

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

Please Read Application And Notes, If Any, Attached

Permit Number

PERMIT ISSUED
APR 30 2004
CITY OF PORTLAND

This is to certify that Shalom House Inc /The Th... Company
has permission to Build three new single story buildings f... (total 5,980 sq. Ft.)
AT 184 Auburn St L 374 A023001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceed before this building or part thereof is started or otherwise closed-in. 4 HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 4/29/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0016	Issue Date: APR 30 2004	CBL: 007 374 A0001
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Location of Construction: 180 Auburn St	Owner Name: Shalom House Inc	Owner Address: Po Box 560	Phone: 207-874-1080
Business Name: n/a	Contractor Name: The Thaxter Company	Contractor Address: 55 Bell Street Portland	Phone: 2078785553
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Multi Family	Zone: R3 PPA Contract Zone

Past Use: Residential / Multi Units (11 Units)	Proposed Use: Residential Units / Construct three new single story buildings (total of 5,980 sq. Ft.) consisting of 10 new units. Phase 2 of permit # 030999.	Permit Fee: \$7,077.00	Cost of Work: \$784,000.00	CEO District: 5
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Proposed Project Description: Build three new single story buildings for 10 new units. (total of 5,980 sq. Ft.)	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: 5B 4/29/04 Signature: [Signature]
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Permit Taken By: gg	Date Applied For: 01/07/2004	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland NA <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input checked="" type="checkbox"/> Subdivision Contract Zone <input checked="" type="checkbox"/> Site Plan 2003-0165 Major <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 1/16/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2003-0165
Application I. D. Number

Shalom House Inc
Applicant
Po Box 560, Portland, ME 04112
Applicant's Mailing Address

8/7/2003
Application Date

Shalom Apartments
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 874-1087 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

180 - 180 Auburn St, Portland, Maine
Address of Proposed Site
374 A023001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

6,931 s.f. Proposed Building square Feet or # of Units **R3** Zoning
Acreage of Site

Check Review Required:

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input checked="" type="checkbox"/> Subdivision # of lots <u>10</u> | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$500.00 Subdivision _____ Engineer Review \$2,372.00 Date 4/26/2004

DRC Approval Status:

Reviewer **Sebago Technic**

- Approved **Approved w/Conditions** Denied
See Attached

Approval Date 10/14/2003 Approval Expiration 10/14/2004 Extension to _____ Additional Sheets Attached

Condition Compliance Kandi Talbot 4/29/2004
signature date

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|--|--------------------------|--|-------------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | <u>4/26/2004</u>
date | <u>\$118,600.00</u>
amount | <u>4/16/2004</u>
expiration date |
| <input checked="" type="checkbox"/> Inspection Fee Paid | <u>4/26/2004</u>
date | <u>\$2,372.00</u>
amount | |
| <input type="checkbox"/> Building Permit Issue | _____
date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____
date | remaining balance | _____
signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____
date | <input type="checkbox"/> Conditions (See Attached) | _____
expiration date |
| <input type="checkbox"/> Final Inspection | _____
date | _____
signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____
date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____
date | _____
signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____
submitted date | _____
amount | _____
expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____
date | _____
signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2003-0165
Application I. D. Number

Shalom House Inc
Applicant
Po Box 560, Portland, ME 04112
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 874-1087 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

8/7/2003
Application Date
Shalom Apartments
Project Name/Description

180 - 180 Auburn St, Portland, Maine
Address of Proposed Site
374 A023001
Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

- 1 1. That the applicant submit a subdivision plat based on the requirements of the subdivision ordinance for review and approval.
- 2 2. That utility capacity letters from the Portland Water District and Portland Sewer Division be provided to staff prior to issuance of a building permit.
- 3 3. That the existing sewer line and 2-inch water line shown under the proposed two-unit building shall be relocated.
- 4 4. That the applicant construct a trail in accordance with the Portland Trails standard on their property and correct the pedestrian easement so that it corresponds with the existing trail or move the trail within the easement area.
- 5 5. That the plans be revised in accordance with the DRC's memo dated October 10, 2003 for review and approval by the DRC.
- 6 6. That the existing drain crossing the C.N. Brown property shall be within an established drainage easement, or a note shall be placed on the plan stating that any maintenance, replacement, or soil disturbance that is needed on the C.N. Brown lot will not occur if an easement is not secured and that the owner will relocate the pipe in its entirety on the Shalom Apartment property.
- 7 7. That the applicant contribute 2% of the site construction cost to the City's Auburn Street CSO project for drainage upgrades.
- 8 8. That the applicant submit a letter of financial capability prior to issuance of a building permit.
- 9 9. That the applicant prepare a construction traffic management plan for review and approval by staff.
- 01 10. That the City Arborist review and approve the landscaping plan.
- 01 11. That the applicant submit a lighting photometric plan for review and approval by staff.

Approval Conditions of DRC

- 1 See planning conditions

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2003-0165
Application I. D. Number

Shalom House Inc
Applicant
Po Box 560, Portland, ME 04112
Applicant's Mailing Address

8/7/2003
Application Date

Shalom Apartments
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Consultant/Agent
Applicant Ph: (207) 874-1087 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

180 - 180 Auburn St, Portland, Maine
Address of Proposed Site
374 A023001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

6,931 s.f. Proposed Building square Feet or # of Units **R3** Zoning
Acreage of Site _____

Check Review Required:

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input checked="" type="checkbox"/> Subdivision # of lots 10 | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla **\$500.00** Subdivision _____ Engineer Review **\$2,372.00** Date **4/26/2004**

Planning Approval Status:

