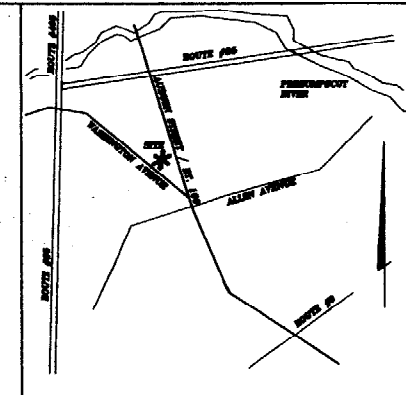


HEAT CONVERSIONS THE SHALOM APARTMENTS 180 AUBURN STREET PORTLAND, MAINE



Index of Drawings

- Title Sheet, Location Plan
- F.1 Future Build-out Plan
- S.1 Site Plan, Soffit Diagram, Details
- U.1 Utility Plan
- A.1 Mech. Room 100, Storage 101 - Plans,
Typical Wall Section
- A.2 Mech. Room 200, Storage 201 - Plans
- A.3 Mech. Room 300, Storage 301,
Unfinished Apartment 302 - Plans

100 Mech. Room
200 Mech. Room
300 Mech. Room
302 Unfinished Apartment

Owner

Shalom House, Inc.
P.O. Box 560
Portland, Maine 04112

Architect

Archetype, P.A.
48 Union Wharf
Portland, Maine 04101

Code Review

Building Code Criteria

This code review is based on the 1999
BOCA Code and the 2000 NFPA Life
Safety Code.

B.O.C.A.

Building Description:

Apartment Building - wood framed,
non-sprinkled, one (1) story, slab on grade.

Construction Type

5B, Combustible, Unprotected (Reference BOCA
606.0)

Use Group:

Residential Use Group R-2 - Multiple Family
Dwelling. (Reference BOCA 310.4)

Specific Occupancy Area:

Boiler and Furnace Rooms: 1 Hour Separation.
(Reference BOCA 302.1.1)

Area Limitations (Reference BOCA Table 503):

Two (2) story, 35', 4800 square foot.

Fire-resistance Ratings of Structure Elements (Table 602)

Exterior Walls: 0 Hour.
Fire Walls & Party Walls: N/A.
Fire Separation Assemblies: N/A.
Fire Partitions: N/A.
Dwelling Unit & Guestroom Separations: 1 Hour.
Smoke Barriers: 1 Hour.
Other Nonloadbearing Partitions: 0 Hour.
Interior Loadbearing Members: 0 Hour.
Structural Members Supporting Wall: 0 Hour.
Floor Construction: 0 Hour.
Roof Construction: 0 Hour.

N.F.P.A.

Occupancy Group

Chapter 30 - New Apartment Buildings.

General Requirements

Minimum Construction Requirements (30.1.6) -
No special requirements.

Means of Egress Requirements (Section 30.2)

Number of exits - One (1). Per 30.2.4 Exception 1.(a) a
dwelling unit shall be permitted to have a single exit
provided that the dwelling unit has an exit door opening
directly to the street or yard at ground level.

Emergency Lighting (Section 30.2.9)

Not required.

Protection (Section 30.3)

Hazardous Area Protection (Table 30.3.2.1) - Boiler rooms:
1 Hour and sprinklers.

Detection, Alarm and Communication Systems (30.3.4.1) -
Fire Alarm System: Not required.

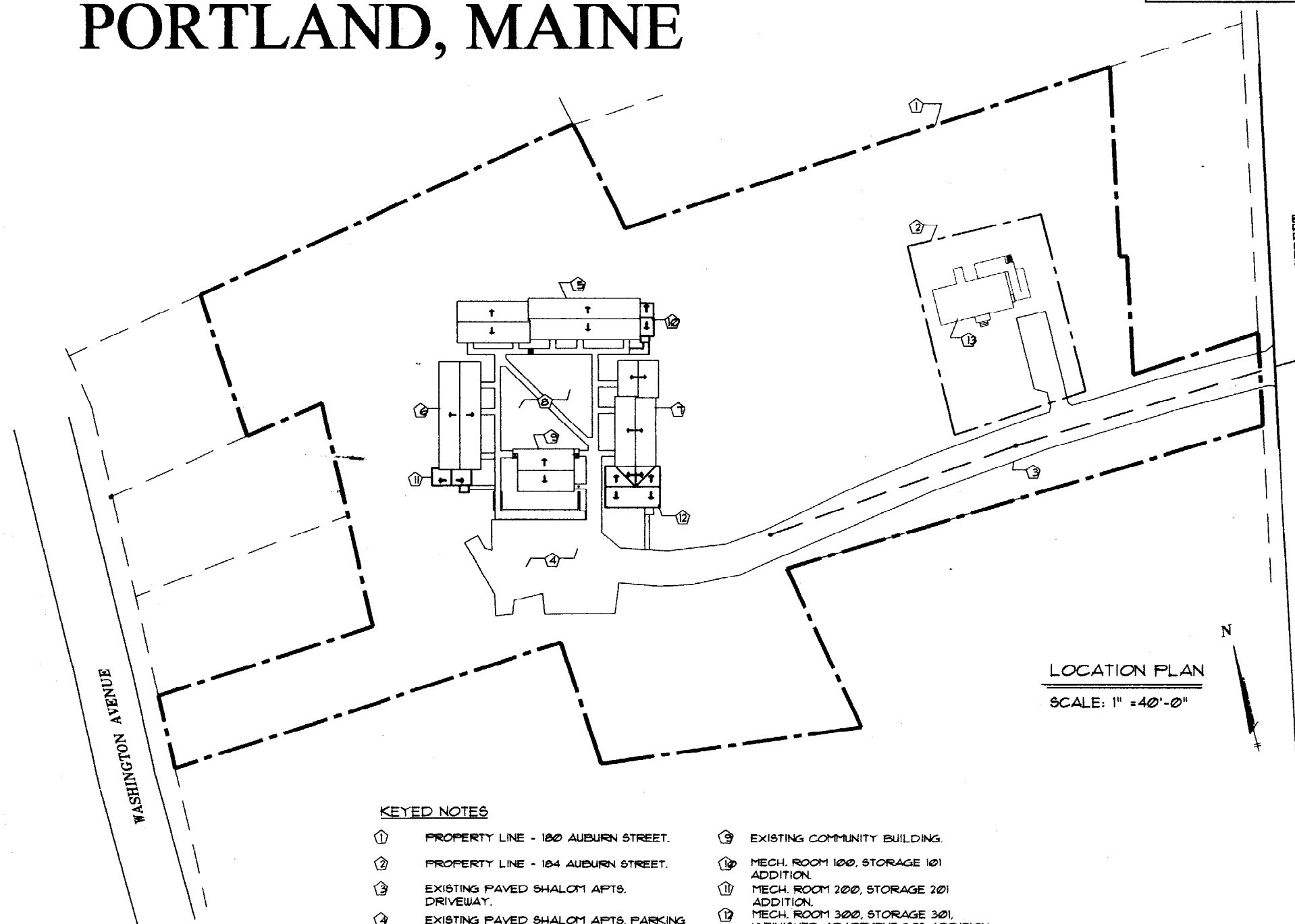
Smoke Alarms (30.3.4.5)

Single-station smoke alarms outside every sleeping area
and on all levels (30.3.4.5.1).
Single-station smoke alarms in every sleeping room
(30.3.4.5.2).

Extinguishment Requirements (Section 30.3.5)

Not required - Section 30.3.5.2 Exception (a) - not required
where every dwelling unit is provided with an exit door
opening directly to the street or yard at ground level.

Portable Fire Extinguishers - (30.3.5.7) Provided in
hazardous areas, i.e. boiler rooms.



LOCATION PLAN

SCALE: 1" = 40'-0"



KEYED NOTES

- | | | | |
|---|--|---|---|
| ① | PROPERTY LINE - 180 AUBURN STREET. | ⑨ | EXISTING COMMUNITY BUILDING. |
| ② | PROPERTY LINE - 184 AUBURN STREET. | ⑩ | MECH. ROOM 100, STORAGE 101
ADDITION. |
| ③ | EXISTING PAVED SHALOM APTS.
DRIVEWAY. | ⑪ | MECH. ROOM 200, STORAGE 201
ADDITION. |
| ④ | EXISTING PAVED SHALOM APTS. PARKING
AREA. | ⑫ | MECH. ROOM 300, STORAGE 301,
UNFINISHED APARTMENT 302
ADDITION. |
| ⑤ | EXISTING (5) UNIT APARTMENT BUILDING. | ⑬ | EXISTING RESIDENCE OPERATED BY
SHALOM HOUSE, INC. |
| ⑥ | EXISTING (3) UNIT APARTMENT BUILDING. | | |
| ⑦ | EXISTING (3) UNIT APARTMENT BUILDING. | | |
| ⑧ | EXISTING OPEN SPACE. | | |



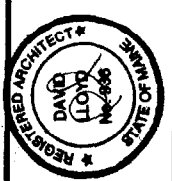
Issue Date: August 7, 2003

Date MAY 07 2003	Drawn By
Scale 1"=30'-0"	Checked By

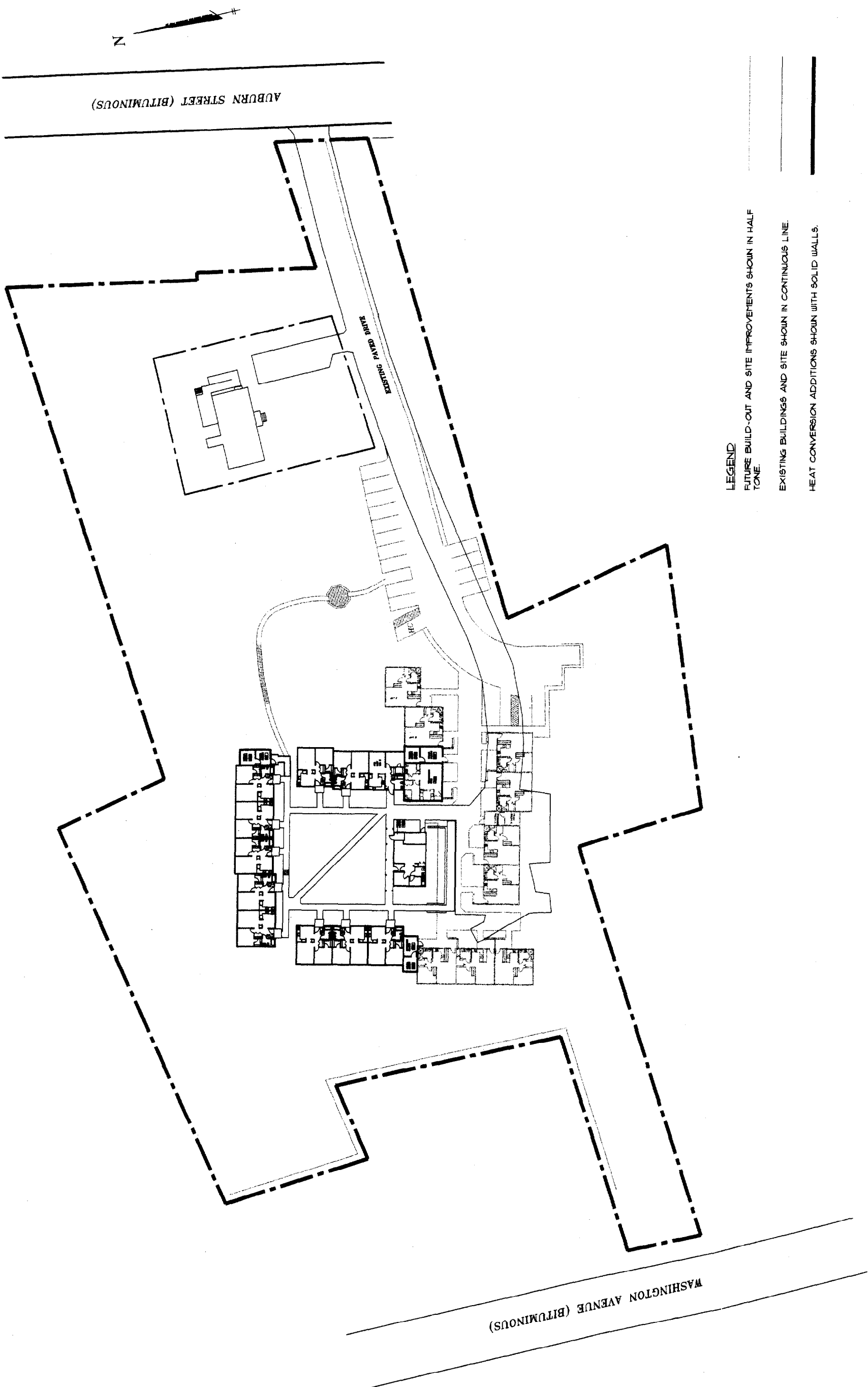
Project:

HEAT CONVERSION of the
SHALOM APARTMENTS
180 AUBURN STREET
PORTLAND, MAINE

ARCHITECTS, P.A.
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056



- LEGEND**
- FUTURE BUILD-OUT AND SITE IMPROVEMENTS SHOWN IN HALF TONE.
 - EXISTING BUILDINGS AND SITE SHOWN IN CONTINUOUS LINE.
 - HEAT CONVERSION ADDITIONS SHOWN WITH SOLID WALLS.



