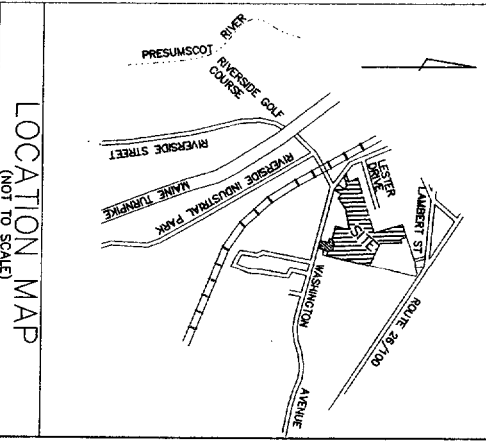
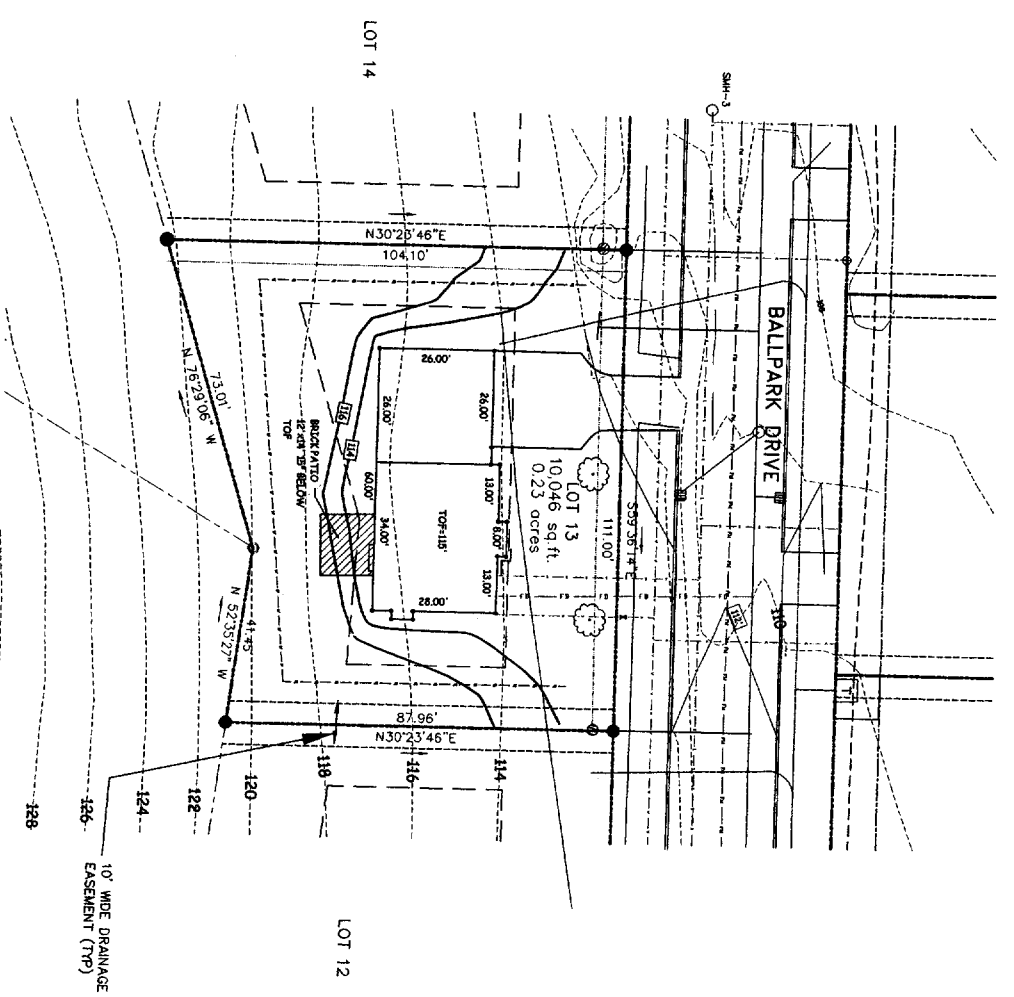
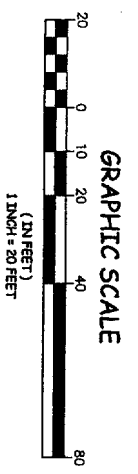


811 #43

- LEGEND:**
- IRON PIPE OR ROD FOUND
 - IRON ROD SET
 - ⊗ WATER VALVE
 - UTILITY POLE
 - MANHOLE
 - CATCH BASIN
 - ⊖ FENCE
 - ⊖ CLAB
 - PROPOSED CONTOURS
 - EXISTING 1' CONTOUR
 - OVERHEAD WIRES
 - WATER LINE
 - SILT FENCE
 - FOUNDATION DRAIN
 - 2" RED MARK (PROPOSED)



- NOTES:**
- (1) Source Deed Reference: Book 23320, Page 001 Cumberland County Registry of Deeds
 - (2) Owner of Record: Martell Builders LLC, 46 Devonshire Street, Portland, Maine 04103
 - (3) Area of Surveyed Parcel: 10,046 Square Feet
 - (4) Bearings are Per Plan Reference #13
 - (5) All Book, Plan Book and Page References are at the Cumberland County Registry of Deeds in Portland, Maine
 - (6) R-2 Residential Zone: 10,000 square feet 50' minimum street frontage 25' setback front & rear 12' side setback for 1 or 1 1/2 story 14' side setback for 2 story 16' side setback for 2 1/2 story
 - (7) Elevations are based on City of Portland Datum
 - (8) FEMA/FIRM panel number 230031 0002 C revised December 8, 1998 Subject parcel lies in Zone X and is Outside the 100 year flood plain
 - (9) All Utilities and Design contours are from Design Plans

- REFERENCES:**
- (1) City of Portland, Maine County of Cumberland and State of Maine
 - (2) Tax Map 371 Block A Lot 43
 - (3) The Property, Easements, Property BALLPARK DRIVE SURVEY prepared for: Martell Builders LLC prepared by: URS Corporation dated: November 22, 2004 revised: November 17, 2004 recorded at CDD in Plan Book 204 Page 886

CERTIFICATION:

(1) THE SURVEY CONFORMS TO THE BOARD OF LICENSING FOR PROFESSIONAL LAND SURVEYORS WITH EXCEPTION OF NO WRITTEN REPORT.