Reviewer **Kandi Talbot**

- Approved Approved w/Conditions See Attached Denied

Approval Date **10/14/2003** Approval Expiration **10/14/2004** Extension to _____ Additional Sheets Attached
 OK to Issue Building Permit **Kandi Talbot** **4/29/2004**
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	4/26/2004 date	\$118,600.00 amount	4/16/2004 expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	4/26/2004 date	\$2,372.00 amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	remaining balance _____	signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	expiration date _____
<input type="checkbox"/> Final Inspection	_____ date	signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date	signature _____	
<input type="checkbox"/> Performance Guarantee Released	_____ date	signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	submitted date _____	amount _____	expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date	signature _____	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2003-0165

Application I. D. Number

Shalom House Inc

Applicant

8/7/2003

Application Date

Po Box 560, Portland, ME 04112

Applicant's Mailing Address

Shalom Apartments

Project Name/Description

Consultant/Agent

Applicant Ph: (207) 874-1087 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

180 - 180 Auburn St, Portland, Maine

Address of Proposed Site

374 A023001

Assessor's Reference: Chart-Block-Lot

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- 9 9. That the applicant prepare a construction traffic management plan for review and approval by staff.
- 01 10. That the City Arborist review and approve the landscaping plan.
- 01 11. That the applicant submit a lighting photometric plan for review and approval by staff.

Approval Conditions of DRC

- 1 See planning conditions

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2003-0165
Application I. D. Number

Shalom House Inc
Applicant
Po Box 560, Portland, ME 04112
Applicant's Mailing Address

8/7/2003
Application Date

Shalom Apartments
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Consultant/Agent
Applicant Ph: (207) 874-1087 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

180 - 180 Auburn St, Portland, Maine
Address of Proposed Site
374 A023001
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Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

6,931 s.f. Proposed Building square Feet or # of Units **R3** Zoning
Acreage of Site _____

Check Review Required:

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input checked="" type="checkbox"/> Subdivision # of lots <u>10</u> | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
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| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$500.00 Subdivision _____ Engineer Review \$2,372.00 Date 4/26/2004

DRC Approval Status:

Reviewer Sebago Technic

- Approved **Approved w/Conditions** See Attached Denied

Approval Date 10/14/2003 Approval Expiration 10/14/2004 Extension to _____ Additional Sheets Attached

Condition Compliance Kandi Talbot 4/29/2004
signature date

Performance Guarantee **Required*** **Not Required**

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- | | | | |
|--|--------------------------|--|-------------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | <u>4/26/2004</u>
date | <u>\$118,600.00</u>
amount | <u>4/16/2004</u>
expiration date |
| <input checked="" type="checkbox"/> Inspection Fee Paid | <u>4/26/2004</u>
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date | | |
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date | <input type="checkbox"/> Conditions (See Attached) | _____
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submitted date | _____
amount | _____
expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____
date | _____
signature | |

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2003-0165
Application I. D. Number

Shalom House Inc
Applicant
Po Box 560, Portland, ME 04112
Applicant's Mailing Address
Consultant/Agent
Applicant Ph: (207) 874-1087 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

8/7/2003
Application Date
Shalom Apartments
Project Name/Description

180 - 180 Auburn St, Portland, Maine
Address of Proposed Site
374 A023001
Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

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Approval Conditions of DRC

- 1 See planning conditions

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Fire Copy**

2003-0165
Application I. D. Number

Shalom House Inc
Applicant
Po Box 560, Portland, ME 04112
Applicant's Mailing Address

8/7/2003
Application Date

Shalom Apartments
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 874-1087 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

180 - 180 Auburn St, Portland, Maine
Address of Proposed Site
374 A023001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

6,931 s.f. Proposed Building square Feet or # of Units **_____** Acreage of Site **_____** **R3** Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input checked="" type="checkbox"/> Subdivision # of lots <u>10</u> | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$500.00 Subdivision _____ Engineer Review \$2,372.00 Date 4/26/2004

Fire Approval Status:

Reviewer Lt. MacDougal

- Approved Approved w/Conditions See Attached Denied

Approval Date 8/25/2003 Approval Expiration 8/25/2004 Extension to _____ Additional Sheets Attached

Condition Compliance Lt. MacDougal 8/25/2003
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>4/26/2004</u> date	<u>\$118,600.00</u> amount	<u>4/16/2004</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>4/26/2004</u> date	<u>\$2,372.00</u> amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0016	Date Applied For: 01/07/2004	CBL: 374 A007001
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Location of Construction: 180 Auburn St	Owner Name: Shalom Apartments	Owner Address: Po Box 560	Phone: 207-874-1080
Business Name: n/a	Contractor Name: The Thaxter Company	Contractor Address: 55 Bell Street Portland	Phone: (207) 878-5553
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Multi Family	

Proposed Use: Residential Units / Construct three new single story buildings (total of 5,980 sq. Ft.) consisting of 10 new units. Phase 2 of permit # 030999.	Proposed Project Description: Build three new single story buildings for 10 new units. (total of 5,980 sq. Ft.)
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 01/16/2004

Note: 1/13/04 Kandi has not given me a stamped approved site plan yet. - I am requesting one - This is an R-3 PRUD contract **Ok to Issue:**

- 1) Per your contract, there shall be no structures erected in the recreation open space other than benches and/or tables or a gazebo.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This property shall remain a twenty-one (21) family dwelling PRUD after the completion of this project. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Mike Nugent **Approval Date:** 04/29/2004

Note: **Ok to Issue:**

- 1) Fire separation assembly penetrations must be protected in accordance with Section 7 of the Building Code

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 01/20/2004

Note: **Ok to Issue:**

- 1) a fire lane shall be maintained to all buildings

Comments:

