

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02 0697	Issue Date: 2-9-2002	CBL: 374 A023001
Location of Construction: 184 Auburn St	Owner Name: Shalom House Inc	Owner Address: Po Box 560
Business Name: <i>Thaxter Co.</i>	Contractor Name: <i>Steve 878-5553 KIDS</i>	Contractor Address: <b>CITY OF PORTLAND</b>
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings
		Zone: <i>R-3</i>

Past Use: Vacant	Proposed Use: Group Home " <del>change of use</del> "	Permit Fee: \$1,883.00	Cost of Work: \$255,000.00	CEO District: 2
Proposed Project Description: Construct 24' x 50' 2nd story addition, int./ext. renovations.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>R-2</i> Type: <i>SB</i> <i>Condition I</i> <i>BCA 99</i>
Signature: <i>single fam. home</i>		Signature: <i>single family Handicap family unit</i>		Signature: <i>TH</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: <i>jmy</i>	Date Applied For: 06/19/2002	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>HA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date: <i>7/9/02</i>
	Date: _____	Date: _____	Date: _____	Date: _____

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

\_\_\_\_\_ Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

*call*  
~~\_\_\_\_\_~~ Footing/Building Location Inspection: Prior to pouring concrete

*NA* Re-Bar Schedule Inspection: Prior to pouring concrete

*call*  
~~\_\_\_\_\_~~ Foundation Inspection: Prior to placing ANY backfill

\_\_\_\_\_ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

\_\_\_\_\_ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

\_\_\_\_\_ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

\_\_\_\_\_ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

*Stephen Kutton*  
Signature of applicant/designee

*2/29/02*  
Date

*Gayle Stewart*  
Signature of Inspections Official

*2/29/02*  
Date

CBL: *374 A023* Building Permit #: *020697*

Prmt Text93 38392 Constr Type New Num1 20697

Permit Nbr 02-0697 Location of Construction 184 Auburn St Appl. Date 06/19/2002  
Status Hold Permit Type Additions - Dwellings Issue Date  
CBL 374 A023001 Territory Nbr 2 Estimated Ccost \$255,000.00 Date Closed

Comment Date	Comment	Name	Follow Up Date	Completed
07/26/2002	Spoke w/Steve on 7/26/02. Will submit deck and ramp framing plans.	jm		<input type="checkbox"/>
07/26/2002	No structural details submitted w/permit originally - received more info on 7/17/2002. Info still inadequate - Called and requested more info.	jm		<input type="checkbox"/>

CreatedBy jmy CreateDate 06/24/2002 ModBy jm ModDate 07/12/2002

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Permit Number: 020697

Please Read Application And Notes, If Any, Attached

This is to certify that Shalom House Inc

has permission to Construct 24' x 50' 2nd story addition, in ext. renovations.

AT 184 Auburn St 374 A023001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

02-0697

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 184 Auburn Street Portland, Maine		
Total Square Footage of Proposed Structure 2400sf	Square Footage of Lot 54,000sf	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# 374      A      023	Owner: Shalom House	Telephone: (207) 874-1088
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: (207) 878-5553 The Thaxter Company 55 Bell Street Portland, ME 04103	Cost Of Work: \$ 255,000.00 Fee: \$ 1,808.00
Current use: <u>Vacant</u>		
If the location is currently vacant, what was prior use: <u>Single Family</u>		
Approximately how long has it been vacant: <u>Ten Months</u>		
Proposed use: <u>Group Home</u>		
Project description: <u>94' x 50'</u> Add second floor to existing building. Renovate interior and exterior of existing building.		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Steve Keltonic</u>		
Mailing address: The Thaxter Company 55 Bell Street Portland, Maine 04103		
		Phone: 878-5553 <del>X103</del> <b>X105</b>

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

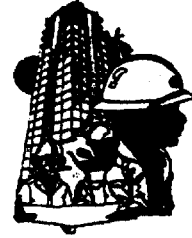
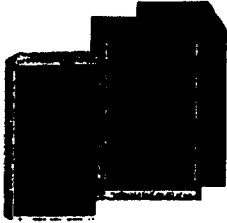
Signature of applicant:	Date: 06/20/02
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DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

This is not a permit, you may not commence ANY work until the permit is issued

JUN 19 2002

RECEIVED



**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Rm 315  
Portland, ME 04101**

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** Archetype, P.A. 48 Union Wharf, Portland, ME

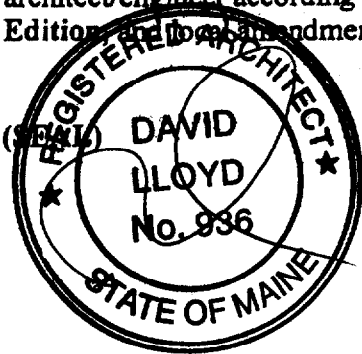
**RE:** Certificate of Design

**DATE:** June 17, 2002

These plans and/or specifications covering construction work on:

The Shalom House  
184 Auburn Street, Portland, ME

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition and local amendments.



Signature 

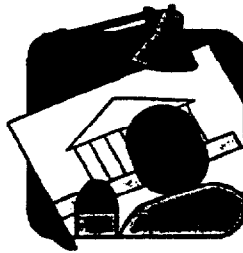
Title Architect

Firm Archetype, P.A.

Address 48 Union Wharf, Portland, ME 04101

**As per Maine State Law:**

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



**CITY OF PORTLAND MAINE**

**389 Congress St., Rm 315**

**Portland, ME 04101**

**Tel. - 207-874-8704**

**Fax - 207-874-8716**

**TO:** Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

**FROM DESIGNER:** Archetype, P.A.  
48 Union Wharf, Portland, ME 04101

**DATE:** June 17, 2002

Job Name: The Shalom House @ 184 Auburn Street

Address of Construction: 184 Auburn Street

**THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION**

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) Residential Care Facility

Type of Construction 5 B Bldg. Height 29 Ft. Bldg. Sq. Footage 1,229

Seismic Zone \_\_\_\_\_ Group Class 1

Roof Snow Load Per Sq. Ft. 42 Dead Load Per Sq. Ft. 15

Basic Wind Speed (mph) 90 Effective Velocity Pressure Per Sq. Ft. Windward +/- 22, leeward 17

Floor Live Load Per Sq. Ft. 40

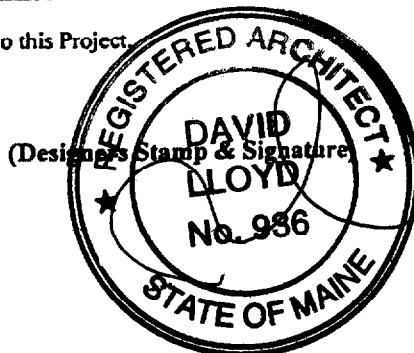
Structure has full sprinkler system? Yes  No \_\_\_\_\_ Alarm System? Yes  No \_\_\_\_\_  
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the  
Portland Fire Department.

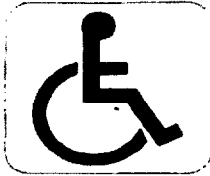
Is structure being considered unlimited area building: Yes \_\_\_\_\_ No

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project

PSH 6/07/2K





## City of Portland, Maine

389 Congress St., Rm 315  
Portland, ME 04101

### ACCESSIBILITY CERTIFICATE

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Services

**FROM:** Archetype, P.A. 48 Union Wharf, Portland, ME 04101

**RE:** Certificate of Design, HANDICAP ACCESSIBILITY

**DATE:** June 17, 2002

These plans and/or specifications covering construction work on:

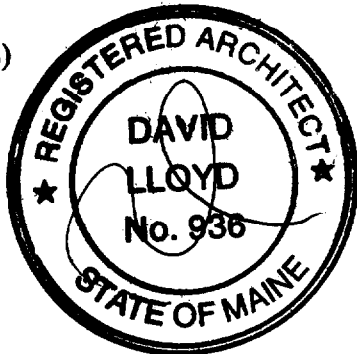
The Shalom House  
184 Auburn Street  
Portland, ME

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Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)



Signature 

Title Architect

Firm Archetype, P.A.

Address 48 Union Wharf, Portland, ME 04101



**SHORT FORM WARRANTY DEED**

I, DAVID B. SMAHA, of Portland, County of Cumberland, State of Maine, FOR CONSIDERATION PAID, grant to SHALOM HOUSE, INC., a Maine non-profit corporation, with its principal place of business in Portland, County of Cumberland, State of Maine, and whose mailing address is P. O. Box 560, Portland, Maine 04112, WITH WARRANTY COVENANTS, the following described real property located in Portland, Cumberland County, State of Maine:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

IN WITNESS WHEREOF, I, David B. Smaha, have hereunto set my hand and seal this 4th day of October, 2001.

