

DEP Approval Request
 curb cut relocation
 Approve w/ Conditions

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM
 DRC Copy
Jay Reynolds

2005-0194
 Application I. D. Number
 8/29/2005
 Application Date
 single Family Home lot#7
 Project Name/Description

Ballpark Drive Development Llc
 Applicant
 67 Havertys Way, Portland, ME 04103
 Applicant's Mailing Address
 Michael DIMillo
 Consultant/Agent
 Agent Ph: _____ Agent Fax: _____
 Applicant or Agent Daytime Telephone, Fax

74 - 74 Ballpark Dr, Portland, Maine
 Address of Proposed Site
 371 A037001
 Assessor's Reference: Chart-Block-Lot

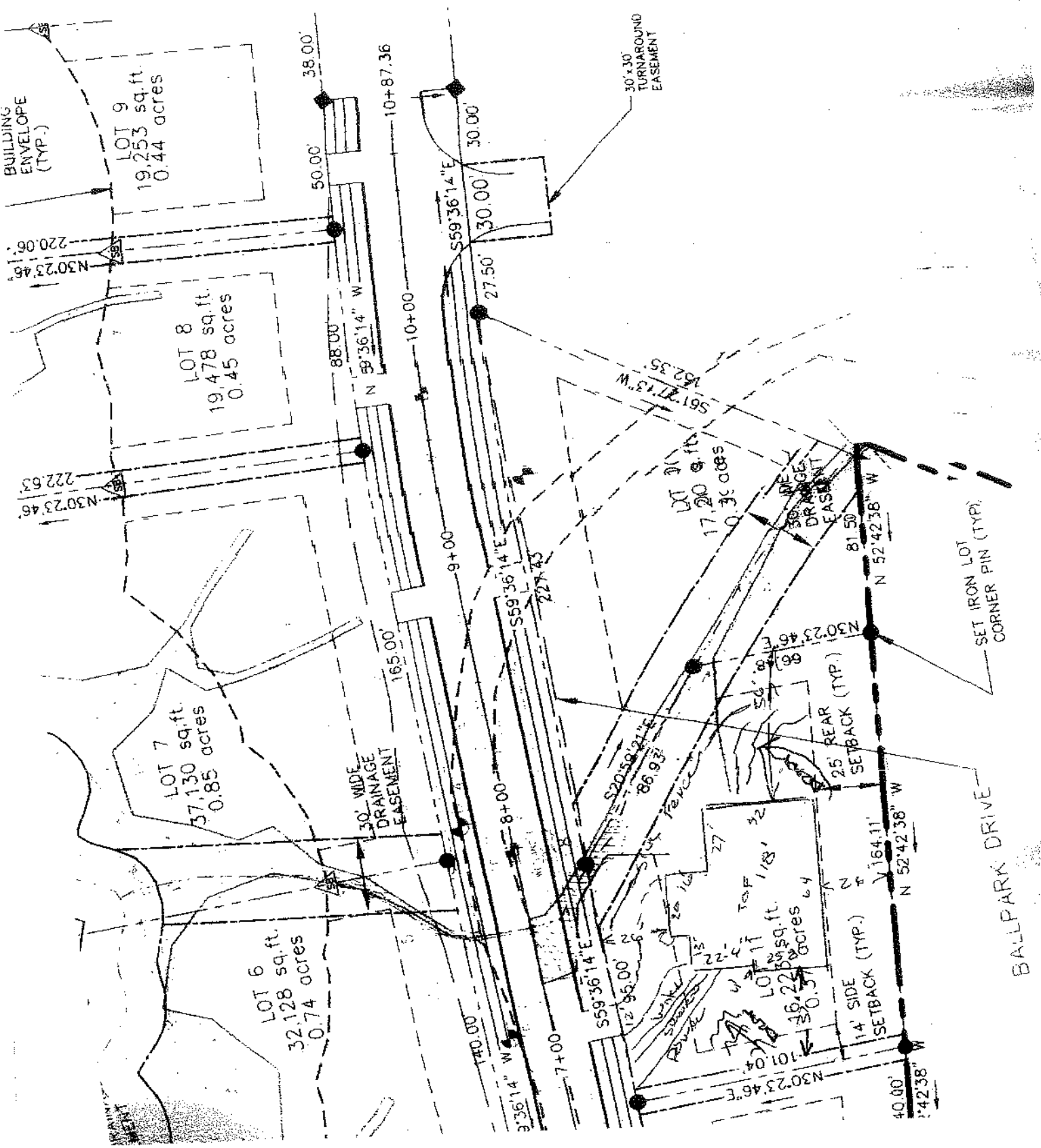
Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
 1744 Proposed Building square Feet or # of Units 37130 Acreage of Site Zoning

