

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

PERMIT ISSUED

BUILDING PERMIT

MAR 18 2011

This is to certify that MICHAELJ MURPHY

Located At 1771 WASHINGTON

Job ID: 2011-01-326-SF

CBL: 372 - - A - 005 - 001 - - - -

City of Portland

has permission to Renew of permit# 100854 NEW SFH

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer



Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CAR**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

PERMIT ISSUED

Job No: 2011-01-326-SF	Date Applied: 1/24/2011	CBL: 372 - - A - 005 - 001 - - - - -	MAR 18 2011 City of Portland	
Location of Construction: 1771 WASHINGTON (1777 Washington Ave. - new address)	Owner Name: MICHAEL J MURPHY	Owner Address: 25 Crescent Avenue Windham, ME - 04062	Phone: 749-3099	
Business Name:	Contractor Name:	Contractor Address:	Phone:	
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3	
Past Use: Barn on land split from 1771 Washington Avenue.	Proposed Use: Add on to existing barn to create a new single family home - extend permit #10-0854.	Cost of Work: 30.00	CEO District:	
		Fire Dept: N/A	Inspection: Use Group: R-3 Type: SB IIRC 09	
		Signature: 	Signature: 	
Proposed Project Description: 1771 Washington Ave - existing barn to SFH		Pedestrian Activities District (P.A.D.)		
Permit Taken By:		Zoning Approval		

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in Dist or Landmark
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: 1/26/11 Michael Murphy	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1771 WASHINGTON AVE</u>		
Total Square Footage of Proposed Structure/Area <u>1400 SQ FT</u>	Square Footage of Lot <u>13,000 SQ FT</u>	Number of Stories <u>1 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>372</u> Block# <u>A005</u> Lot# <u>001</u>	Applicant * must be owner, Lessee or Buyer* Name <u>MICHAEL MURPHY</u> Address <u>25 CRESCENT AVE</u> City, State & Zip <u>WINDHAM ME 04062</u>	Telephone: <u>749-3099</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>1505-1705</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>GARAGE</u> Number of Residential Units <u>0</u> If vacant, what was the previous use? <u>GARAGE / BARN</u> Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>EXTENSION OF PERMIT 10-0854</u>		
Contractor's name: <u>CHECKING ON A NEW CONTRACTOR</u> Address: <u>25 CRESCENT AVE</u> City, State & Zip <u>WINDHAM ME 04062</u> Telephone: <u>749-3099</u> Who should we contact when the permit is ready: <u>MICHAEL MURPHY</u> Telephone: _____ Mailing address: <u>SAME</u>		

RECEIVED
JAN 24 2011
Dept. of Building Inspections
City of Portland Maine

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Michael Murphy Date: 1/24/2011

This is not a permit; you may not commence ANY work until the permit is issued

PERMIT ISSUED

MAR 18 2011

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

City of Portland

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

All conditions of approval and required inspections issued and approved under permit number 10-0854 are applicable to this permit. This permit only renews permit # 10-0854.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

PERMIT ISSUED

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-01-326-SF

Located At: 1771 WASHINGTON

CBL: 372 - - A - 005 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of the plans submitted and approved under the original building permit #10-0854. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. Separate permits shall be required for future decks, sheds, pools, and/or garages.

DRC

This approval is based on the original site plan (#2010-0018) approval connected to permit #10-0854. All conditions under the original permit and siteplan still apply.

372-A-25
1777 Washington

Job Summary Report
Job ID: 2011-01-326-SF

Report generated on Jan 25, 2011 8:57:18 AM

Job Type: Single Family **Job Description:** 1771 Washington Ave Vacant Land to SFH **Job Year:** 2011
Building Job Status Code: In Review **Pin Value:** 530 **Tenant Name:**
Job Application Date: **Public Building Flag:** N **Tenant Number:**
Estimated Value: 30 **Square Footage:**
Related Parties: MICHAEL MURPHY *Property Owner*

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
----------------------	---------------	--------------------------	-------------------	--------------	----------------	----------------	---------------------------	--------------------	---------------------

Location ID: 38158

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
M76420	372 A 005 001		M				-70.297528	43.710747

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				1771 WASHINGTON AVENUE NORTH

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
SINGLE FAMILY		NOT APPLICABLE					DISTRICT 8	NORTH DEERING

Structure Details

Structure: Vacant Land

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Single Family	0			1771 WASHINGTON AVENUE NORTH

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference
-----------	----------	-------	-------	-------	---------------

User Defined Property	Value
Garages	Attached
Number of Bathtubs and Showers	0
Number of Bathtubs and Showers	1
Number of Bathtubs and Showers	2
Number of Bedrooms	2
Number of Bedrooms	3
Past Use	Single Family Home

Job Summary Report
Job ID: 2011-01-326-SF

Report generated on Jan 25, 2011 8:57:18 AM

User Defined Property	Value
Past Use	Vacant Land

Permit #: BLDG-917

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
38158	Vacant Land	Initialized	Renew of permit# 100854 NEW SFH			

Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details

Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Fees	\$30.00							

TO: Tammy Munson
FROM: Michael & Pamela Murphy
DATE: January 14, 2011
SUBJECT: Request for Permit Extension

We are requesting a 6 month extension on our Permit #100854 at 1771 Washington Ave. (372-A005001) issued 08/06/2010.

The reasons we have not made progress on the residence are several:

The closing on our house was on August 20. Nothing could be started until after that date as the lot split and sale had to occur at the same time. We were required to obtain a permit before we could sell our home.

My mother-in-law had a fall in September at Gorham House and consequently had other falls and began needing more help from us. She regressed and eventually passed away 12/10/2010

Pamela has been suffering with pain in her hips for several years and was diagnosed with osteoarthritis. It was determined in October that total hip replacements should be scheduled. As of this date, one hip has been replaced. Her recovery is at home and I am her main support, other than visiting nurses and physical therapists. Several months of downtime will be required after the second surgery.

We have decided to find a new builder for this project and need to get new estimates.

Truly, it has been bedlam in our household since the sale of our house the end of August with moving out after 38 years; then moving into a new place with the work that goes along with that. We also had the holidays in November and December. Because of the time of year and weather conditions there is no way we can get a footing in until spring.

If given the 6 months requested, I am sure substantial progress can be accomplished by August. Thank you for your consideration.

Mike & Pam Murphy
25 Crescent Ave.
Windham Me 04062
Cell (207) 749-3099

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 100854

Please Read
Application And
Notes, if Any,
Attached

This is to certify that MURPHY MICHAEL J & PAMELA JTS/Morin Construction / Ken

has permission to Build new (1) Bath & (1) ¾ Bath 3 Bedroom Single Family Home attached to Barn/Garage

AT 1771 WASHINGTON AVE CBL 372 A005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

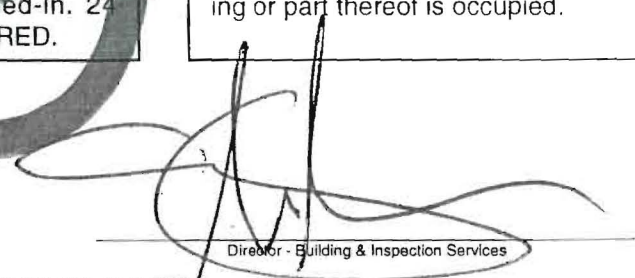
Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name



Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0854	Issue Date: 08/06/2010	CBL: 372 A005001
-----------------------	---------------------------	---------------------

Location of Construction: 1771 WASHINGTON AVE	Owner Name: MURPHY MICHAEL J & PAMEL	Owner Address: 1771 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Morin Construction / Ken Morin	Contractor Address: 139 Wythburn Road South Portland	Phone 2078312142
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone:

Past Use: Vacant Land w/ existing barn split off from existing single family lot	Proposed Use: Single Family Home - Build new (1) Bath & (1) ¼ Bath 3 Bedroom Single Family Home attached to Barn/Garage	Permit Fee: \$1,845.00	Cost of Work: \$175,000.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	

Proposed Project Description:
Build new (1) Bath & (1) ¼ Bath 3 Bedroom Single Family Home attached to Barn/Garage

Signature: _____
Signature: _____
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 07/19/2010	Zoning Approval		
-----------------------------	---------------------------------	------------------------	--	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
---	---	---	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0854	Date Applied For: 07/19/2010	CBL: 372 A005001
-----------------------	---------------------------------	---------------------

Location of Construction: 1771 WASHINGTON AVE	Owner Name: MURPHY MICHAEL J & PAMEL	Owner Address: 1771 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Morin Construction / Ken Morin	Contractor Address: 139 Wythburn Road South Portland	Phone (207) 831-2142
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - Build new (1) Bath & (1) ¼ Bath 3 Bedroom Single Family Home attached to Barn/Garage	Proposed Project Description: Build new (1) Bath & (1) ¼ Bath 3 Bedroom Single Family Home attached to Barn/Garage
---	--

Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 07/30/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. This permit does not include a deck. 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 08/06/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) This permit approves the proposed construction of a single family home. Construction shall not begin until all of the items on the attached review list are submitted and approved. 			

Dept: DRC	Status: Approved with Conditions	Reviewer: Philip DiPierro	Approval Date: 08/05/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.) 2) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site. 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy. 4) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind. 5) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy. 6) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy. 7) The stormwater management system shall be installed as shown on the revised plan with a dry well, sump pump and two inch pipe. 8) The driveway width shall be 12 feet. 			

Dept: DRC	Status: Approved with Conditions	Reviewer: Barbara Barhydt	Approval Date: 08/05/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily. 			

Location of Construction: 1771 WASHINGTON AVE	Owner Name: MURPHY MICHAEL J & PAMEL	Owner Address: 1771 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Morin Construction / Ken Morin	Contractor Address: 139 Wythburn Road South Portland	Phone (207) 831-2142
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 4) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 6) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 7) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 8) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 9) The stormwater management system shall be installed as shown on the revised plan with a dry well, sump pump and two inch pipe.
- 10 The driveway width shall be 12 feet.

Comments:

7/26/2010-amachado: Spoke to Michael & Pamela Murphy. Need left elevation. Confirmed that no deck. He will initial plan. There are two parking spaces in the barn that he will show. Need to add drive way to Parcel B for existing house.