WITNESS:

M. A. Selinger

David B. Smaha  
David B. Smaha

MAINE REAL ESTATE TAX PAID

STATE OF MAINE  
COUNTY OF CUMBERLAND, SS.

October 4, 2001

Personally appeared the above-named David B. Smaha and acknowledged the foregoing instrument to be his free act and deed.

Before me,

M. A. Selinger  
~~Notary Public~~/Attorney-at-Law

Print Name: M-A-SELINGER

My commission expires: \_\_\_\_\_

**EXHIBIT A**

A certain lot or parcel of land, with the buildings thereon, situated on the westerly side of Auburn Street in the city of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Commencing at the southeast corner of the land conveyed by McIntyres to Joseph M. F. Etheze, et al. By deed dated October 13, 1945 and recorded in the Cumberland County Registry of Deeds in Book 1796, Page 156, and the northeast corner of the lot hereby conveyed, said corner being marked by an iron spike driven into the ground; thence two hundred nine and four tenths (209.4) feet, more or less, in a southerly direction along the westerly sideline of said Auburn Street to the northerly sideline of a proposed street; thence in a southwesterly direction along the northerly sideline of said proposed street, three hundred fifty-six (356) feet, more or less, to land of said McIntyres; thence in a northwesterly direction along the easterly line of said McIntyres' land two hundred four and five tenths (204.5) feet, more or less, to an iron driven into the ground and the land of said Etheze; thence in a northeasterly direction along the southerly sideline of said Etheze's land four hundred and thirty-six and seven tenths (436.7) feet to the westerly sideline of Auburn and the point of beginning.

Excepting the premises conveyed by warranty deed from Richard B. Bowley and Ruth J. Bowley to Reproco, Inc. dated January 23, 1970 and recorded in the Cumberland County Registry of Deeds in Book 3116, Page 15 and re-recorded in Book 3136, Page 841.

Being the same premises conveyed to David B. Smaha by quitclaim deed from Countrywide Home Loans, Inc. dated June 29, 2001 and recorded in the Cumberland County Registry of Deeds in Book 16528, Page 326.

O:\MAS\81126\184 Auburn Street\Warranty deed.wpd

RECEIVED  
RECORDED REGISTRY OF DEEDS

2001 OCT -4 PM 3: 29

CUMBERLAND COUNTY

*John B O'Brien*

55 Bell Street  
Portland, Maine 04103



(207) 878-5553 Telephone X 105  
(207) 878-5424 Fax

# Fax

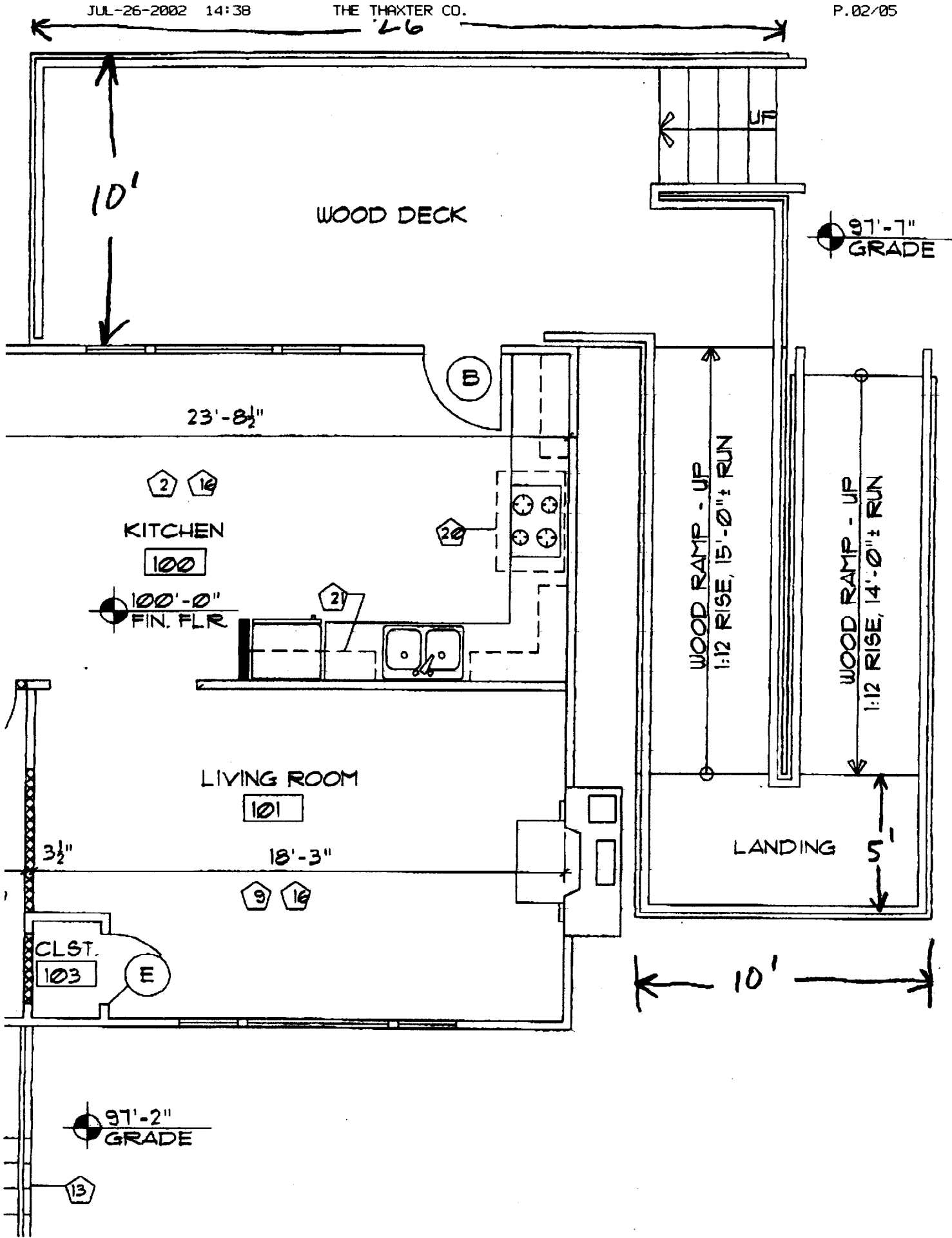
To: <u>Tommy Munson</u>	From: <u>Steve Keeton</u>
Fax: <u>874-8716</u>	Pages: <u>5</u>
Phone: <u>Shalom House</u>	Date: <u>7/25/02</u>
Re: <u>184 Auburn St</u>	CC:

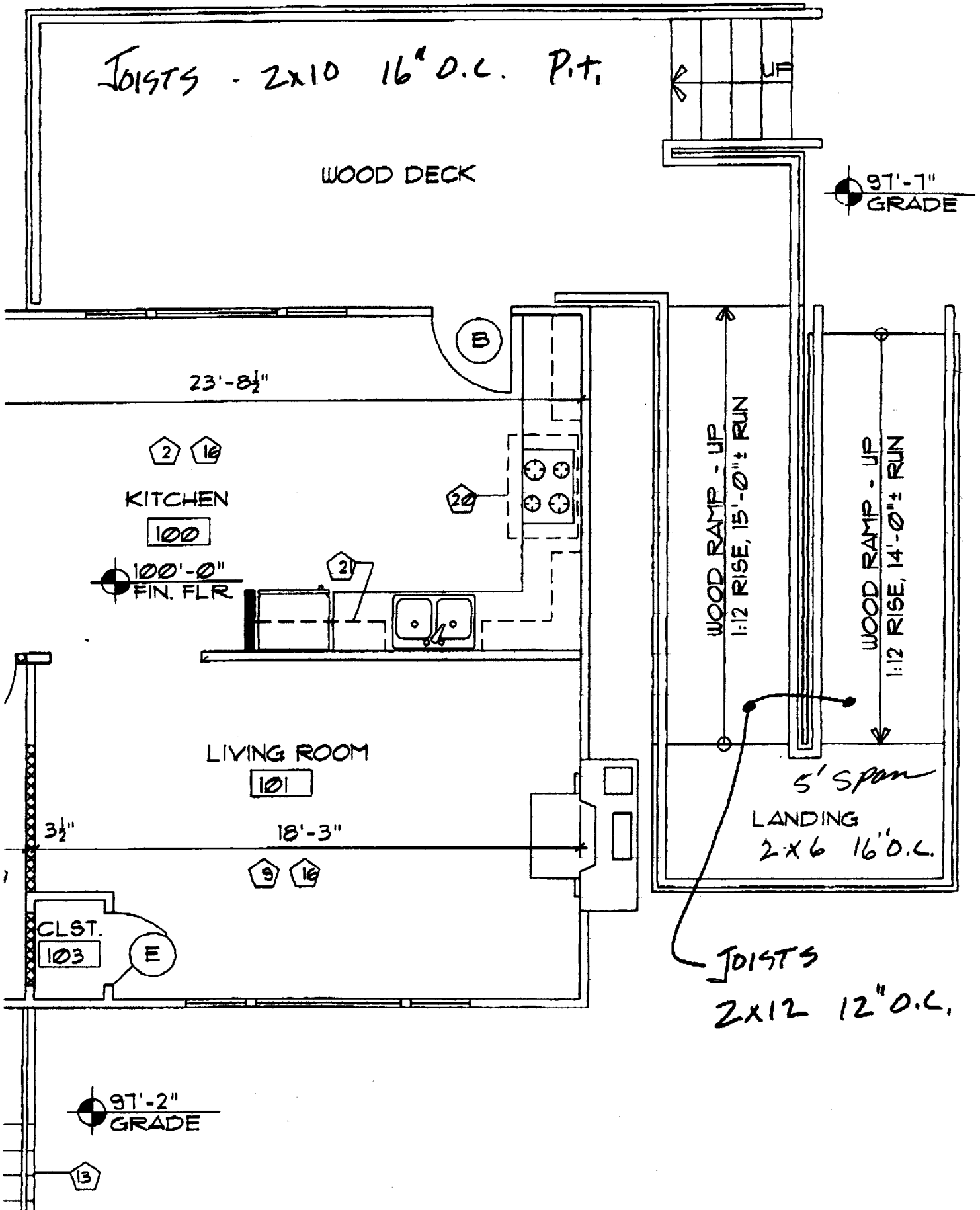
Urgent   
 For Review   
 Please Comment   
 Please Reply   
 Please Recycle

• Comments:

Hope this helps. If you need more info. I'll forward on Tues.

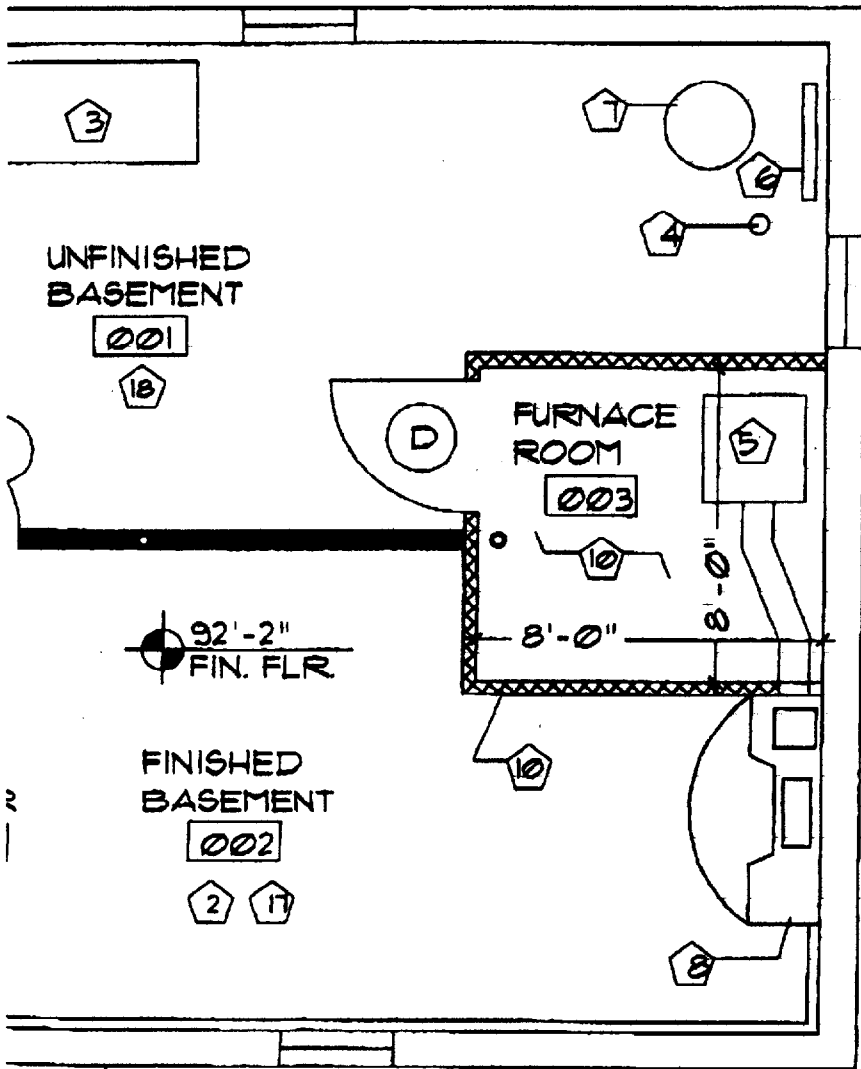
thanks  
Steve





3-2x12 3-2x12 3-2x10

LEDGER - 2x12 w/ 1/2" Lag bolts 2 @ 2' o.c.