Check Review Required:
 Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____
 Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 8/30/2005

DRC Approval Status:
 Approved Approved w/Conditions See Attached Denied
 Reviewer Jay Reynolds
 Approval Date 9-15-05 Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance J.R. signature 9-15-05 date

Performance Guarantee Required* Not Required
 * No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	





PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life - www.portlandmaine.gov

Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

May 12, 2005

Candage Douglas
P.O. Box #142
South Windham, ME 04062

RE: Lot #11 Ballpark Drive - #371-A-041- R-2 Zone - application #05-0461

Dear Douglas,

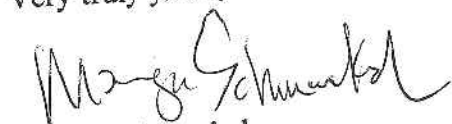
Your permit to construct a new single family dwelling at lot #11 Ballpark Drive has been denied because we have not received all the required submittals in order to determine compliance with City Ordinances.

You have not submitted a scaled site plan showing the proposed, dimensioned structure. Your currently submitted site plan does not match your submitted building construction plans. Your site plan must show all projections, including, but not limited to, decks, stairs, chimneys, and bay windows.

When you applied for a building permit, the front staff did not charge you for a required minor/minor site plan review. Before we can complete your permit approval, you need to apply and be approved by planning under site plan review. Please review our new single family home application packet for all the required information for submittals

Your permit will be on hold until this office receives all the required information to determine compliance with City Ordinances.

Very truly yours,


Marge Schmuckal
Zoning Administrator

Cc: Jay Reynolds, Planning
file

City of Portland
Department of Planning and Development
Planning Division
389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To:

Doug Combs

Company:

Fax #:

893-1320

Date:

5-17-05

From:

Jay Reynolds

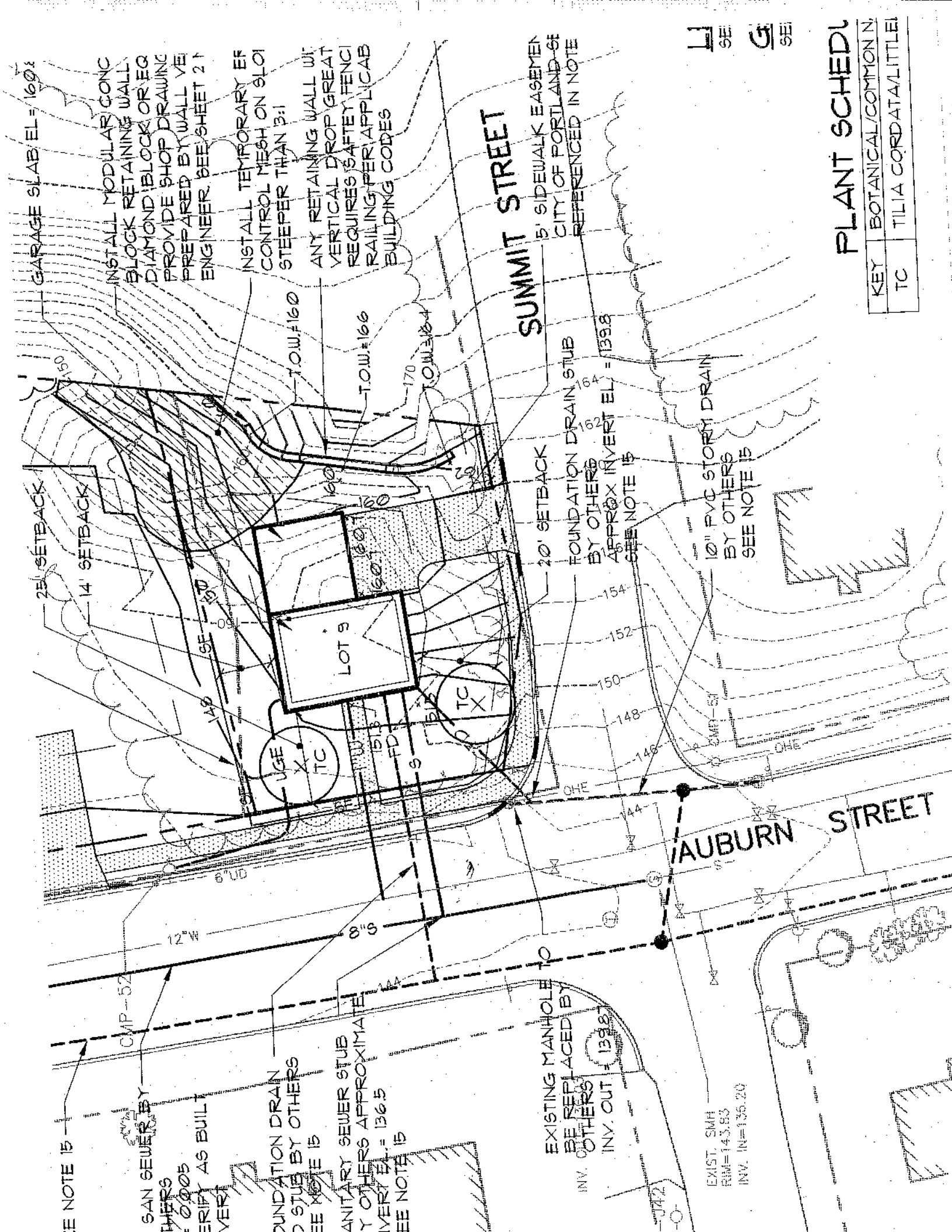
You should receive 2 page(s) including this cover sheet.