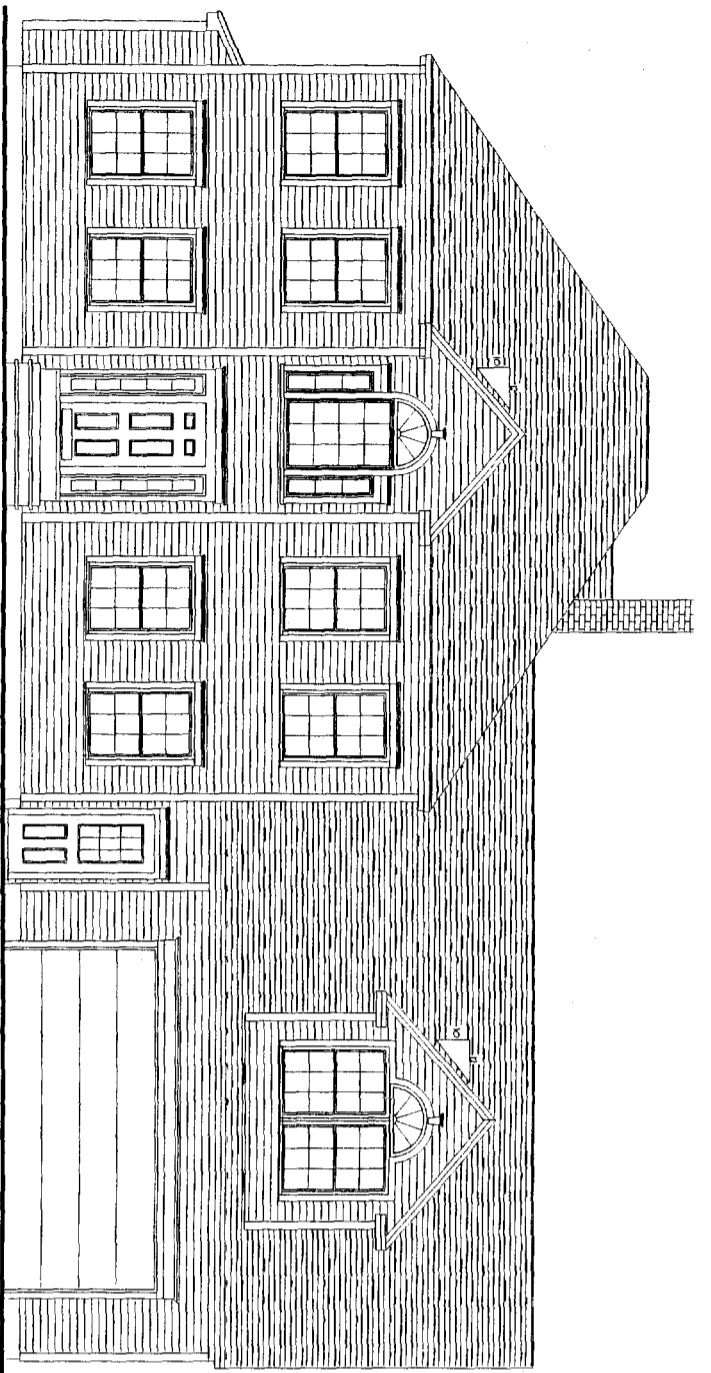
SITE PLAN

Lot 13 - #41 Ballpark Drive
PORTLAND, MAINE

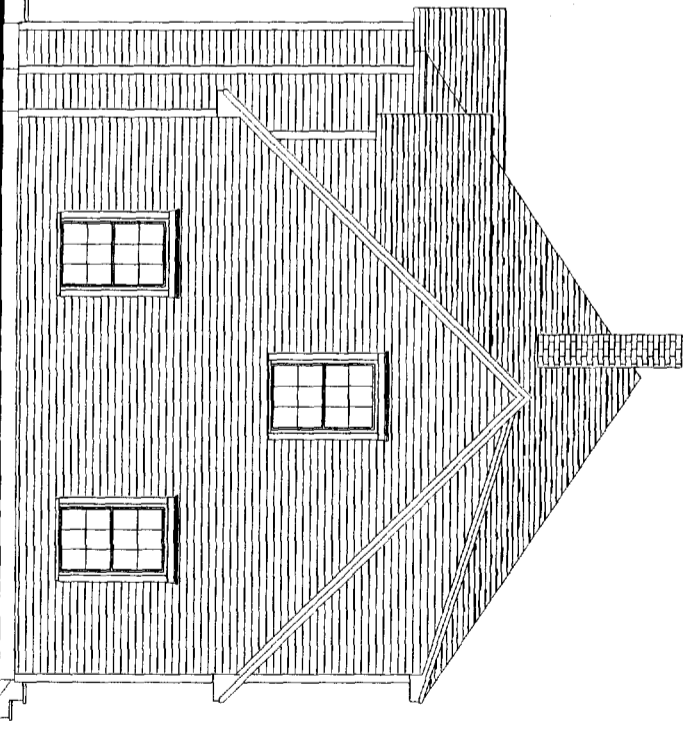
PREPARED FOR:
Martell Builders LLC
46 Devonshire Street
PORTLAND, MAINE