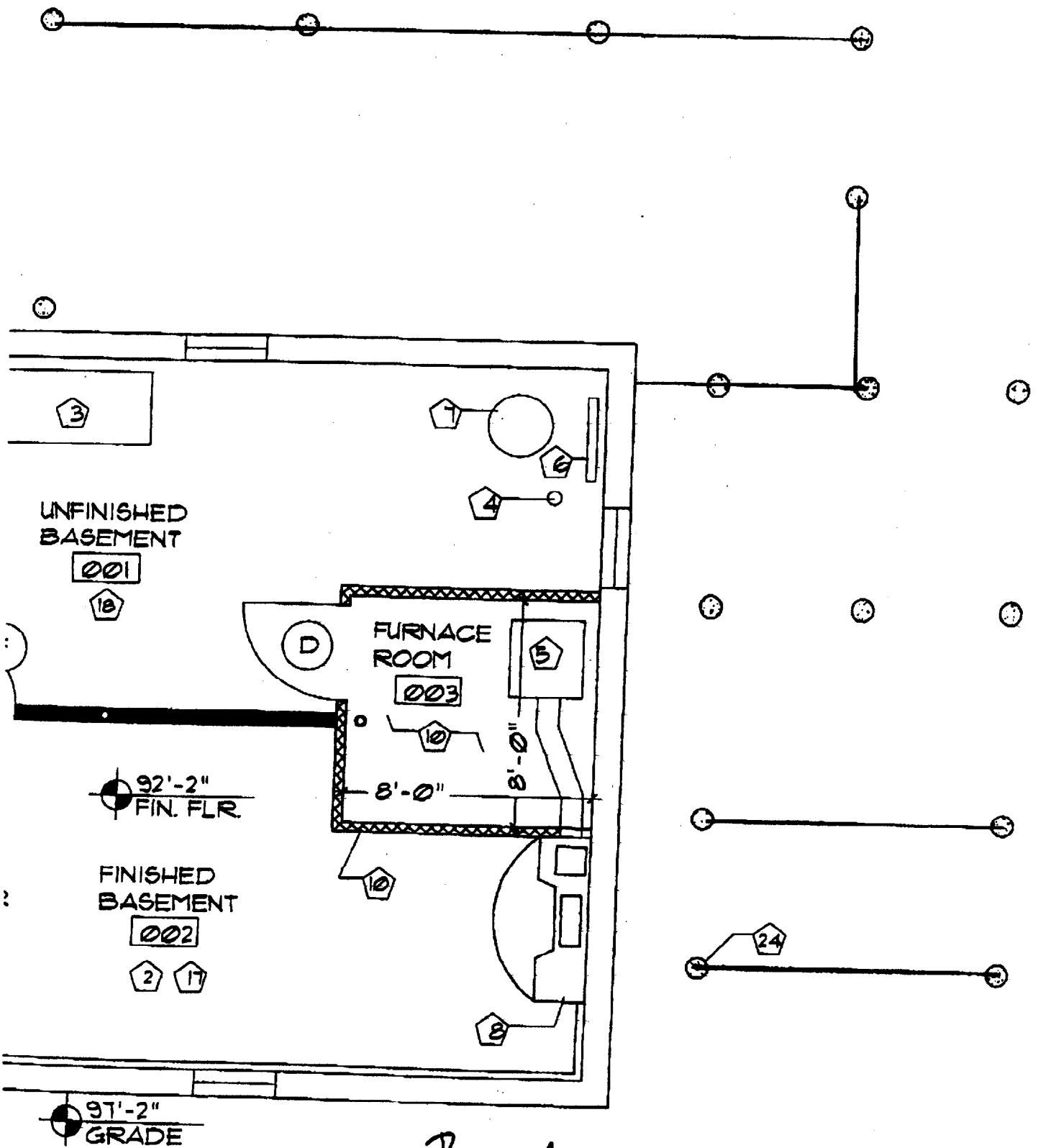
3-2x8

3-2x10s

3-2x10s

BEAM SIZES - ALL PT -

24



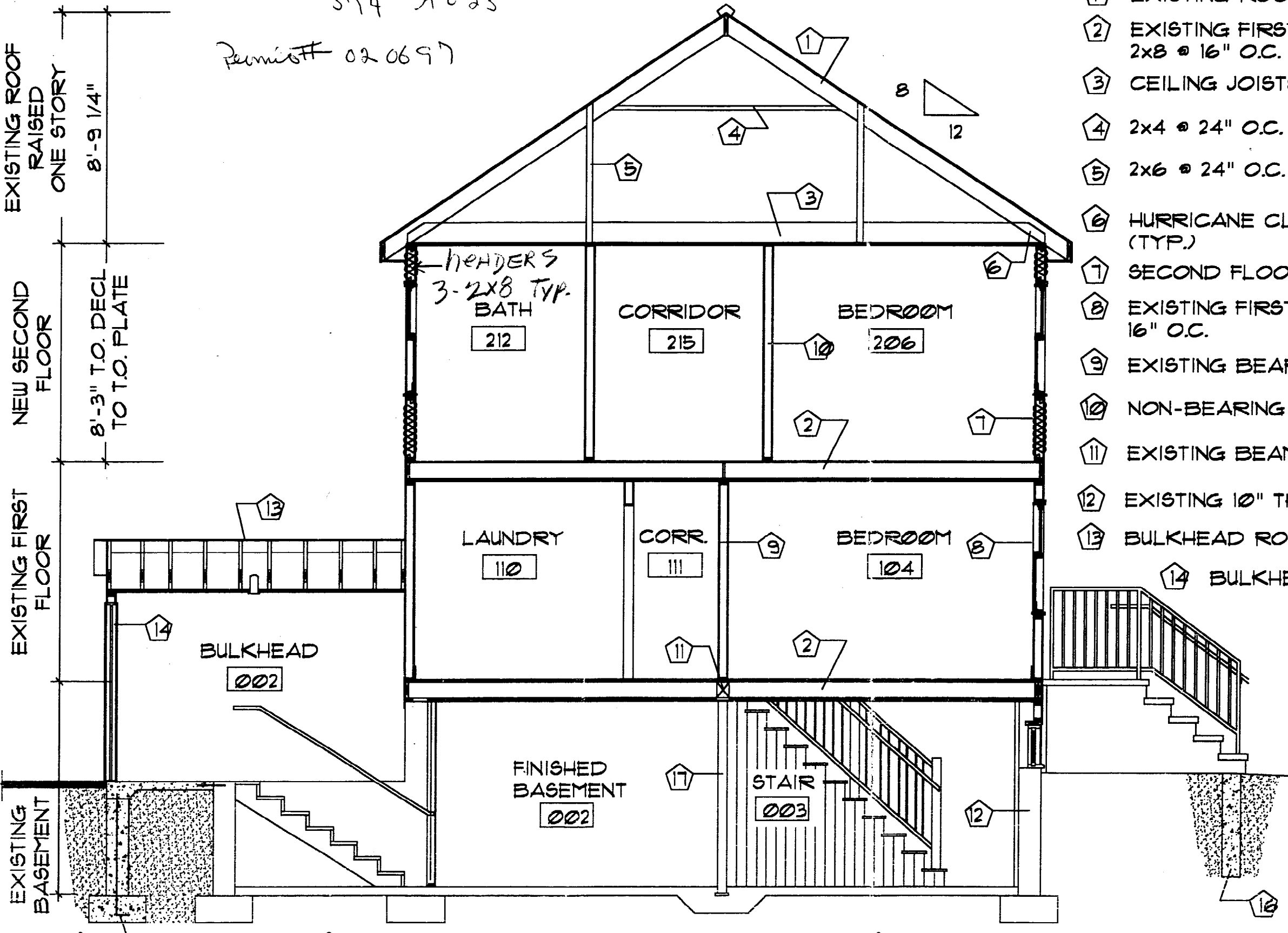
Beamt

24

RE: 114 Auburn  
 374 A023  
 Permit # 020697

**KEYED NOTES**

- ① EXISTING ROOF FRAMING - 2x8 @ 24" O.C.
- ② EXISTING FIRST & SECOND FLOOR FRAMING - 2x8 @ 16" O.C.
- ③ CEILING JOISTS - 2x8 @ 24" O.C.
- ④ 2x4 @ 24" O.C.
- ⑤ 2x6 @ 24" O.C. (TYP.)
- ⑥ HURRICANE CLIPS AT EA. END OF RAFTER (TYP.)
- ⑦ SECOND FLOOR WALL - 2x6 @ 16" O.C.
- ⑧ EXISTING FIRST FLOOR WALL FRAMING - 2x4 @ 16" O.C.
- ⑨ EXISTING BEARING WALL - 2x4 @ 16" O.C.
- ⑩ NON-BEARING WALL - 2x4 @ 16" (TYP.)
- ⑪ EXISTING BEAM - (3) 2x12.
- ⑫ EXISTING 10" THICK CONCRETE FNDN. WALL (TYP.).
- ⑬ BULKHEAD ROOF FRAMING - 2x6 @ 24" O.C.
- ⑭ BULKHEAD WALL FRAMING - 2x6 @ 24" O.C.



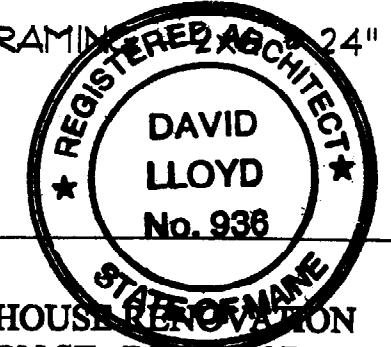
EXISTING ROOF  
 RAISED  
 ONE STORY  
 8'-9 1/4"

NEW SECOND  
 FLOOR  
 8'-3" T.O. DECL  
 TO T.O. PLATE

EXISTING FIRST  
 FLOOR

EXISTING  
 BASEMENT

- ⑮ BULKHEAD FOUNDATION - 4" THICK CONC. FLOOR, 8" THICK CONC. FNDN. WALL, 12" THICK BY 24" WIDE CONC. STRIP FOOTING.
- ⑯ 8" DIA. CONC. PIER
- ⑰ 4" DIA. STEEL COLUMN (TYP.).



PROJECT: SHALOM HOUSE RENOVATION 184 AUBURN ST., PORTLAND, ME	
DRAWING: STRUCTURAL SECTION	
ARCHITECT: ARCHETYPE, P.A. PORTLAND, MAINE	DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME JUL 17 2002 RECEIVED
SCALE: 1/8" = 1'-0"	SKa - 1
DATE: JULY 16, 2002	



# THE SHALOM HOUSE

at

## 184 AUBURN STREET

### PORTLAND, MAINE 04103

#### Index of Drawings

- Title Sheet
- A1 Site Plan
- A2 Existing Floor Plans, Existing Building Section
- A3 Floor Plans, Building Section
- A4 Roof Plan, Exterior Elevations

#### Architect

Archetype, P.A.  
48 Union Wharf  
Portland, Maine 04101

#### Code Review

##### Building Code Criteria

This code review is based on the 1999 B.O.C.A. Code, and N.F.P.A. Life Safety Code 2000. Zoning is per City of Portland, Code of Ordinances, Chapter 14, Land Use.

#### B.O.C.A.

##### Building Description:

Residential Care Facility - sprinkled, two (2) stories, full basement.

##### Construction Type

SB, Combustible, Unprotected (Reference BOCA 606.0)

##### Use Group:

Residential Use Group R-2 - Residential Care Facility (Occupancy Condition 1) (Reference BOCA 310.4)

##### Area Limitations (Reference BOCA Table 905):

Two (2) story, 35,450 square feet.

##### Area Subtotals

Two (2) story, 29,129 square feet.