Comments:

Attached is a 30-scale, legible, readable, plan that shows the following information needed to approve a single family application in an approved subdivision:

house, existing/proposed topography, utilities, driveway, street trees, buffer zone area, finish floor elevation, etc., setbacks, erosion control... etc.

Any questions, call.



GARAGE SLAB EL = 160.1
 INSTALL MODULAR CONCRETE BLOCK RETAINING WALL, DIAMOND BLOCK OR EGG PROVIDE SHOP DRAWING PREPARED BY WALL VENDOR ENGINEER. SEE SHEET 21

INSTALL TEMPORARY EROSION CONTROL MESH ON SLOPE STEEPER THAN 3:1
 ANY RETAINING WALL WITH VERTICAL DROP GREAT THAN 4 FEET REQUIRES SAFETY FENCING PER APPLICABLE BUILDING CODES

SUNMIT STREET
 5' SIDEWALK EASEMENT CITY OF PORTLAND-SEE REFERENCED IN NOTE

20' SETBACK
 FOUNDATION DRAIN STUB BY OTHERS APPROX INVERT EL = 139.8 SEE NOTE 15

10" PVC STORM DRAIN BY OTHERS SEE NOTE 15

SEE NOTE 15
 SAN SEWER BY OTHERS VERIFY AS BUILT VERT
 FOUNDATION DRAIN STUB BY OTHERS SEE NOTE 15
 SANITARY SEWER STUB BY OTHERS APPROXIMATE VERT EL = 136.5 SEE NOTE 15