N/F HASHIMOTO & COVIELLO
15756/195

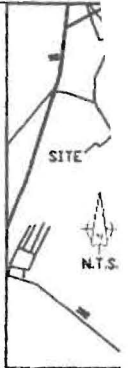
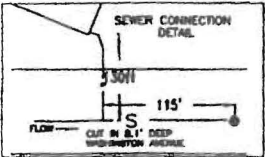
N 76°03'00" E

198.44'

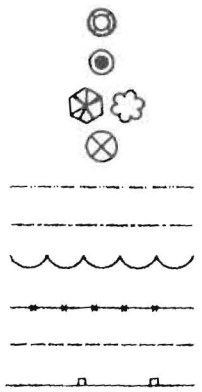
154

R-3 ZONE
DIMENSIONAL REQUIREMENTS

MIN. LOT SIZE	6,500sq.ft.
MIN. ROAD FRONTAGE	50'
MIN. LOT WIDTH	65'
BUILDING SETBACKS	
FRONT	25'
REAR	25'
SIDE (1-1 1/2 STORY)	8'
SIDE (2 STORY)	14'



VII
LEGEND



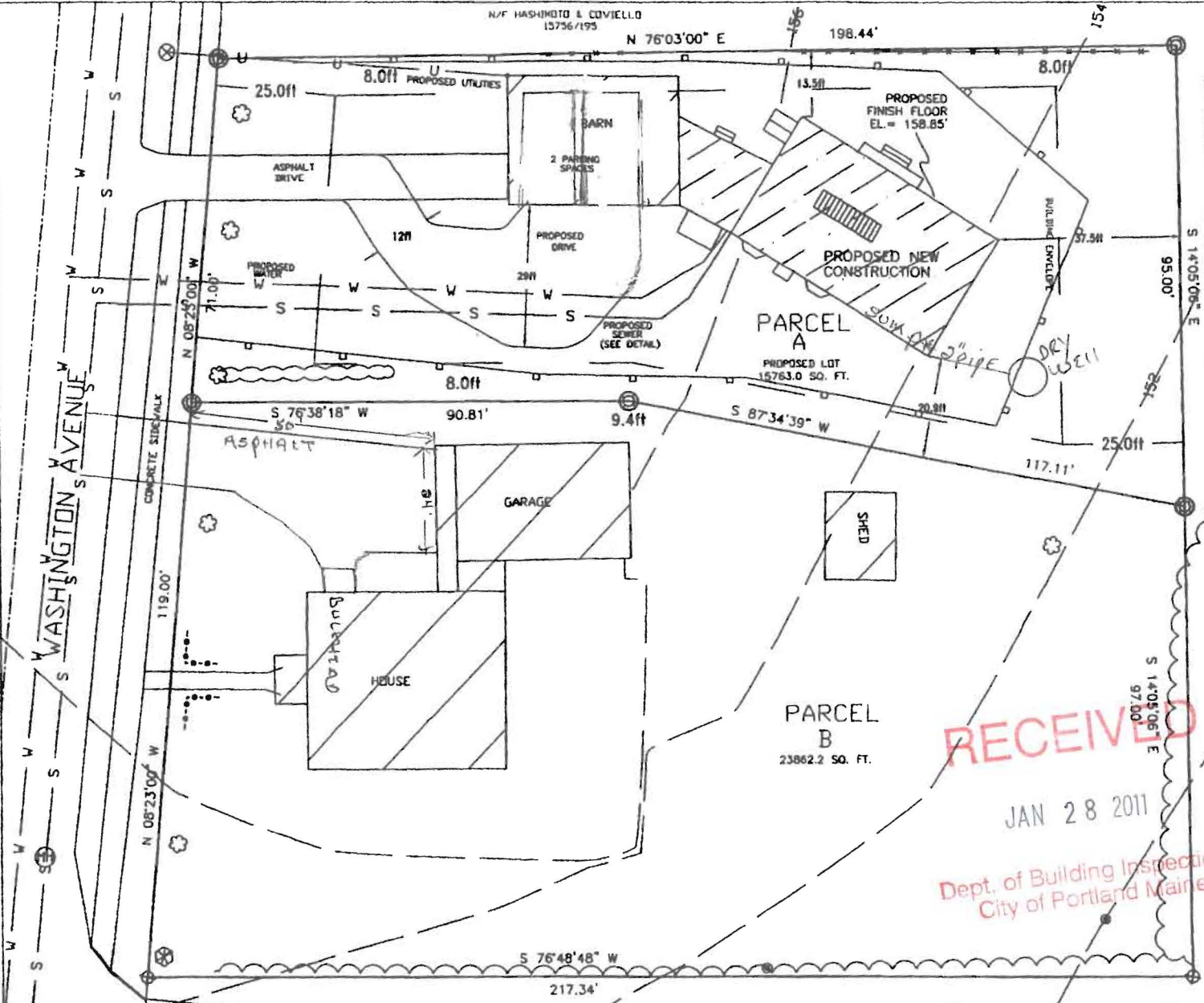
NOTES

- 1) Ownership of record is Michael J. Murphy and Pam recorded in Cumberland County Registry of Deeds lot 5.
- 2) The parcel is shown on City of Portland Assess lot 5.
- 3) Set corners are a 3/8" diameter iron rod (rebar) inscribed "CLAYTON PLS #2017".
- 4) Reference is made to 'QUAKER LANE RECORDING PL book 183, page 6 on December 6, 1989, prepared by DELUCA-HOFFMAN ASSOCIATES, INC.
- 5) All bearings shown are referenced to sold 'QUAK'
- 6) Contours shown are referenced to sold plan and
- 7) No deed research was performed as a result of

RECEIVED

JAN 28 2011

Dept. of Building Inspection
City of Portland Maine



QUAKER LANE (CONDOMINIUMS)

SCALE



1 INCH = 20 FEET

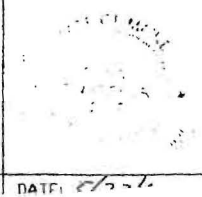
REVISIONS:	
correct spelling & add parcel labels	10/20/05
change scale for submittal, move shed	5/5/10
revise foundation, & utilities	5/26/10

This plan conforms to standards of practice set forth by the MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, in effect at this time.

SEAL

Don V. Clayton, Jr. PLS #2017

STAMP

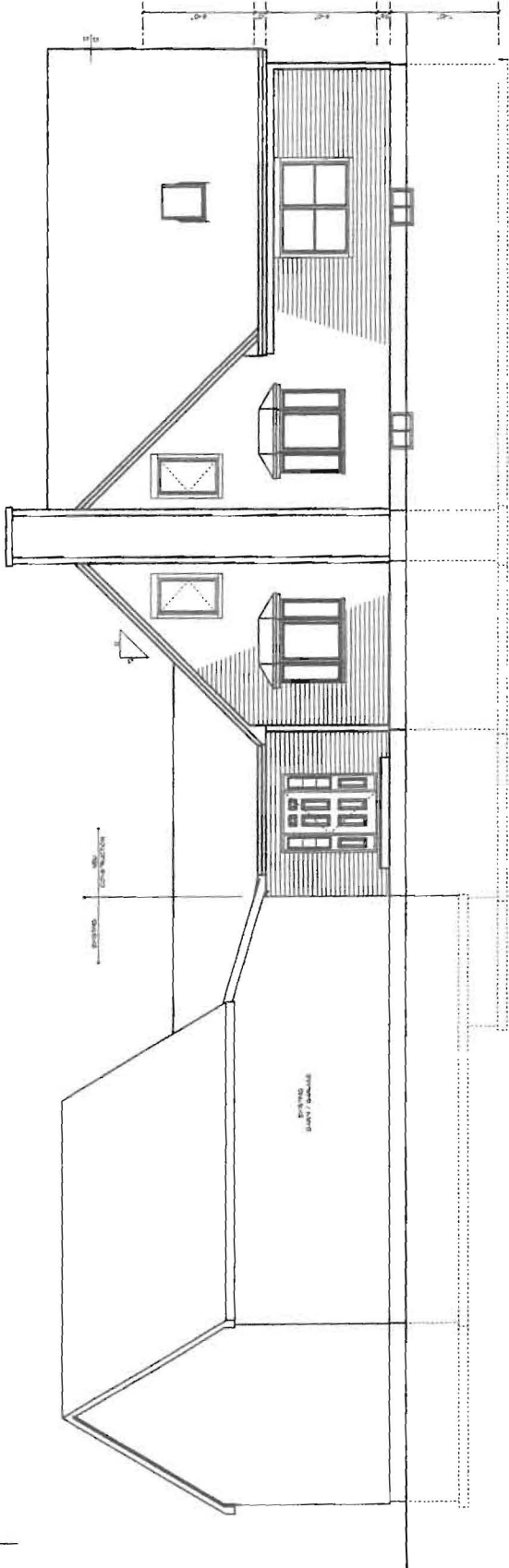


DATE: 5/26/10

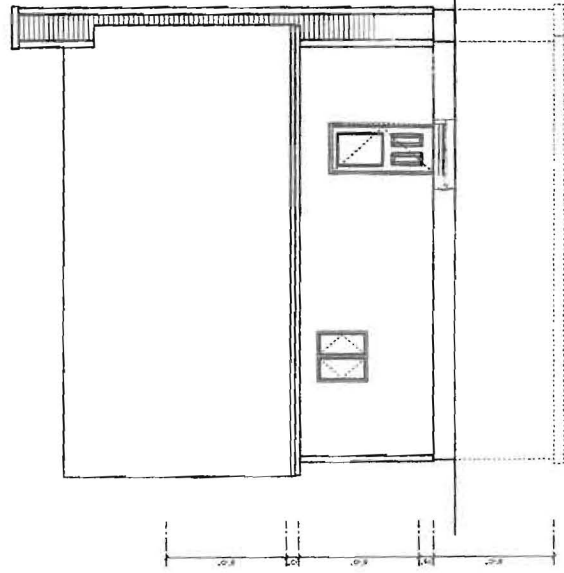
OPINION OF BOUND
PLAN OF LAND AND PROF
FOR MICHAEL & PAMELA

1771 WASHIN
CUMBERLAND COUNTY
JOB #01806 DATE: MAY 1
PREPARED BY
CLAYTON.

DESIGN FOR :	MKE & PAM MURPHY
DESIGN OF :	HOUSE ON WASHINGTON AVE
DATE :	
REVISED :	



FRONT ELEVATION
SCALE 1/8" = 1'-0"



LEFT ELEVATION
SCALE 1/8" = 1'-0"

RECEIVED

JAN 28 2011

Dept. of Building Inspections
City of Portland Maine



The large deck shown may be added at a later date, at which time, we will request a permit. Initially, we will have two or more steps to ground level with PT wood as in stair detail submitted.

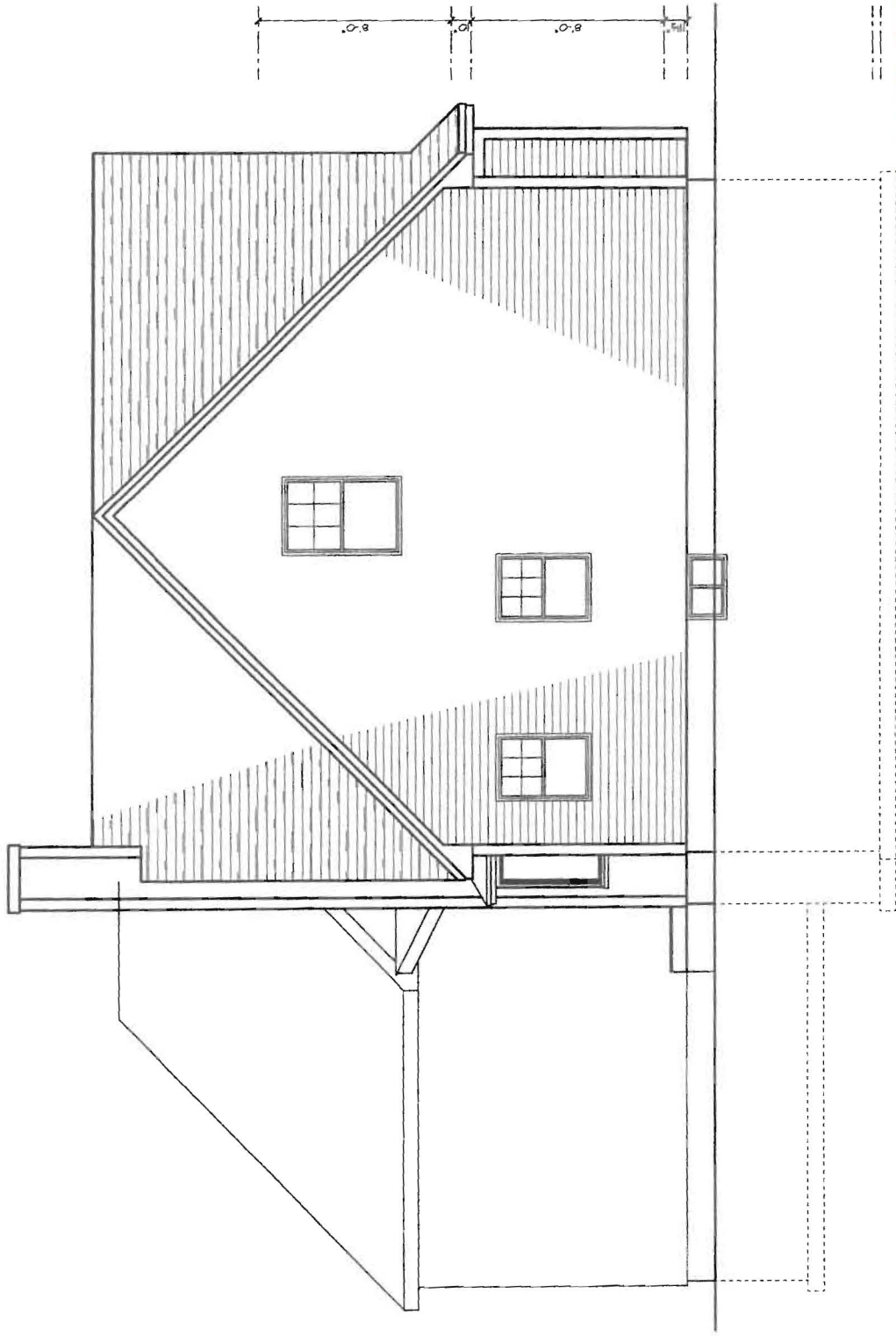
REAR ELEVATION
SCALE: 1/4" = 1'-0"