PREPARED BY:
TKM
LAND SURVEYORS, INC.
WASHINGTON AVENUE #602
PORTLAND, MAINE 04103
TEL: (207) 564-4003

DESIGNED: T.D. JOB NUMBER: 08-17
DRAWN: RC DATE: MARCH 2006 TMOITY DEWUP, P.S. 2246
CHECKER: T.D. SCALE: 1" = 20' NOT VALID WITHOUT SURVEYOR'S SIGNATURE



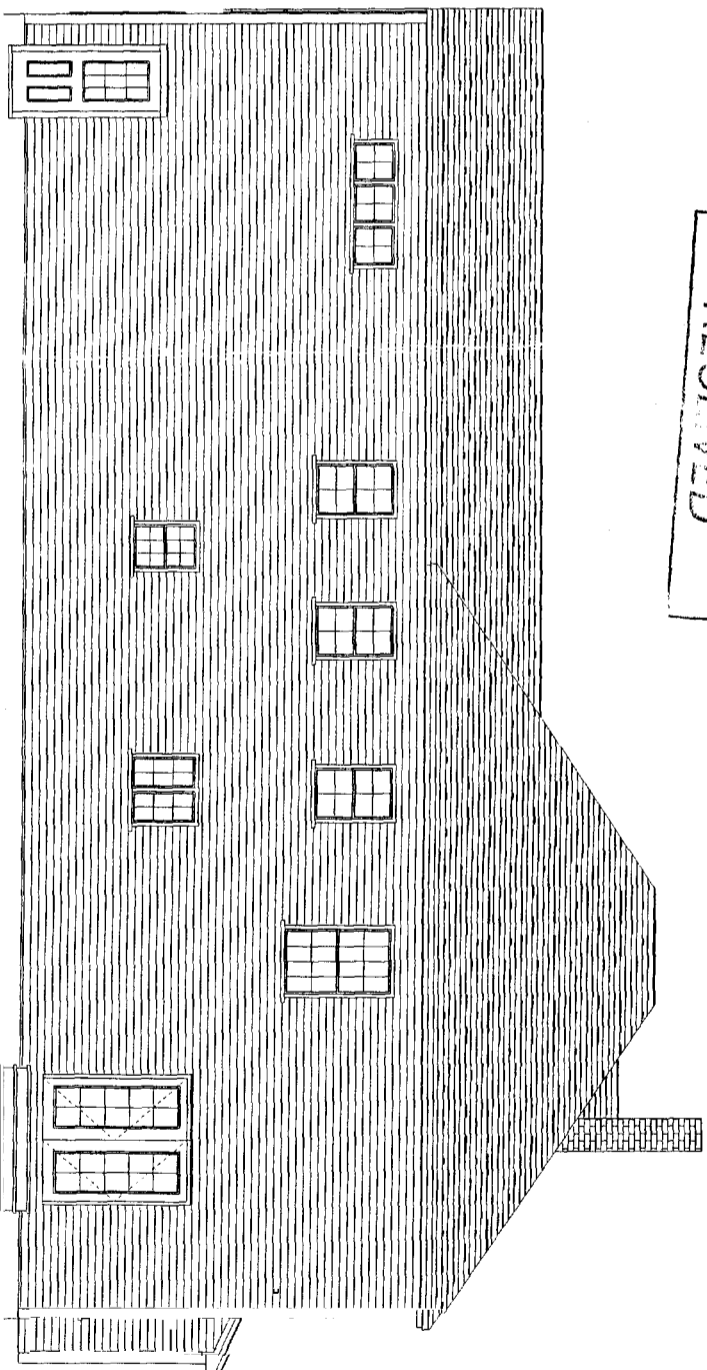
FRONT ELEVATION



LEFT ELEVATION
SCALE 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR 23 2005
RECEIVED