2/5/2004-gg: Hold draw, waiting for site plan (Kandi Talbot approval). /gg

Received from
Karell
10/1/03
After Request

Order 30 – 03/04
Given first reading: 7/21/03
Public Hearing and Passage 8/4/03 7-0 (O'Donnell, Griffin absent)

JAMES F. CLOUTIER (MAYOR) (A/L)
PETER E. O'DONNELL (1)
KAREN A. GERAGHTY (2)
NATHAN H. SMITH (3)
CHERYL A. LEEMAN (4)

**CITY OF PORTLAND
IN THE CITY COUNCIL**

JAMES I. COHEN (5)
JOHN W. GRIFFIN (A/L)
JILL C. DUSON (A/L)
NICHOLAS M. MAVODONES (A/L)

**ORDER AUTHORIZING AMENDMENT TO CITY CODE
SEC. 14-49 (ZONING MAP AMENDMENT)
RE: CONTRACT FOR REZONING FOR 180 AUBURN STREET**

ORDERED, that the Zoning Map of the City of Portland, dated December 2000 as amended and on file in the Department of Planning & Development, and incorporated by reference into the Zoning Ordinance by Sec. 14-49 of the Portland City Code, is hereby amended to reflect a contract zone as detailed below.

**AGREEMENT
SHALOM APARTMENTS, INC.**

This Agreement made this _____ day of _____, 2003 by **SHALOM APARTMENTS, INC.**, a Maine nonprofit corporation with an office in Portland, Maine (hereinafter "**SHALOM**").

WITNESSETH:

WHEREAS, **SHALOM** has obtained financing to build and operate ten additional units of subsidized housing in a Planned Residential Unit Development ("PRUD") at 180 Auburn Street, Portland, Maine, on a site already legally improved with eleven units of such housing previously created by **SHALOM** (the "Property"). The PRUD provides housing for occupancy by qualifying individuals, namely low income individuals with psychiatric disabilities who are able to live independently; and

TOTAL
10 new
11 exist.
21

WHEREAS, **SHALOM** has requested the rezoning of the Property to modify an existing R-3 zone to accommodate the development and operation of the aforesaid housing, together with a community building providing laundry facilities and indoor recreational/meeting space; and

WHEREAS, the Planning Board of the **CITY**, pursuant to 30-A M.R.S.A § 4352(8) and after notice and hearing and due deliberation thereon, recommended the rezoning of the Property as aforesaid, subject, however, to certain conditions; and

WHEREAS, the **CITY OF PORTLAND** (hereinafter "**CITY**") by and through its City Council has determined because of the unusual nature of the development it is necessary or appropriate to impose by agreement the conditions and restrictions set forth herein, in order to insure that said rezoning is consistent with the **CITY'S** comprehensive land use plan; and

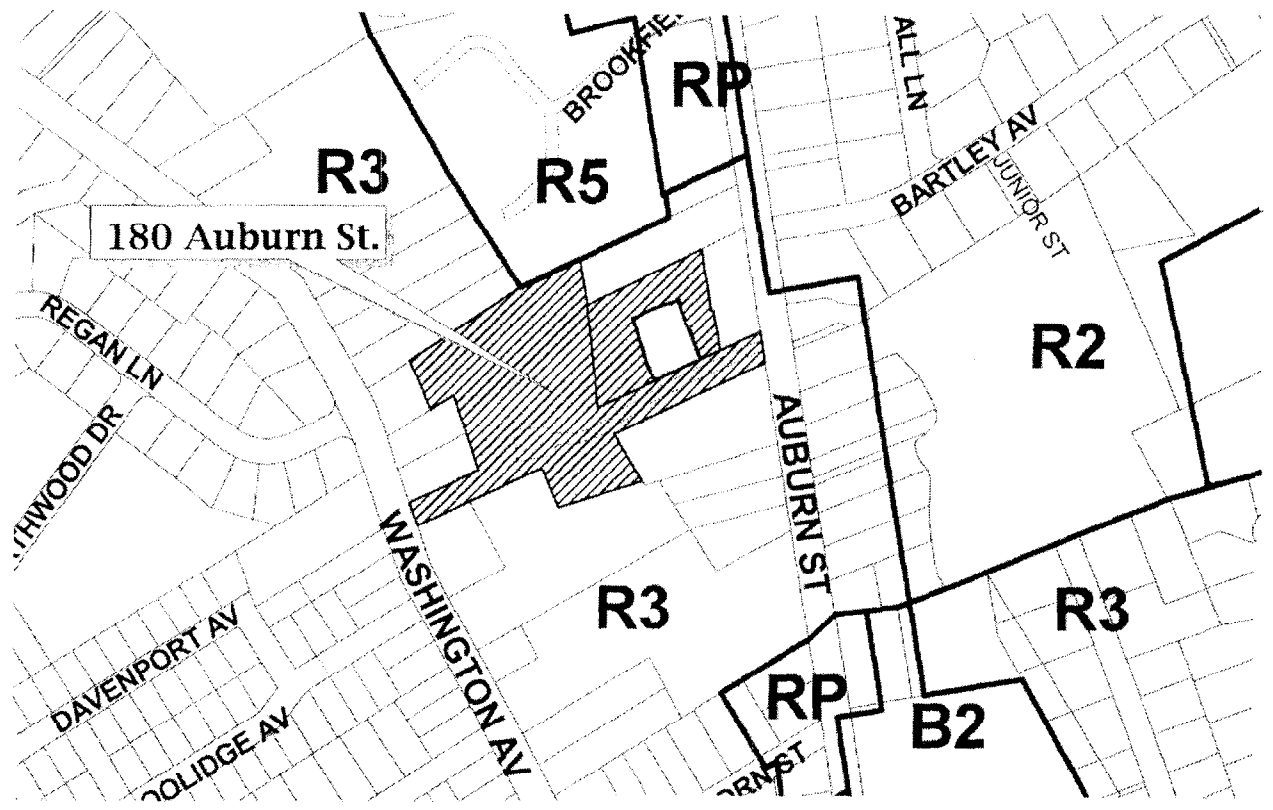
WHEREAS, the Portland Planning Board determined the rezoning would provide needed housing consistent with the Housing Component of the Comprehensive Plan and would not negatively impact the surrounding residential community; and

WHEREAS, the **CITY** authorized the execution of this Agreement on _____, 2003; and

WHEREAS, **SHALOM** has agreed to enter into this contract, with its concomitant terms and conditions, which shall hereinafter bind **SHALOM** its successors or assigns.

