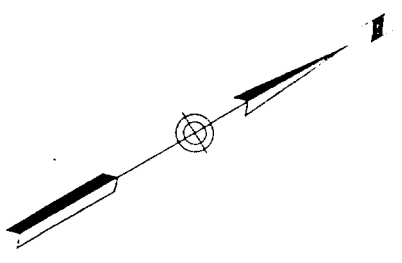


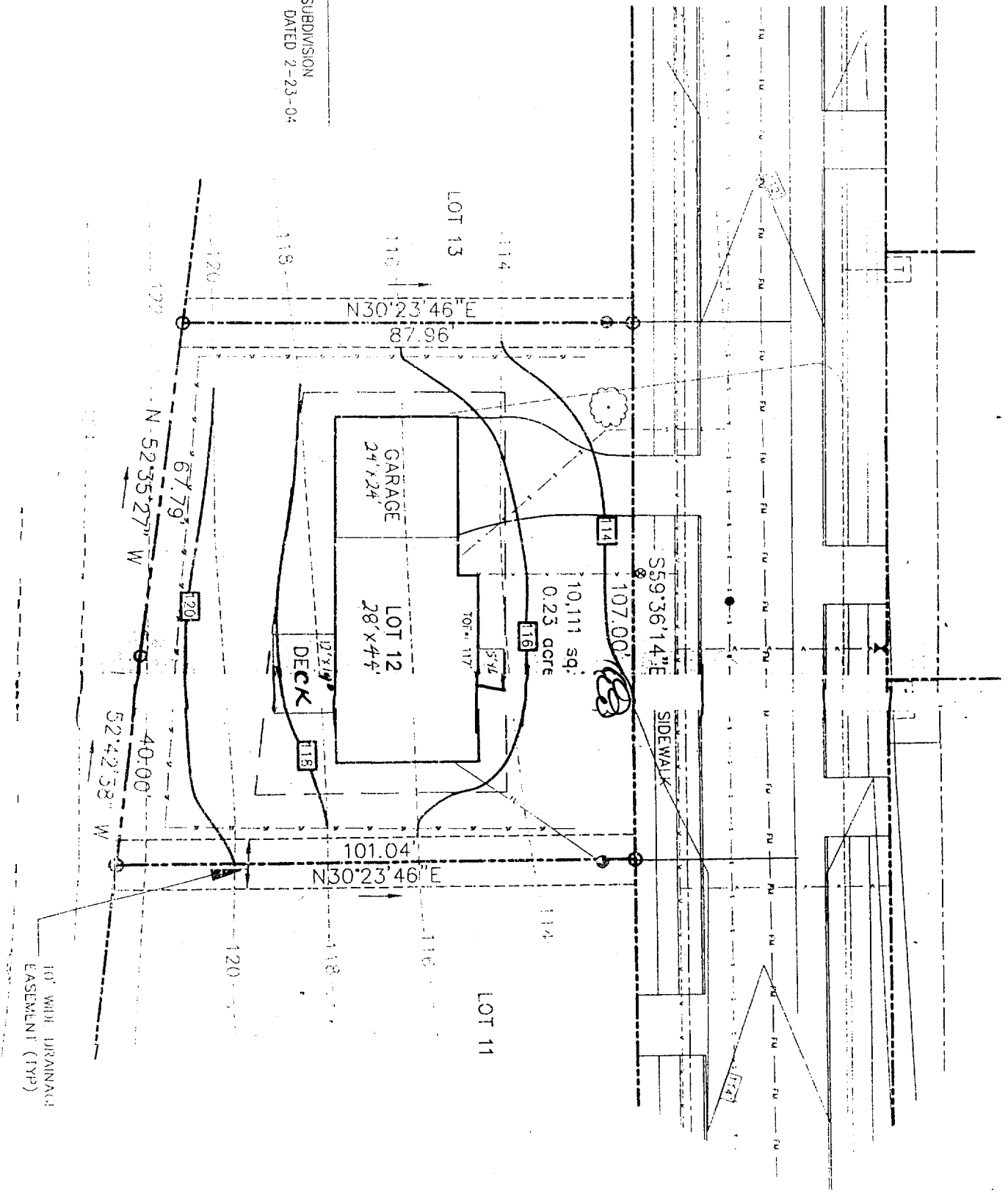
311 H 42
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 MAY 23 2006
 RECEIVED



RESIDENTIAL LOT SUBDIVISION PLAT BALLPARK DRIVE SUBDIVISION
 MADE FOR MARGARET HAVERTY, BY URS CORPORATION DATED 2-23-04
 REVISED 11-17-04.

PLAN REFERENCE:

- LEGEND:
- IRON PIPE OR ROD FOUND
 - URS
 - ⊗ WATER VALVE
 - UTILITY POLE
 - MANHOLE
 - ⊖ CATCH BASIN
 - FENCE
 - CURB
 - PROPOSED CONTOURS
 - EXISTING 1' CONTOUR
 - OHW
 - W
 -
 -
 -



Lot #12 Ballpark Drive

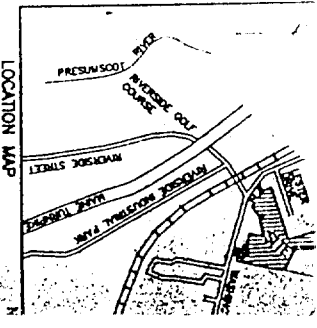
UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN STRUCTURE OR ARRANGEMENT.