GENERAL NOTES

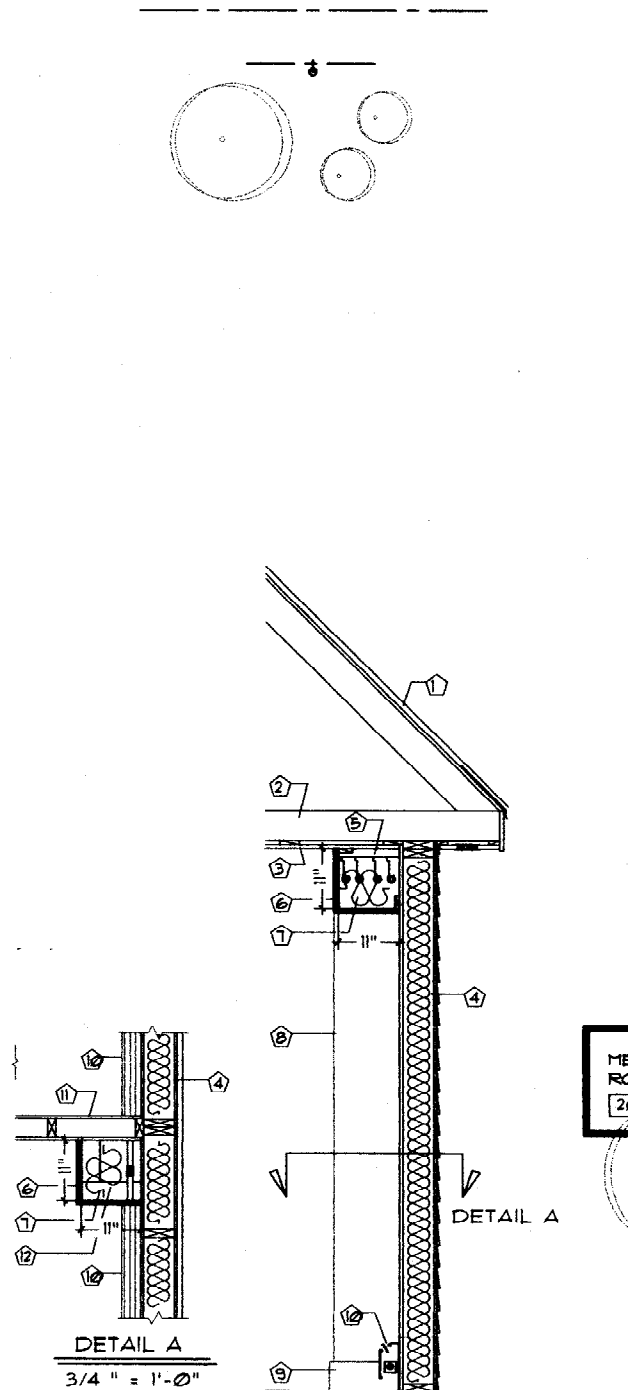
1. SOFFIT, CHASE PLAN IS DIAGRAMMATIC - SEE MECHANICAL DRAWINGS FOR LOCATIONS, QUANTITIES AND DETAILS OF MECHANICAL PIPING AND DEVICES.
2. MECH. ROOM 400 IS AN EXISTING STORAGE ROOM TO BE CONVERTED INTO A BOILER ROOM. ARCHITECTURAL WORK IN THIS ROOM INCLUDES THE INSTALLATION OF (2) LAYERS 3/8" FIRECODE C G.B. (PTD.) TO THE EXISTING CEILING AND THE EXISTING SEPARATION WALLS, THE INSTALLATION OF 1x6 WOOD BASE (PTD.) AND THE INSTALLATION OF (1) TYPICAL CEILING MOUNTED INTERIOR LIGHT FIXTURE. SEE MECHANICAL DRAWINGS FOR ADD'L WORK IN THIS ROOM.

LEGEND

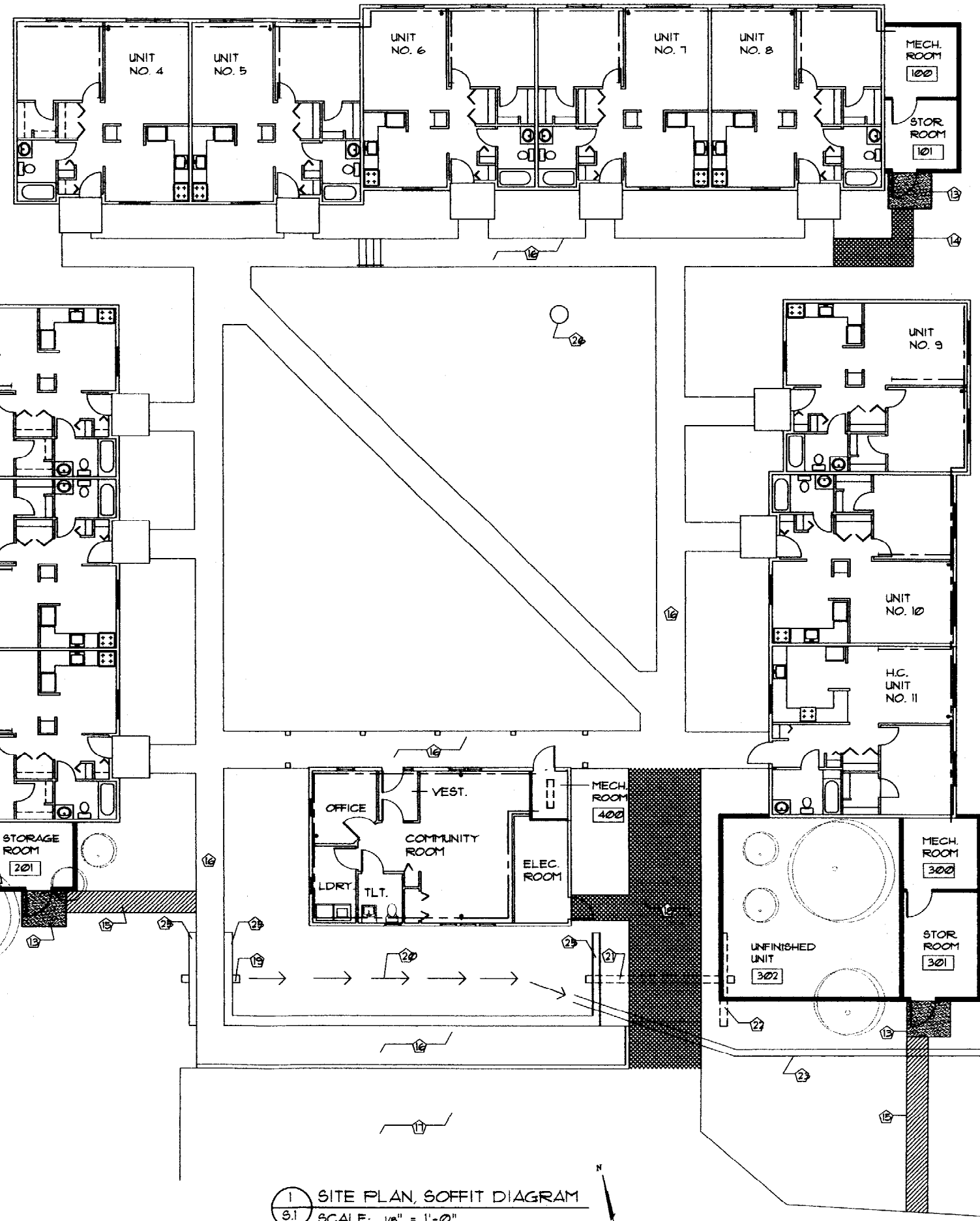
- SOFFIT - SUPPLY AND RETURN AT CEILING LEVEL.
- CHASE - TO BASEBOARD.
- TREES & SHRUBS TO BE REMOVED.

KEYED NOTES

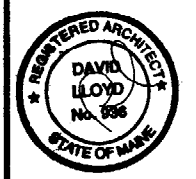
- ① EXISTING ROOF SYSTEM.
- ② EXISTING WOOD TRUSS.
- ③ EXISTING G.B. CEILING.
- ④ EXISTING EXTERIOR WALL SYSTEM.
- ⑤ 2x4x11 PIPE HANGER SUPPORT SECURED TO TRUSS.
- ⑥ 3/4" MDF - PAINTED.
- ⑦ INSULATE WITH DUCT INSULATION.
- ⑧ PIPE CHASE - PTD.
- ⑨ BASE TO MATCH EXISTING - PTD.
- ⑩ BASEBOARD HEATING REGISTER.
- ⑪ EXISTING INTERIOR WALL SYSTEM.
- ⑫ 2x4 ON FLAT SECURED TO FLOOR SLAB.
- ⑬ 5'-0" x 6'-0" x 8" THICK REINFORCED CONCRETE ENTRY PAD (TYPICAL OF 3).
- ⑭ 3'-0" WIDE BITUMINOUS WALKWAY - EXTEND EXISTING BIT. WALKWAY.
- ⑮ 3'-0" WIDE GRAVEL WALKWAY.
- ⑯ EXISTING BITUMINOUS WALKWAYS - TYPICAL.
- ⑰ EXISTING BITUMINOUS PARKING AREA.
- ⑱ BITUMINOUS WALKWAY.
- ⑲ EXISTING 8' LONG 12" DIA. CMP CULVERT.
- ⑳ EXISTING SWALE - ARROWS INDICATE DIRECTION OF STORMWATER FLOW.
- ㉑ EXISTING 20' LONG 12" DIA. CMP CULVERT - REMOVE.
- ㉒ EXISTING CONCRETE ABUTMENT - REMOVE.
- ㉓ UNDERGROUND 12" DIA. CMP - RUN TO DAYLIGHT.
- ㉔ OUTFLOW AT DAYLIGHT.
- ㉕ EXISTING CONCRETE ABUTMENT.
- ㉖ EXISTING CATCHBASIN, DASHED LINE INDICATES UNDERGROUND LINE TO DAYLIGHT.
- ㉗ EXISTING OUTFLOW - ARROWS INDICATE DIRECTION OF WATER FLOW.



2 SOFFIT, CHASE DETAIL
SCALE: 3/4" = 1'-0"



1 SITE PLAN, SOFFIT DIAGRAM
SCALE: 1/8" = 1'-0"



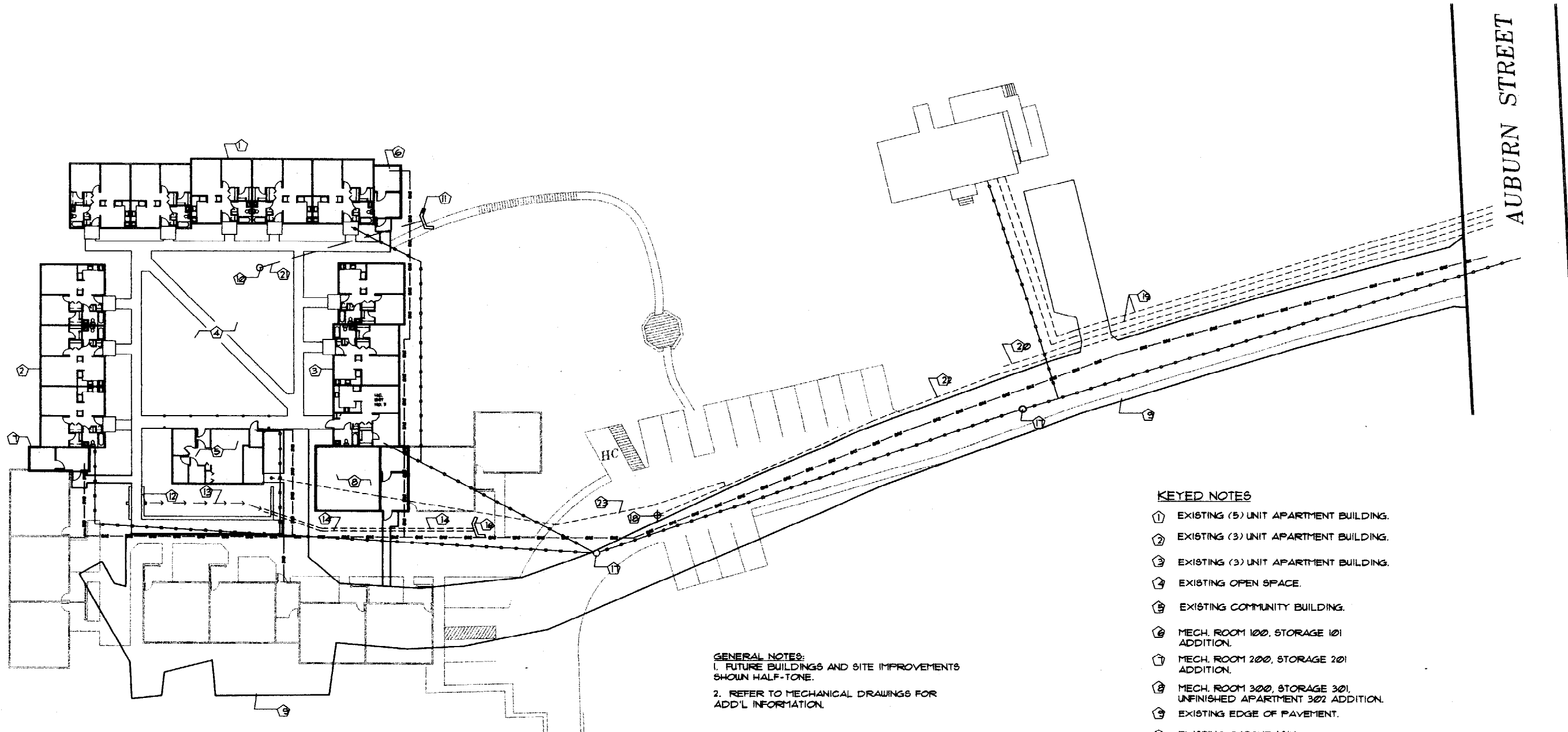
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THE SHALOM APARTMENTS
180 AUBURN STREET
PORTLAND, MAINE

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Drawn By	Checked By
Revisions	

Drawing:
SITE PLAN, SOFFIT
DIAGRAM, DETAILS

S.1



GENERAL NOTES:
 1. FUTURE BUILDINGS AND SITE IMPROVEMENTS SHOWN HALF-TONE.
 2. REFER TO MECHANICAL DRAWINGS FOR ADD'L INFORMATION.