DESIGN FOR:	HOUSE ON WASHINGTON AVE
DESIGNER:	MIKE & PAM MURPHY
DATE:	
REVISED:	

RECEIVED

JAN 28 2011

Dept. of Building Inspections
City of Portland Maine



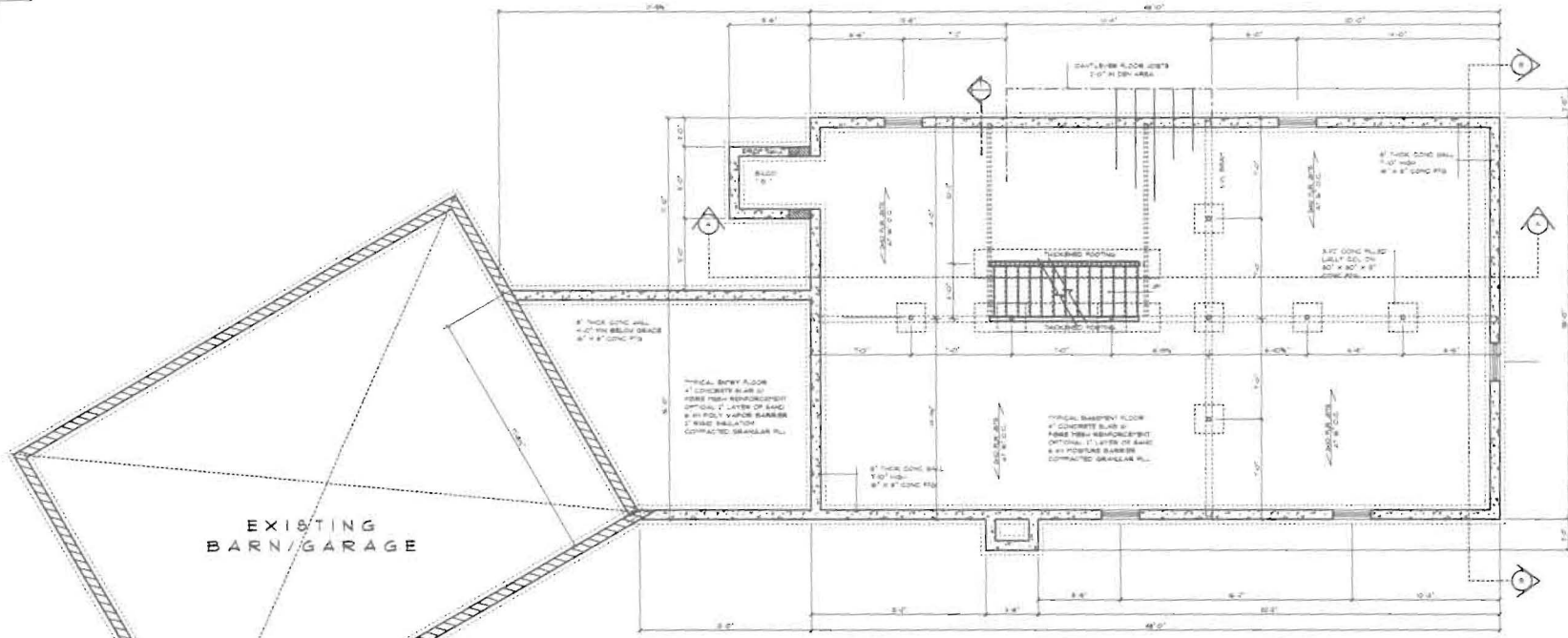
RECEIVED

JAN 28 2011

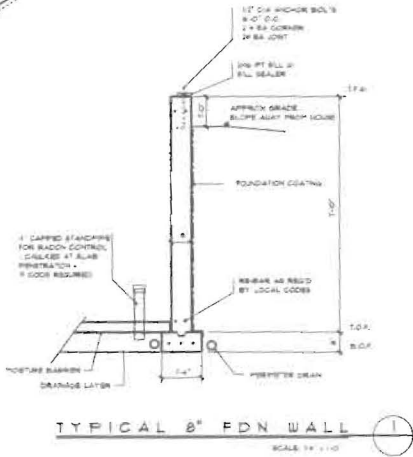
R I G H T E L E V A T I O N

SCALE: 1/4" = 1'-0"

Dept. of Building Inspections
City of Portland Maine



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



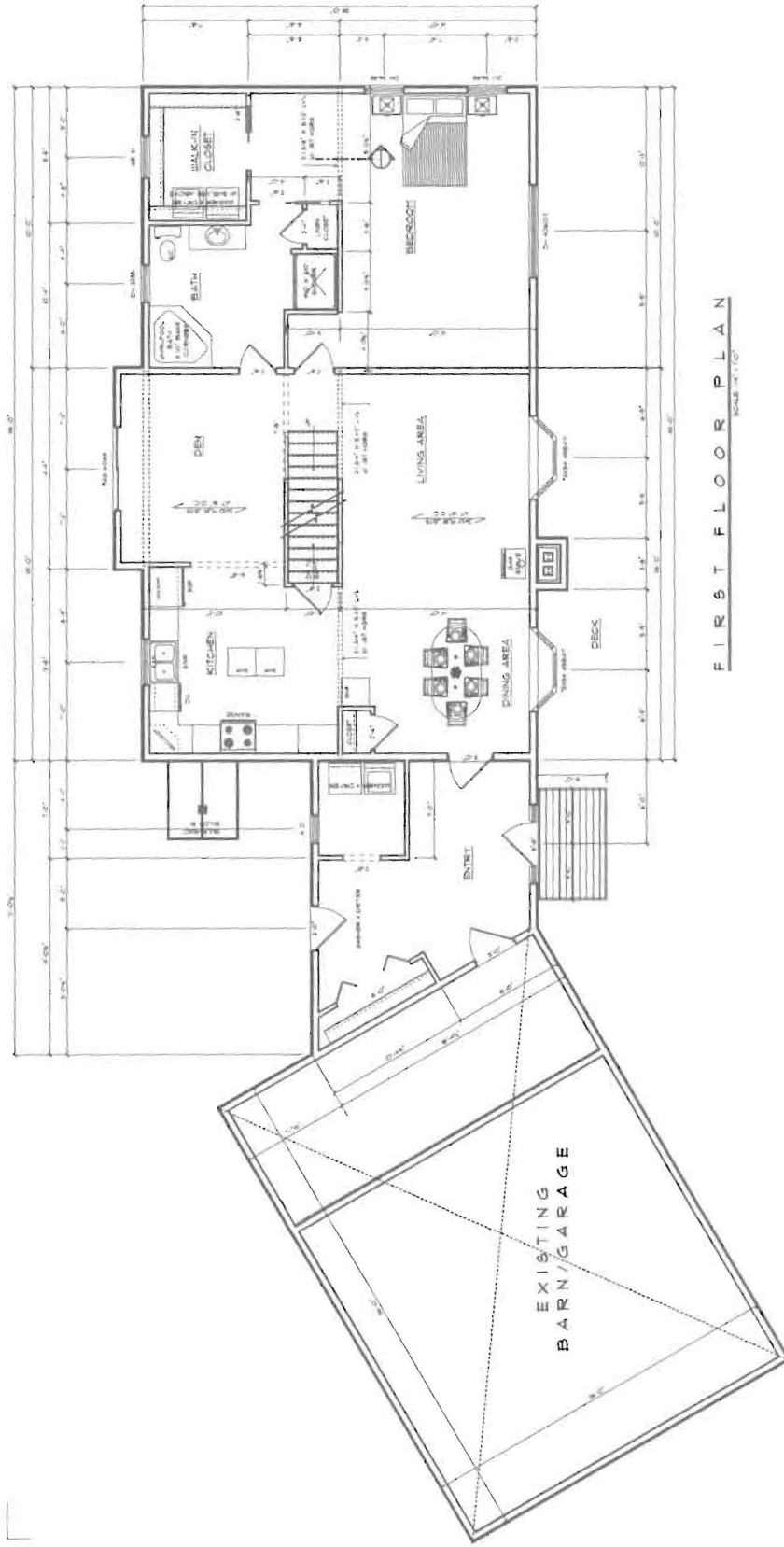
TYPICAL 8" FDN WALL
SCALE: 1/4" = 1'-0"

RECEIVED

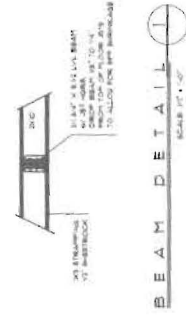
JAN 28 2011

Dept. of Building Inspections
City of Portland Maine

DESIGN OF:	HOUSE ON WASHINGTON AVE
DESIGN FOR:	MIKE & PAM MURPHY
DATE:	
REVISED:	



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



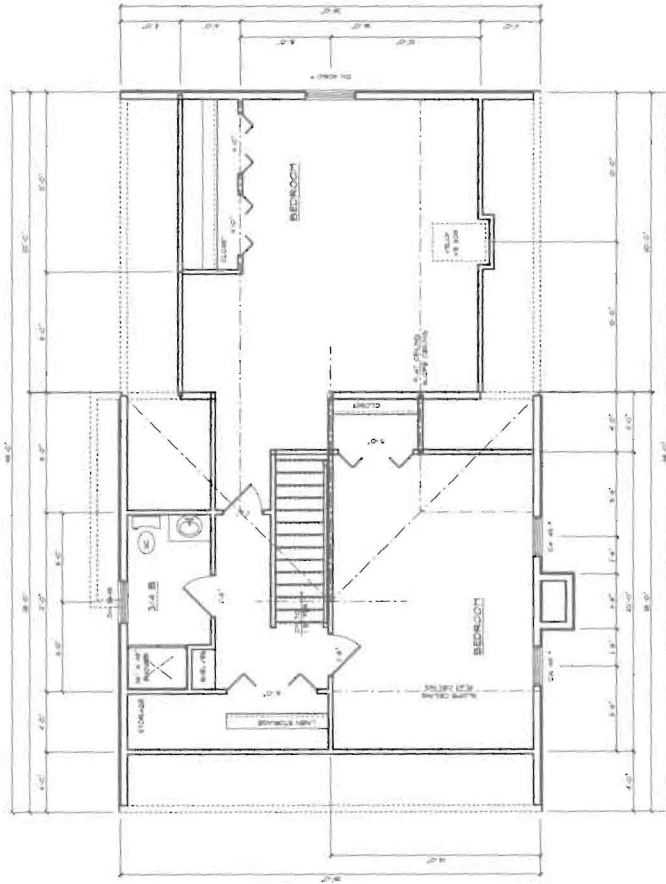
BEAM DETAIL
SCALE: 1/4" = 1'-0"