#### ZONING

##### Zone:

R-3 Residential Zone. (Portland Land Use Sec. 14-36)

Use: Residential - handicapped family unit, a permitted use in the R-3 Zone per Sec. 14-37.1.a).

##### Dimensional Requirements: (Portland Land Use Sec. 14-90.1.j)

Minimum lot area: 6,500 square feet.

Minimum street frontage: 50 feet.

Front yard: 25 feet.

Rear yard: 25 feet.

Side yard: 14 feet.

Minimum lot coverage: 25%.

Minimum lot width: 75 feet.

Maximum structure height: 35 feet.

#### N.F.P.A.

##### Occupancy Group

Chapter 22 - New Residential Board & Care Occupancies. Per 32.1.1.1(4) "Buildings or portions thereof upon change of occupancy to a residential board and care occupancy."

##### Facility Type (Section 22.2)

Small Facility - provides sleeping accommodation for less than 16 residents.

##### Means of Escape (Section 22.2.2)

Number of means of escape - Two (2). Per Exception No. 2, "A second means of escape from each story shall not be required where the entire building is protected throughout by an approved automatic sprinkler system complying with 32.2.3.5 and the facility has two means of escape."

##### Interior Stairs used for Primary Means of Escape (Section 22.2.2.4)

Per Exception No. 1, Partially enclosed 1/2 hour fire resistance rating.

##### Construction of Corridor Walls (Section 22.2.3.6)

1/2 hour fire rating with 20 minute rated doors. Per 32.2.3.6.4 "Exception: Door closing devices shall not be required in buildings protected throughout by an approved automatic sprinkler system in accordance with 32.2.3.5.1."

##### Automatic Suppression System (Section 22.2.3.5)

Yes, automatic sprinkler system that initiates the fire alarm system.

##### Fire Alarm System (Section 22.2.3.4.1)

Yes, per Section 9.6.2.5 "For fire alarm systems using automatic fire detection or waterflow detection devices not less than one manual fire alarm box shall be provided to initiate a fire alarm signal."

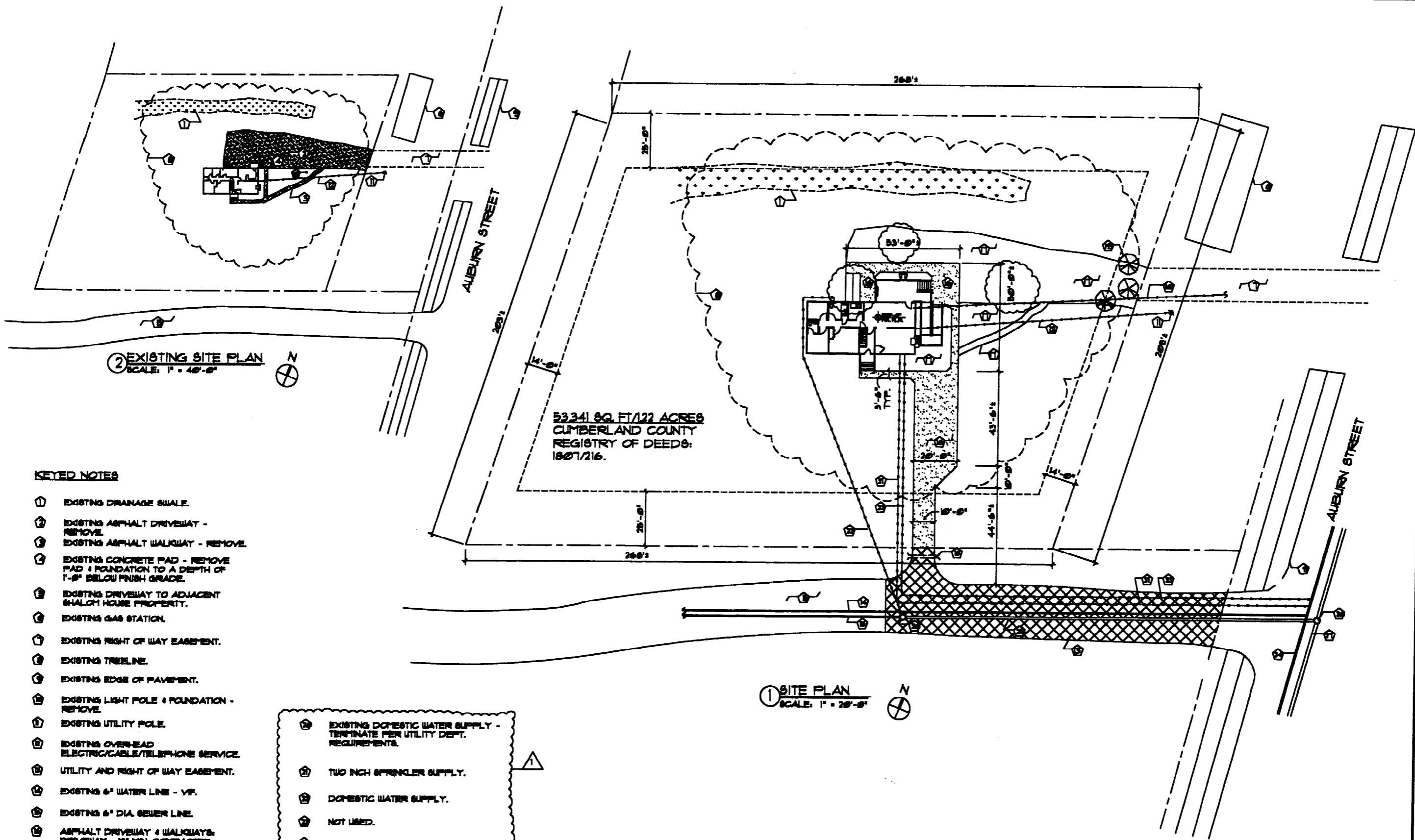
##### Occupant Notification (Section 22.2.3.4.2)

Yes, automatic audible and visible occupant notification per Section 9.6.3.

##### Smoke Alarms (Section 22.2.3.4.3)

Yes, in each sleeping room. Per 32.2.3.4.3.1 Exception: Smoke alarms shall not be required in buildings protected throughout by an approved automatic sprinkler system in accordance with 32.2.3.5."

Issue Date: April 1, 2002  
Revision No. 1: June 10, 2002  
Revision No. 2: June 17, 2002



② EXISTING SITE PLAN  
SCALE: 1" = 40'-0"

① SITE PLAN  
SCALE: 1" = 20'-0"

53,341 SQ. FT./122 ACRES  
CUMBERLAND COUNTY  
REGISTRY OF DEEDS:  
1807/216.

**KEYED NOTES**

- ① EXISTING DRAINAGE SWALE.
- ② EXISTING ASPHALT DRIVEWAY - REMOVE.
- ③ EXISTING ASPHALT WALKWAY - REMOVE.
- ④ EXISTING CONCRETE PAD - REMOVE PAD & FOUNDATION TO A DEPTH OF 1'-0" BELOW FINISH GRADE.
- ⑤ EXISTING DRIVEWAY TO ADJACENT SHALOM HOUSE PROPERTY.
- ⑥ EXISTING GAS STATION.
- ⑦ EXISTING RIGHT OF WAY EASEMENT.
- ⑧ EXISTING TREELINE.
- ⑨ EXISTING EDGE OF PAVEMENT.
- ⑩ EXISTING LIGHT POLE & FOUNDATION - REMOVE.
- ⑪ EXISTING UTILITY POLE.
- ⑫ EXISTING OVER-HEAD ELECTRIC/CABLE/TELEPHONE SERVICE.
- ⑬ UTILITY AND RIGHT OF WAY EASEMENT.
- ⑭ EXISTING 6" WATER LINE - V.P.
- ⑮ EXISTING 6" DIA. SEWER LINE.
- ⑯ ASPHALT DRIVEWAY & WALKWAYS: DRIVEWAY - 18" MIN. COMPACTED SUBGRADE, 1 1/2" BASE COURSE BIT. CONC. 1 1/2" WEARING COURSE BIT. CONC. WALKWAYS - 12" COMPACTED SUBGRADE, 1" BASE COURSE, 1" WEARING COURSE.
- ⑰ LOAM AND SEED.
- ⑱ 12" DIA. CULVERT.
- ⑲ EVERGREEN TREES.

- ⑳ EXISTING DOMESTIC WATER SUPPLY - TERMINATE PER UTILITY DEPT. REQUIREMENTS.
- ㉑ TWO INCH SPRINKLER SUPPLY.
- ㉒ DOMESTIC WATER SUPPLY.
- ㉓ NOT USED.
- ㉔ EXISTING WATER MAIN.