NOTES:

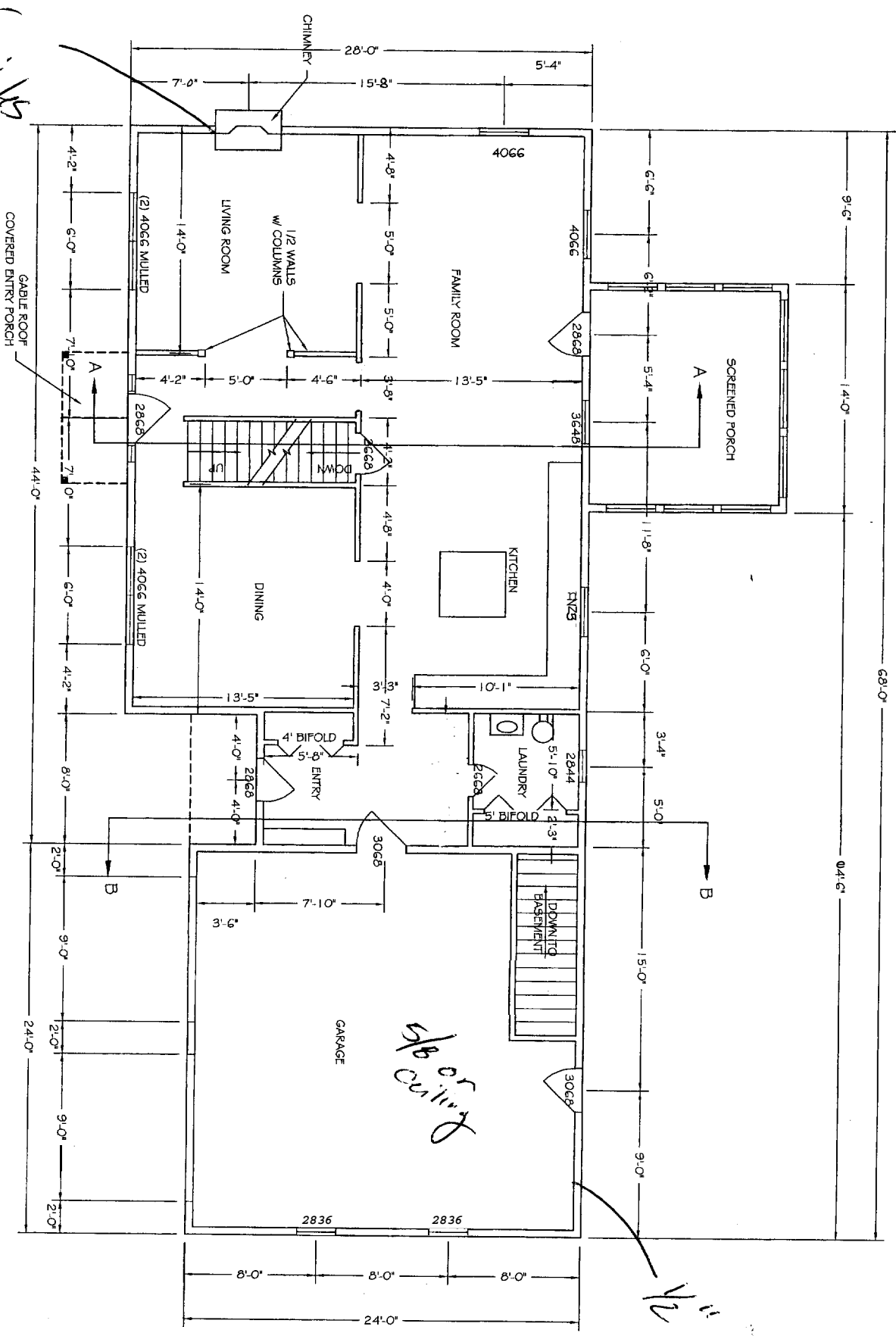
1. THE SUBJECT PROPERTY IS A PORTION OF THE LAND SHOWN IN REFERENCE 1, LIES IN THE CITY OF PORTLAND'S R-2 RESIDENTIAL ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING:
 MINIMUM LOT FRONTAGE: 50 FEET
 MINIMUM LOT SIZE: 10,000 S.F.
2. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.
3. BENCHMARK IS A BOLT IN A 3 FOOT OFFSET MONUMENT UNDER AT THE SOUTHEAST CORNER OF JACKSON AND AUBURN STREET. ELEVATION IS 140.443 FEET.
4. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY-PLANT NUMBER 210051 0002 C, REVISED DECEMBER 2005, THE SUBJECT PROPERTY LIES IN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN.
5. ALL UTILITIES AND ORIGINAL TOPOGRAPHY ARE FROM DESIGN PROVIDED BY URS.

- SETBACKS:
- FRONT: 25 FEET
 - REAR: 25 FEET
 - SIDE: 12 FEET, 1 OR 1 1/2 STORY RESIDENCE.
 14 FEET, 2 STORY RESIDENCE.
 16 FEET, 2 1/2 STORY RESIDENCE.