DESIGN FOR:	MCM & TAM CURRY
DESIGN OF:	HOUSE ON WASHINGTON AVE
DATE:	
REVISED:	

RECEIVED

JAN 28 2011

Dept. of Building Inspections
City of Portland Maine



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

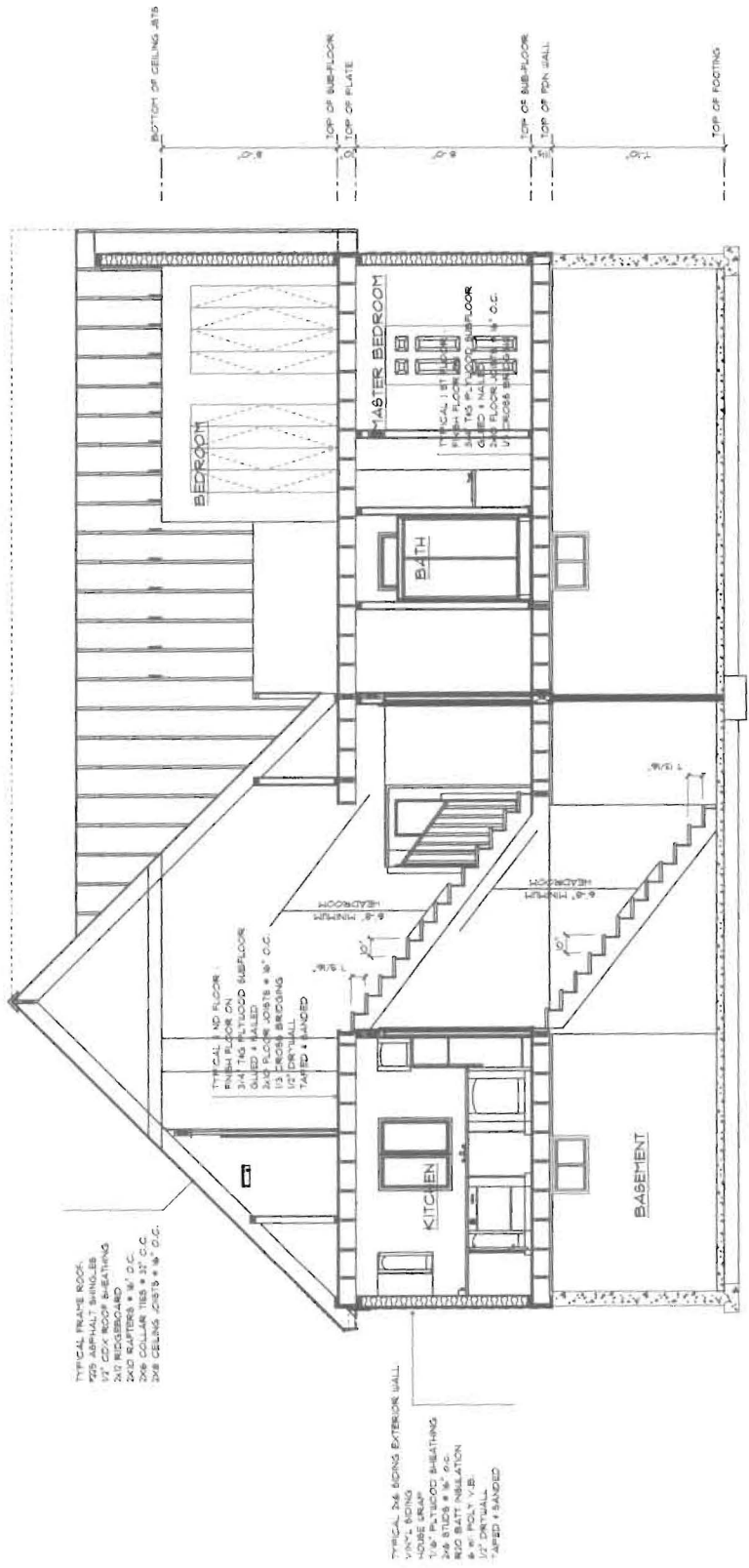
RECEIVED

JAN 28 2011

Dept. of Building Inspections
City of Portland Maine

	DESIGN FOR TKM & PAJ TURPIY	DATE REVISED	HOUSE ON WASHINGTON AVE
--	---	-----------------	----------------------------

DESIGN FOR	DATE
TKM & TAM MURPHY	RECEIVED
DESIGN OF	
HOUSE ON	
WASHINGTON AVE	

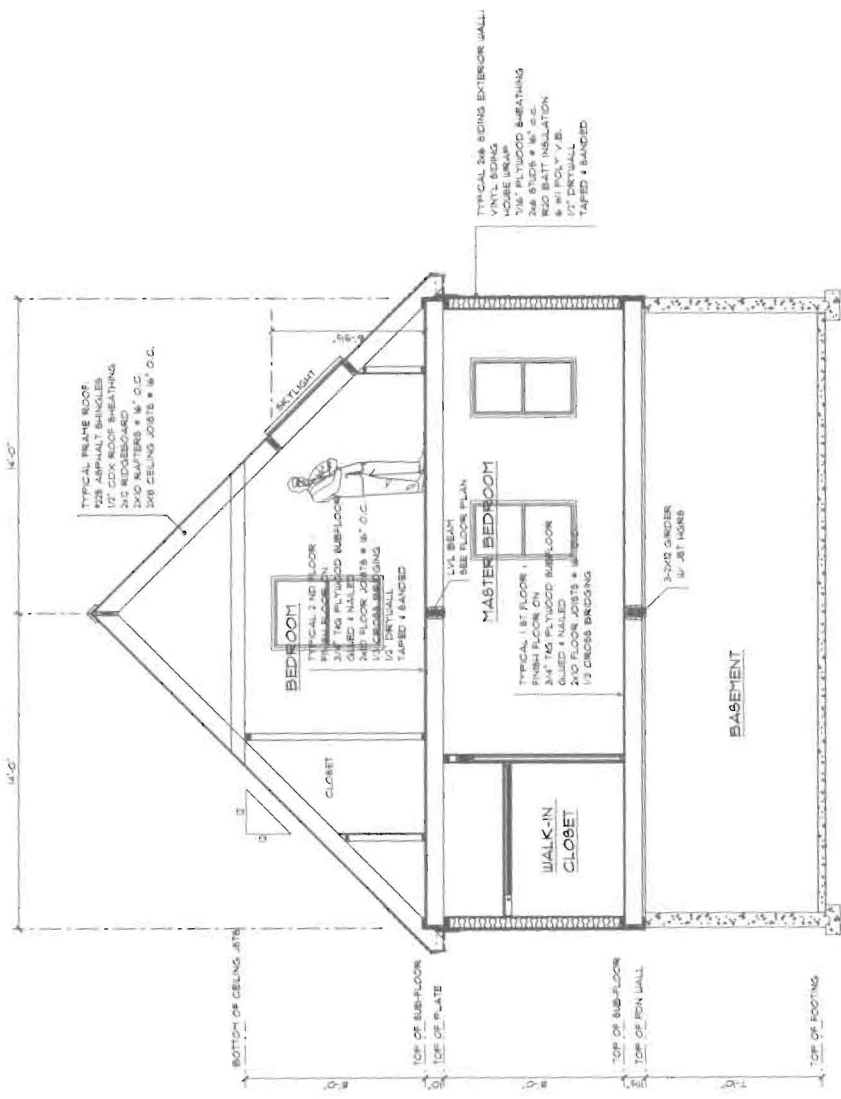


RECEIVED

JAN 28 2011

Dept. of Building Inspections
City of Portland Maine

DESIGN FOR	MCM & PAM MURPHY
DESIGN OF	HOUSE ON WASHINGTON AVE
DATE	
REVISION	

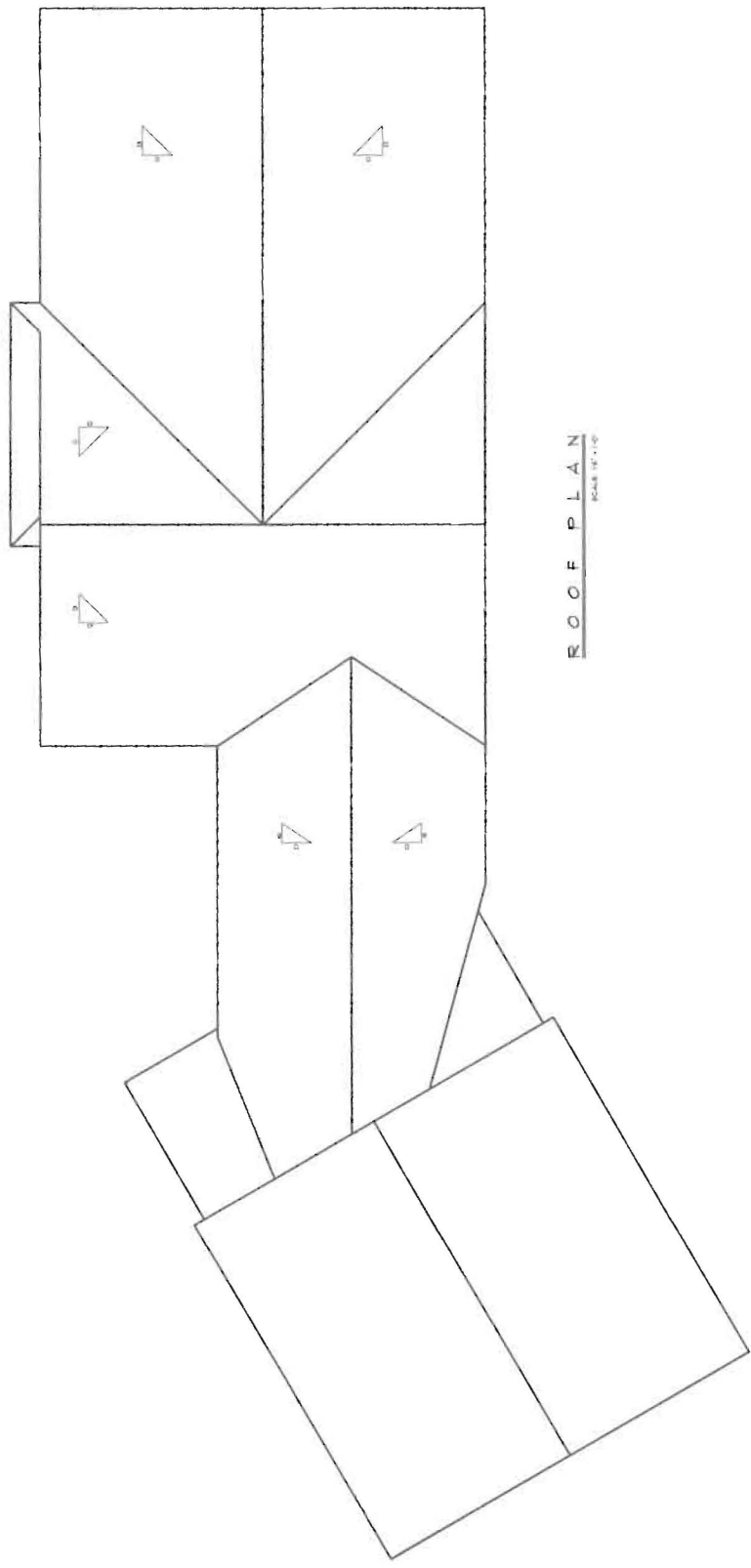


RECEIVED

JAN 28 2011

Dept. of Building Inspections
City of Portland Maine

DESIGN FOR MCM & TAM MURPHY	DATE	
	REVISION	
DESIGN OF HOUSE ON WASHINGTON AVE		



R O O F P L A N
Scale 1/8" = 1'-0"