LEGEND
 PROPOSED GAS LINE: - - - - -
 EXISTING SEWER LINE:



KEYED NOTES

- ① EXISTING (5) UNIT APARTMENT BUILDING.
- ② EXISTING (3) UNIT APARTMENT BUILDING.
- ③ EXISTING (3) UNIT APARTMENT BUILDING.
- ④ EXISTING OPEN SPACE.
- ⑤ EXISTING COMMUNITY BUILDING.
- ⑥ MECH. ROOM 100, STORAGE 101 ADDITION.
- ⑦ MECH. ROOM 200, STORAGE 201 ADDITION.
- ⑧ MECH. ROOM 300, STORAGE 301, UNFINISHED APARTMENT 302 ADDITION.
- ⑨ EXISTING EDGE OF PAVEMENT.
- ⑩ EXISTING CATCHBASIN.
- ⑪ EXISTING OUTFLOW TO DAYLIGHT.
- ⑫ EXISTING 8' LONG, 12" CMP CULVERT.
- ⑬ EXISTING SWALE - ARROWS INDICATE DIRECTION OF STORMWATER RUNOFF. DIVERT RUNOFF TO 12" CMP UNDERGROUND PIPE (KEYED NOTE 14).
- ⑭ 12" UNDERGROUND CMP TO DAYLIGHT.
- ⑮ NOT USED.
- ⑯ OUTLET TO DAYLIGHT.
- ⑰ EXISTING MANHOLE.
- ⑱ EXISTING HYDRANT.
- ⑲ EXISTING DOMESTIC AND SPRINKLER LINE TO 184 AUBURN STREET.
- ⑳ 2" DOMESTIC LINE - STUBBED OUT.
- ㉑ EXISTING UNDERGROUND DRAIN LINE.
- ㉒ EXISTING 6" WATER LINE.
- ㉓ EXISTING WATER LINE.



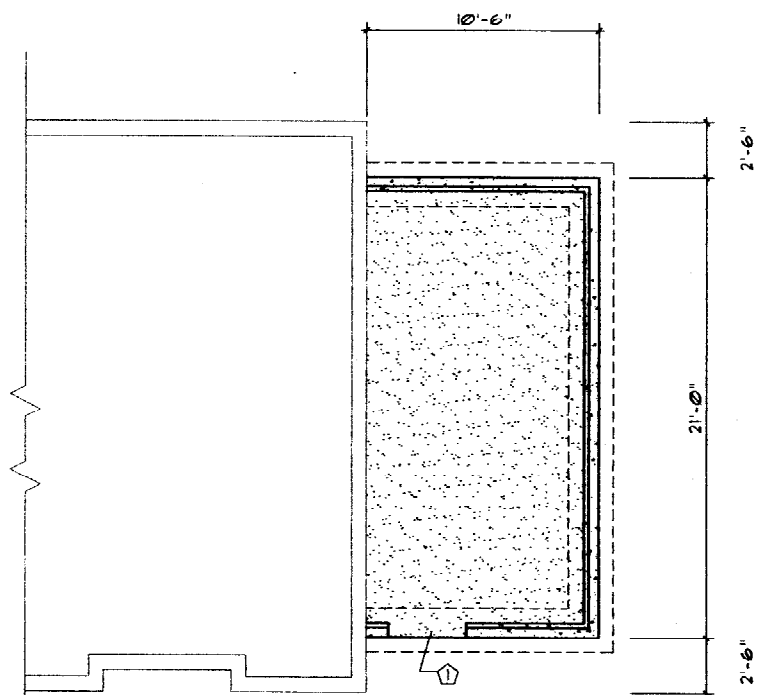
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 THE SHALOM APARTMENTS
 180 AUBURN STREET
 PORTLAND, MAINE

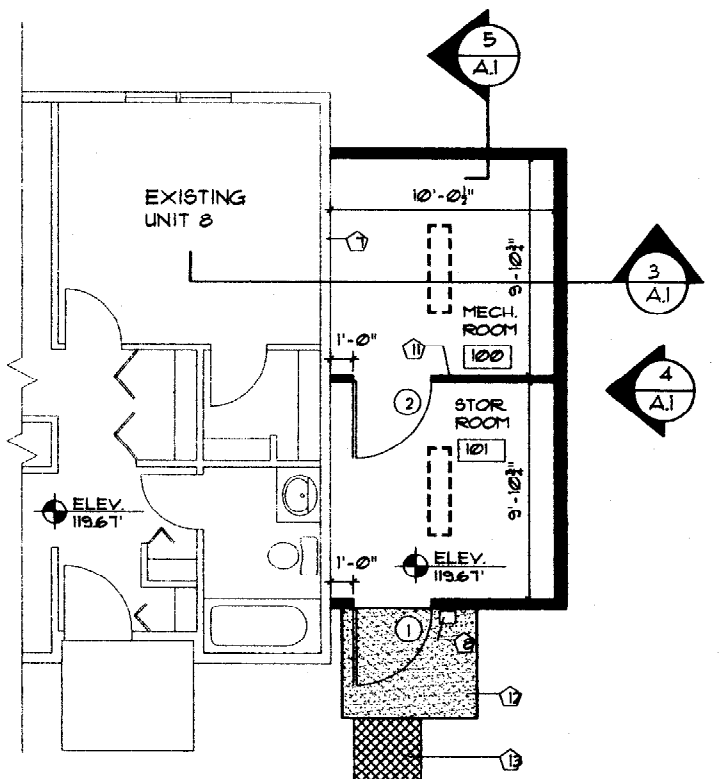
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	Drawn By	
Revisions		

Drawing:
 UTILITY PLAN -
 HEAT CONVERSION
 PROJECT

U.1

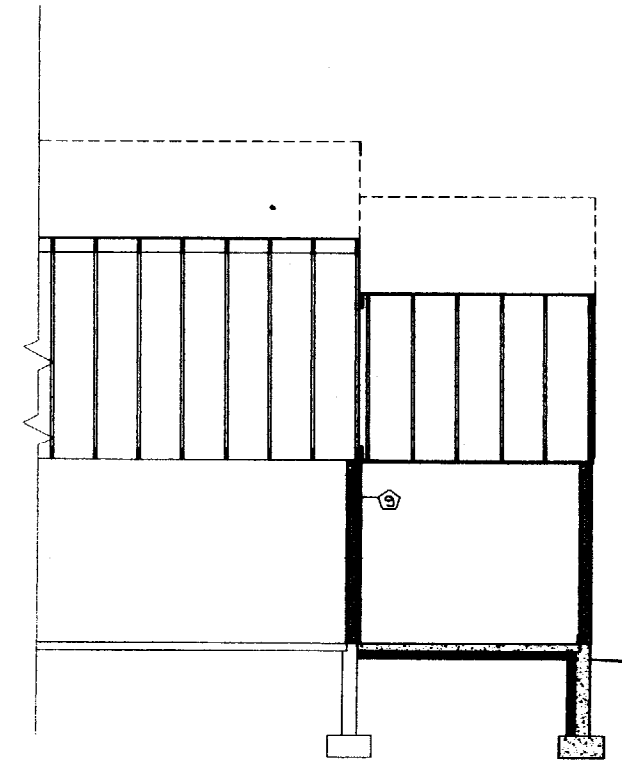


1 FOUNDATION PLAN
A.1 SCALE: 1/4" = 1'-0"

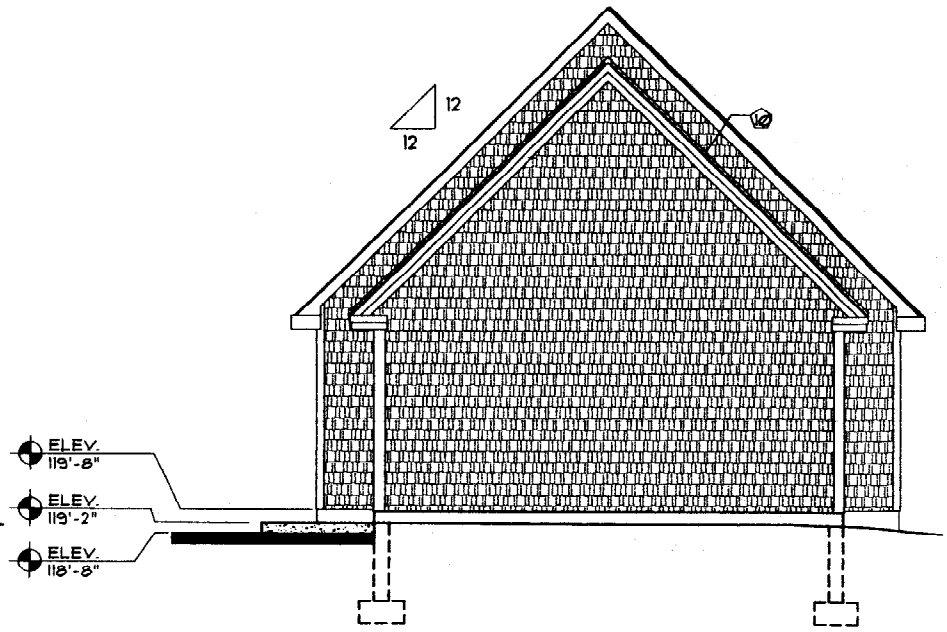


2 FLOOR PLAN
A.1 SCALE: 1/4" = 1'-0"

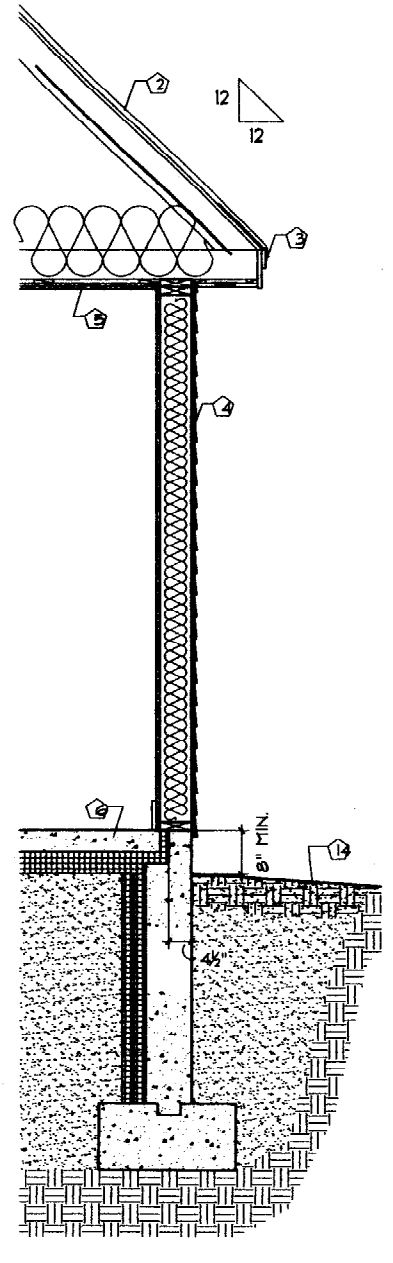
TOTAL SQUARE FOOTAGE OF
MECH. 100, STOR. 101
220 SQUARE FEET



3 SECTION
A.1 SCALE: 1/4" = 1'-0"



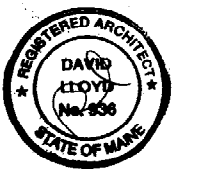
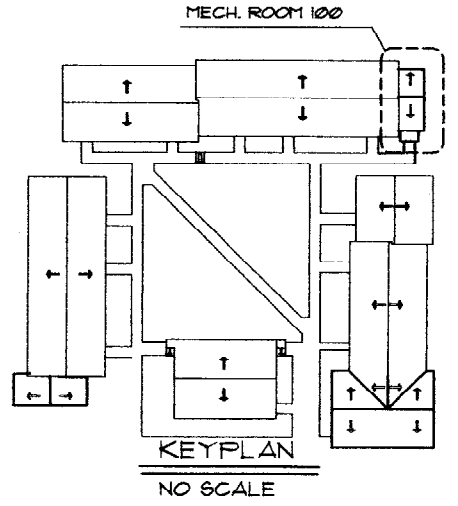
4 ELEVATION
A.1 SCALE: 1/4" = 1'-0"



5 TYP. FNDN./WALL/ROOF SECTION
A.1 SCALE: 3/4" = 1'-0"

- LEGEND**
- EXISTING WALL.
 - WALL.
 - CONCRETE FOUNDATION WALL/FOOTING.
 - DOOR (DOORS SHOWN UNKEYED ARE EXISTING TO REMAIN.)
 - 1'-0" x 4'-0" (2) BULB CEILING MOUNTED FLUORESCENT LIGHT FIXTURE WITH WIRE GUARD - TYPICAL IN ALL MECH. AND STORAGE ROOMS.