NOW, THEREFORE, in consideration of the rezoning of the Property, **SHALOM** contracts to be bound by the following terms and conditions:

1. The **CITY** shall amend the Zoning Map of the City of Portland dated December 2000, as amended and on file in the Department of Planning and Development, and incorporated by reference into the Zoning Ordinance by Section 14-49 of the Portland City Code, by adopting the following map change amendment:



**Proposed Zone Change from R3 to Contract
for 180 Auburn Street**



0 100 200 Feet

Map produced by the City of Portland's Department of Planning and Urban Development and the GIS Workgroup May 2003

2. **SHALOM** shall be authorized to establish and maintain the following uses on the property:

- a. ten additional residential units resulting in a maximum of twenty-one (21) residential units within the Property; and
- b. a community room available for use by the residents of the PRUD; and
- c. a small office located within the community room to be used by staff of **SHALOM** for on-site clinical services to residents of the PRUD and/or on-site property management services for 180 Auburn Street only, if and when necessary;
- d. a laundry facility available for use by residents of the PRUD.

3. The PRUD only shall provide housing to qualifying individuals, namely low income individuals with psychiatric disabilities (as may be classified by the State Bureau of Developmental and Behavioral Services) who are able to live independently as determined by **SHALOM**. The use of the property, by virtue of this contract rezoning, shall be limited to that of a residential PRUD with the additional uses described in paragraph 2.

4. The rezoning shall run with the property so long as it is owned and operated by **SHALOM** or by a not-for profit corporation with a similar corporate mission and qualifications as **SHALOM** all in accordance with the limitations set forth above.

Any change in ownership of the PRUD shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **SHALOM** or to the enforcement by the mortgagees of their rights under such mortgages. The Planning Board shall have a maximum of sixty (60) days from the City's receipt of a complete application for a change in ownership to act on the application. Should the Planning Board be unable to respond within such time frame, the application shall be deemed approved.

5. The Property will be developed substantially in accordance with the Site Layout Plan (the "Site Plan") and the elevations (the "Elevations"), Exhibit 1, drafted by Archetype, P.A. Architects dated January 29, 2003, last revised June 20, 2003; except as changes may be approved to accommodate traffic flow and circulation needs – which changes shall be reviewed in detail and approved during site plan review. A buffer area of not less than twenty five (25) feet from the perimeter property line of 180 Auburn Street shall be preserved in its existing vegetative state.

6. This development shall be subject to subdivision and site plan review by the Portland Planning Board.

7. The dimensional requirements and other zoning requirement for the Property shall be those of the underlying R-3 zone with respect to PRUDs except as follows:

Number of units per building:	Maximum of six.
Maximum length of buildings:	160 feet The buildings need not conform to the requirement of maintaining a distance of at least 25 feet from the provided recreation open space.
Parking:	minimum of 18 spaces

Recreation open space:

Outdoor passive recreation of not less than a total of 6000 square feet shall be provided as shown on Exhibit 1. Such passive recreational area shall be equipped with elevated footpaths and an elevated wooden seating area. This recreational space otherwise shall remain in its existing vegetative state. No structures shall be erected in this space other than benches and/or tables or a gazebo.

In addition, **SHALOM** shall provide a public recreational trail easement to the City of Portland. Said easement shall traverse the site such that a pedestrian connection is provided from Auburn Street to Washington Avenue.

8. Except as set forth above, all provisions in Sections 14-86 through 14-91 of the **CITY's** zoning ordinance shall apply to the Property.

9. The above stated restrictions, provisions and conditions are an essential part of the rezoning, shall run with the property, shall bind **SHALOM**, its successors and assigns of the Property or any part thereof or interest therein, as well as any party in possession or occupancy as limited above, by lease or otherwise, and shall inure to the benefit and be enforceable by the **CITY**, by and through its duly authorized representatives.

10. If any of the restrictions, provisions, conditions, or portions thereof set forth herein is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed as a separate, distinct and independent provision and such determination shall not affect the validity of the remaining portions thereof.

11. Except as expressly provided herein, the use and occupancy of the Property shall be governed by and comply with the applicable provisions of the Land Use Code of the **CITY** and any applicable amendments thereto or replacements thereof. Without limiting the generality of the foregoing, nothing contained in this Agreement shall be deemed as avoiding or changing the requirement that **SHALOM** obtain subdivision/site plan approval as required under the Portland City Code.

12. In the event of a breach of the zoning provisions contained herein by **SHALOM** or its successors or assigns (whether said breach is determined by the Zoning Administrator, the Zoning Board of Appeals, or the Court) the Planning Board, after notice and hearing, may recommend to the City Council that the contract zone be amended or that the contract zone be rescinded resulting in the termination of the approved use or uses hereunder.

WITNESS:

SHALOM APARTMENTS, INC.

By: _____

Joseph C. Brannigan, its
Authorized Agent

STATE OF MAINE
COUNTY OF CUMBERLAND, SS.