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

1-24 20 11

Received from

Michael Murphy

Location of Work

177 W. 26th Ave

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 30

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

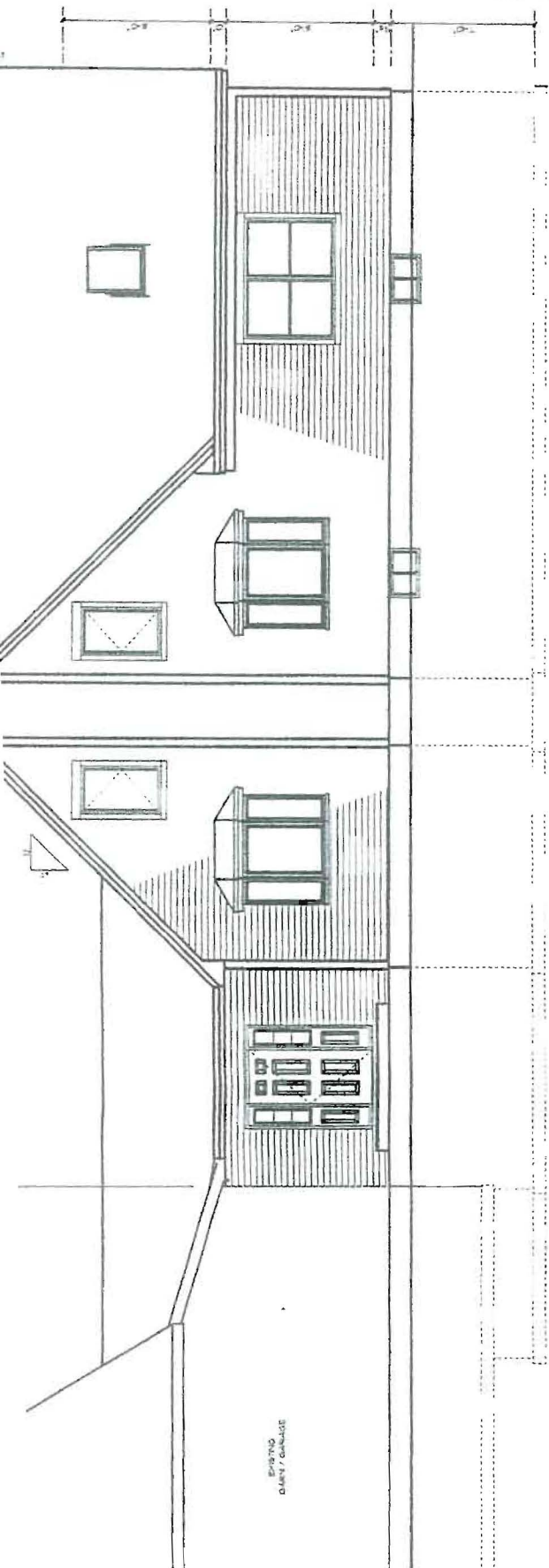
Check #: _____ Total Collected \$ 30

**No work is to be started until permit issued.
Please keep original receipt for your records.**

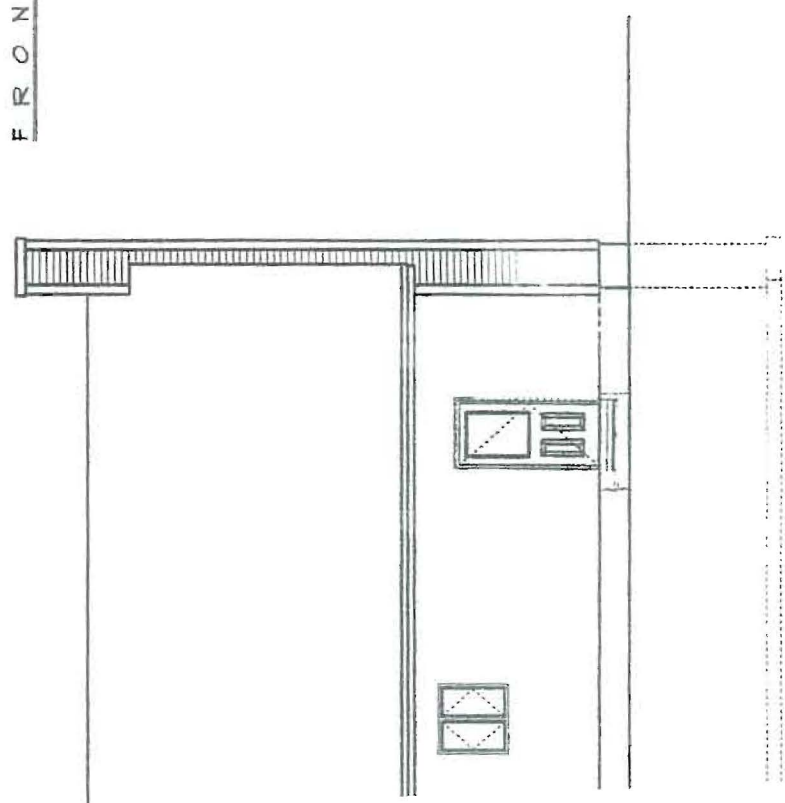
Taken by: _____

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

DESIGN FOR: MIKE & PAUL MURPHY	DATE:
	REVISED:
DESIGN OF: HOUSE ON WASHINGTON AVE	



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



RECEIVED

JAN 28 2011

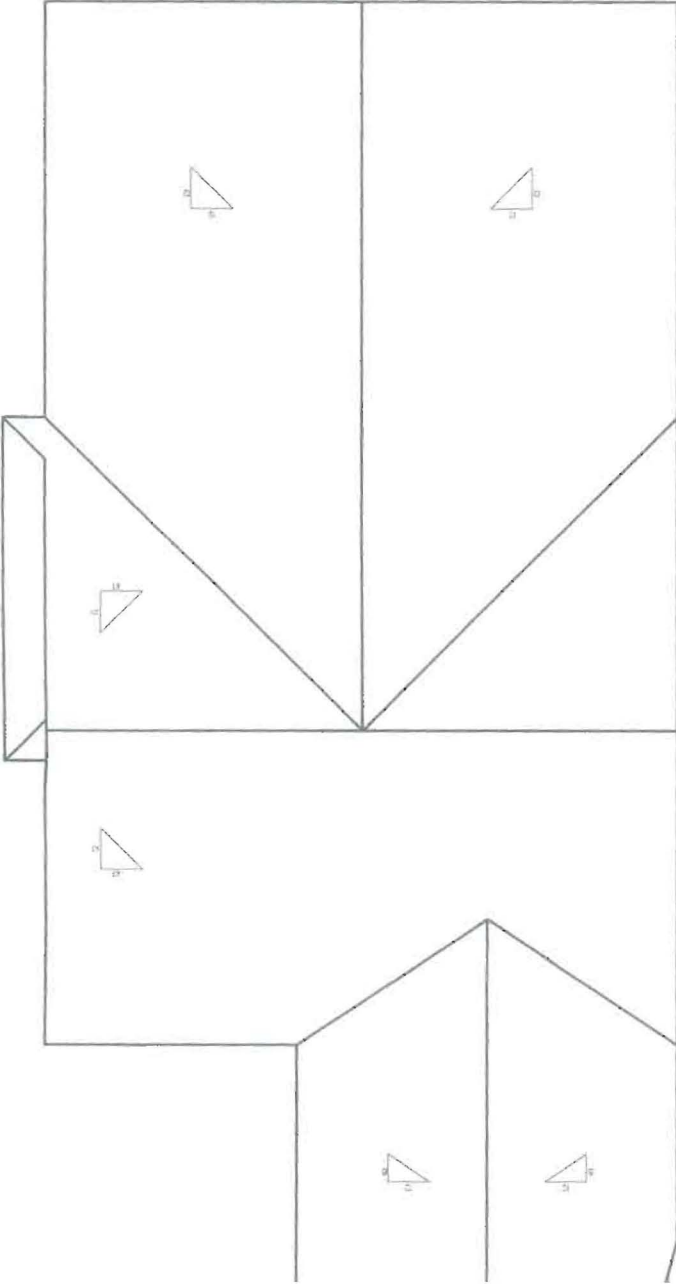
VATION
SCALE: 1/8" = 1'-0"

RECEIVED

JAN 28 2011

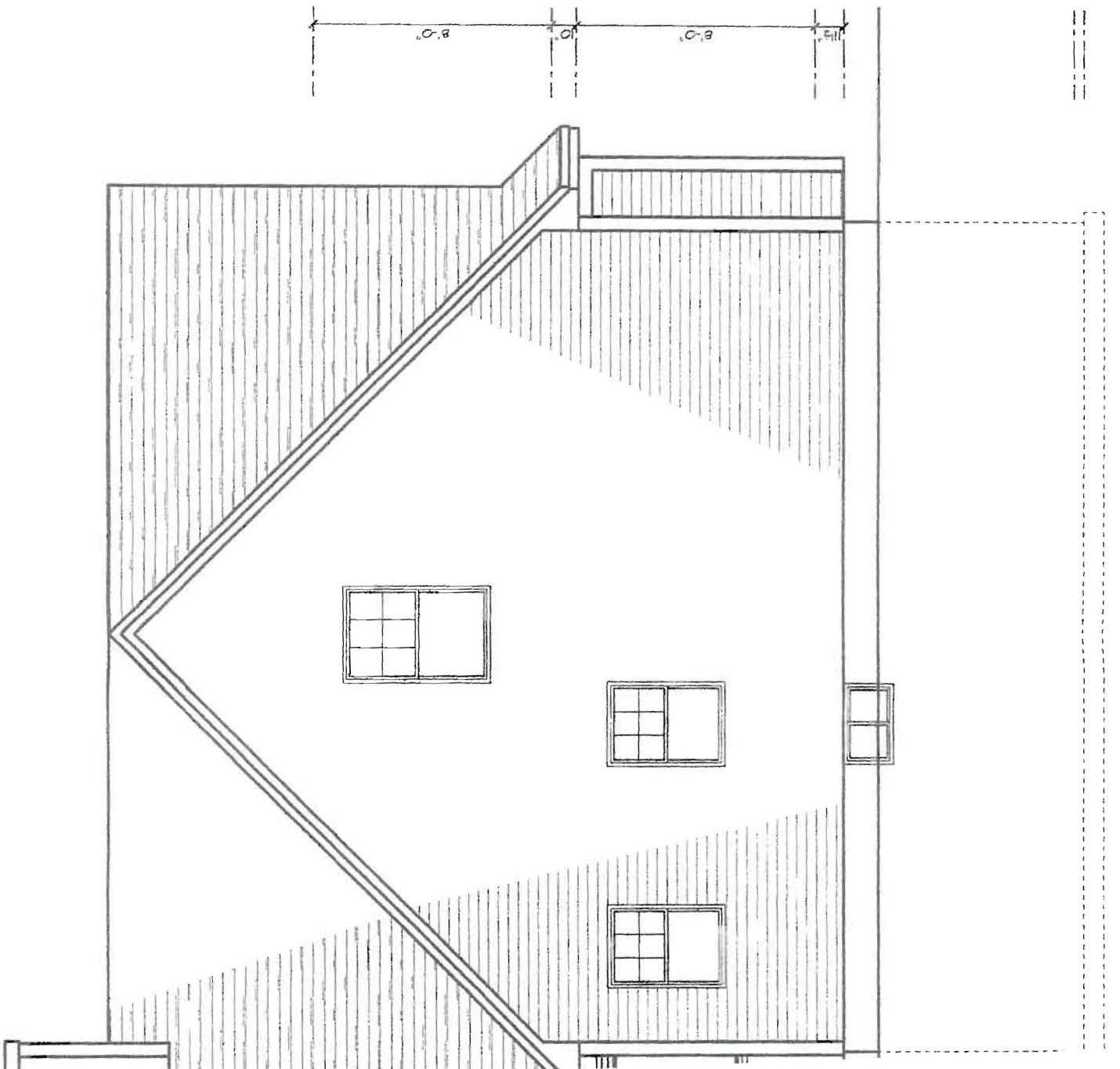
Printed by: [unclear]