- KEYED NOTES**
- 1 BOND OUT WALL AT DOOR.
 - 2 TYPICAL ROOF ASSEMBLY:
RIDGE VENT
ASPHALT SHINGLES
ICE & WATER SHIELD 3'-0" UP FROM EAVE
ASPHALT BUILDING PAPER
ALUMINUM DRIP EDGE
3/4" APA RATED SHEATHING
WOOD TRUSSES @ 24" O.C., 12:12 PITCH - VERIFY IN FIELD TO MATCH PITCH OF EXISTING APARTMENT BUILDINGS.
PROPER VENT
12" BATT INSULATION
VAPOR BARRIER
 - 3 TYPICAL EAVE TREATMENT:
ALUMINUM DRIP EDGE
1x4 OVER 1x8 WOOD FASCIA - PTD.
1x WOOD SOFFIT - PTD, W/ALUM. CONTINUOUS VENT STRIP
 - 4 TYPICAL WALL:
CLEAR WHITE CEDAR SHINGLES - PTD. (SEE DRAWINGS A2 AND A3 FOR LOCATIONS WHERE 3/8" T-1-11 IS SUBSTITUTED FOR SHINGLES.)
ASPHALT BUILDING PAPER
3/4" APA RATED SHEATHING
R19 BATT INSULATION
(2) 2x6 TOP PLATE
2x6 WOOD STUDS @ 24" O.C.
2x6 P.T. BOTTOM PLATE WITH BEAM SEALER
HOOKED ANCHOR BOLTS @ 48" O.C.
VAPOR BARRIER
3/8" G.B. - PTD.
1x6 WOOD BASE - PTD.
 - 5 TYPICAL CEILING:
1x4 STRAPPING @ 16" O.C.
VAPOR BARRIER
(2) LAYERS 3/8" FIRECODE C G.B. IN BOILER ROOMS - PTD.
(1) LAYER 3/8" FIRECODE C G.B. IN STORAGE ROOMS - PTD.
 - 6 TYPICAL SLAB FNDN. ASSEMBLY:
4" THICK REINFORCED CONCRETE SLAB.
(1) LAYER 2" THICK BLUEBOARD INSULATION UNDER SLAB AND AT PERIMETER WALLS AS SHOWN.
VAPOR BARRIER.
8" REINFORCED CONCRETE FOUNDATION WALL KEYED INTO FOOTING. (1) #4 TAB, 12" THICK x 2'-0" WIDE REINFORCED CONCRETE FOOTING. (3) #4 2" FROM BOTTOM OF FOOTING. BOTTOM OF FOOTING AT 4'-6" BELOW GRADE. CONTACT ARCHITECT IF EXISTING ADJACENT FOOTINGS ARE AT A DEPTH LESS THAN 4'-6".
12" MINIMUM COMPACTED STRUCTURAL FILL.
 - 7 REMOVE EXISTING SHINGLE SIDING FROM GABLE END WALL IN TOTAL.
 - 8 WALL MOUNTED EXTERIOR LIGHT - SHIELDED TO DIRECT LIGHT DOWN - TYPICAL AT ALL STORAGE ROOM DOORS.
 - 9 TYPICAL MECH. ROOM SEPARATION WALL
(2) LAYERS 3/8" FIRECODE C G.B. - PTD.
 - 10 ALUMINUM STEP FLASHING - TYPICAL AT ROOF/WALL INTERSECTIONS.
 - 11 TYPICAL PARTITION WALL
2x4 @ 16" O.C., (2) LAYERS 3/8" FIRECODE C G.B. - PTD., 1x6 WOOD BASE - PTD.
 - 12 5'-0" x 6'-0" 6" THICK REINFORCED CONCRETE SLAB W/4" BLUEBOARD INSULATION, 12" COMPACTED FILL MIN. TYPICAL AT ALL THREE STORAGE ROOM DOORS.
 - 13 3'-0" WIDE, 2" THICK BIT. WALKWAY.
 - 14 LOAM AND SEED.



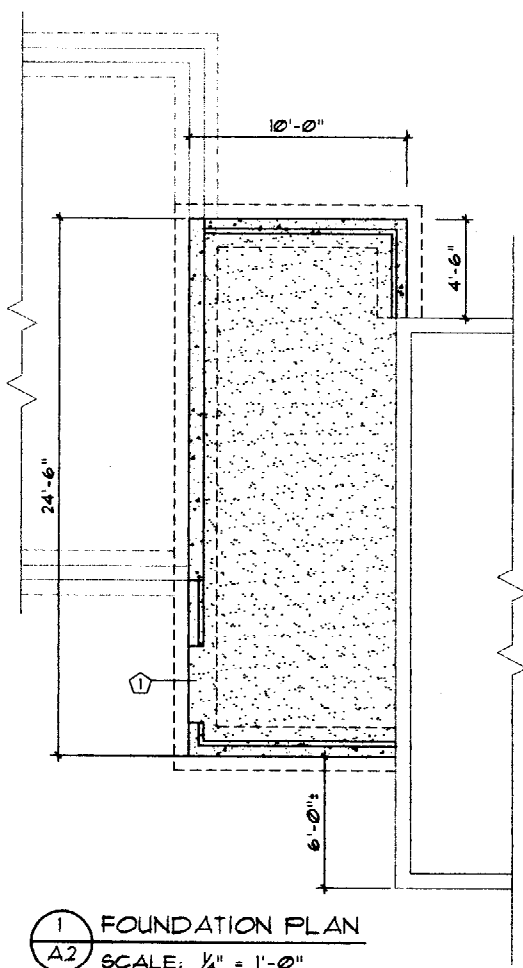
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180 AUBURN STREET
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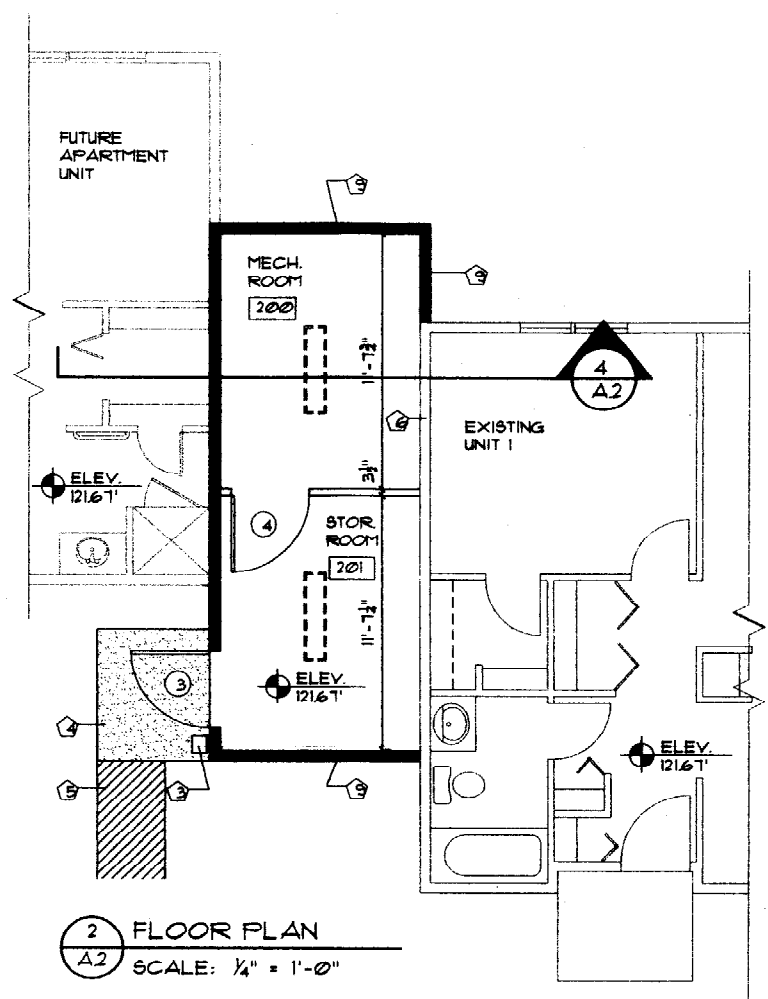
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Revisions	

Drawing:
MECHANICAL
ROOM 100 - PLANS

A.1

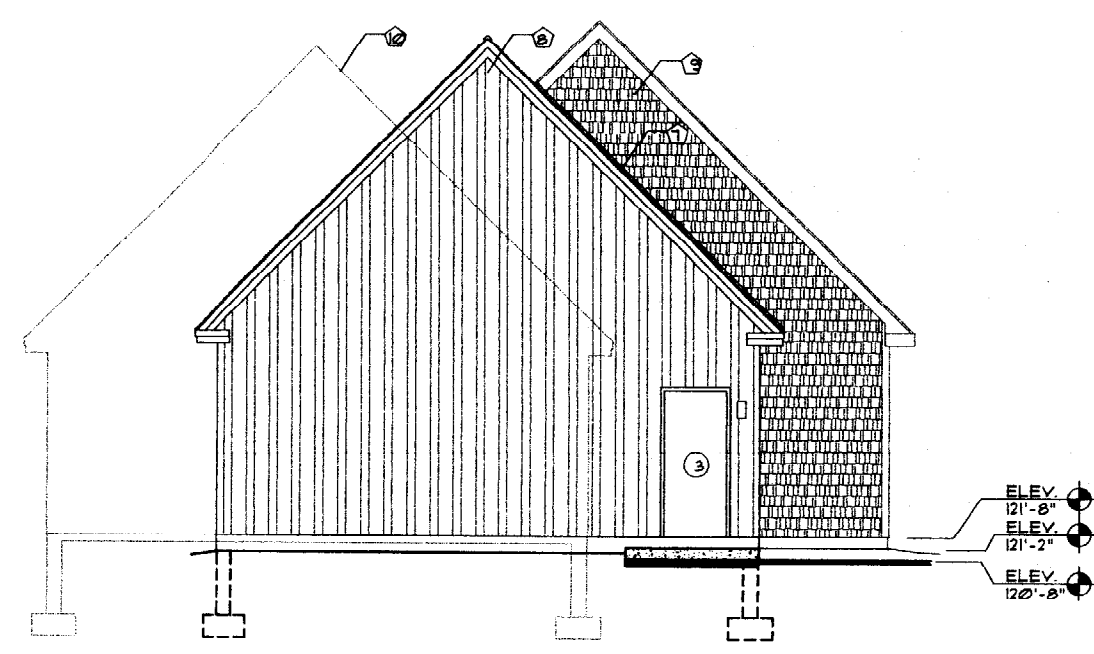


1 FOUNDATION PLAN
A2 SCALE: 1/4" = 1'-0"

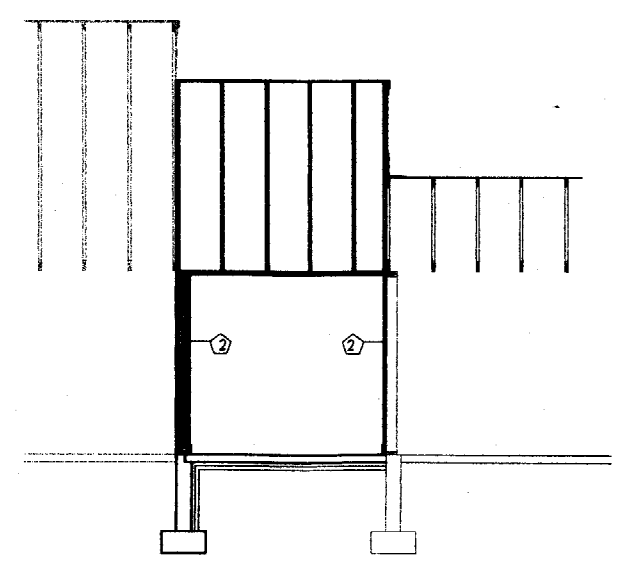


2 FLOOR PLAN
A2 SCALE: 1/4" = 1'-0"

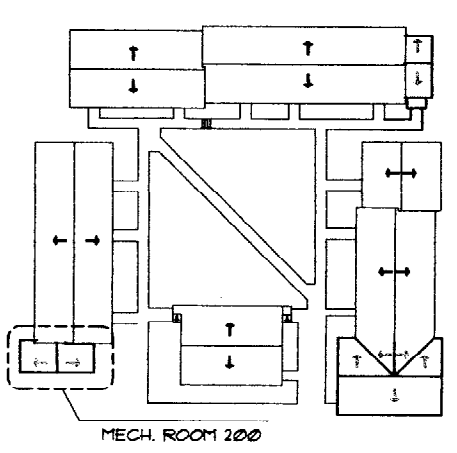
TOTAL SQUARE FOOTAGE OF
MECH. 200, STOR. 201
222 SQUARE FEET



3 SECTION
A2 SCALE: 1/4" = 1'-0"



4 SECTION
A2 SCALE: 1/4" = 1'-0"



KEYPLAN
NO SCALE

GENERAL NOTES

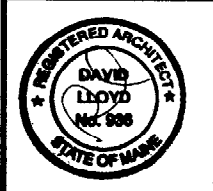
1. SEE DRAWING A1 FOR TYPICAL WALL SECTION.