- ㉕ NEW 12" DIA. SEWER.
- ㉖ NEW MAN HOLE (TYP. OF 2).
- ㉗ EXISTING SEWER MAIN.

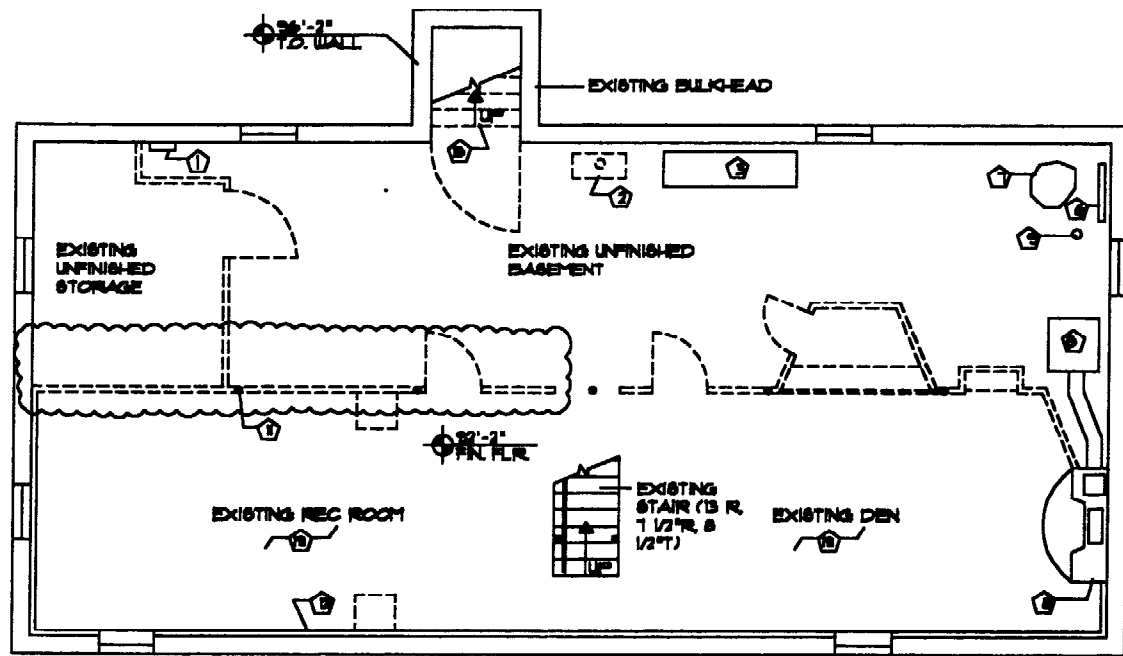
Client  
**SHALOM HOUSE, INC.**  
Post Office Box 268  
Portland, Maine 04112

Architect  
**ARCHETYPE, P.A. ARCHITECTS**  
41 Union Street, Portland, Maine 04108  
(603) 775-6822 Fax (603) 775-6826

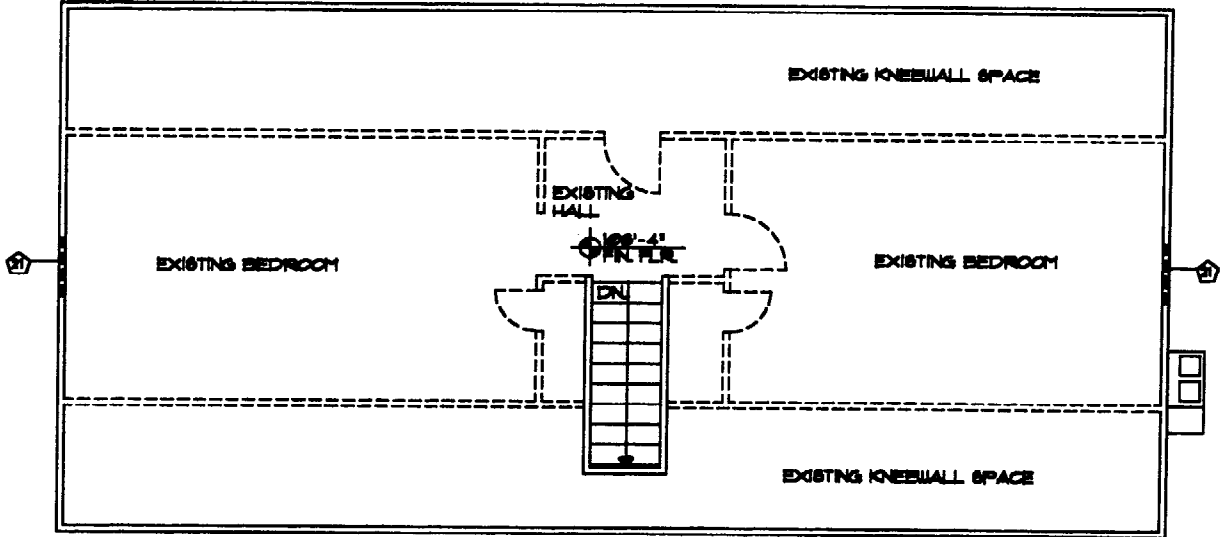
Project No. 1 - 2002  
As Noted  
Architect No. 1 - June 18, 2002  
Architect No. 1 - June 17, 2002