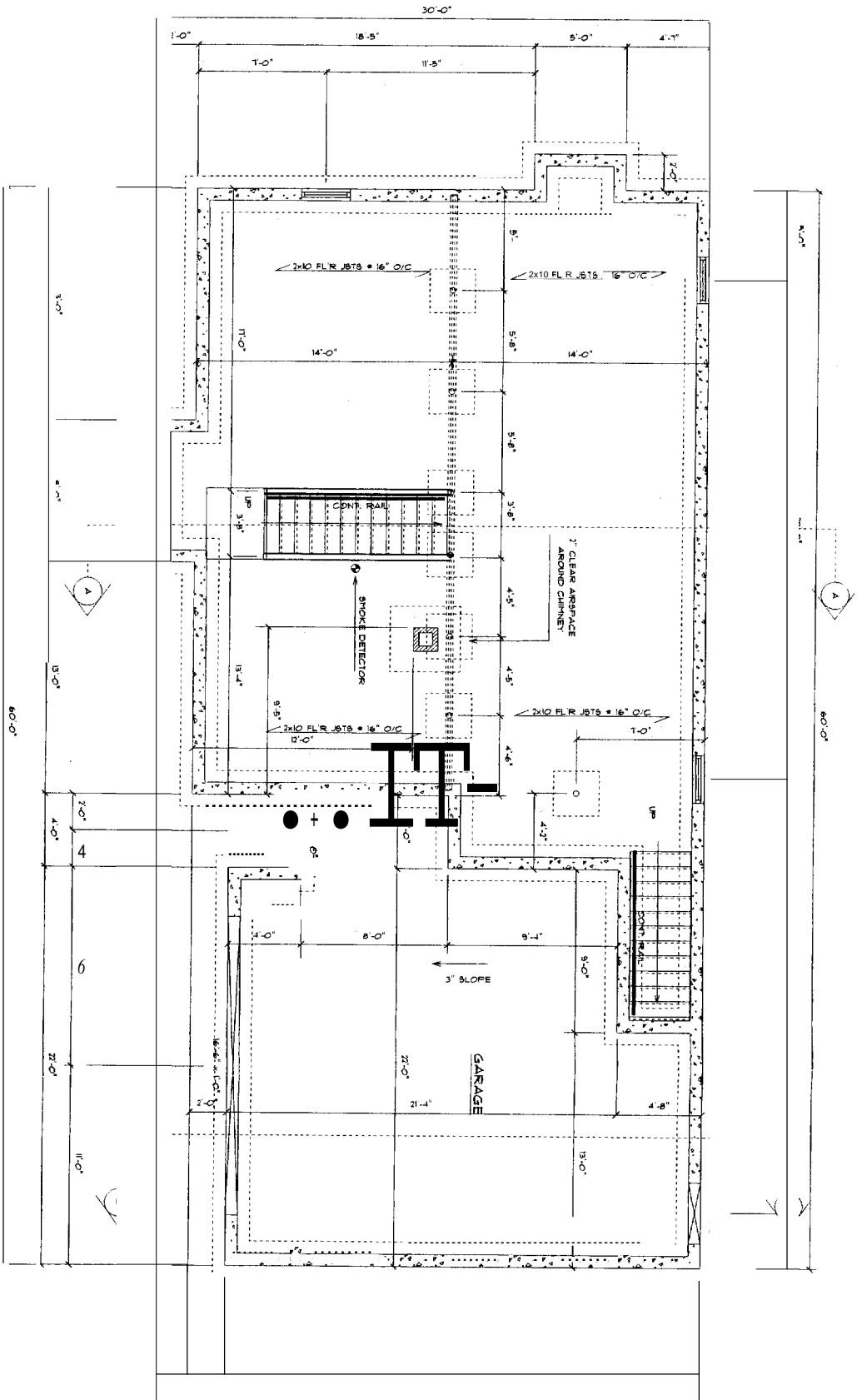
271-A-43



REAR ELEVATION
SCALE 1/4" = 1'-0"

RIGHT ELEVATION
SCALE 1/4" = 1'-0"

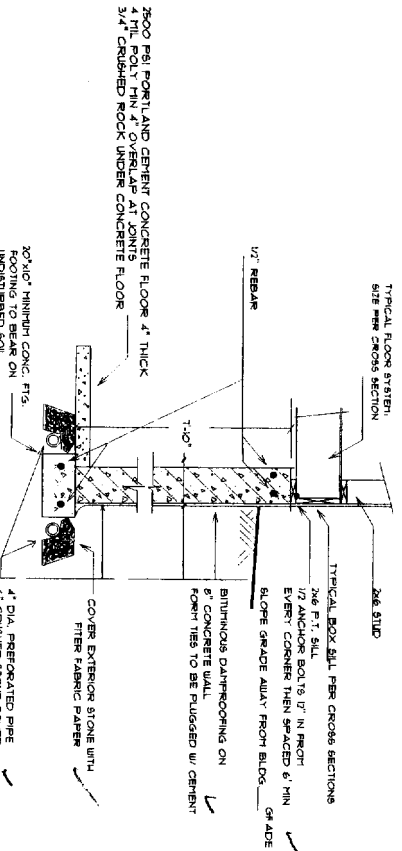
<p>REVISION</p>	<p>PROJECT NAME: SPEC HOUSE LOT 13 BALL PARK FIELD</p>	<p>CONTRACTOR: MARTELL BUILDER LLC.</p>	<p>THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN-BUILD AS A PALANZA DRAFTING, ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.</p>
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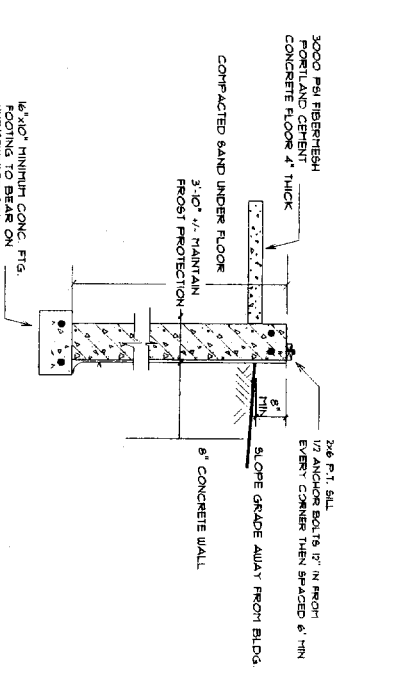
**HEATING SYSTEM:
FORCED HOT WATER
WITH POWER VENT,
POSITIONING BY
PLUMBING CONTRACTOR**

**NOTE: ALL WINDOWS
U-FACTOR = .31**

FOUNDATION PLAN
SCALE 1/4" = 1'-0"



TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE



TYPICAL FROSTWALL SECTION - GARAGE

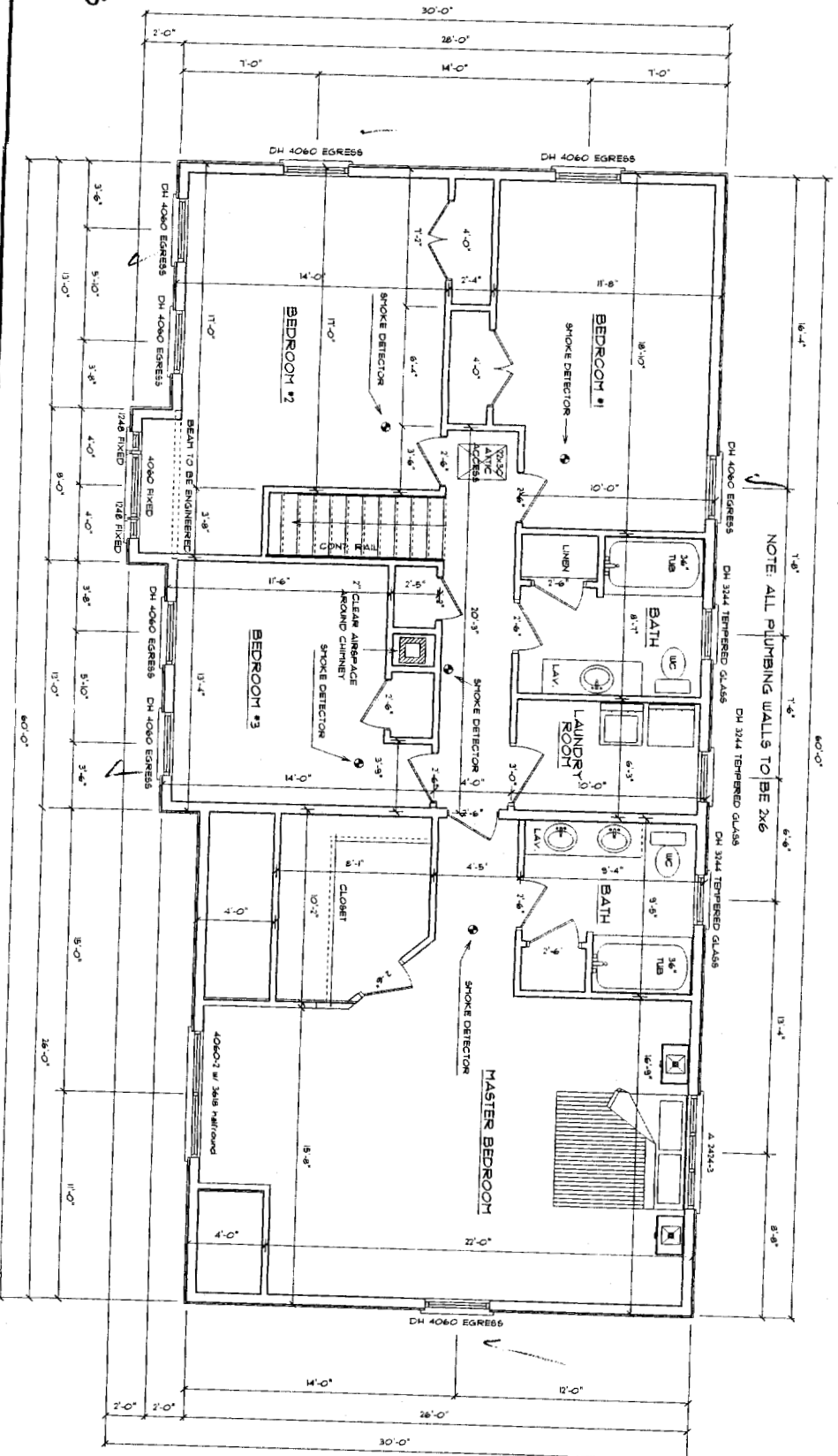
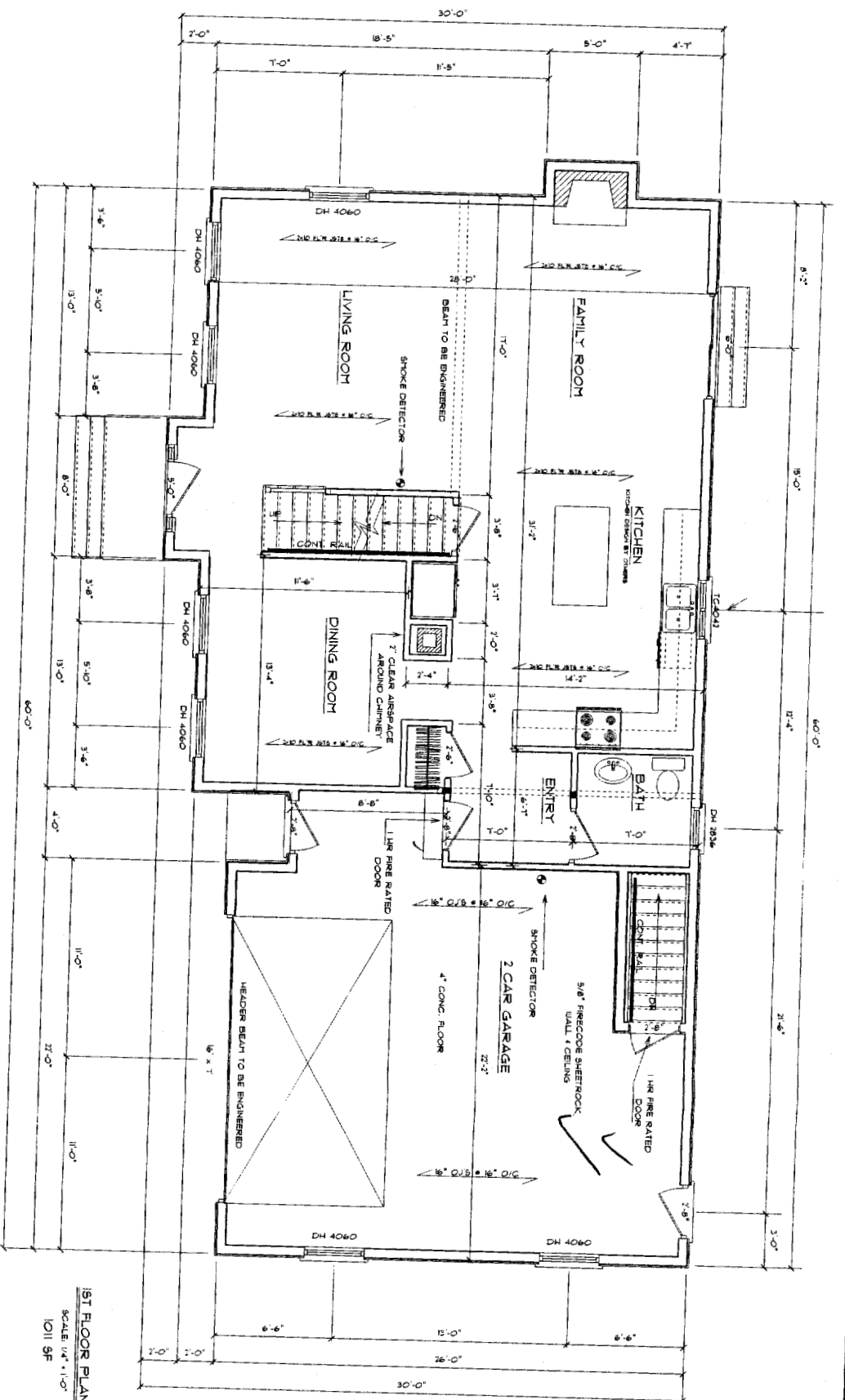
- FOUNDATION NOTES:**
1. ALL FINISH WALL FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
 2. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD WITH CONTRACTOR.
 3. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD BY CONTRACTOR.
 4. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD BY CONTRACTOR.
 5. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD BY CONTRACTOR.
 6. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD BY CONTRACTOR.
 7. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD BY CONTRACTOR.
 8. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD BY CONTRACTOR.
 9. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD BY CONTRACTOR.
 10. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD BY CONTRACTOR.
 11. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD BY CONTRACTOR.
 12. ALL FOUNDATION WALLS SHALL BE CHECKED IN FIELD BY CONTRACTOR.