LEGEND

- EXISTING WALL.
- WALL.
- CONCRETE FOUNDATION WALL/FOOTING.
- DOOR (DOORS SHOWN UNKEYED ARE EXISTING TO REMAIN).
- 1'-0" x 4'-0" (2) BULB CEILING MOUNTED FLUORESCENT LIGHT FIXTURE WITH WIRE GUARDED - TYPICAL IN ALL MECH. AND STORAGE ROOMS.

KEYED NOTES

- 1 BOND OUT WALL AT DOOR.
- 2 TYPICAL MECH. ROOM SEPARATION WALL (2) LAYERS 5/8" FIRECODE C.G.B. - PTD.
- 3 WALL MOUNTED EXTERIOR LIGHT - SHIELDED TO DIRECT LIGHT DOWN - TYPICAL AT ALL STORAGE ROOM DOORS.
- 4 5'-0" x 6'-0" x 8" THICK REINFORCED CONCRETE SLAB W/4" BLUEBOARD INSULATION, 12" COMPACTED FILL MIN. TYPICAL AT ALL THREE STORAGE ROOM DOORS.
- 5 3'-0" WIDE GRAVEL WALKWAY.
- 6 REMOVE EXISTING SHINGLE SIDING FROM GABLE END WALL IN TOTAL.
- 7 ALUMINUM STEP FLASHING - TYPICAL AT ALL WALL/ROOF INTERSECTIONS.
- 8 3/8" APA RATED STRUCTURAL SIDING (E.G. T-1-11) - PTD.
- 9 CLEAR WHITE CEDAR SHINGLE SIDING - PTD.
- 10 OUTLINE OF FUTURE APARTMENT UNIT.



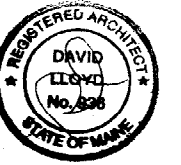
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Drawing:
MECH. ROOM 200 -
PLANS

A.2



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Date: AUG 07 2003	Scale: As Noted	Checked By
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Drawing:
APARTMENT
UNIT AND
BOILER ROOM
NO. 3 - PLANS

A.3

GENERAL NOTES
1. SEE DRAWING A1 FOR TYPICAL WALL SECTION.

LEGEND

EXISTING WALL.

WALL.

CONCRETE FOUNDATION WALL/FOOTING.

DOOR (DOORS SHOWN UNKEYED ARE EXISTING TO REMAIN.)

1'-0" x 4'-0" (2) BULB CEILING MOUNTED FLUORESCENT LIGHT FIXTURE WITH WIRE GUARD - TYPICAL IN ALL MECH. AND STORAGE ROOMS.

KEYED NOTES

① BOND OUT WALL AT DOOR.

② TYPICAL MECH. ROOM SEPARATION WALL (2) LAYERS 5/8" FIRECODE C G.B. - FTD.

③ WALL MOUNTED EXTERIOR LIGHT - SHIELDED TO DIRECT LIGHT DOWN - TYPICAL AT ALL STORAGE ROOM DOORS.

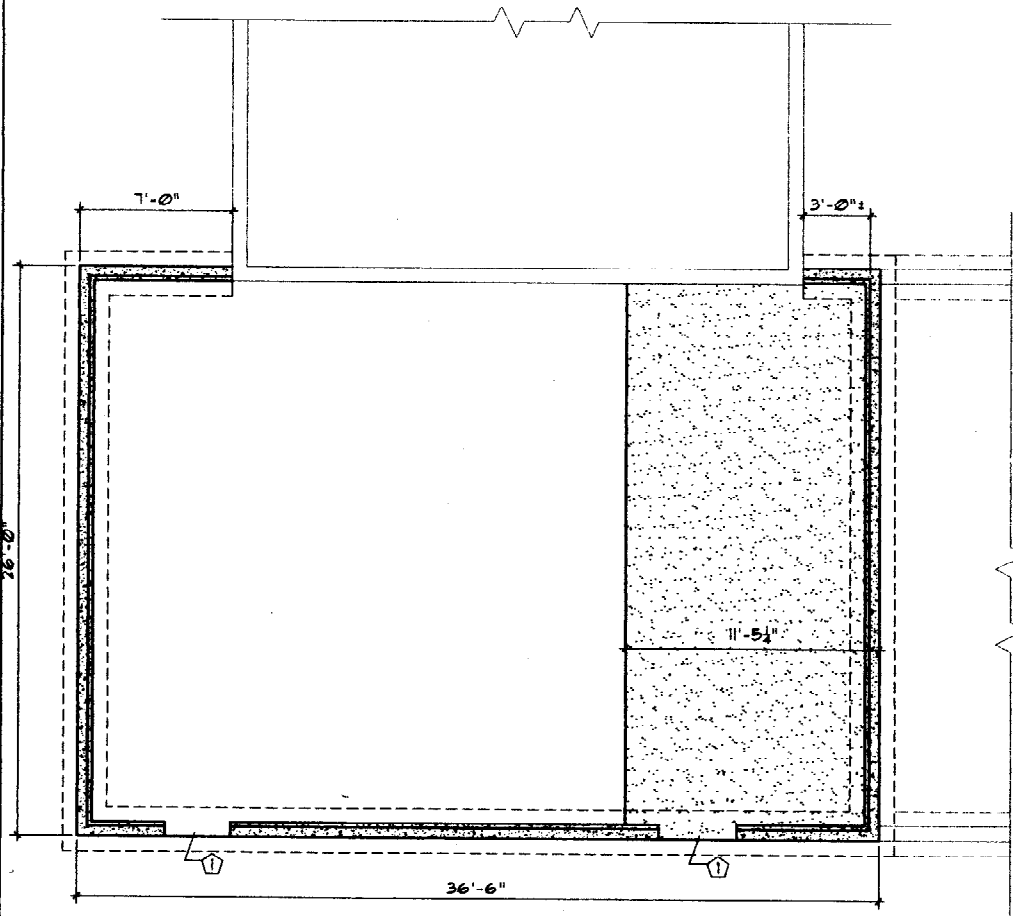
④ 5'-0" x 6'-0" x 8" THICK REINFORCED CONCRETE SLAB W/4" BLUEBOARD INSULATION, 12" COMPACTED FILL MIN. TYPICAL AT ALL THREE STORAGE ROOM DOORS.

⑤ 3'-0" WIDE GRAVEL WALKWAY.

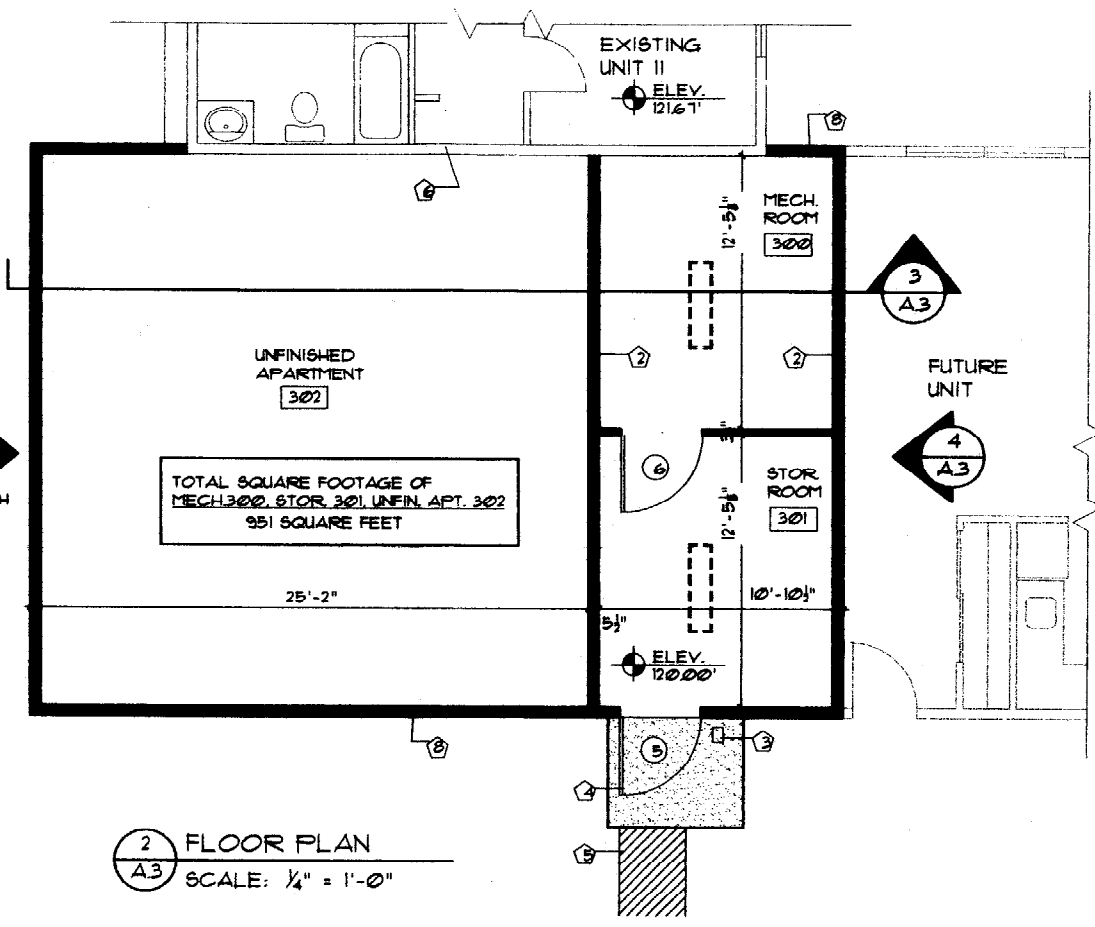
⑥ REMOVE EXISTING SHINGLE SIDING FROM GABLE END WALL IN TOTAL.

⑦ LAY ON ROOF TRUSS.

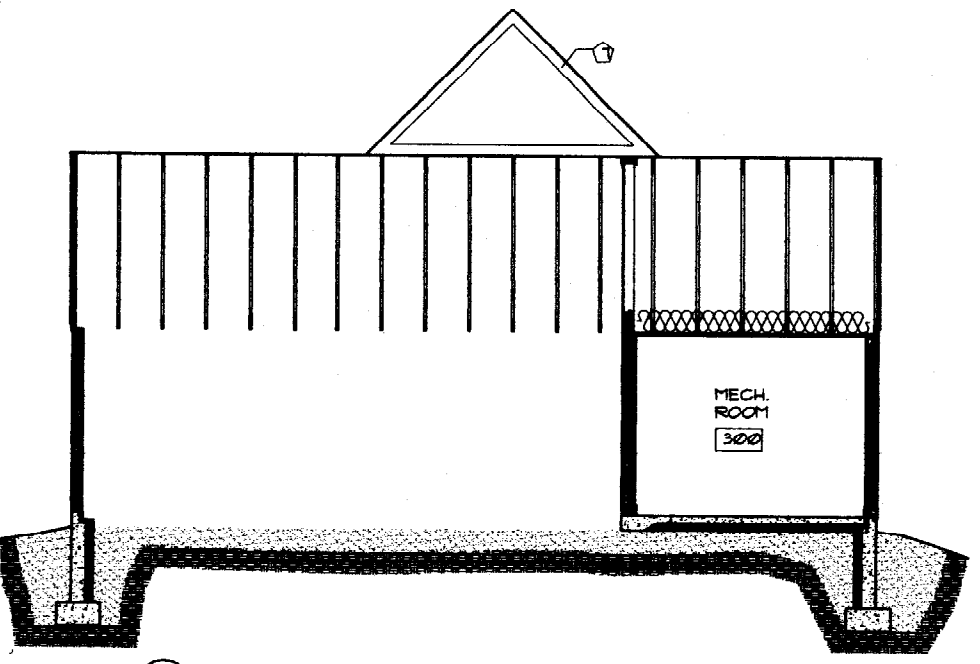
⑧ 5/8" APA RATED STRUCTURAL SIDING (E.G. T-1-11) - FTD.