2003 _____,

Personally appeared the above-named Joseph C. Brannigan, Authorized Agent of Shalom Apartments, Inc., as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

Notary Public/Attorney-at-Law
Print Name: _____
My commission expires: _____

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	374 A007001
Location	1585 WASHINGTON AVE
Land Use	BENEVOLENT & CHARITABLE
Owner Address	SHALOM APARTMENTS PO BOX 560 PORTLAND ME 04112
Book/Page	
Legal	374-A-7 AUBURN ST 180- 182 WASHINGTON AVE 1585-1587 139392 SF

Valuation Information

Land	Building	Total
\$122,430	\$316,260	\$438,690

Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	1984	11	7536	1
Total Acres	Total Buildings	Sq. Ft.	Structure Type	Building Name
3.2	7536		APARTMENT - GARDEN	SHALOM APT

Exterior/Interior Information

Section	Levels	Size	Use
1	01/01	1775	APARTMENT
2	01/01	2975	APARTMENT
3	01/01	1850	APARTMENT
4	01/01	936	MULTI-USE OFFICE
Height	Walls	Heating	A/C
8	FRAME	UNIT HEAT	
8	FRAME	UNIT HEAT	
8	FRAME	UNIT HEAT	
8	FRAME	UNIT HEAT	

Building Other Features

Line	Structure Type	Identical Units
4	PORCH - COVERED	1

Yard Improvements

Year Built	Structure Type	Length or Sq. Ft.	# Units
1984	ASPHALT PARKING	4440	1

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2003-0165
Application I. D. Number

Shalom House Inc
Applicant
Po Box 560, Portland, ME 04112
Applicant's Mailing Address

8/7/03
Application Date

Shalom Apartments
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 874-1087 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

180 - 180 Auburn St, Portland, Maine
Address of Proposed Site
~~374 A023694~~ **37A-A-007**
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

6,931 s.f. Proposed Building square Feet or # of Units _____ Acreage of Site _____ **R3** Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input checked="" type="checkbox"/> Subdivision # of lots 10 | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$500.00** Subdivision _____ Engineer Review _____ Date: **8/11/03**

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issued	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____

Memorandum

To: David Lloyd
From: Mike Nugent/Manager of Inspection Services
Date: 01/26/2004
Re: 180 Auburn St. (374 A023)

I have reviewed the plans for the above project and have the following questions:

- 1) Attic Access is shown to be 21" x 30" must be 22" x 30".
- 2) What specific roof trusses are being used?
- 3) Need a detail that shows the fire separation assembly between the existing building and the proposed structure.
- 4) What type of soils investigation was performed to base the footing design on?
- 5) What is the actual dimension of the sleeping room windows ("A" on the plans)
- 6) Please provide product info including loads for the exterior guards.
- 7) The plans and specs do not specify that the Smoke detectors need to have a battery back up as well as hardwired and interconnected in the units.
- 8) Are there laundry hookups?
- 9) Fig 3 on page A8 suggests that the fire partition between the dwelling units extends to the underside of the roof sheathing, is this correct?
- 10) Anchor bolt---how far from the corners???



FENCE, DECKING & RAILING

- FENCE, DECK & RAILING
- FOUNDATIONS
- INSULATION
- ROOFING
- SIDING
- WINDOWS
- VENTILATION
- WATER WELL

- INTERACTIVE TOOLS
- WHAT'S NEW
- LITERATURE
- WHERE TO BUY
- LOCATE A CONTRACTOR
- FAQ
- SEARCH
- HOME

FUNDAMENTALS

PRODUCT INDEX

- Deck Collection
- Railing Collection
- Fence Collection
- Garden Collection

CONTACT US

GLOSSARY

HOME SOLUTIONS

PROFESSIONAL SITE



Railing

- Decking Features & Benefits |
- Railing Features & Benefits |
- Gallery | Color Choices | Railing Style Options |
- Porch Post | Warranty* | Kingston Warranty* |

Code Approved System: Oxford/Cambridge

NER-605 The Oxford and Cambridge Guard railing officially comply with NES, BOCA, SBCCI, UBC model building codes. Backed by a lifetime limited warranty. Available in 3' and 3 1/2' high systems, 6', 8' and 10' lengths. Colors: white and tan.

[Top Rail Styles](#)

[Post Styles](#)

[Newel Post Cap Styles](#)

[Square Post Cap Styles](#)

[Baluster Styles](#)

Top Rail Styles

Post Styles



Cambridge
2 x 4 Rail
(Also bottomrail)



Oxford
"T" Rail



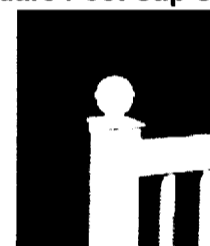
Newel Square

[Back to Top](#)

Square Post Cap Styles



Gothic Cap



Ball Cap



Flat Cap External



Flat Cap Internal



New England Cap

[Back to Top](#)

1-1/4 x 1-1/4 Baluster Styles

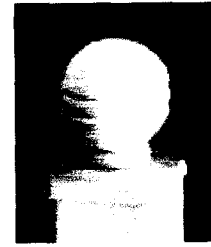


Square



Colonial

Newel Post Cap Styles



Queen Cap

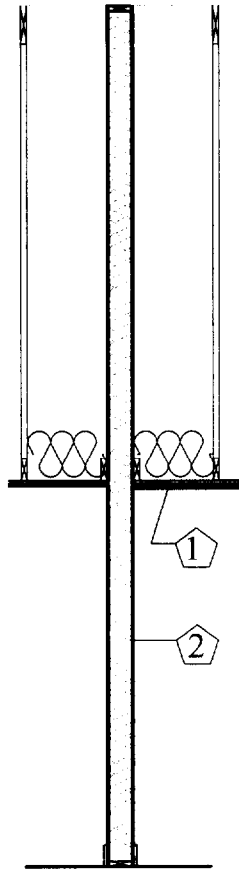


King Cap

[Back to Top](#)



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[Privacy Statement](#)



PROPOSED SIDE:
 Apartment 102,
 Apartment 201.