REVISIONS	DATE	BY	DESCRIPTION

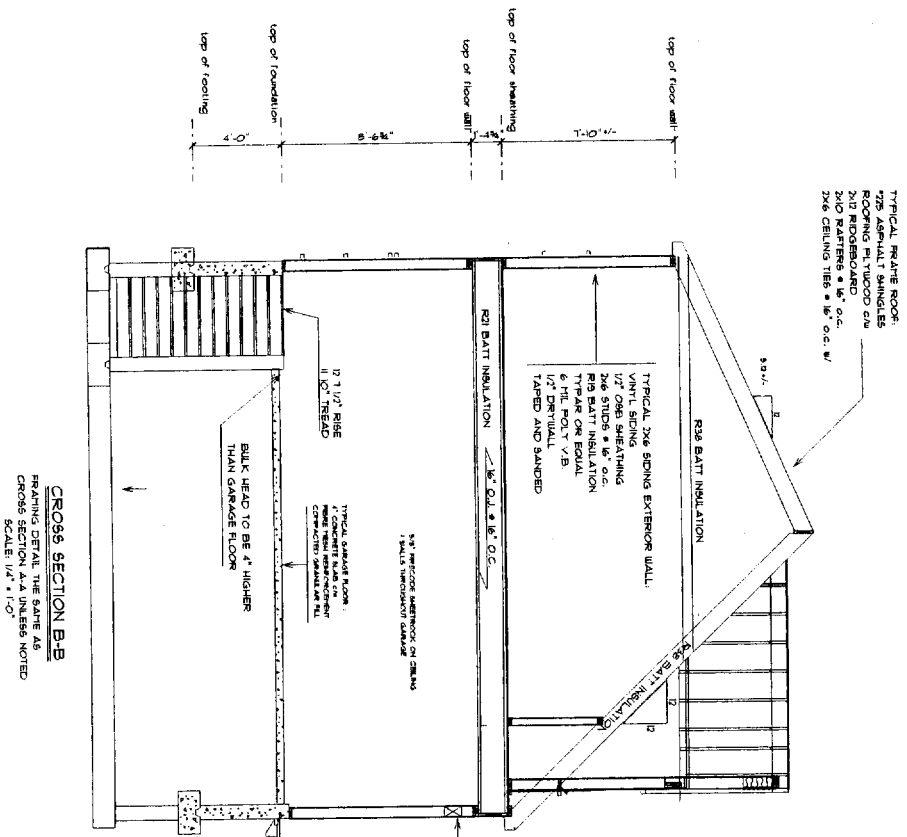
PROJECT NAME:
SPEC HOUSE LOT 13
BALL PARK FIELD

CONTRACTOR:
MARTELL BUILDER LLC.

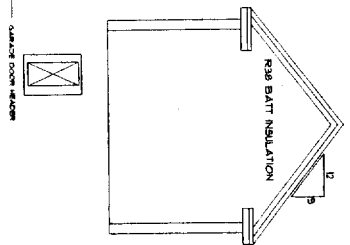
THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN WILD ASS. PALANZA DRAFTING ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING. NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.