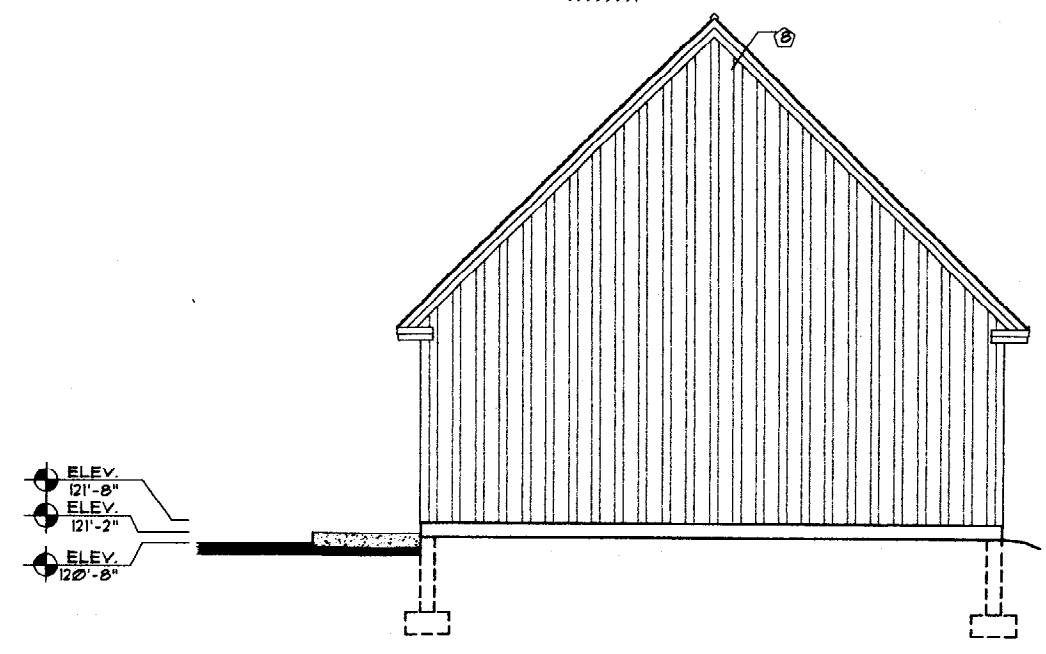
1 FOUNDATION PLAN
A3 SCALE: 1/4" = 1'-0"



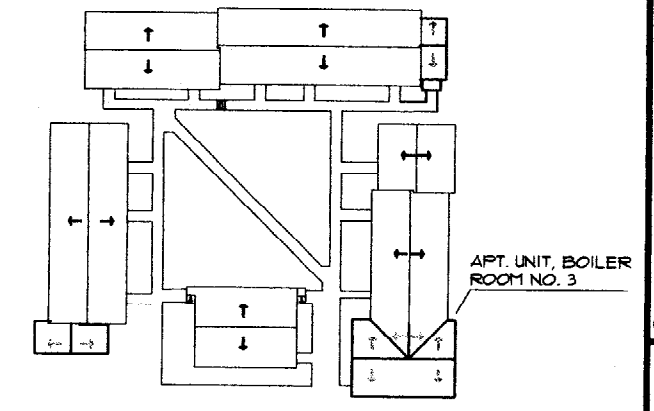
2 FLOOR PLAN
A3 SCALE: 1/4" = 1'-0"



3 SECTION
A3 SCALE: 1/4" = 1'-0"



4 ELEVATION
A3 SCALE: 1/4" = 1'-0"

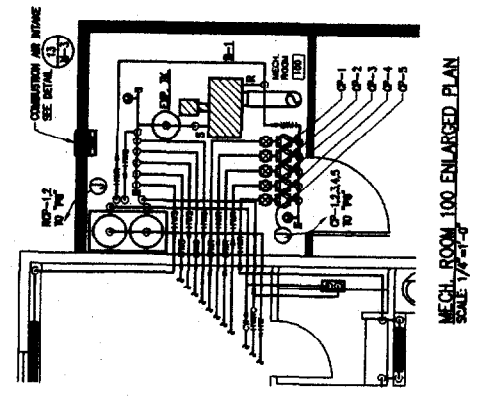
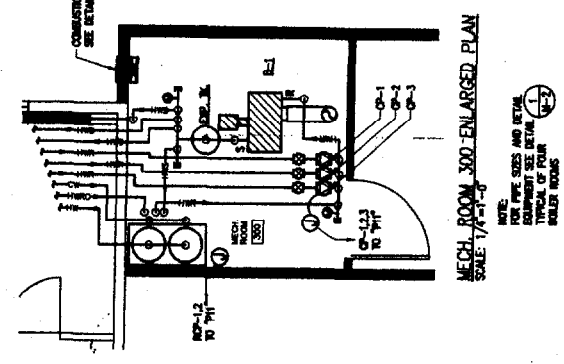
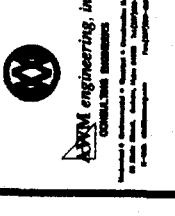


KEYPLAN
NO SCALE

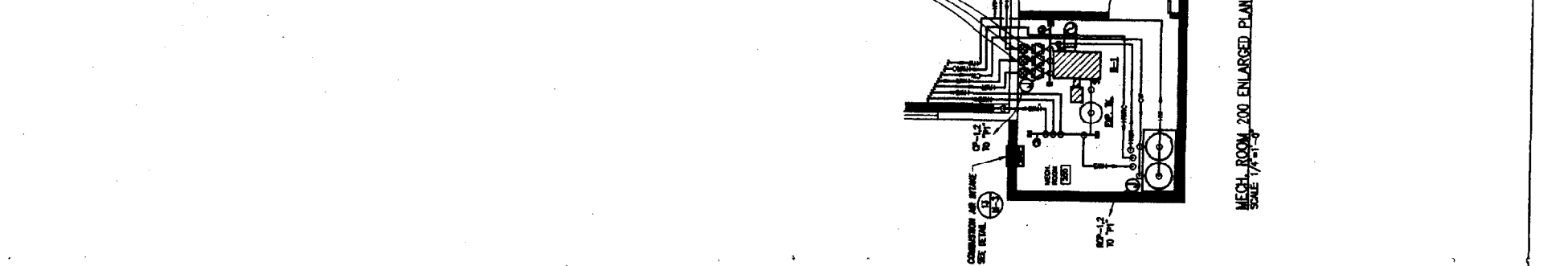
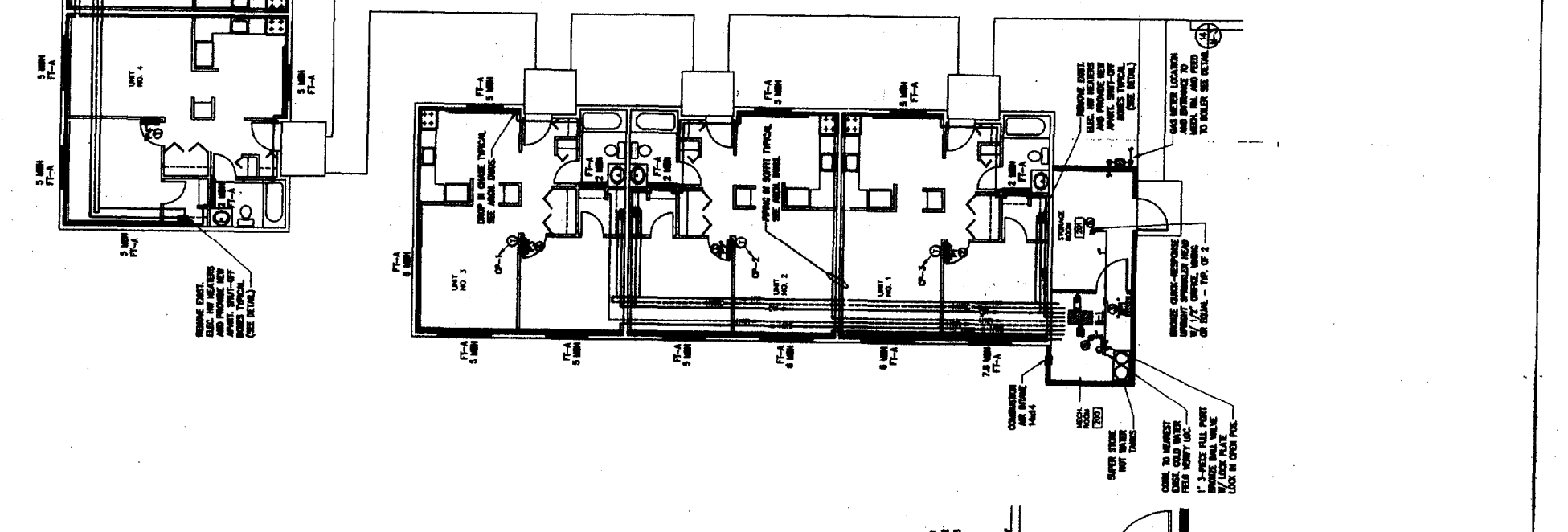
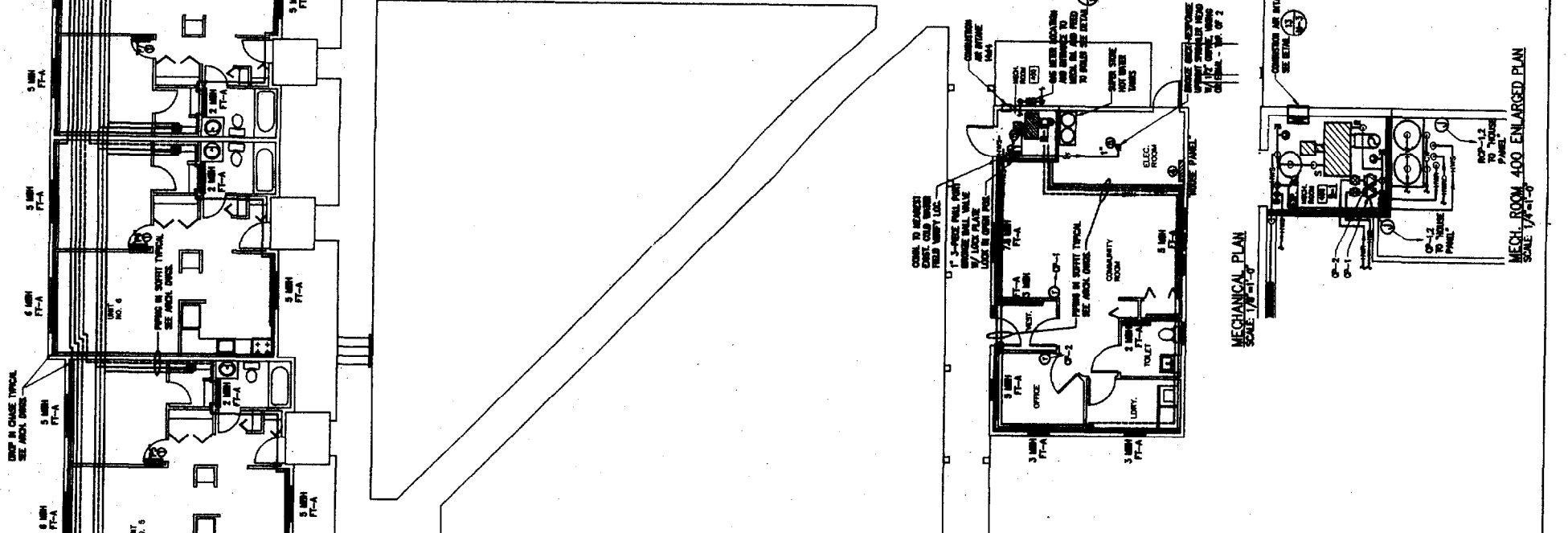
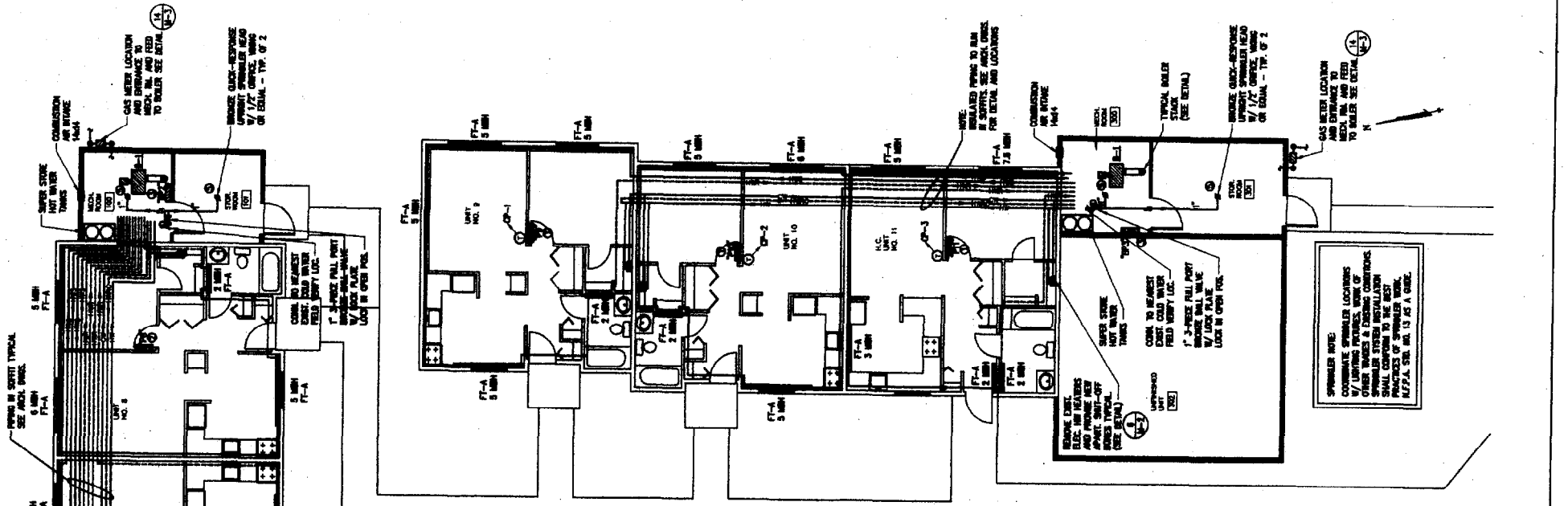
Date:	8-12-03
Scale:	AS SHOWN
Drawn By:	CLC
Checked By:	AWM
Revisions:	