SITE PLAN
 of
LOT 12 - BALLPARK DRIVE
 PORTLAND, MAINE
 MADE FOR
MICHAEL DIMIL

2" Clear to Combustibles



5/8" or ceiling

1/2" dry wall on all walls

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

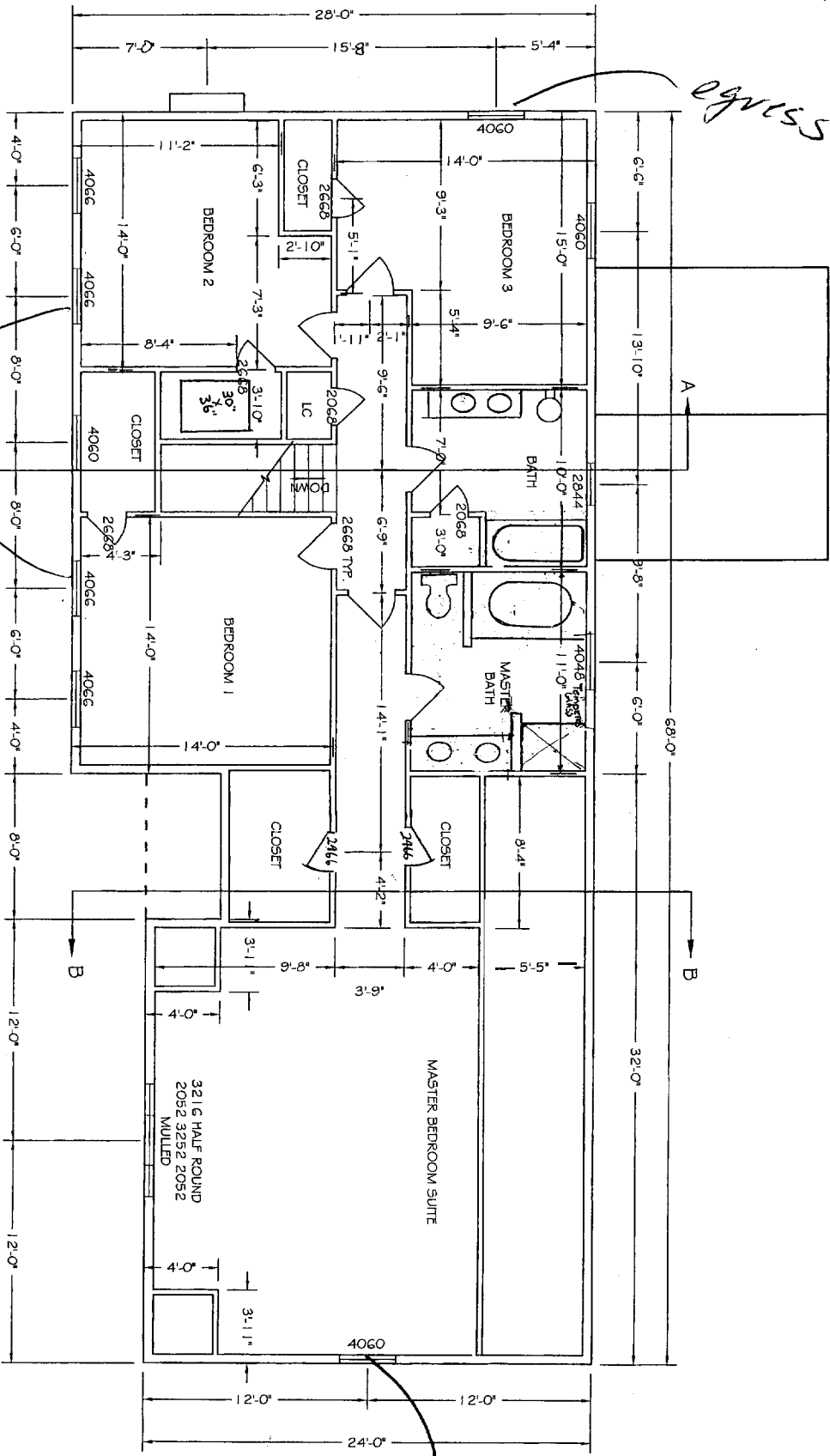
REVISIONS		
No.	BY	DESCRIPTION

PROJECT: FOR: VESTA. CORP.
SHEET TITLE: FIRST FLOOR PLAN

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Fax: (207) 878-1788
E-Mail: adp@adpengineering.com

DATE: 02/02/04
SCALE: 1/4" = 1'-0"
DESIGN BY: CMG
DRAWN BY: AL
PROJECT NUMBER: 04009
SHEET NO: A101



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

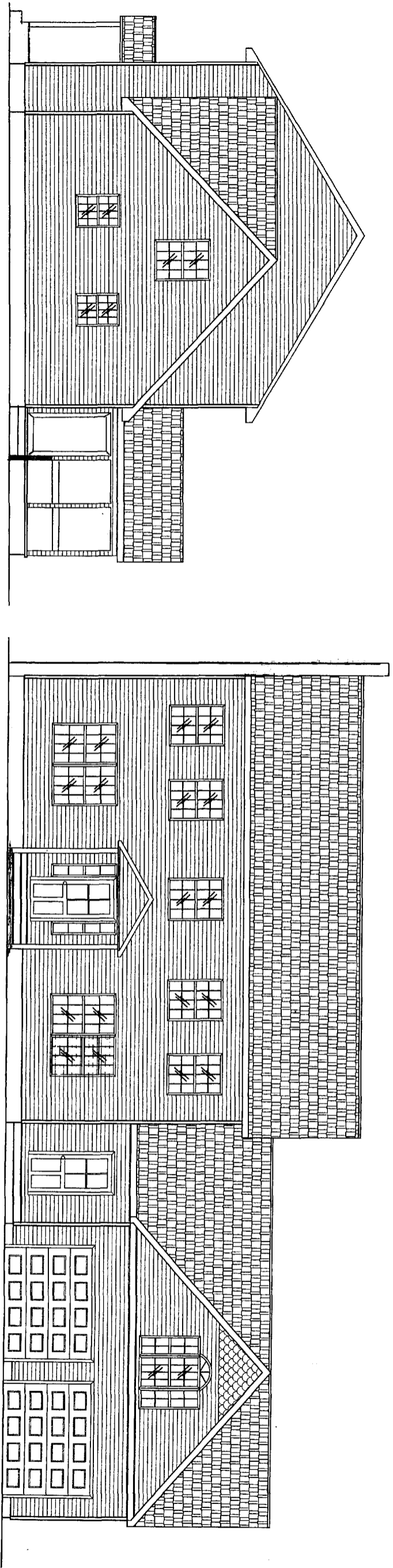
REVISIONS			
No.	BY	DESCRIPTION	DATE
1			
2			
3			