EXISTING SIDE: Existing
 Mech. Rm. 103, Existing
 Storage 104, Existing
 Mech. Rm. 203, Existing
 Storage 204.

EXISTING/PROPOSED
 SEPARATION (TYPICAL)

① CEILING: (2) layers 5/8" g.b. Firecode
 "C" attached to bottom of wood truss.
 Fire Test GA FC5406 or RC2601

② WALL: Wood stud - 5/8" g.b. Firecode
 "C" ea. side - 2X6 @ 16" o.c. - 5" batt
 insulation - joints finished.
 Fire Test UL Des U305

PROJECT: SHALOM APARTMENTS	ARCHITECT: ARCHETYPE, P.A. PORTLAND, MAINE	
DRAWING: EXISTING/PROPOSED FIRE SEPARATION	SCALE: 1/4" = 1'-0" DATE: FEB. 10, 2004	SKa - 6



AWM ENGINEERING, INC. CONSULTING ENGINEERS

FACSIMILE TRANSMITTAL SHEET

TO:	John Shields	FROM:	Todd Roughgarden
COMPANY:	Archetype	DATE:	2/10/04
FAX NUMBER:	(207)772-4056	TOTAL NO. OF PAGES INCLUDING COVER:	2
PHONE NUMBER:		SENDER'S REFERENCE NUMBER:	AWM 03-001
RE:	180 Auburn St. - Shalom House Response to Comments from Mike Nugent's - Manager of Inspection Services, Portland Item 7		
<input type="checkbox"/> URGENT <input type="checkbox"/> FOR REVIEW <input type="checkbox"/> PLEASE COMMENT <input type="checkbox"/> PLEASE REPLY <input type="checkbox"/> PLEASE RECYCLE			

NOTES/COMMENTS:

John,

Note 3 on sheet E1 specifies units to have 120volt single station smoke detectors with sounder bases that are interconnected. The interconnection will sound all other detectors within a unit, if one goes off. This is a standard installation for multi-unit residential spaces. Battery backup options are now available from most manufacturers and are becoming more widely mandated by local AHJ's. The battery will ensure detection in the event of power failure. We feel this is a superior method as well and that detectors noted on sheet E1 be changed to contain 9volt battery backup as well.

Please contact me with any further questions or concerns. Thank you.

Todd Roughgarden

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February 13, 2004

Mike Nugent
Inspection Department
City Hall
Portland, Maine 04101

Re: The Shalom Apartments, 180 Auburn Street, Portland, Maine

Dear Mike:

Enclosed are responses to your memo of January 26, 2004.

1. Attic Access – I will notify the Builder to increase the attic access to 22" x 30" from 21" x 30" as indicated on the plans.
2. Roof Trusses – specification section 01690 specifies the trusses. This section provides design loads and requires the truss manufacturer to provide stamped shop drawings by a structural engineer registered in Maine for the truss design. This is standard practice in the industry.
3. Existing Proposed Fire Separation – this condition occurs at two places. First, Apartment 102 and Existing Mechanical Room 102 and Existing Storage Room 103 and second at Apartment 201 and Existing Mechanical Room 203 and Existing Storage Room 204. See Drawing Ska-6 attached for detail.
4. Soils – as you know, this project was preceded by a heat conversion of the existing units. During the excavation for the heat conversion mechanical rooms I observed the soil conditions. Per BOCA Table 1804.3 the class of material is 4. sandy, silty sand, clayey sand, silty gravel and clayey gravel with a presumptive load bearing value of 3000 psf.
5. Window Type A – see attached Andersen cut sheet. Note that windows marked with a diamond meet egress requirements. Window Type A, Andersen TW3046, is so marked.
6. Railings – see attached cut sheet from CertainTeed's web site. The specified system is the Oxford, which meets BOCA requirements.
7. Smoke Detectors – see the electrical engineers memorandum attached.
8. Laundry Hookups – no laundry hookups.
9. Dwelling Unit Separation – yes, the separation wall extends to roof deck.
10. Anchor Bolts – 12" minimum from corners.

Any questions please call me.

Sincerely,



John Shields
Architect

Cc: Bill Floyd – Shalom House, Steve Keltonic – The Thaxter Company

Table of Basic Unit Sizes Scale 1/8" = 1'-0" (1:96)

Unit Dimension	Unobstructed Glass**	1'-9 5/8"	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"
3'-0 7/8"	(937)									
3'-4 7/8"	(1038)									
3'-8 7/8"	(1140)									
4'-0 7/8"	(1241)									
4'-4 7/8"	(1343)									
4'-8 7/8"	(1445)									
5'-0 7/8"	(1546)									
5'-4 7/8"	(1648)									
5'-8 7/8"	(1749)									
6'-0 7/8"	(1851)									
6'-4 7/8"	(1953)									
3'-0 7/8"	(937)									
3'-4 7/8"	(1038)									
3'-8 7/8"	(1140)									
4'-0 7/8"	(1241)									
4'-4 7/8"	(1343)									
4'-8 7/8"	(1445)									
5'-0 7/8"	(1546)									
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3'-4 7/8"	(1038)									
3'-8 7/8"	(1140)									
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4'-4 7/8"	(1343)									
4'-8 7/8"	(1445)									
5'-0 7/8"	(1546)									
5'-4 7/8"	(1648)									
5'-8 7/8"	(1749)									
6'-0 7/8"	(1851)									
6'-4 7/8"	(1953)									
3'-0 7/8"	(937)									
3'-4 7/8"	(1038)									
3'-8 7/8"	(1140)									
4'-0 7/8"	(1241)									
4'-4 7/8"	(1343)									
4'-8 7/8"	(1445)									
5'-0 7/8"	(1546)									
5'-4 7/8"	(1648)									
5'-8 7/8"	(1749)									
6'-0 7/8"	(1851)									
6'-4 7/8"	(1953)									

** Unobstructed glass height is for single sash only.

These units meet or exceed the following dimensions: Clear Operable area of 5.7 sq. ft., Clear Operable width of 20" and Clear Operable height of 24"

Unit Dimension always refers to outside frame to frame dimension.