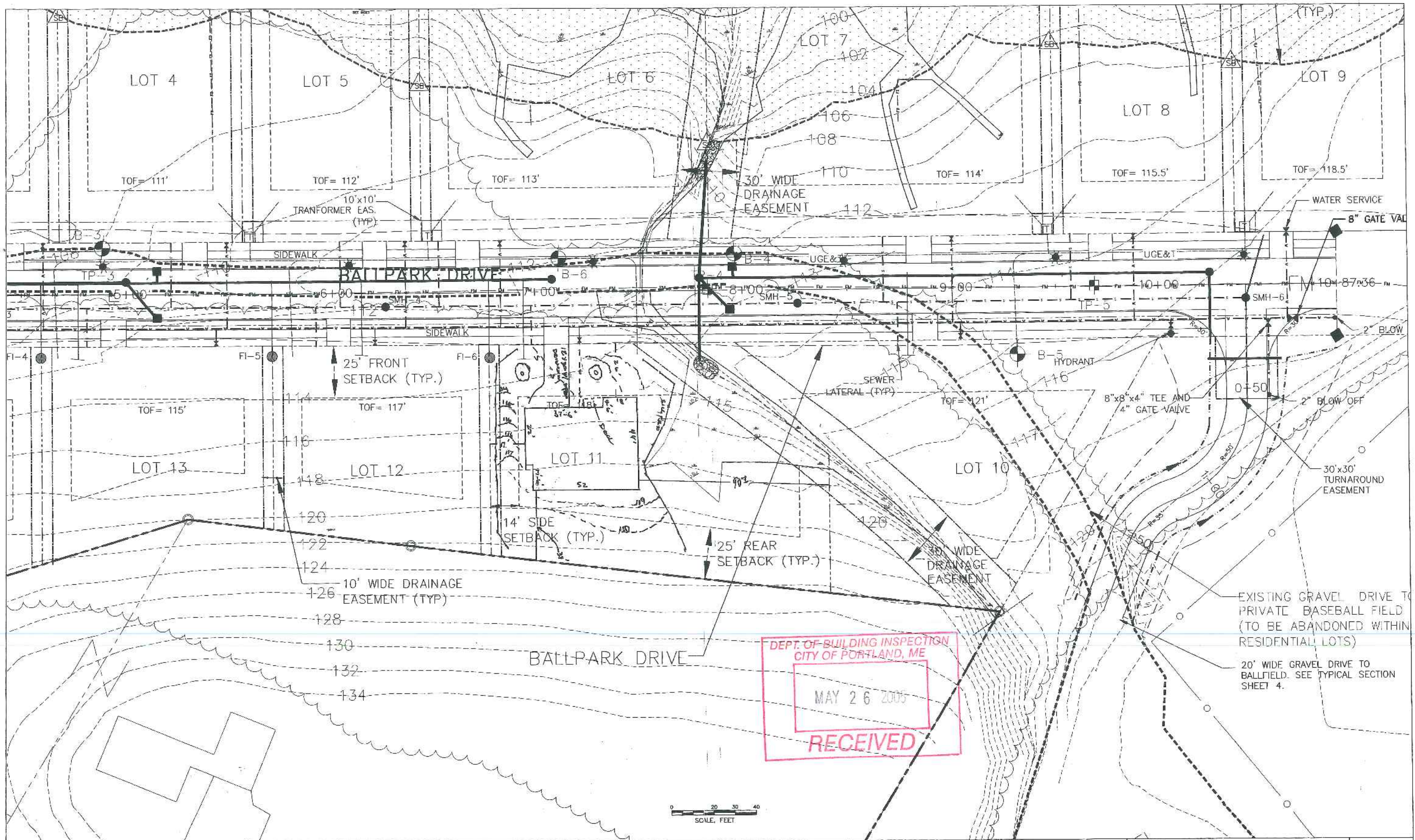
EXISTING MANHOLE TO BE REPLACED BY OTHERS INV. OUT = 139.8