Project: HEAT CONVERSIONS
 THE SHALOM APARTMENTS
 180 AUBURN STREET
 PORTLAND, MAINE

ARCHITYPE, P.A.
 ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056



- ELECTRICAL NOTES:**
- EXIST. APARTMENT UNIT LOAD CENTER TO REMAIN. DISCONNECT AND REMOVE OF APARTMENT ALL WIRING ASSOCIATED WITH THE ELECTRICAL WATER HEATER TO BE REWIRED (TYPICAL). EXISTING 30A/20P CIRCUIT BREAKER SHALL BECOME SPARE.
 - EXISTING APARTMENT UNIT LOAD CENTER TO REMAIN. DISCONNECT AND REMOVE OF APARTMENT ALL WIRING ASSOCIATED WITH THE ELECTRIC HOT WATER HEATER TO BE REWIRED. REMOVE EXISTING 30A/20P CIRCUIT BREAKER TO FEED NEW PANEL IN ADJACENT BOILER ROOM UNTIL PHASE 2 CONSTRUCTION.
 - PROVIDE NEW DUMP MAIN CIRCUIT BREAKER, 12 POLE 100A/200V, 1 PH. 3 WIRE LOAD CENTER FOR NEW BOILER LOADS. PROVIDE (WHEN INSTALLED) 170 FEEDER FROM APARTMENT UNIT LOAD CENTER UTILIZING THE 30A/20P HOT WATER HEATER CIRCUIT BREAKER.
 - PROVIDE 2-20A/20P CIRCUIT BREAKERS IN EXISTING HOUSE PANEL TO PROVIDE FEEDS TO NEW EQUIPMENT IN ADJACENT BOILER ROOM.
 - PROVIDE 2-LAMP-T8 STOP FLUORESCENT FIXTURE WITH UNDERCABINETS WITH WALL MOUNTED TO EACH BOILER ROOM AND STORAGE ROOM CEILING WITH WALL MOUNTED TO EACH BOILER ROOM. PROVIDE 120V/15A CONTROL MOTOR CIRCUIT MEANS OF SWITCHING.



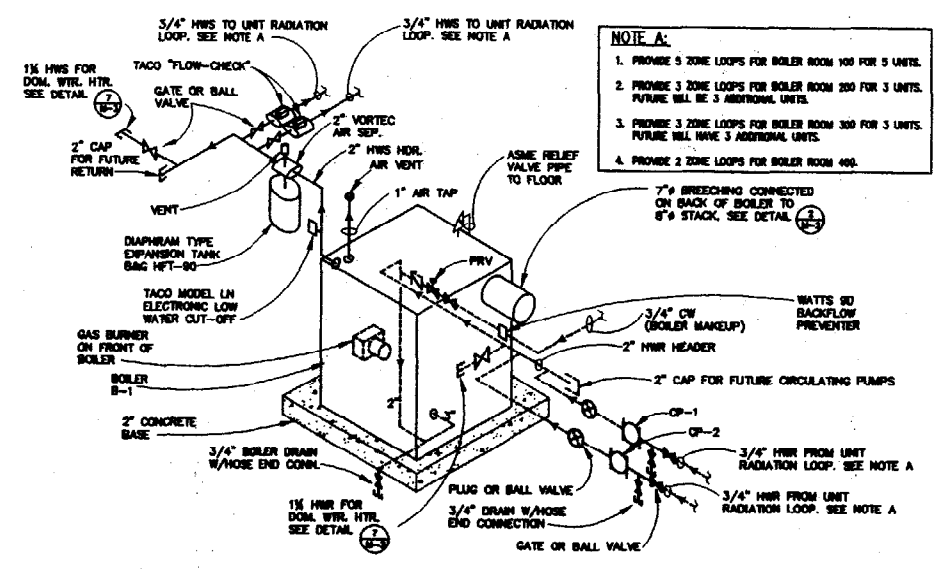
MECHANICAL LAYOUT

HEATING GENERAL NOTES

1. ALL PIPING SHOWN DIMENSIONALLY. EXACT LOCATIONS TO BE DETERMINED IN THE FIELD.
2. COORDINATE ALL WORK WITH THE OWNER.
3. FIELD VERIFY EXISTING CONDITIONS AND LOCATION OF EQUIPMENT IN THE WORK AREAS PRIOR TO BEGINNING ANY WORK. PROVIDE ALL DRAIN, DRAINAGE, ETC. AS REQUIRED TO AVOID ALL NEW AND EXISTING LIGHTING, SIGNAL, STRUCTURE, PIPING, ETC.
4. ALL TUBING ARE NEW UNLESS LABELED OR INDICATED AS EXISTING.
5. ALL OPENINGS IN WALLS, FLOORS AND CEILING PENETRATING FROM THE INSTALLATION OF NEW EQUIPMENT ARE TO BE PATCHED TO MATCH THE FINISHED SURFACE.
6. ALL ROOM TEMPERATURE SENSORS SHALL BE LOCATED A MINIMUM OF 12" HORIZONTALLY AWAY FROM HEAT SENSITIVE SURFACES. TEMPERATURE SENSORS SHALL BE MOUNTED AT 5' ABOVE FLOOR PLANE.
7. ALL EXISTING PIPING DESIGNED TO REMAIN IN PLACE SHALL BE TEMPORARILY SUPPORTED FOR EXISTING WORK DURING THE DEMOLITION AND CONSTRUCTION AND REINSPECTED IMMEDIATELY UPON INSTALLATION OF NEW ADJACENT STRUCTURES, AS APPLICABLE.

MECHANICAL LEGEND

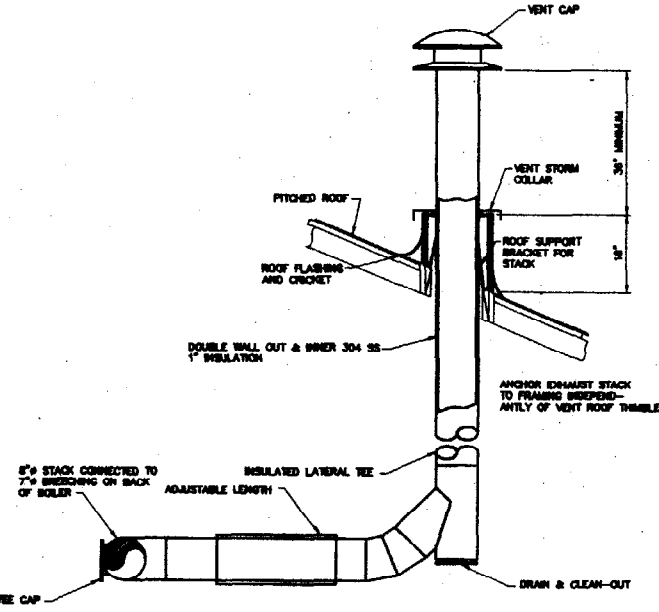
- HWS HOT WATER SUPPLY PIPING - HWS
 - HWR HOT WATER RETURN PIPING - HWR
 - DWH DOMESTIC HOT WATER
 - DWR DOMESTIC HOT WATER RECIRCULATION
 - SDB SPRINKLER DRAIN BARRIER
 - SDR SPRINKLER PIPING
 - SDR SPRINKLER HEAD
 - COPPED PIPING
 - UNB OPEN CHECK VALVE, ANCHOR IN DIRECTION OF FLOW
 - UNB STRAINER W/ BLOW DOWN VALVE
 - UNB MANUAL AIR W/ 1/4" HIGH CHAMBER
 - UNB PRESSURE GAUGE W/ COCK (WATER)
 - UNB GAGE VALVE
 - UNB CONDENSATION BALANCE & VENT SHUT OFF VALVE
 - UNB FLOW METERING, BALANCE AND SHUT OFF VALVE
 - UNB TEMPERATURE AND PRESSURE RELIEF VALVE
 - UNB THERMISTOR
 - UNB PIPING TURNED UP
 - UNB PIPING TURNED DOWN
 - UNB CIRCULATING PUMP - CP-1
 - UNB FLEXIBLE CONNECTOR
 - UNB TEMPORARILY SUPPORTED (REMOVE BRACKETING UNIT CONTROLLED)
 - UNB DETAIL REFERENCE SYMBOL
 - UNB DETAIL SHEET NO. DRAWN ON
 - UNB POINT OF CONNECTION OF NEW TO EXISTING
 - UNB DEMOLITION KEY NOTE REFERENCE
 - UNB CIRCULATING PUMP - SEE PUMP SCHEDULE
 - UNB PIPING TUBE INDICATION - SEE PIPING TUBE INDICATION SCHEDULE
 - UNB EXHAUST FAN - SEE FAN SCHEDULE
- NOTE: PRESENCE OF A SYMBOL IN THE LEGEND DOES NOT MEAN ITS ACTUAL USAGE ON THE DRAWING.



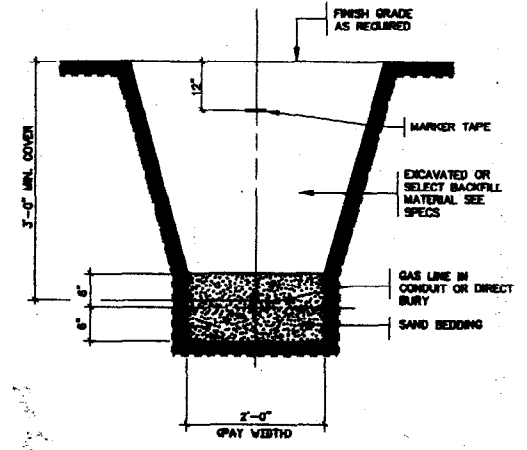
1 BOILER PIPING DIAGRAM
SCALE: NONE

H.W. BOILER / BURNER UNIT SCHEDULE - PRESSURIZED WET BASE									
UNIT	ASME RATED BOILER NET VALVE SETTING, P.S.I.	MECH. R.L. TYPE	FUEL TYPE	HEATING CAPACITY, BTU/HR	VOLTS	PHASE	MANUF. - MODEL		
B-1	40 PS	225	NATURAL GAS	378 CU. FT.	1/2"	120	1	H.B. SMITH - GRABES	

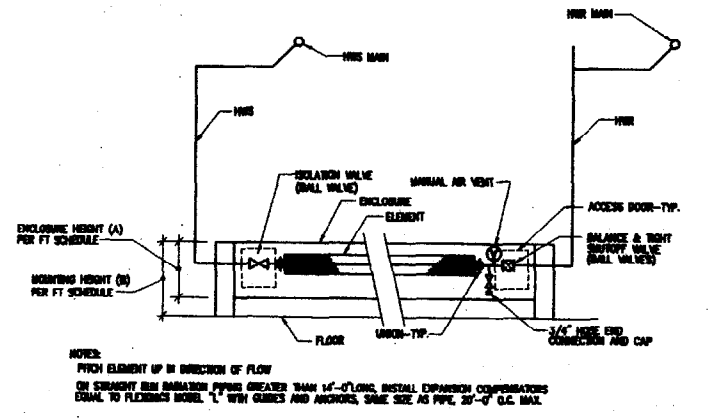
NOTE: FOUR BOILERS FOR FOUR BUILDINGS ARE SIMILAR.