DESIGN FOR	MIKE & PAM MURPHY
DESIGN OF	HOUSE ON WASHINGTON AVE
DATE	
REVISED	



ROOF PLAN
SCALE: 1/8" = 1'-0"

RECEIVED



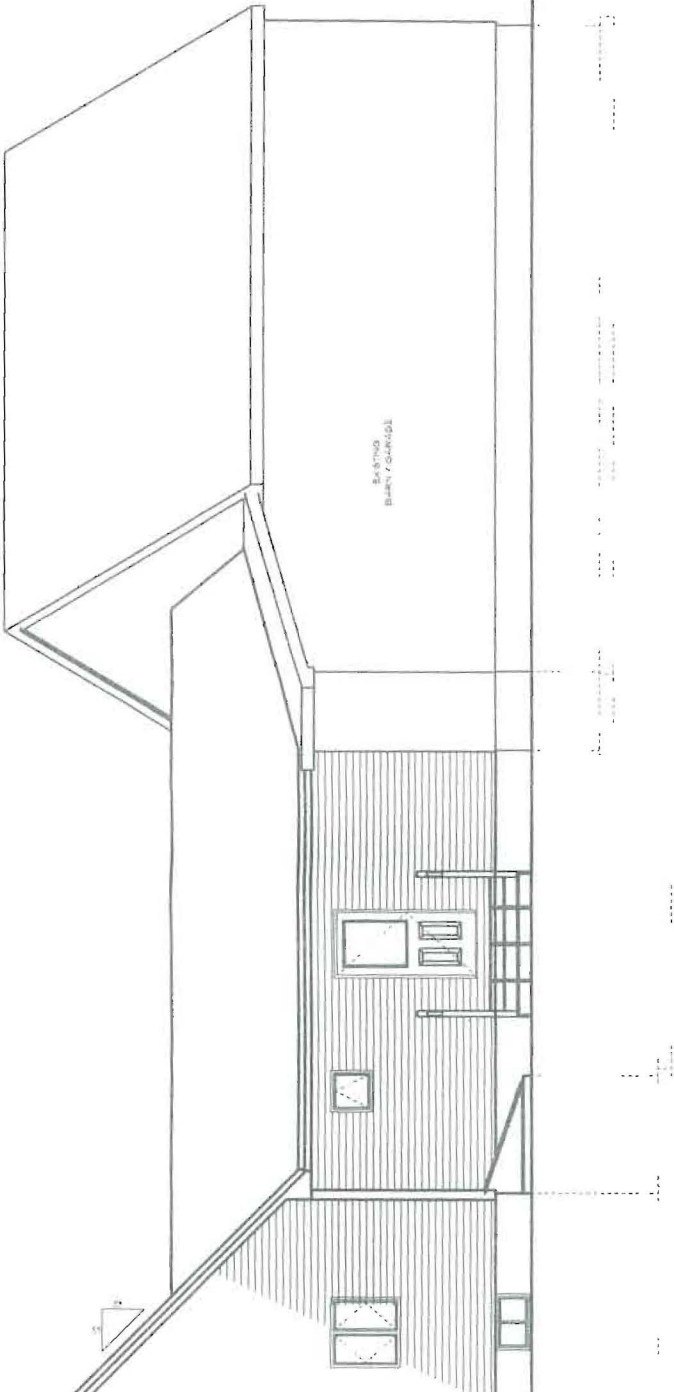
V A T I O N

RECEIVED

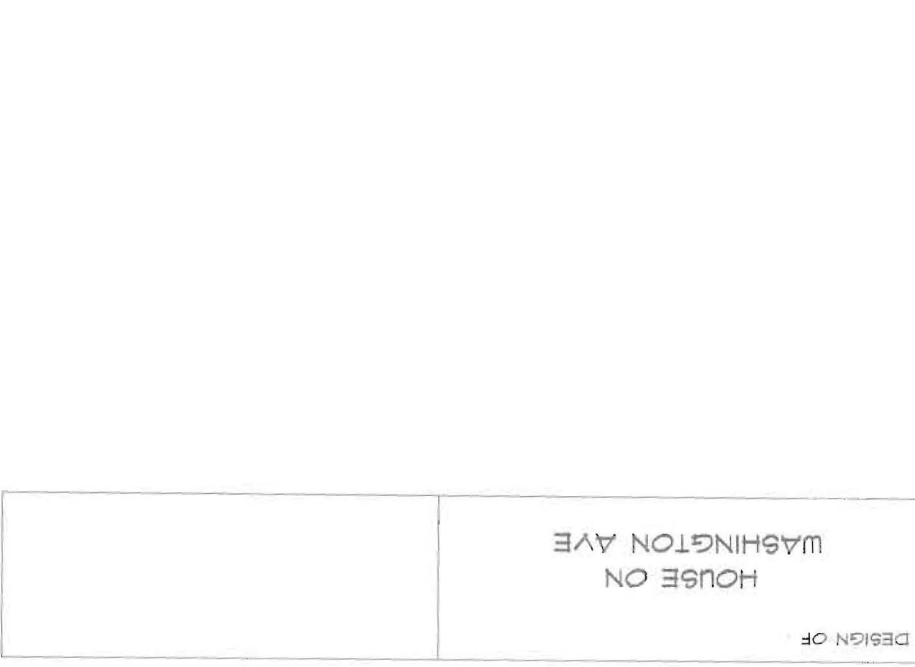
JAN 28 2011

Dept. of Building Inspections

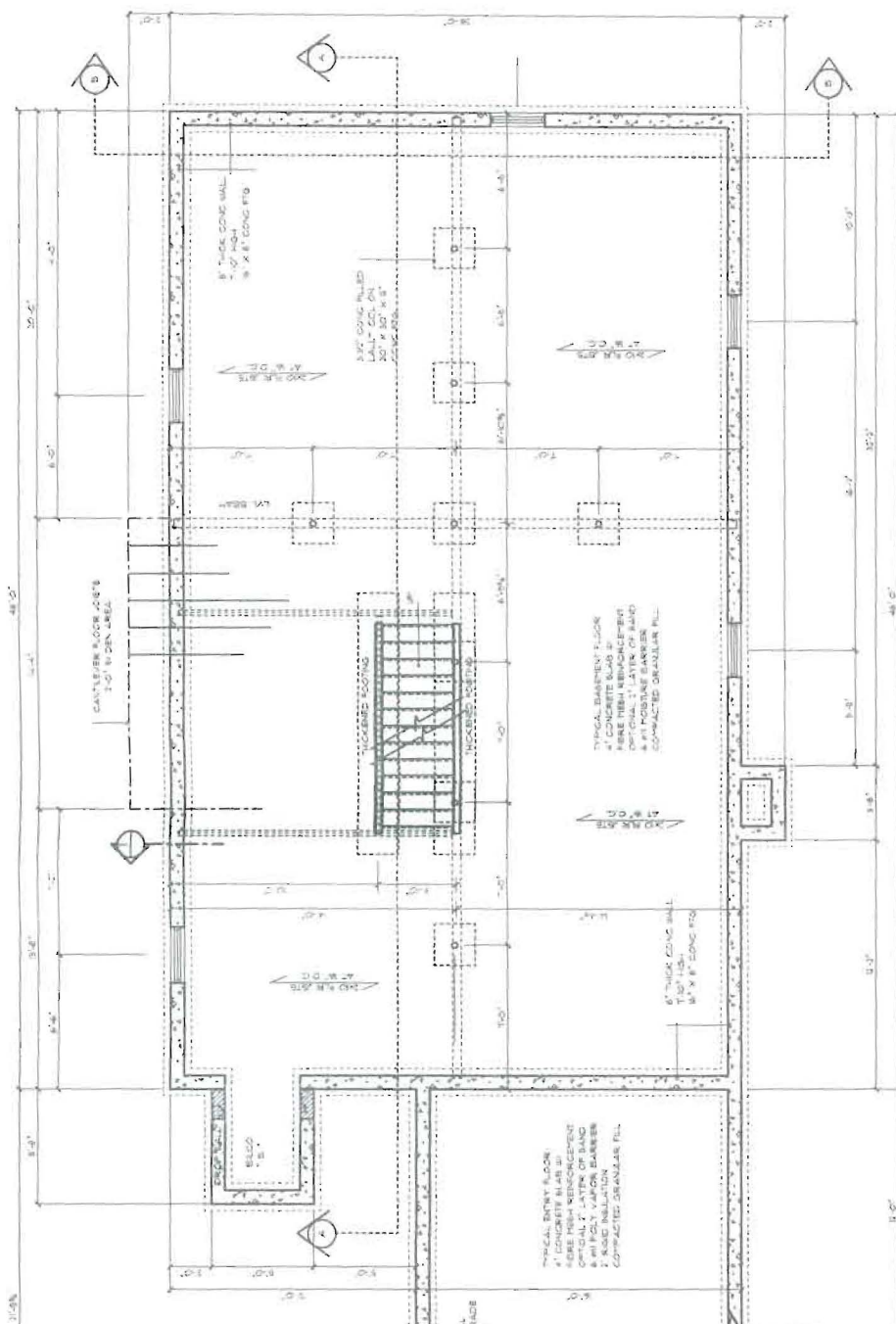
DESIGN FOR	MIKE & PAM MURPHY
DESIGN OF	HOUSE ON WASHINGTON AVE
DATE	
REVISED	



ELEVATION
SCALE 1/8" = 1'-0"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