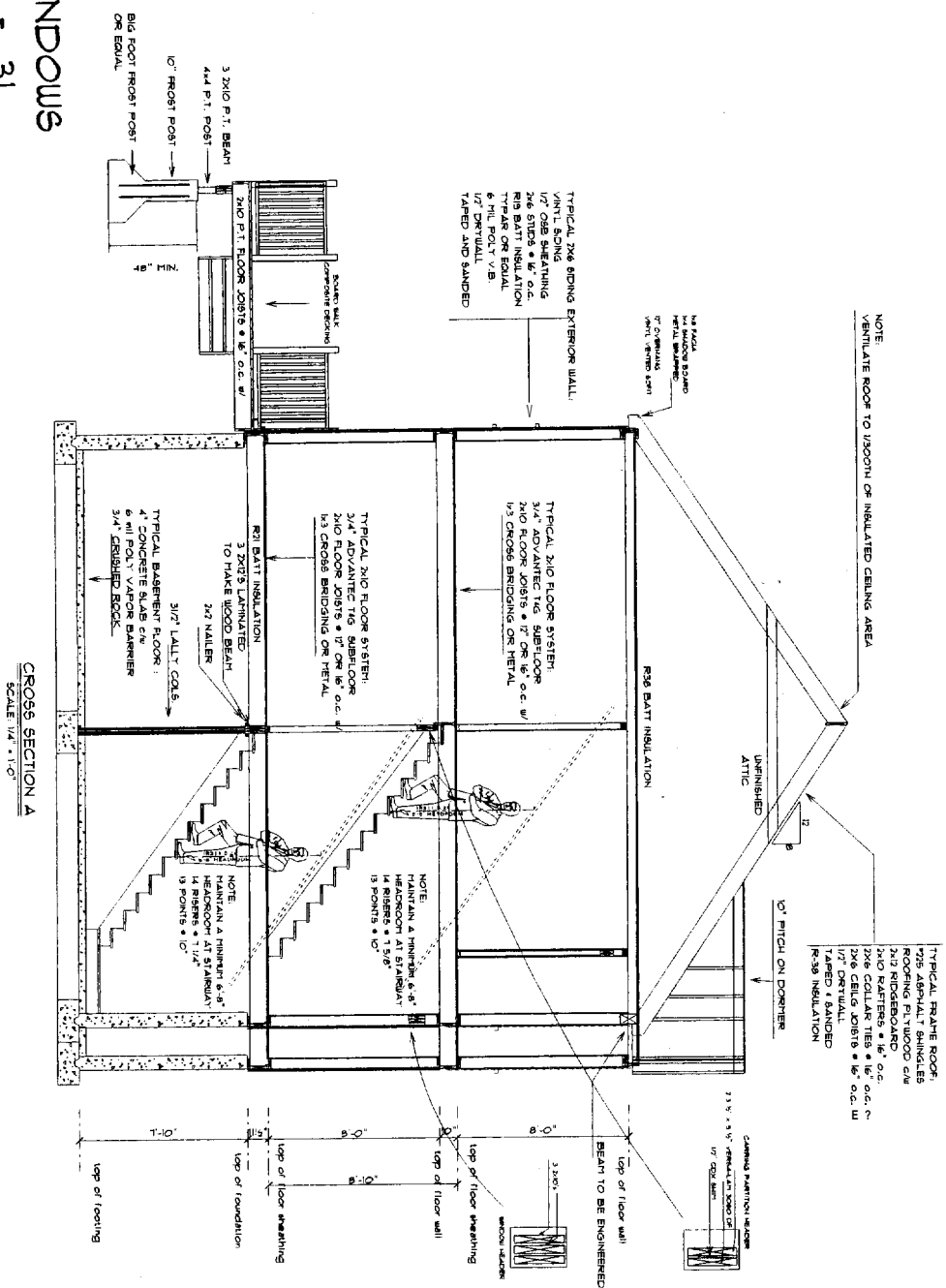
PROJECT NAME: SPEC HOUSE LOT 13 BALL PARK FIELD		CONTRACTOR: MARTELL BUILDER LLC.		THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN BUILD ASS. 4 PALANZA DRAFTING, INC. ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING. NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.
DATE: 3/08/2005 SCALE: AS NOTED DRAWN: FILE: SHEET:	REVISIONS:	PROJECT NAME: SPEC HOUSE LOT 13 BALL PARK FIELD		



CROSS SECTION B-B
FRAMING DETAIL THE SAME AS
CROSS SECTION A-A UNLESS NOTED
SCALE 1/4" = 1'-0"



NOTE: ALL WINDOWS
U-FACTOR = .31
HEATING SYSTEM:
FORCED HOT WATER,
WITH POWER VENT,
POSITIONING BY
PLUMBING CONTRACTOR



CROSS SECTION A-A
SCALE 1/4" = 1'-0"

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN-BUILD AS5 & PALANZA DRAFTING ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

CONTRACTOR:
MARTELL BUILDER LLC.