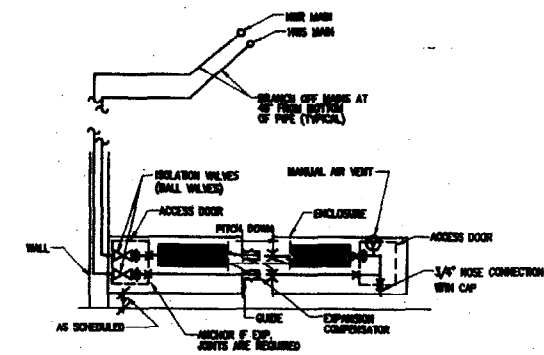
2 BOILER STACK DETAIL
SCALE: NONE



3 UTILITY TRENCH DETAIL
SCALE: NONE



4 H.W. FINNED TUBE PIPING-DOWN FEED
SCALE: NONE



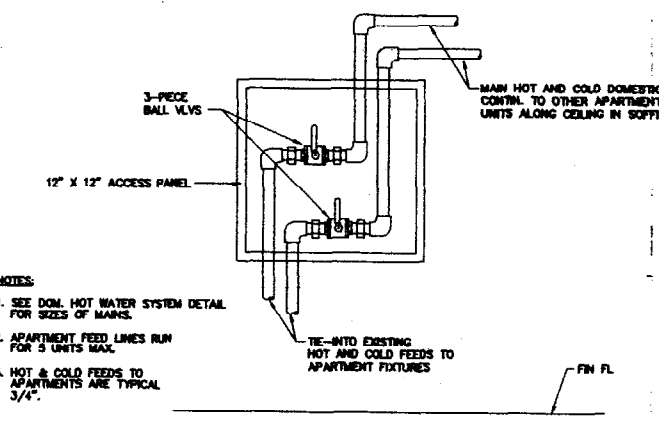
5 H.W. FINNED TUBE PIPING-DOWN FEED WITH COMMON END CONNECTIONS
SCALE: NONE

PUMP SCHEDULE									
UNIT	LOCATION	SERVES	ONE PUMP		MOTOR				MANUF. - MODEL
			GPM	HD. FT.	RPM	MIN HP	VOLTS	PHASE	
CP-1	MECH. R.L.	HEATING ZONES	2.0	15	3200	1/20	115	SINGLE	TACO-GS
CP-2	MECH. R.L.	HEATING ZONES	2.0	15	3200	1/20	115	SINGLE	TACO-GS
CP-3	MECH. R.L.	HEATING ZONES	2.0	15	3200	1/20	115	SINGLE	TACO-GS
CP-4	MECH. R.L.	HEATING ZONES	2.0	15	3200	1/20	115	SINGLE	TACO-GS
CP-5	MECH. R.L.	HEATING ZONES	2.0	15	3200	1/20	115	SINGLE	TACO-GS

PUMP SCHEDULE *										
TAG#	TYPE	LOCATION	SERVES	GPM	HD. FT.	MOTOR				MANUFACTURER - MODEL
						RPM	MIN HP	VOLTS	PHASE	
RCP-1	CIRCULATING	MECH. R.L.	HOT WATER RETURN	2	6	3200	1/40	120	1	TACO # 0088 W/3/4" FLANGED CONNS
RCP-2	CIRCULATING	MECH. R.L.	BOILER WATER CIRC	12	10	3200	1/15	120	1	TACO # 0010 W/1" FLANGED CONNS

* NOTE: TYPICAL OF FOUR BOILER ROOMS FOR FOUR BUILDINGS.

FINNED TUBE RADIATION SCHEDULE										
UNCL.	RECL.	PIPE SIZE	FINNED PER FT.	WTU/FT.	MIN. AV. TEMP.	ENCLOSURE	GAUGE	ENCLOSURE	STANDARD MODEL	
FT-A	10	3/4"	8"	1"	1	90	70	2.0	18-2	COPPER/ALUMINUM 2 3/4" x 3/4"



6 APARTMENT SHUT-OFF DETAIL
SCALE: NONE

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Date: 8-12-03
Scale: NONE
Checked By: AWM
Drawn By: CLC
Revisions:

Drawing:
MECHANICAL
NOTES, LEGEND,
AND DETAILS

M-2

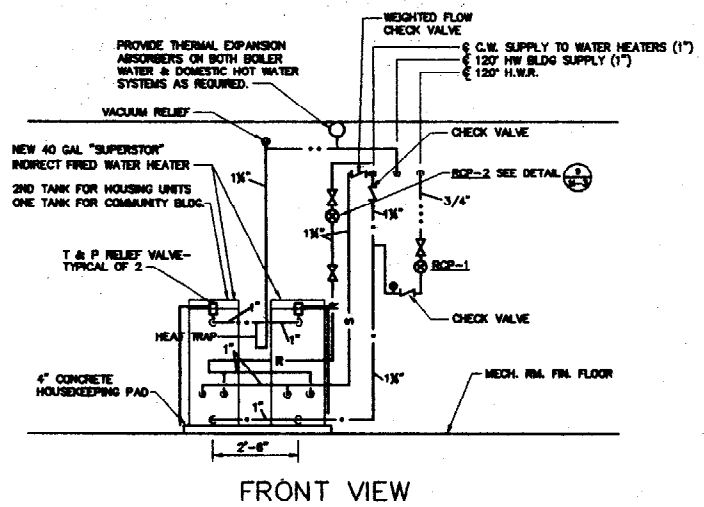


PLUMBING GENERAL NOTES

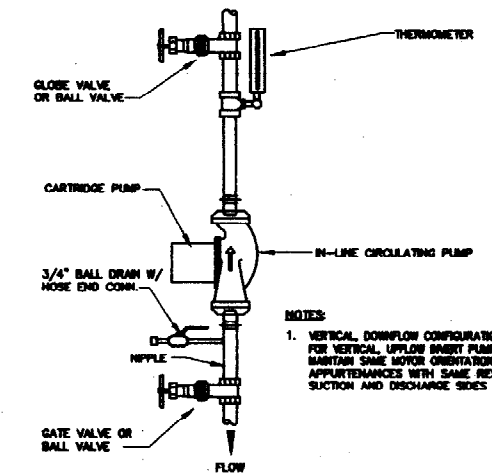
1. ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE MAINE STATE PLUMBING CODE OR THESE PLANS WHICHEVER IS MORE STRINGENT.
2. ALL PIPING IS SHOWN DIMENSIONALLY AND MAY BE RELOCATED TO BEST FIT ACTUAL CONDITIONS WITH APPROVAL OF THE ARCHITECT.
3. CAREFULLY CONSIDER LOCATION OF ALL PIPING WITH THE HEATING AND ELECTRICAL CONTRACTORS AS WELL AS ANY OTHER CONTRACTORS. MAKE COORDINATION WITH ANY PRESENT POTENTIAL COMPACTS. COORDINATE EXACT LOCATION OF NEW EQUIPMENT WITH LOCATION OF EXISTING PIPING TO REMAIN, AND WITH NEW ARCHITECTURAL/STRUCTURAL FEATURES.
4. ALL HOT AND COLD WATER PIPING NOT SHOWN ON SPECIFIED DRAWING SHALL BE ISOLATED.
5. PIPING SHALL BE CONCEALED IN SHIPPS AND CORNERS OR EXPOSED IN MECHANICAL/ELECTRICAL AREAS, UNLESS NOTED OTHERWISE.
6. ALL PIPING SHALL BE CONCEALED IN SHIPPS AND CORNERS OR EXPOSED IN MECHANICAL/ELECTRICAL AREAS, UNLESS NOTED OTHERWISE.
7. RUN ALL WATER PIPING ON THE UNDERSIDE OF THE BUILDING INSULATION.
8. BRASS PIPING SPRINKLER HEADS ARE TO BE TIED OFF DOMESTIC COLD WATER PIPING.
9. FOR CLARITY, SOME PIPING SHALL BE INSTALLED UNDER CORNERS OR PARTITIONS, IS SHOWN AND NOTED THERE APPROPRIATE. IT IS THE PLUMBING CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL PIPING IS INSTALLED WITHIN PROPER CONTAINERS.

DEMOLITION GENERAL NOTES

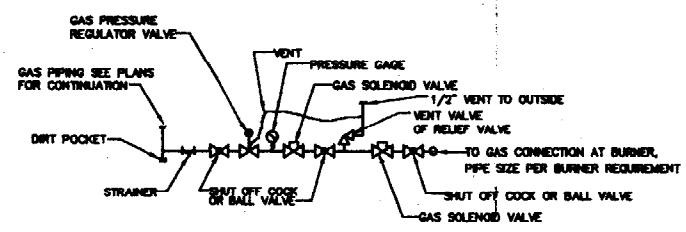
1. REMOVE ALL EXISTING ELECTRIC AND TELEPHONE WIRING IN EACH UNIT, INCLUDING APPROVED IN A CD PIPING TO FLOOR OR TO ABOVE CEILING AS PRACTICALLY POSSIBLE. PLUMB OR CAP ALL H & C EXISTING PIPING UNDER FLOOR OR ABOVE CEILING, OR OTHER UNDESIRABLE CONDITIONS WHICH WILL NOT BE REMOVED, OR MAKE SUCH PIPING CONNECT TO PIPING TO REMAIN. PIPING WHICH REMAINS UNDER FLOOR SHALL BE PLUMB OR CAPped AT THE NEAREST FLOOR SLAB.
2. COLD PIPING SHALL BE TIED OFF TO NEAREST FIELD CONNECTION AND IS APPROVED IN LOCATION. REMOVE ALL EXISTING PIPING AND NOTED THERE. THESE REMOVALS ARE NOT TO BE DONE UNTIL THE EXTENT OF DEMOLITION WORK. EXTENT OF DEMOLITION WORK SHALL BE DETERMINED IN THE FIELD BY THE PLUMBING CONTRACTOR.
3. ALL REMOVAL WORK TO REMAIN OWNER'S PROPERTY SHALL BE REMOVED BY THE CONTRACTOR, AND RELOCATED TO THE OWNER.



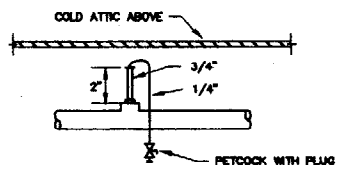
7 DOMESTIC HOT WATER SYSTEM
SCALE: NONE



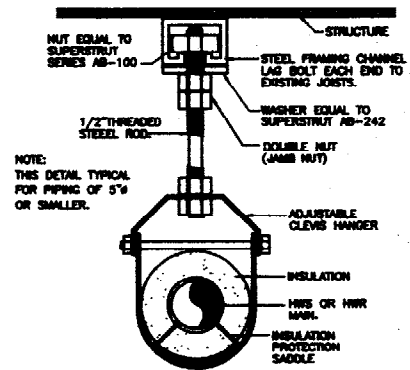
9 CIRCULATING PUMP PIPING DETAIL
SCALE: NONE



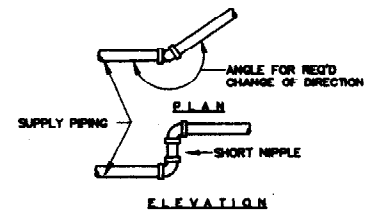
14 BURNER GAS TRAIN DETAIL
SCALE: NONE



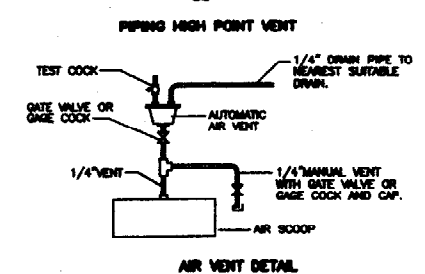
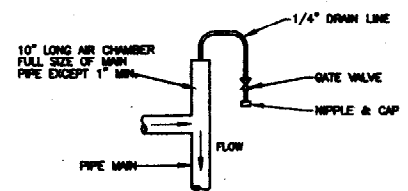
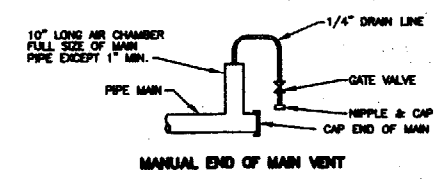
8 AIR VENT ARRANGEMENT FOR LOW CLEARANCE CONDITIONS
SCALE: NONE



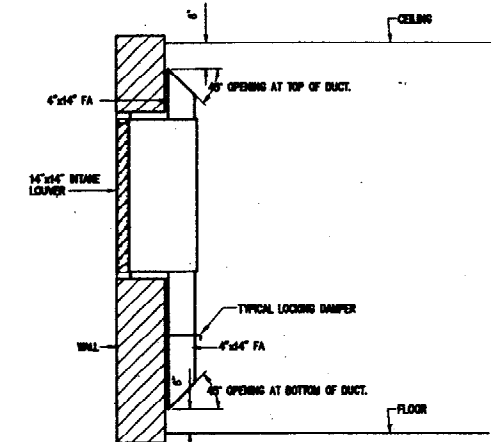
10 TYPICAL PIPE HANGER DETAIL
SCALE: NONE



12 JUMP-UP PIPING DETAIL
SCALE: NONE



11 TYPICAL PIPE VENT DETAILS
SCALE: NONE



13 BOILER ROOM COMBUSTION AIR INLET
SCALE: NONE



8/13/03