DESIGN FOR	MCM & TAM MURPHY	
DESIGN OF	HOUSE ON	WASHINGTON AVE
DATE		
REVISED		

RECEIVED

JAN 28 2011

HOUSE ON WASHINGTON AVE

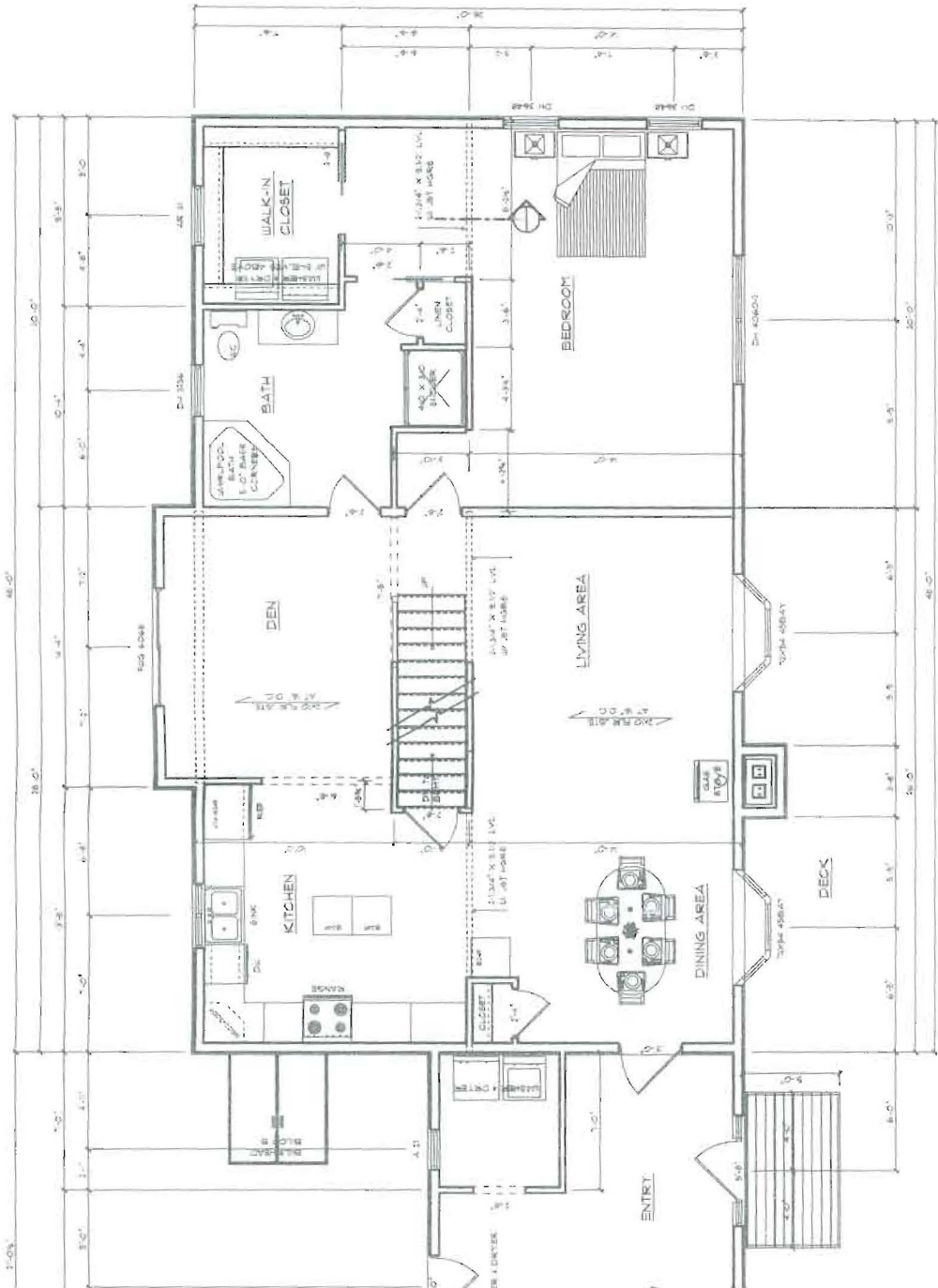
DESIGN FOR MIKE & PAM MURPHY

DESIGN OF

DATE
REVISED

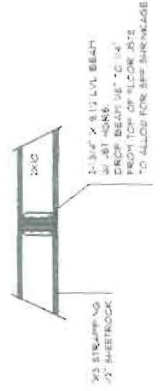
RECEIVED

JAN 28 2011



FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



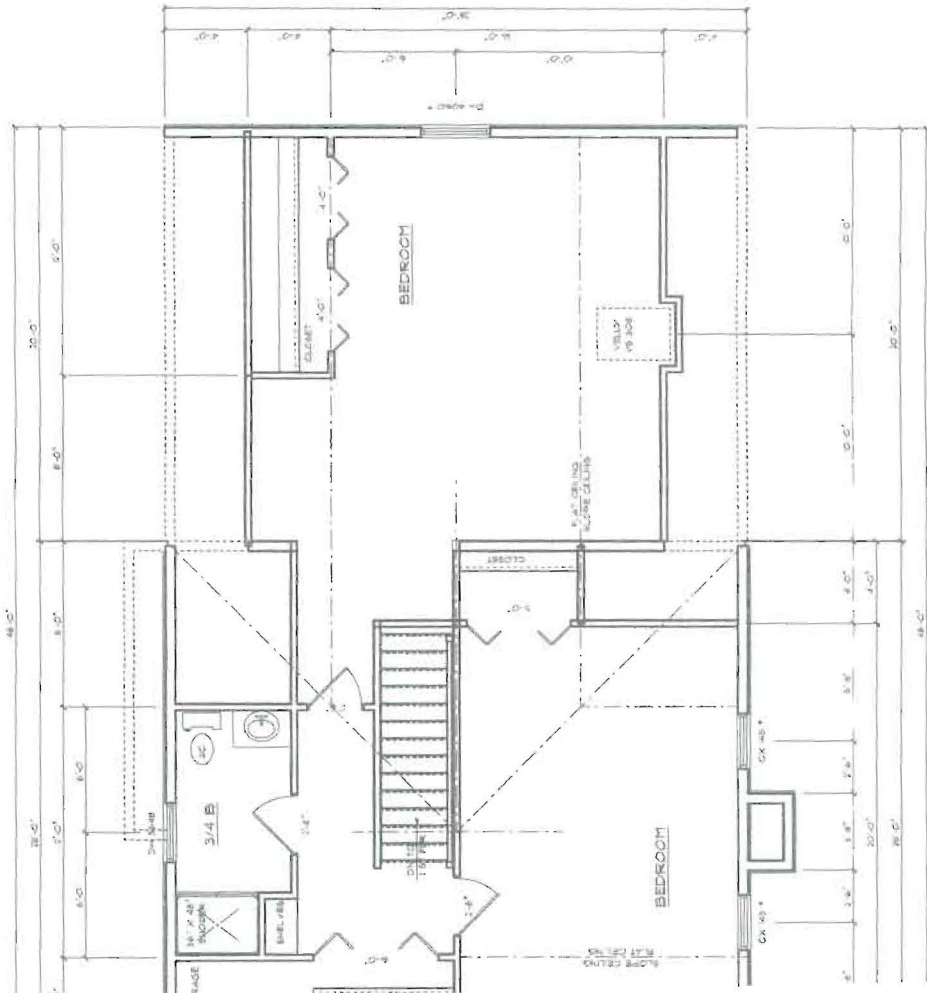
BEAM DETAIL

SCALE 1/2" = 1'-0"