EXIST. SMH
 RIM = 143.83
 INV. IN = 136.20

H SEE
 G SEE

PLANT SCHEDULE

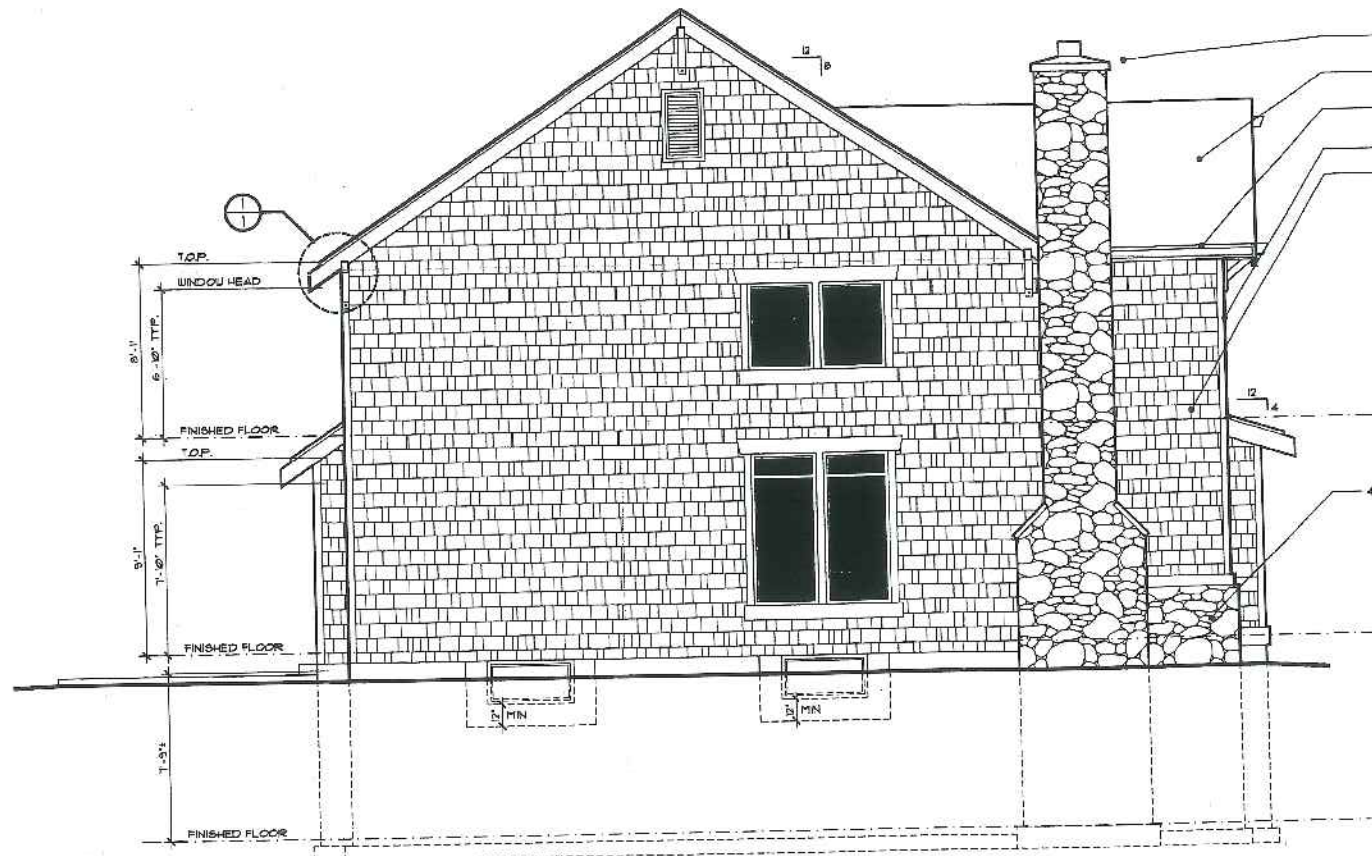
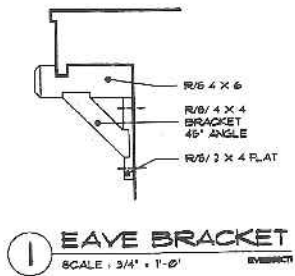
KEY	BOTANICAL/COMMON NAME
TC	TILIA CORDATA/LITTLE



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY 26 2005
RECEIVED

SCALE, FEET
0 20 30 40

URS Corporation 477 Congress Street, 9th Floor Portland, ME 04101-3453 Tel: 207.879.7686 Fax: 207.879.7685 www.urscorp.com	PROJECT NAME: BALLPARK DRIVE LOTS 10-12	SHEET TITLE: LOTS 10-12 PLAN BALLPARK DRIVE SUBDIVISION	SHEET OF:
	PROJECT LOCATION: WASHINGTON AVE, PORTLAND, MAINE	CLIENT:	DRAWING NO.:
PROJECT NO.:	SCALE: 1" = 20'	DATE: MAY 19 2005	



- CHIMNEY TO EXTEND MIN. 24" ABOVE ANY ROOF WITHIN 18" HORIZONTAL
- ROOFING MATERIAL (SEE ROOF PLAN)
- G.I. GUTTER ON 2 X 8 FASCIA C/W DOWNSPOUTS (SEE ROOF PLAN)
- 5/4 X CEDAR CORNER BOB.
- CEDAR SHINGLE SIDING

THE TYPE OF EXTERIOR FINISH, THE INSTALLATION AND THE WATERPROOFING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE OWNER/BLDR. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF THE BLDG ENVELOPE.

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

MAY 26 2005

RECEIVED

LEFT ELEVATION
SCALE: 1/4" = 1'-0"



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FRONT ELEVATION
SCALE: 1/4" = 1'-0"

UPPER FLOOR	1387 SQ. FT.
MAIN FLOOR	1914 SQ. FT.
SUB-TOTAL	3301 SQ. FT.
BONUS ROOM	+ 231 SQ. FT.
BASEMENT	+ 874 SQ. FT.
GARAGE AREA	+ 661 SQ. FT.