**SITE PLAN**  
Project: **SHALOM HOUSE**  
184 Auburn Street  
Portland, Maine

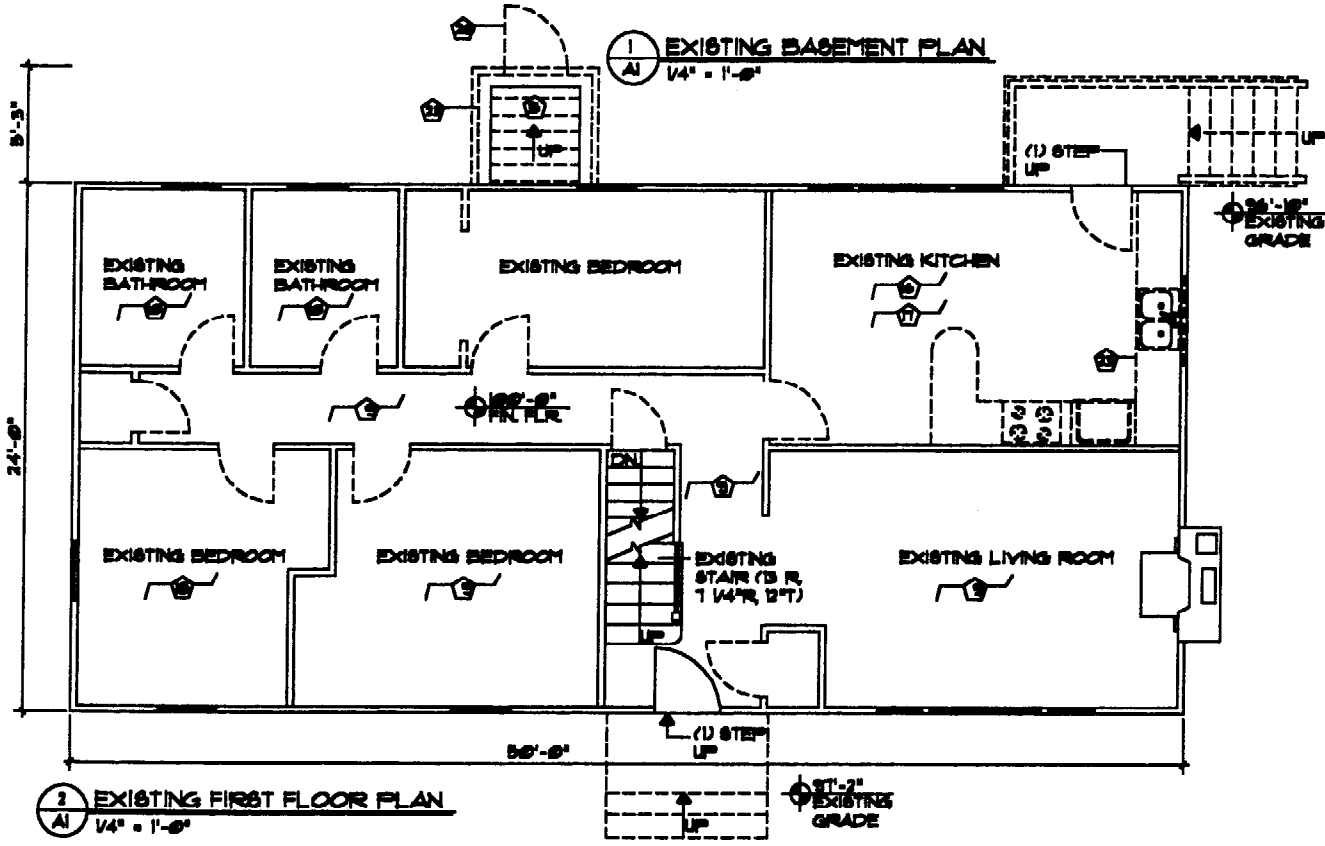
**A1**



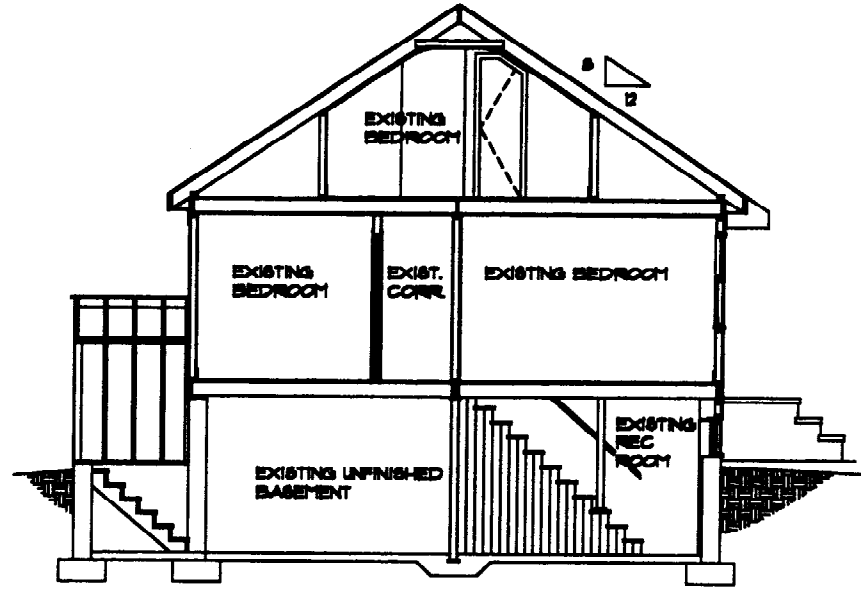
1 EXISTING BASEMENT PLAN  
AI 1/4" = 1'-0"



3 EXISTING ATTIC PLAN  
AI 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN  
AI 1/4" = 1'-0"



4 EXISTING BUILDING SECTION  
AI 1/4" = 1'-0"

**LEGEND**

- EXISTING WALLS & ITEMS TO BE REMOVED. -----
- EXISTING WALLS & ITEMS TO REMAIN. \_\_\_\_\_

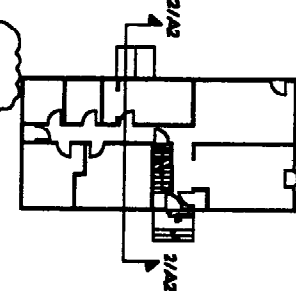
**GENERAL NOTES**

1. REMOVE ALL EXISTING LIGHT FIXTURES.

**KEYED NOTES**

- |  |   |                                 |   |                      |  |                       |  |                            |  |  |               |               |               |   |                          |                           |                                    |                                   |                                    |                                    |               |  |
|--|---|---------------------------------|---|----------------------|--|-----------------------|--|----------------------------|--|--|---------------|---------------|---------------|---|--------------------------|---------------------------|------------------------------------|-----------------------------------|------------------------------------|------------------------------------|---------------|--|
| 1. EXISTING WASTE LINE EXIT FROM BUILDING TO REMAIN. | 2. EXISTING UTILITY SINK TO BE REMOVED. | 3. EXISTING OIL TANK TO REMAIN. | 4. EXISTING DOMESTIC WATER ENTRY TO REMAIN. | 5. EXISTING FURNACE. | 6. EXISTING ELECTRICAL SERVICE ENTRY & MAIN PANEL. | 7. EXISTING SUMP PIT. | 8. EXISTING BRICK FIREPLACE-HEARTH TOP REMAIN. | 9. REMOVE EXISTING CARPET. | 10. DEMO BATHROOM TO THE STUDS, REMOVE EXISTING FINISH FLOORING. | 11. EXISTING 4" DIA. STEEL PIPE COLUMN (TOP OF B) TO REMAIN. | 12. NOT USED. | 13. NOT USED. | 14. NOT USED. | 15. EXISTING BULKHEAD STAIRS TO BE REMOVED. | 16. REMOVE EXISTING VCT. | 17. REMOVE WOOD WAINSCOT. | 18. REMOVE KNOTTY PINE PANNELLING. | 19. REMOVE ACOUSTIC TILE CEILING. | 20. REMOVE EXISTING BULKHEAD DOOR. | 21. REMOVE EXISTING ATTIC WINDOWS. | 22. NOT USED. | 23. EXISTING CABINETS & APPLIANCES - REMOVE. |
|--|---|---------------------------------|---|----------------------|--|-----------------------|--|----------------------------|--|--|---------------|---------------|---------------|---|--------------------------|---------------------------|------------------------------------|-----------------------------------|------------------------------------|------------------------------------|---------------|--|

EXISTING BULKHEAD ENCLOSURE - REMOVE.



KEY PLAN  
NO SCALE

SHALOM HOUSE, INC.  
Portland, Maine 04115

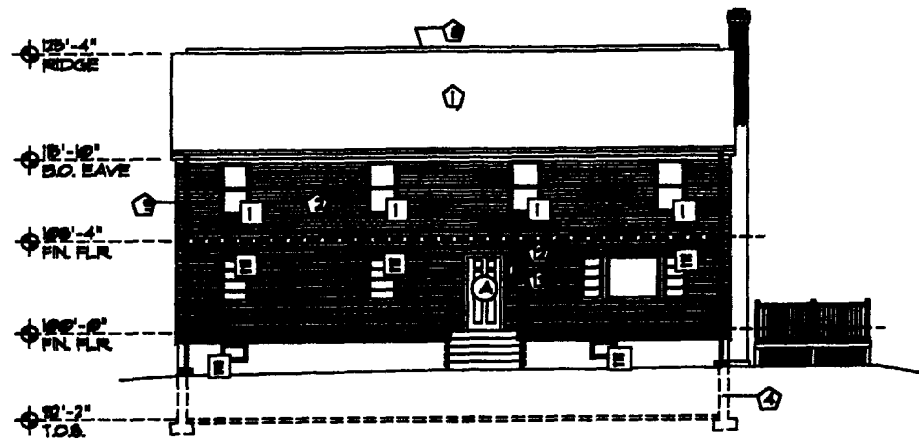
ARCHETYPE, P.A.  
ARCHITECTS  
Portland, Maine 04115

April 1, 2003  
Revision No. 1 - June 18, 2002

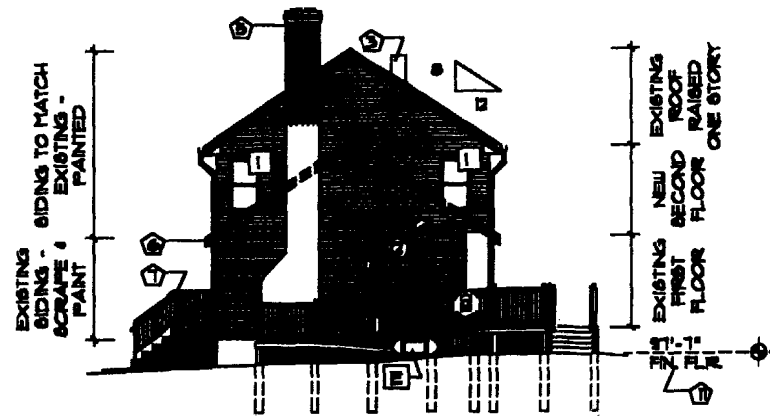
EXISTING PLANS, BUILDING SECTION  
SHALOM HOUSE  
184 Auburn Street  
Portland, Maine