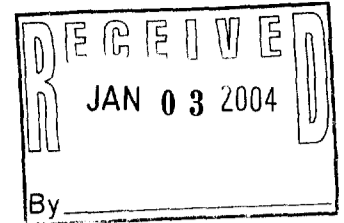
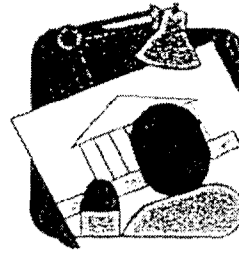
Dimensions in parentheses are in millimeters.

When ordering, be sure to specify cover desired: White, Sandstone, Terracotta or Forest Green.

Units with equal sash heights are indicated by a circled asterisk.

Units with unequal sash heights are indicated by a circled asterisk.

Contact dealer for lead times.



CITY OF PORTLAND MAINE

389 Congress St., Rm 315
Portland, ME 04101
Tel. - 207-874-8704
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Archetype, P.A.
48 Union Wharf
Portland, ME 04101

DATE: 12/30/03

Job Name: Additions to the Shalom Apartments

Address of Construction: 180 Auburn Street, Portland, ME

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year: 1999 Use Group Classification(s): R2
Type of Construction: 5B Bldg. Height: 23' Bldg. Sq. Footage: Bldg #1=1891 s.f.
Bldg #2=1314 s.f.
Bldg #3=2764 s.f.
Seismic Zone: AV = 0.11 Group Class: 1
Roof Snow Load Per Sq. Ft.: 42 Dead Load Per Sq. Ft.: 15
Basic Wind Speed (mph): 85 Effective Velocity Pressure Per Sq. Ft.: 18.5
Floor Live Load Per Sq. Ft.: 40

Structure has full sprinkler system? Yes _____ No X Alarm System? Yes _____ No X
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building? Yes _____ No X

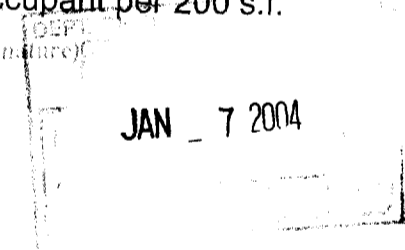
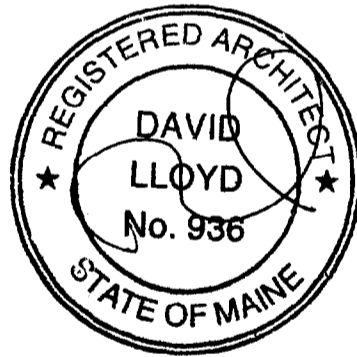
If mixed use, what subsection of 313 is being considered: N/A

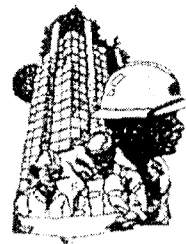
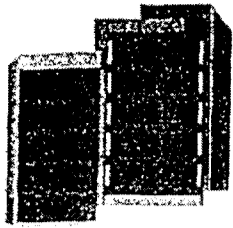
List Occupant loading for each room or space, designed into this Project.

Section 1008.1-1 occupant per 200 s.f.

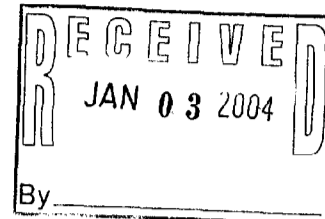
(Designers Stamp & Signature)

PS11 6-07-28





CITY OF PORTLAND
 BUILDING CODE CERTIFICATE
 389 Congress St., Rm 315
 Portland, ME 04101



TO: Inspector of Buildings City of Portland, Maine
 Department of Planning & Urban Development
 Division of Housing & Community Service

FROM: Archetype, P.A.

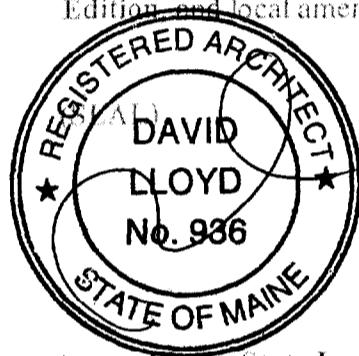
RE: Certificate of Design

DATE: 12/30/03

These plans and/or specifications covering construction work on:

Shalom Apartments, 180 Auburn Street, Portland, ME

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition and local amendments.



Signature [Handwritten Signature]

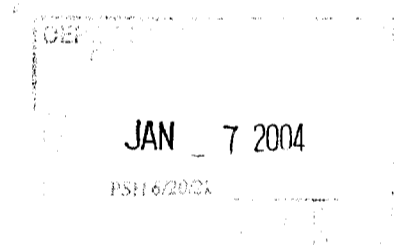
Title Architect

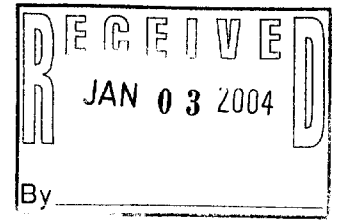
Firm Archetype, P.A.