PROJECT: FOR: VESTA. CORP.
SHEET TITLE: SECOND FLOOR PLAN

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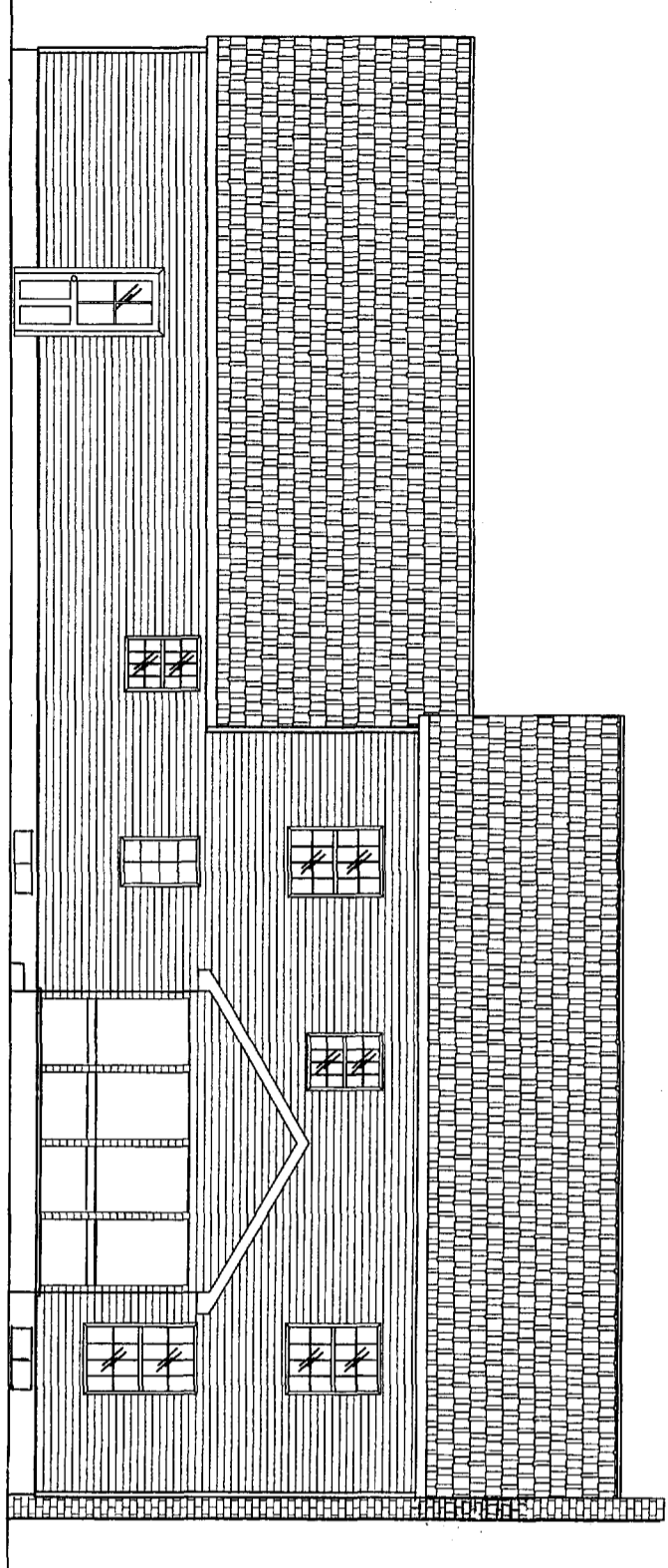
ASSOCIATED DESIGN PARTNERS INC.
 60 Leight
 FaintLeightyokidatmad4105
 Office: (207) 870-1751
 Fax: (207) 870-1751
 Email: adp@ad878-1788ig.com

DATE: 02/02/04
 SCALE: 1/8" = 1'-0"
 DESIGN BY: CNB
 DRAWN BY: AL
 FILE #: 000-1009-AMN1004
 PROJECT NUMBER: 04009
 SHEET NO.: A201

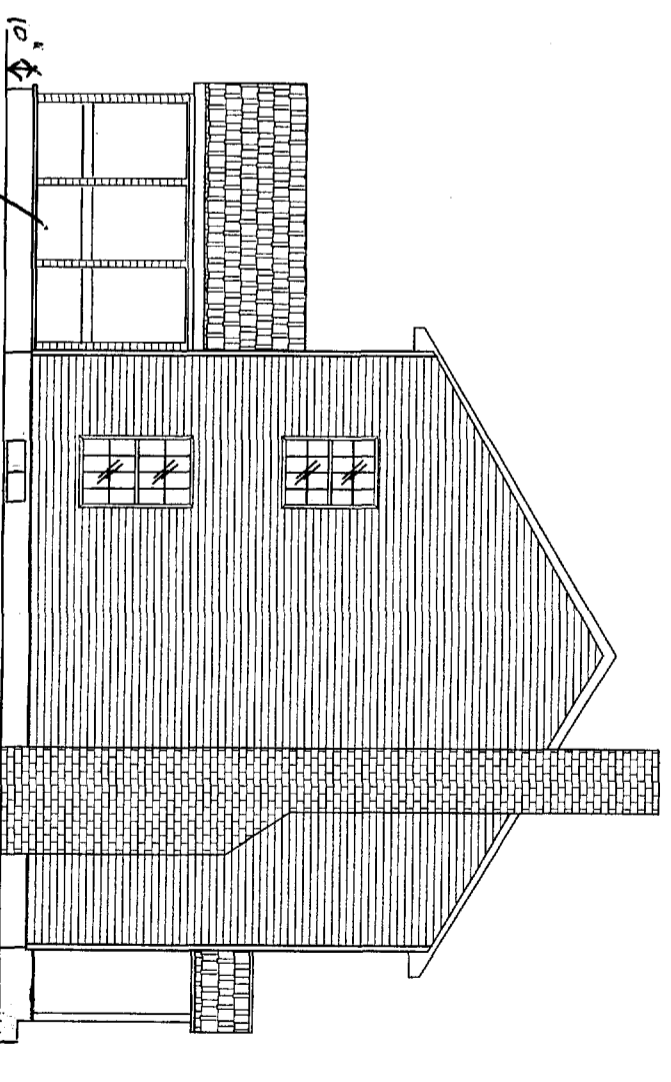


LEFT ELEVATION
SCALE: 1/2" = 1'-0"

FRONT ELEVATION
SCALE: 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/2" = 1'-0"



RIGHT ELEVATION
SCALE: 1/2" = 1'-0"