A2

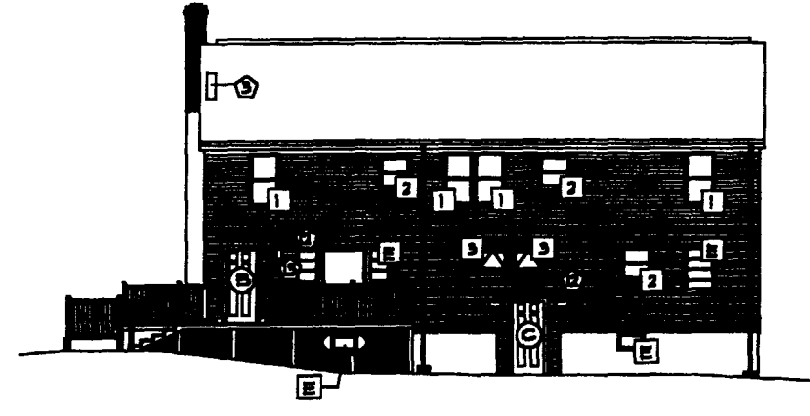




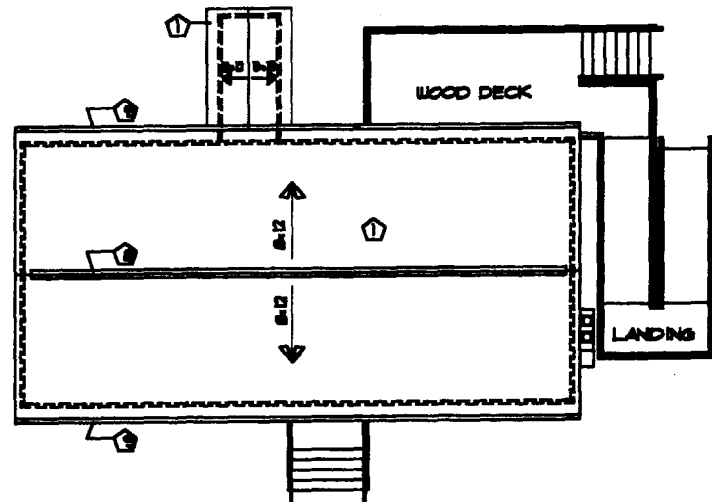
1 FRONT (SOUTH) ELEVATION  
A4 1/8" = 1'-0"



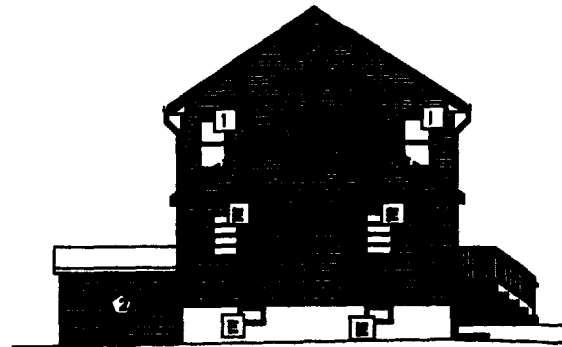
2 FRONT (EAST) ELEVATION  
A4 1/8" = 1'-0"



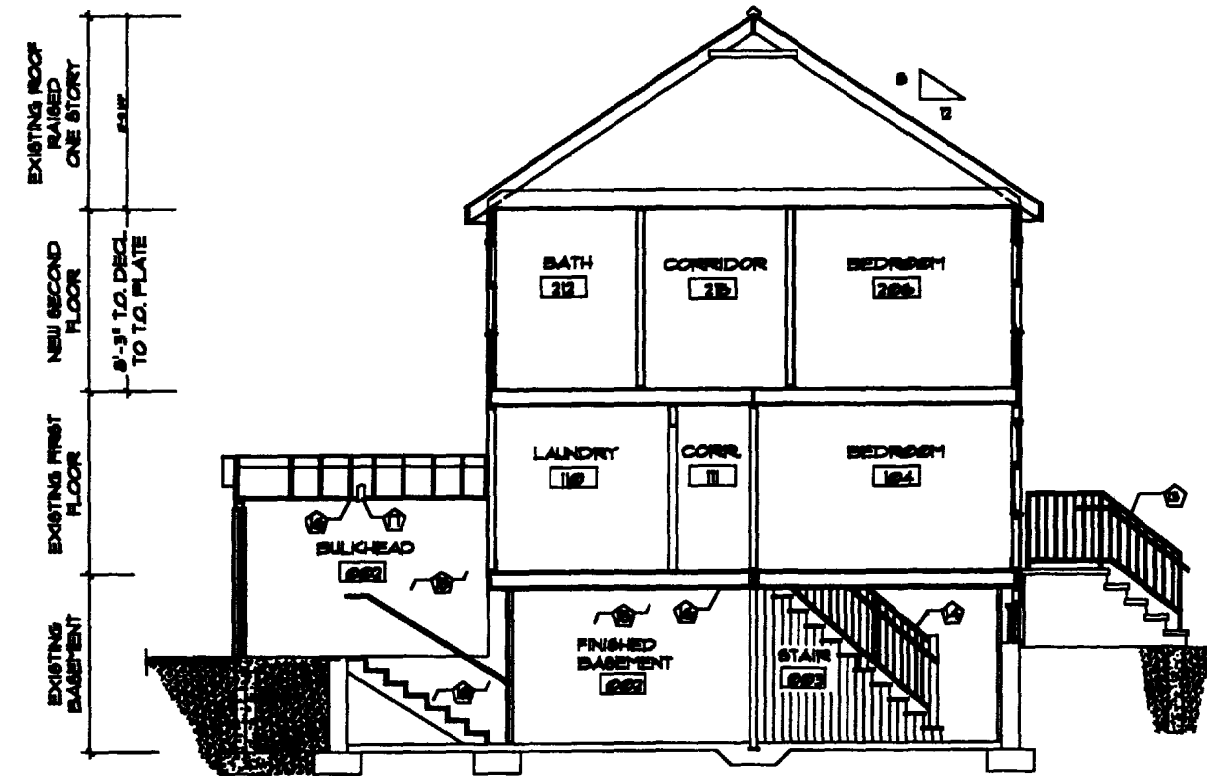
3 FRONT (REAR) ELEVATION  
A4 1/8" = 1'-0"



4 ROOF PLAN  
A4 1/8" = 1'-0"



5 SIDE (WEST) ELEVATION  
A4 1/8" = 1'-0"



6 BUILDING SECTION  
A4 1/4" = 1'-0"

**LEGEND**

- E EXISTING WINDOW TO REMAIN.
- 1 DOUBLE HUNG CLAD WINDOW WITH INSULATED GLASS AND INSECT SCREEN. PEACHFREE DT3684 OR EQUIVALENT. SILL AT 2'-6" AFF.
- 2 3'-0" x 2'-0" DOUBLE HUNG CLAD WINDOW WITH INSULATED GLASS AND INSECT SCREEN. SILL AT 4'-2" AFF.
- 3 2'-4" x 3'-2" ALIING CLAD WINDOW WITH INSULATED GLASS AND INSECT SCREEN. SILL AT 4'-10" AFF.
- A 3'-0" x 6'-0" INSULATED METAL DOOR WITH ALUMINUM COMBINATION STORMSCREEN.
- B 3'-0" x 6'-0" INSULATED METAL DOOR WITH ALUMINUM COMBINATION STORMSCREEN.
- C 3'-0" x 6'-0" INSULATED METAL DOOR.

**KEYED NOTES**

- 1 ASPHALT SHINGLES (TYP.)
- 2 VINYL SIDING (TYP.)
- 3 RANGE HOOD EXHAUST.
- 4 EXISTING BASEMENT SHOWN DASHED.
- 5 EXTEND EXISTING BRICK CHIMNEY.
- 6 DASHED LINE INDICATES EXISTING ROOFLINE.
- 7 WOOD STEPS WITH 42" HIGH GUARDRAILS AND 34" HANDRAILS EACH SIDE.
- 8 RIDGE VENT.
- 9 ALUMINUM GUTTER/DOWNSPOUT SYSTEM - TERMINATE DOWNSPOUT AT FLASHBLOCKS (TYP.)
- 10 EXISTING ELECTRIC SERVICE TO REMAIN.
- 11 FINISH GRADE AT BASE OF RAMP/STAIR.
- 12 LIGHT FIXTURE.
- 13 DOORBELL.
- 14 EXISTING STAIRS - PROVIDE 42" GUARDRAILS AND 34" HANDRAILS EACH SIDE. PROVIDE NON-SLIP TREAD COVERING.
- 15 G.B. - FTD.
- 16 STRAP & GYP. CEILING - FTD.
- 17 LIGHT FIXTURE.
- 18 EXISTING CONCRETE - FTD.

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Project No. 147-1-07  
Architect No. 1 - June 18, 2002  
April 1, 2002

ROOF PLAN, EXTERIOR  
ELEVATIONS, BLDG. SECT.  
SHEALOM HOUSE  
184 Auburn Street  
Portland, Maine

A4