PROJECT NAME:
SPEC HOUSE LOT B3
BALL PARK FIELD



REVISIONS

DATE: 3/08/2003

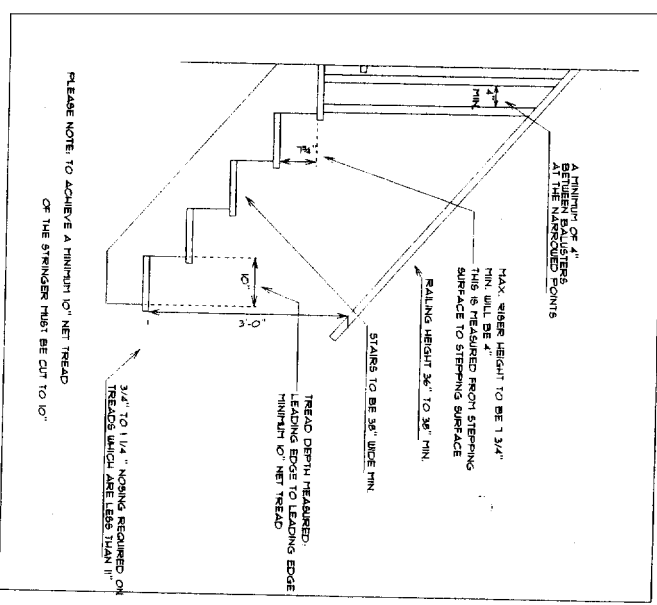
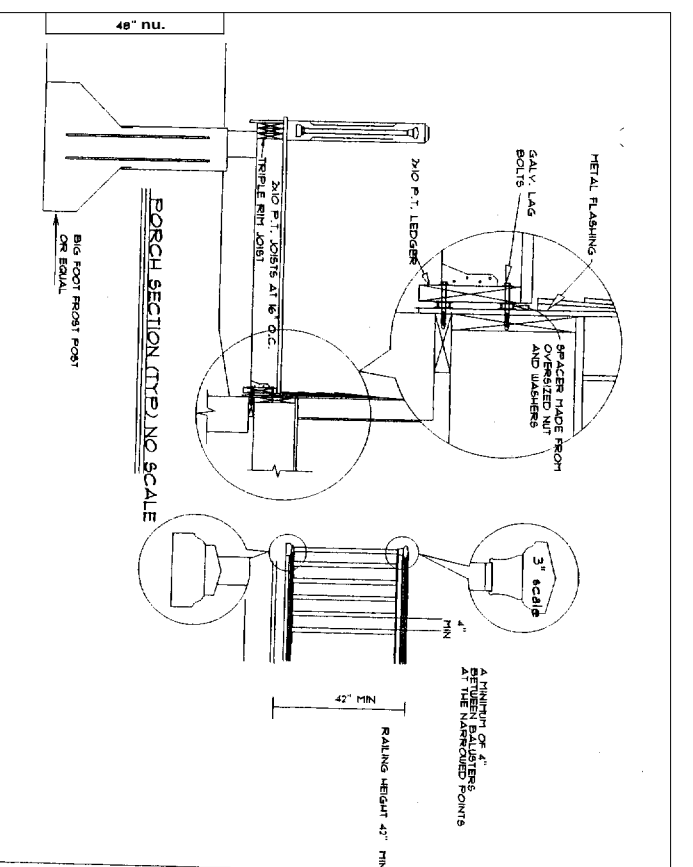
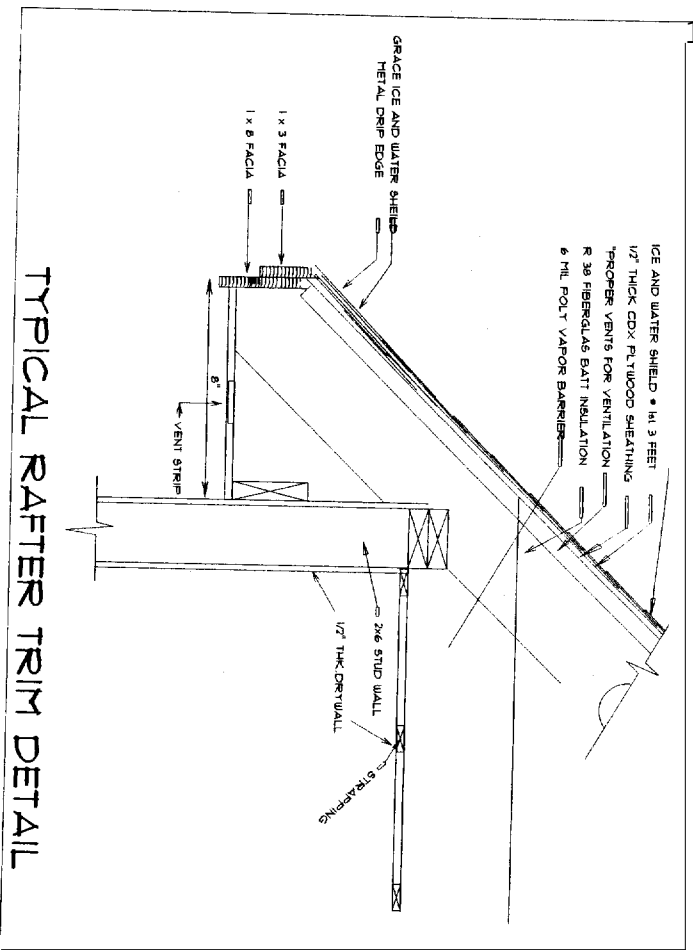
BY: AS NOTED

DESIGN:

FILE:

ET

— OF —



FASTENING SCHEDULE (SEE TABLE 2304.9.1 ME.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

(SEE NOTES 4, 7 FOR ALL FASTENING NOTES)

NOTES	LOCATION	FASTENING	NOTES	LOCATION	FASTENING	CONNECTION
SEE NOTE F	FACE NAIL	4 - 3" x 14 GAGE STAKE	SEE NOTE F	FACE NAIL	4 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE G	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE G	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE H	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE H	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE I	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE I	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE J	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE J	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE K	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE K	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE L	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE L	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE M	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE M	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE N	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE N	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE O	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE O	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE P	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE P	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE Q	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE Q	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE R	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE R	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE S	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE S	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE T	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE T	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE U	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE U	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE V	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE V	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE W	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE W	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE X	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE X	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE Y	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE Y	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1
SEE NOTE Z	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE NOTE Z	FACE NAIL	3 - 3" x 14 GAGE STAKE	SEE SECT 2308.10.4.1 TABLE 2308.10.4.1

FOUNDATION NOTES:

1. ALL FOUNDATION FOOTING HEIGHTS SHALL BE DETERMINED BY THE REGISTERED ARCHITECT OR ENGINEER.
2. ALL FOUNDATION FOOTINGS SHALL BE CONCRETE OR MASONRY.
3. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. THICK.
4. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. WIDE.
5. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. HIGH.
6. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. LONG.
7. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. DEEP.
8. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. BROAD.
9. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. TALL.
10. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. WIDE.
11. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. HIGH.
12. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. LONG.
13. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. DEEP.
14. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. BROAD.
15. ALL FOUNDATION FOOTINGS SHALL BE 12" MIN. TALL.

PROJECT NAME: SPEC HOUSE LOT 13 BALL PARK FIELD

CONTRACTOR: MARTELL BUILDER LLC.

DATE: 3/20/2023

SCALE: AS NOTED

DRAWN: _____

FILE: _____

SHEET: _____ OF _____

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN BUILD 486.4 PALANZA DRAFTING, ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING. WE DO NOT HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE OF SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER (AM) CONTRACTOR BEFORE ACTUAL CONSTRUCTION.