Handwritten note:
10' 6" ←
No guard rail

PROJECT: _____
FOR: VESTA, CORP.
SHEET TITLE: **ELEVATIONS**

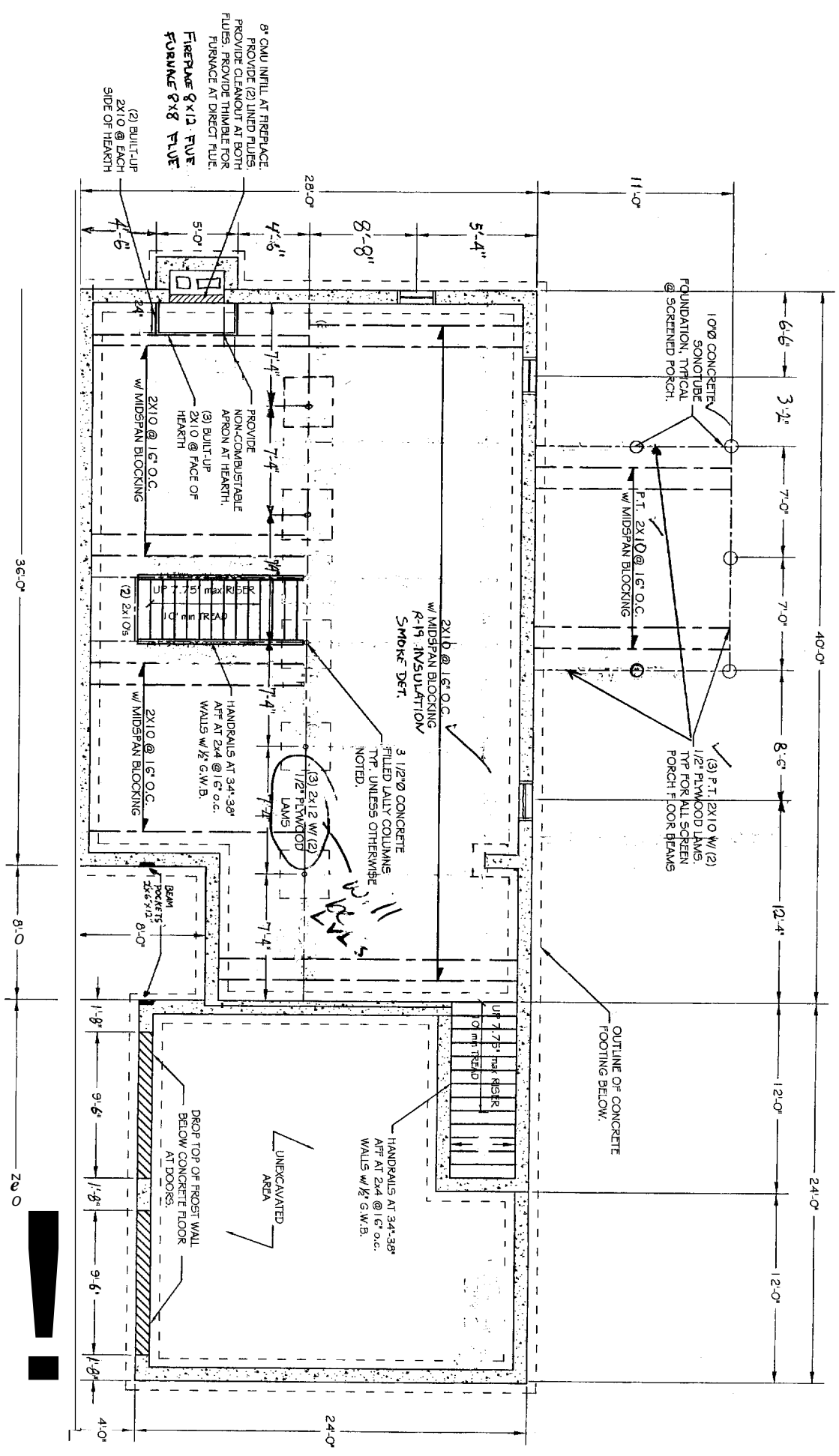
No.	BY	DESCRIPTION	DATE

DATE : 02/02/04
SCALE : 1/4" = 1'-0"
DRAWN BY: OMB
FILE #: 04009 - elevations.dwg
PROJECT NUMBER:
04009
SHEET NO:
A301

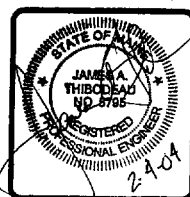
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FIRST FLOOR FRAMING PLAN



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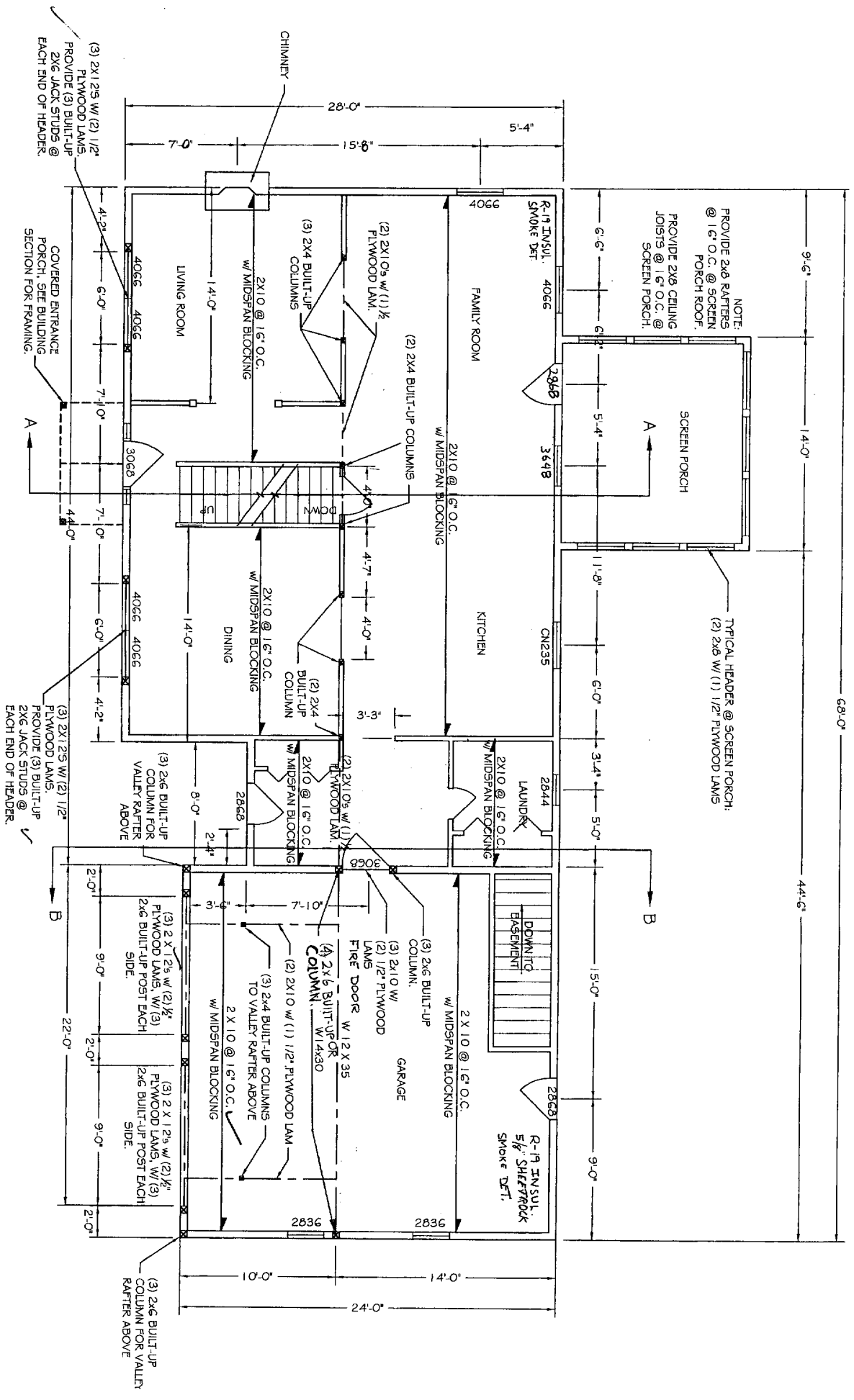
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PROJECT: FOR: VESTA. CORP.
 SHEET TITLE: FOUNDATION PLAN

