SOURCE OF MATERIALS AND MIXED WITH COMPLETION OF CONSTRUCTION TO BE DETERMINED BY CONTRACTOR AS NOTED ON DRAWING.
- 2- PROPERTY IS SUBJECT TO AN EASEMENT TO CARRY WATER MAINS POWER AS SHOWN ON DEED BOOK 276 PAGE 103 RECORDED AT DEED BOOK 276 PAGE 103 RECORDED AT CHESTER COUNTY REGISTERY OF DEEDS.

Site Design Associates
 Consulting Engineering & Land Planning

Client: **ONE BRIDGES COMPANY**
 P.O. BOX 309, SOUTH PARIS, MAINE 05488

EXISTING SERVICE STATION
 104 AUBURN STREET FARMVILLE, MAINE

CONCEPTUAL SITE PLAN

DATE:	JUNE 2013
SCALE:	1" = 50'
BY:	[Signature]
DATE:	[Date]
BY:	[Signature]
DATE:	[Date]

REV.	DATE	STATUS	BY	CHKD/APPD
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

LEGEND

- 1 STREET CROWN CENTERLINE
- 2 STREET RIGHT OF WAY
- 3 STORM WATER CHANNEL
- 4 WATER MAIN
- 5 SEWER MAIN
- 6 GAS MAIN
- 7 ELECTRIC MAIN
- 8 TELEPHONE MAIN
- 9 TELEPHONE POLE
- 10 WATER LINE RIGHT OF WAY
- 11 WATER LINE RIGHT OF WAY
- 12 WATER LINE RIGHT OF WAY
- 13 ELECTRIC POLE
- 14 TELEPHONE POLE
- 15 EXISTING WALKWAY
- 16 EXISTING DRIVE
- 17 EXISTING DRIVE
- 18 EXISTING DRIVE
- 19 EXISTING DRIVE
- 20 EXISTING DRIVE
- 21 EXISTING DRIVE
- 22 EXISTING DRIVE
- 23 EXISTING DRIVE
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- 30 EXISTING DRIVE

Submitted & Re-approved CEA