Address 48 Union Wharf, Portland, ME 04101

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.





CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: Archetype, P.A.

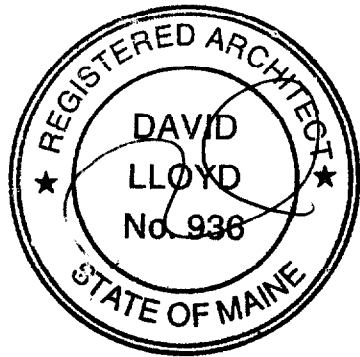
Address of Project Shalom Apartments, 180 Auburn Street, Portland, ME

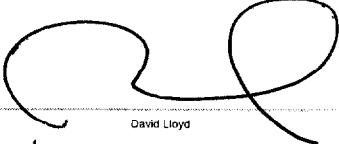
Nature of Project Ten (10) one bedroom, single story
apartments.

Date 12/30/03

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



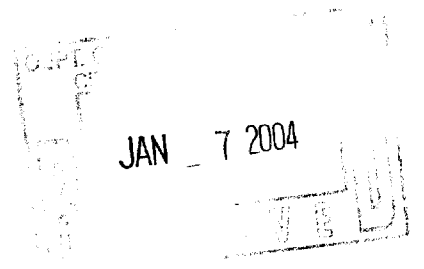
Signature 
David Lloyd

Title Architect

Firm Archetype, P.A.

Address 48 Union Wharf
Portland, ME 04101

Telephone (207) 772-6022



* Soil type/Presumptive Load Value (Table 401.4.1)	3000 PER ARCHTYPE SEE LETTER	
Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	12" X 24" 4'6" DEPTH	
Foundation Drainage Dampproofing (Section 406)	N/R	
Ventilation (Section 409.1) Crawls Space ONLY	N/R	
(CORNERS) - Anchor Bolts/Straps (Section 403.1.4)	5/8" ANCHORS 48" O.C.	12" FOR CORNERS
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	NONE.	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	NONE.	
Sill/Band Joist Type & Dimensions	2X6 AT SILL NO BAND	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	NONE	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	NONE	

TABLE 705.3 Allows 15% Unprotected Opening
 THESE ARE \approx 11% OR LESS.

TABLE 503 Allows 4800 Sq Ft. - MAX PROPOSED 4312

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	* 2 1x30 Season MUST BE 22 x 30 ^{see} LITTL.
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	UNDER LAYMENT TRUSS NEED ROOF LOADING IN RE
Sheathing; Floor , Wall and roof (Table 503.2.1(1))	WALLS: 1/2 IN. APA. Ply. 5/8" ROOF SHEATHING w/ CURS
Fastener Schedule (Table 602.3(1) & (2))	
Private Garage Section 309 and Section 407 1999 BOCA) Living Space? (Above or beside)	NO GARAGES DUTENANT SEP. 1/2" WALL STC OR 50
Fire separation	1/2" FOR D/US & BOILERS
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	N/A
Egress Windows (Section 310)	3046 E'S ANDERSON SEE CURSHEET.
Roof Covering (Chapter 9)	ASPHALT w/ 1/4" FELT.
Safety Glazing (Section 308)	
Attic Access (BOCA 1211.1)	NOT COMPLIANT OK
Draft Stopping around chimney	NO CHIMNEYS

Header Schedule	3" x 2 x 8's MAX SPAN
Type of Heating System	<u>MFG GAS BELLERS</u>
Stairs	
Number of Stairways	
Interior	
Exterior	None
Treads and Risers (Section 314)	
Width	
Headroom	
Guardrails and Handrails (Section 315)	36" / ESS THAN 15'2"
Smoke Detectors Location and type/Interconnected	AS PER CODE SEC. E1 THRU
Plan Reviewer Signature	BATT. B/D?

See Chimney Summary Checklist

NEED
FIRE SEP. DETAIL
FOR ATTACHMENT B

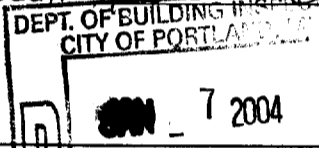
WHAT KIND
OF TRASSES?

#5

Site # 20030165

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 180 Auburn Street		
Total Square Footage of Proposed Structure 5,980 SF all 3	Square Footage of Lot 176,918 SF	
Tax Assessor's Chart, Block & Lot Chart# 374 Block# A Lot# 023	Owner: Shalom Apartments, Inc.	Telephone: 874-1080
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: The Thayer Co. 55 Bell St. Portland	Cost Of Work: \$ 784,000.00 Fee: \$ 17,077.00
Current use: Multi unit Residential 11 units		
If the location is currently vacant, what was prior use: Phase II of		
Approximately how long has it been vacant: permit # 030999		
Proposed use: Residential Apartments		
Project description: Construct three new single story wood framed buildings consisting of ten new apartments		
Contractor's name, address & telephone: The Thayer Company		
Who should we contact when the permit is ready: Steve Keltovic		
Mailing address:		
		878-5953 Phone: X 105

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Stephen J Keltovic	Date: 1/7/04
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This is not a permit, you may not commence ANY work until the permit is issued

From: Kandi Talbot
To: Marge Schmuckal
Date: Tue, Jan 13, 2004 10:34 AM
Subject: Re: Shalom House 180 Auburn St

They just submitted a revised site plan/subdivision plan for approval...when its completed I will get you a copy.

>>> Marge Schmuckal 01/13 10:01 AM >>>

Kandi,

I have the building permit for this contract zone. You gave me an unsigned copy of the contract zone in October. However, I have never gotten an approved stamped subdivision site plan. What is the status of this project and can I get a copy of the approved subdivision/site plan?

Thanks,

Marge