No.	BY	DESCRIPTION	DATE
1			
2			
3			
4			

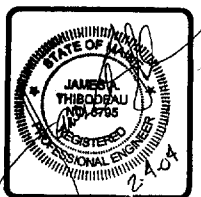
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 SCALE: 1/4"=1'-0"
 DESIGN BY: CHB
 DRAWN BY: AL
 FILE #: 04009-FOUNDATION.dwg
 PROJECT NUMBER: 04009
 SHEET NO.: S101

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SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

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PROJECT: FOR VESTIA, CORP.
SHEET TITLE: **SECOND FLOOR FRAMING PLAN**

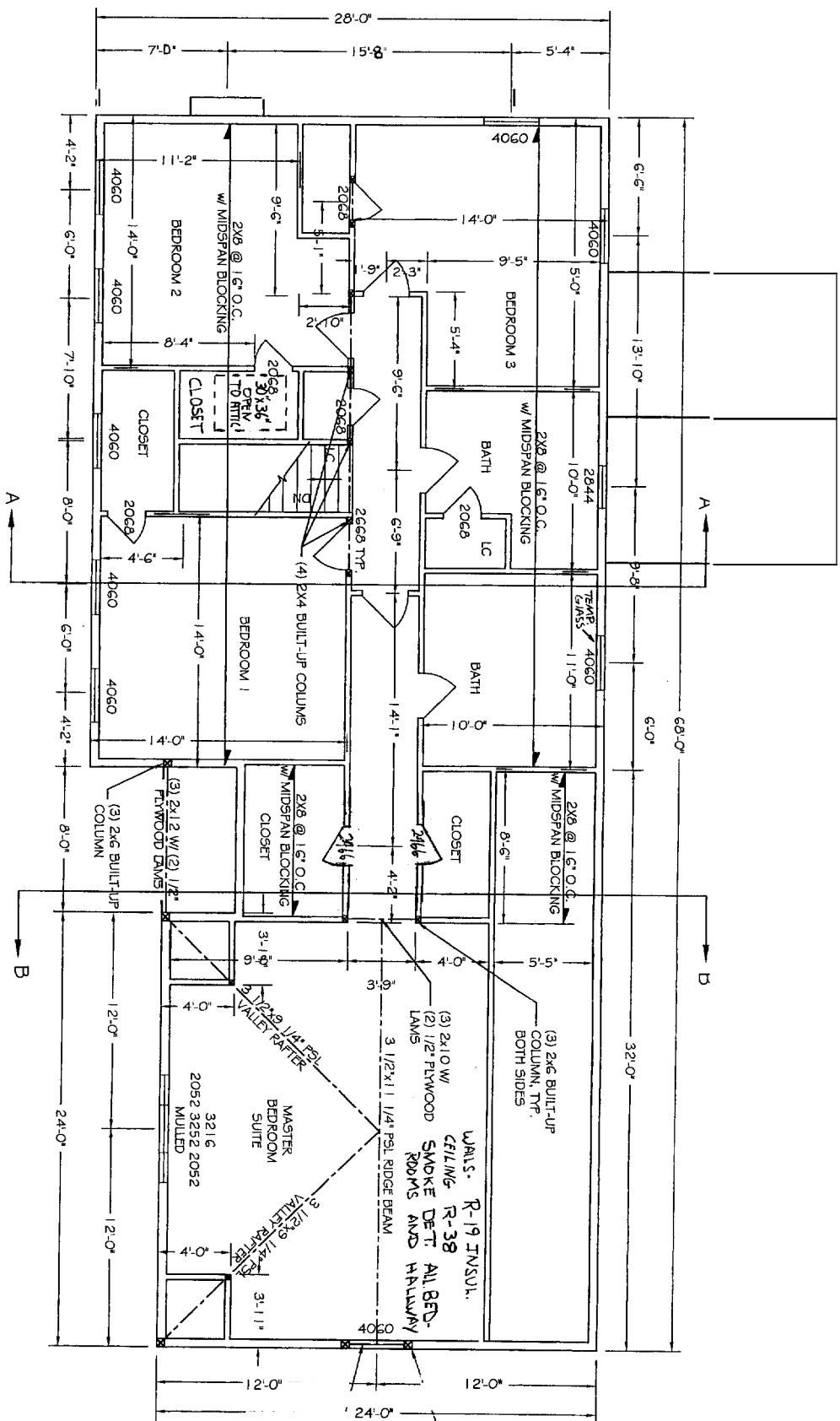
REVISIONS		
No.	BY	DATE

DATE: 02/02/04
SCALE: 1/4" = 1'-0"
DESIGN BY: CMB
DRAWN BY: AL
FILE # 04009-FLOOR PLAN FRAMING
PROJECT NUMBER: **04009**
SHEET NO: **S201**

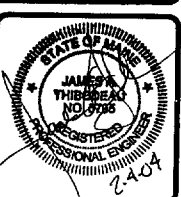
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- NOTES:
1. ALL PSLS ARE 2 O.E. PARALLEL UNLESS OTHERWISE NOTED.
 2. ALL LVL'S ARE 1.9E MICROLAM LVL'S UNLESS OTHERWISE NOTED.
 3. ALL SPECIFIED HEADER POSTS ARE JACK STUDS. CONTRACTOR SHOULD PROVIDE (1) 2x KING STUD, QUANTITY OF 2x BUILT-UP POSTS ARE NUMBER NOTED @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
 4. ALL NEW STRUCTURAL POSTS SHALL CONTINUE DOWN TO NEXT FLOOR LEVEL.
 5. GENERAL CONTRACTOR TO COMPLY WITH BOCA 1999 TABLE 2305.2 FASTENING SCHEDULE.