RECEIVED

JAN 28 2011

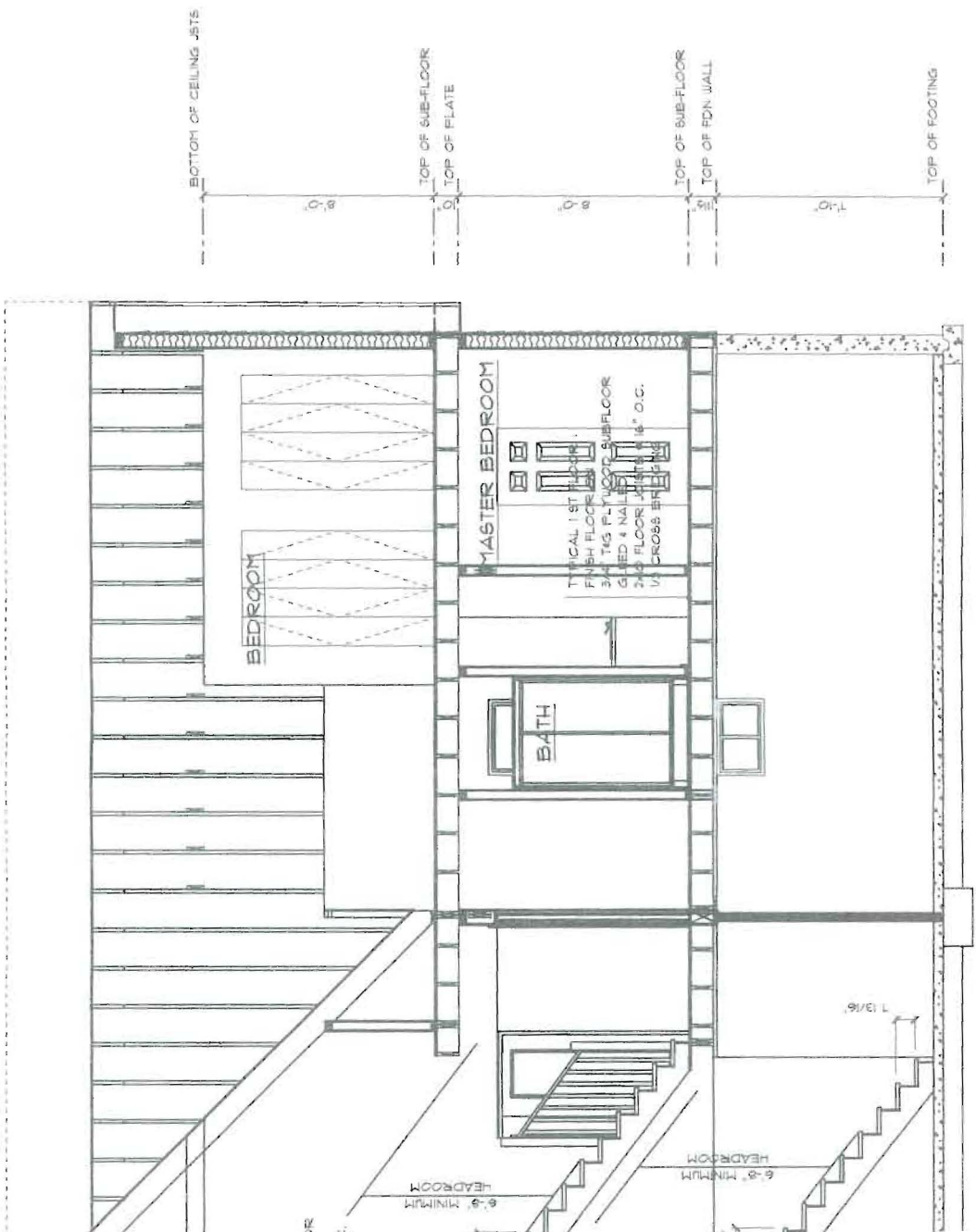
DESIGN FOR	MIKE & PAM MURPHY
DESIGN OF	HOUSE ON WASHINGTON AVE
DATE	
REVISED	



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

DESIGN FOR	MIKE & PAM MURPHY
DESIGN OF	HOUSE ON WASHINGTON AVE
DATE	
REVISED	



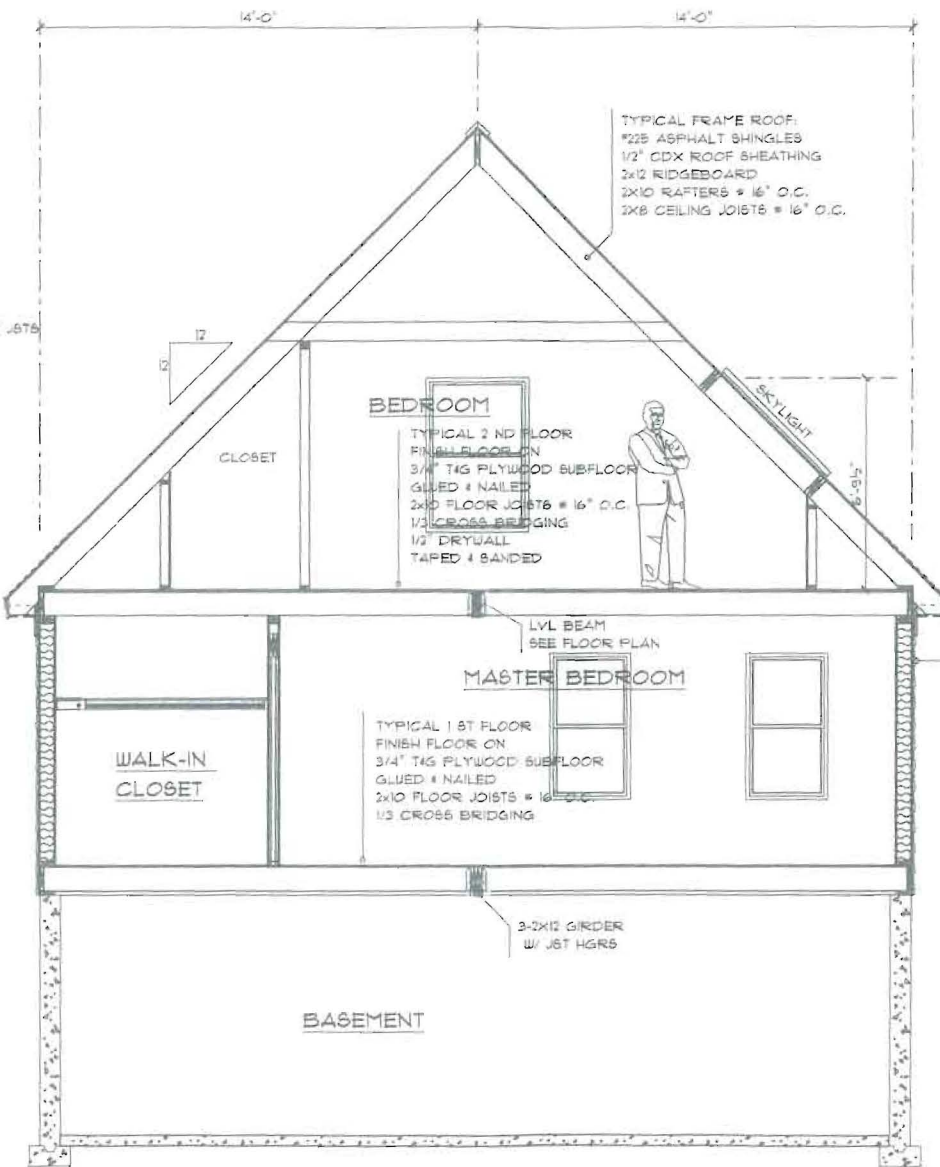
SECTION A-A

SCALE: 1/4" = 1'-0"

RECEIVED

JAN 28 2011

cmi inc. innovations



CROSS SECTION B-B

SCALE: 3/16" = 1'-0"

DESIGN FOR	DESIGN OF
MIKE & PAM MURPHY	HOUSE ON WASHINGTON AVE
DATE	
REVISED	

RECEIVED

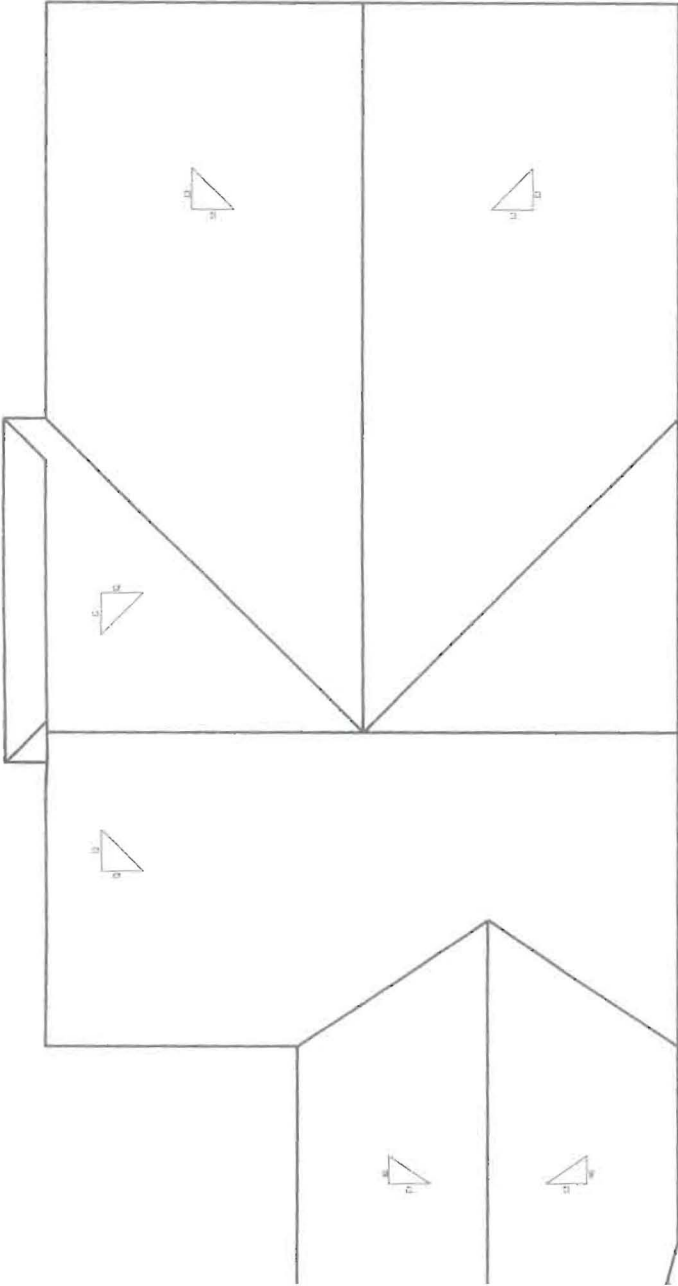
JAN 28 2011

for date inspections

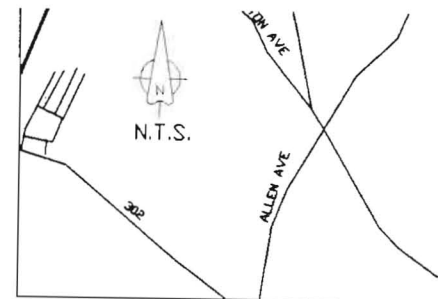
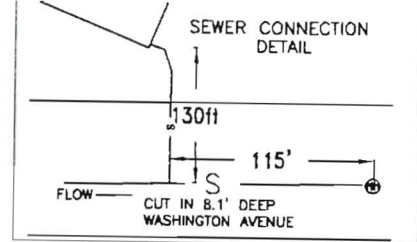
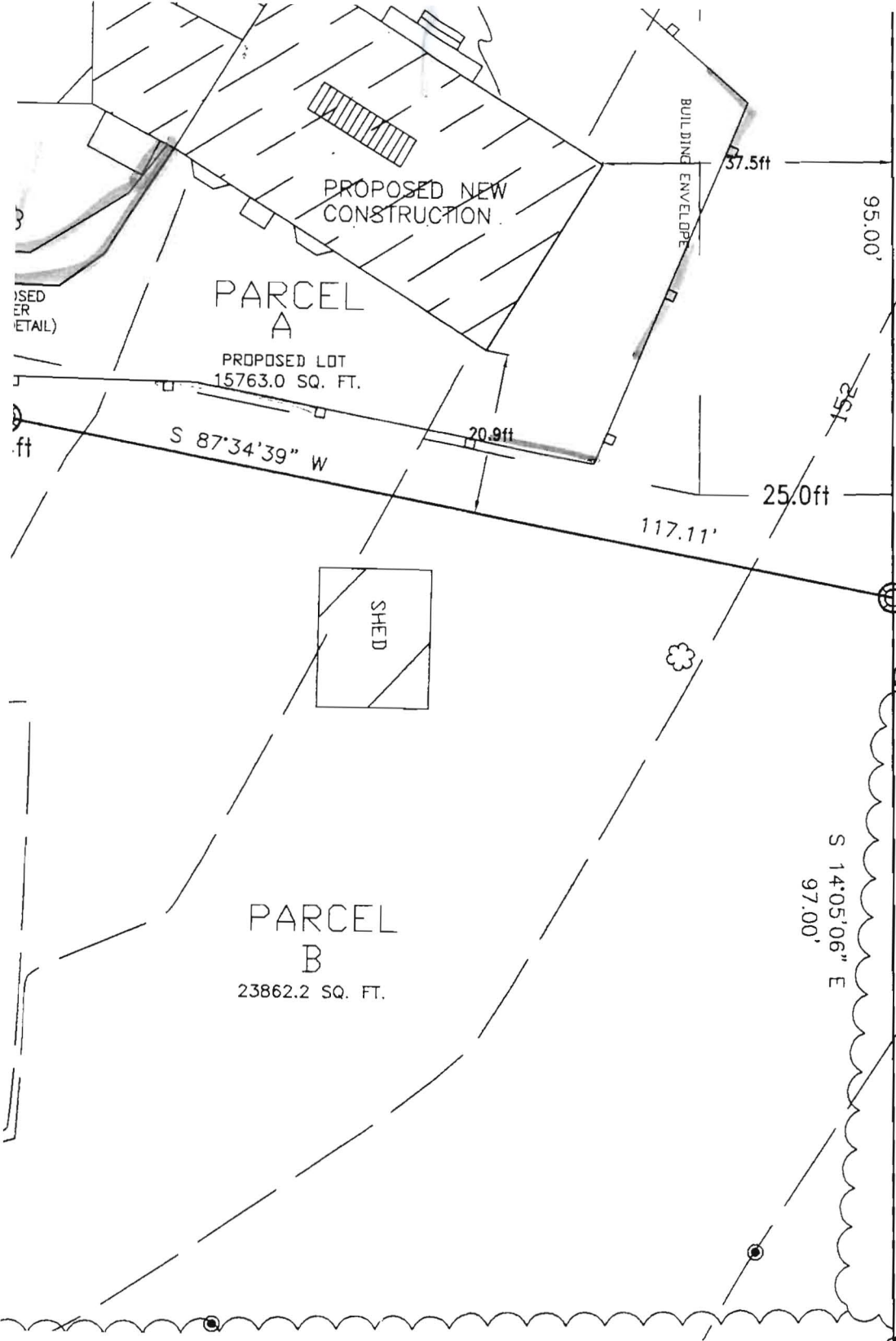
RECEIVED

JAN 28 2011

DESIGN FOR	MIKE & PAM MURPHY
DESIGN OF	HOUSE ON WASHINGTON AVE
DATE	
REVISED	





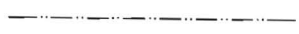


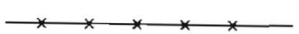




R O O F P L A N
SCALE 1/8" = 1'-0"



CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 8/5/10

LEGEND

-  SET CORNER
-  FOUND REBAR
-  TREES
-  UTILITY POLE
-  RIGHT-OF-WAY
-  CENTERLINE OF
-  TREE LINES
-  CHAIN-LINK FENCE
-  EXISTING CONTOUR
-  SILT CONTROL



NOTES

- 1) Ownership of record is Michael J. Murphy and Pamela M. Murphy recorded in Cumberland County Registry of Deeds in book 11398
- 2) The parcel is shown on City of Portland Assessor's map number lot 5.
- 3) Set corners are a 5/8" diameter iron rod (rebar) with yellow plate inscribed 'CLAYTON PLS #2017'.
- 4) Reference is made to 'QUAKER LANE RECORDING PLAT', recorded book 183, page 6 on December 6, 1989, prepared by Owen Haskell, DeLUCA-HOFFMAN ASSOCIATES, INC.
- 5) All bearings shown are referenced to said 'QUAKER LANE' plan.
- 6) Contours shown are referenced to said plan and will remain the same.
- 7) No deed research was performed as a result of this survey.

7/23/10
 - WIDEN DRIVEWAY 12'
 - SAVE STREET TREES