NOTE:
 INTERIOR HEADR @ SECOND FLOOR TO BE:
 (2) 2x8 W/ (1) 1/2" PLYWOOD LAM UNLESS OTHERWISE NOTED.
 EXTERIOR HEADERS @ SECOND FLOOR TO BE:
 (3) 2x10 W/ (2) 1/2" PLYWOOD LAMS UNLESS OTHERWISE NOTED



CEILING FRAMING PLAN
 SCALE: 1/4" = 1'-0"



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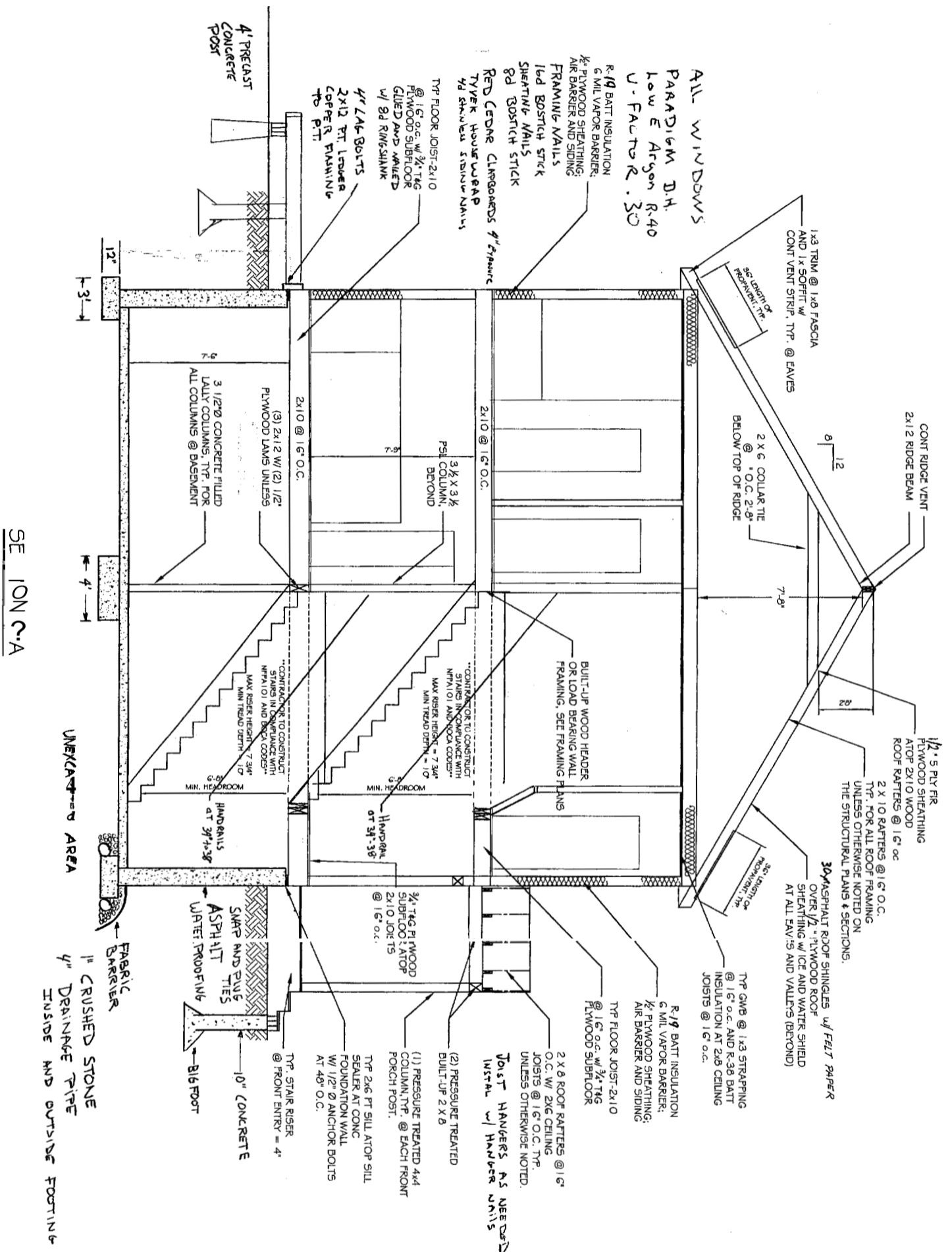
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PROJECT: FOR VESTA. CORP.
 SHEET TITLE: CEILING FRAMING PLAN

REVISIONS		
No.	BY	DATE

DATE: 02/02/04
 SCALE: 1/4" = 1'-0"
 DESIGN BY: CAB
 DRAWN BY: AL
 FILE #: 04009-1009-AMR/AMR/LAM
 PROJECT NUMBER: 04009
 SHEET NO.: S301

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SECTION A-A

UNEXPOSED AREA
 1" CRUSHED STONE
 4" DRAINAGE PIPE
 INSIDE AND OUTSIDE FOOTING

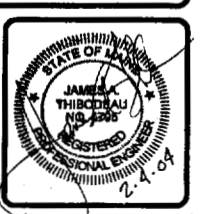
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 FILE # : 002-SECT-A
 PROJECT NUMBER:
 04009
 SHEET NO.:
 S401

No.	BY	REVISIONS DESCRIPTION	DATE

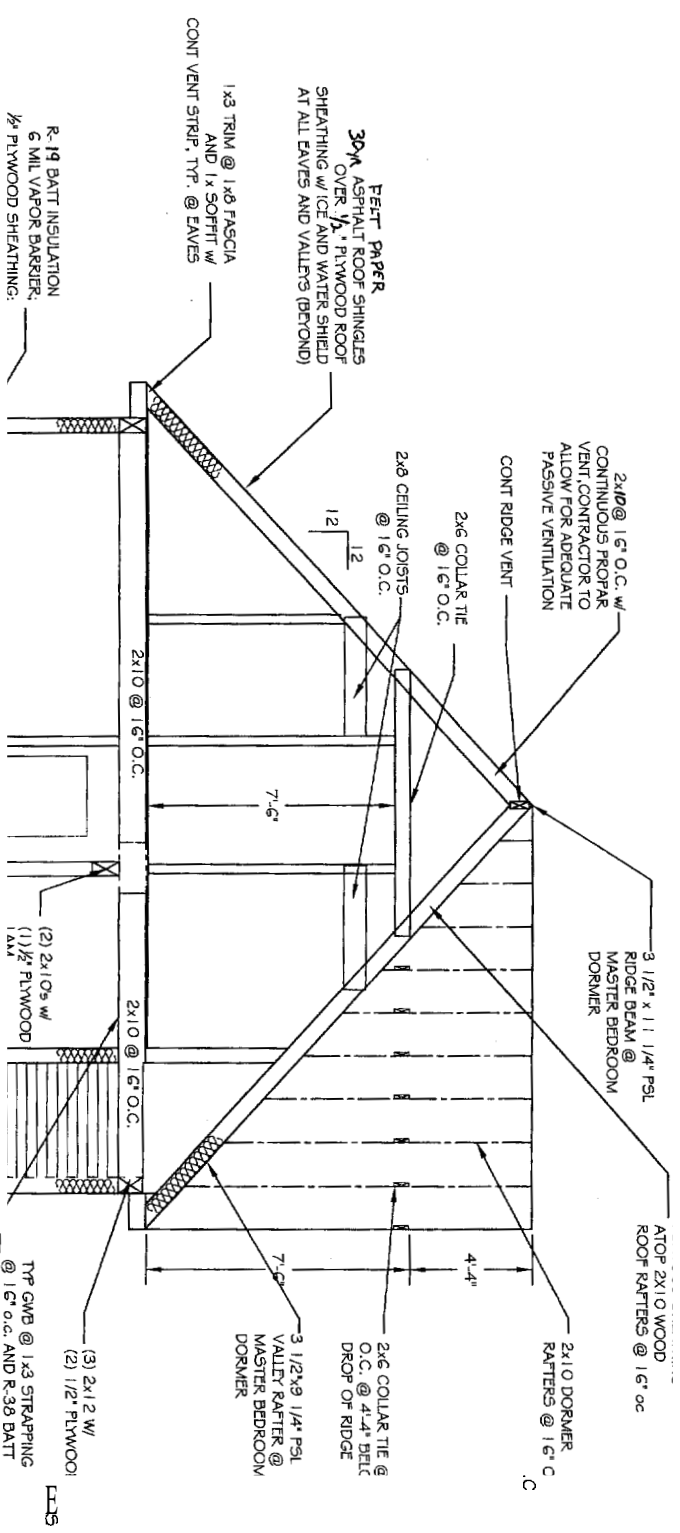
PROJECT:
 FOR: VESTA. CORP.
 SHEET TITLE:
 BUILDING SECTIONS

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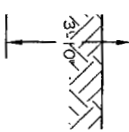
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R-19 BATT INSULATION
 6 MIL VAPOR BARRIER,
 AIR BARRIER AND SIDING
 (3) 2x12 W/ (2) 1/2"
 PLYWOOD LAMS UNLESS
 OTHERWISE NOTED ON 1ST
 FLOOR FRAMING PLAN
 CONCRETE FOUNDATION
 OF GARAGE, BEYOND



REVISIONS		DATE
No.	BY	DESCRIPTION

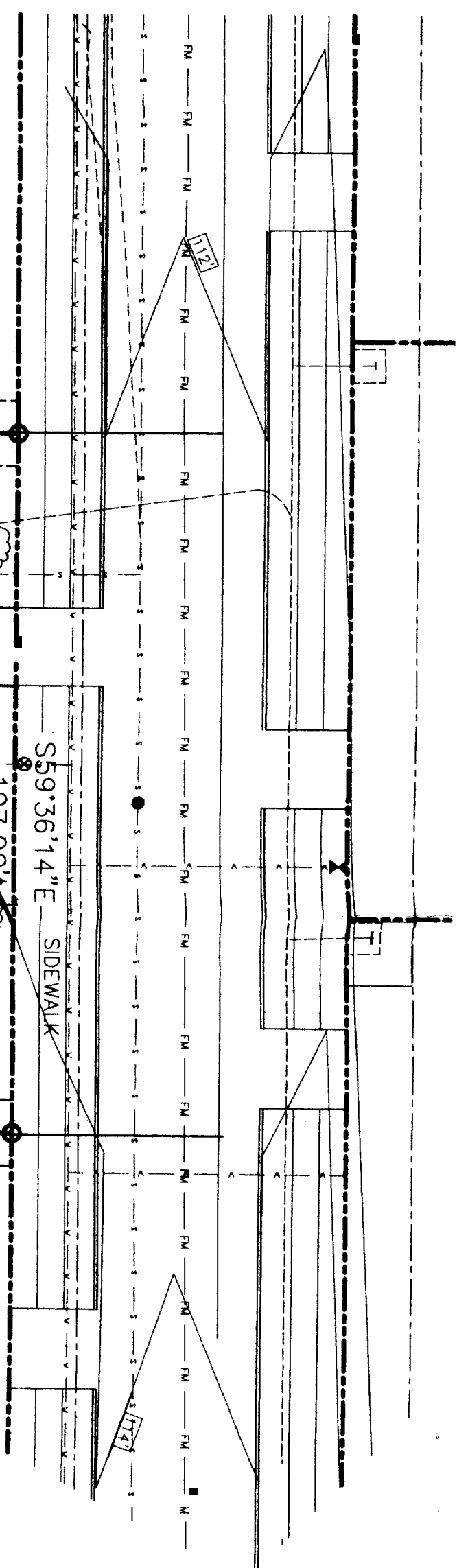
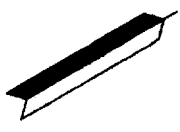
PROJECT:
 FOR: VESTA. CORP.
 SHEET TITLE:
BUILDING SECTION 2

THIS SHEET, PERIOD AND EXTENT OF THE PROJECT, THE DATE OF THE PERMITTING, THE APPROVAL, CONTAIN OR ANY OTHER PART OF THE DOCUMENT WITHOUT THE SIGNATURE OF THE ENGINEER.

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DATE: 02/02/04
 SCALE: 1/4"=1'-0"
 DESIGN BY: CHB
 DRAWN BY: AL
 FILE #: 0008-30704.dwg
 PROJECT NUMBER: **04009**
 SHEET NO: **S501**



PLAN REFERENCE:

DENTAL LOT SUBDIVISION PLAT BALLPARK DRIVE SUBDIVISION
FOR MARGARET HAVERTY, BY URS CORPORATION DATED 2-23-04
SED 11-17-04.

LEGEND:

- IRON PIPE OR ROD FOUND
- IRON ROD SET
- WATER VALVE
- UTILITY POLE

- 1. THE REF AND
- 2. ELE
- 3. BEN AT ELE
- 4. ACC FLO CON THE OUT
- 5. ALL BY