B22113

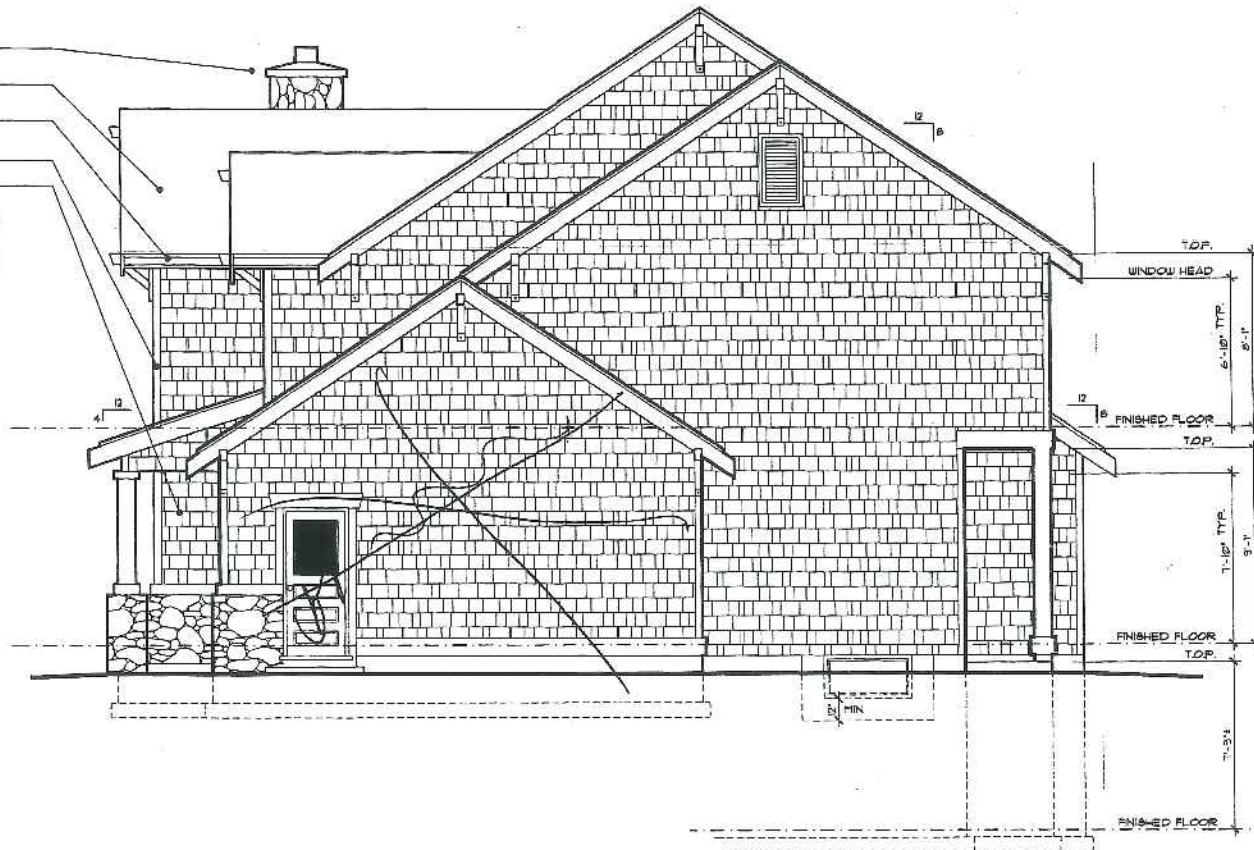
THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION OF ALL EXTERIOR FINISHES AND WEATHERPROOFING.

Alasford COLLECTION

ALAN ALASFORD DESIGN ASSOCIATES, INC. 1000 SW 15TH AVE., PORTLAND, ME 04104-2501 FAX: 800.725.0513

- CHIMNEY TO EXTEND MIN. 24" ABOVE ANY ROOF WITHIN 18" HORIZONTAL
- ROOFING MATERIAL (SEE ROOF PLAN)
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RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY 26 2005
RECEIVED



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REAR ELEVATION

UPPER FLOOR	1392 SQ. FT.
MAIN FLOOR	1574 SQ. FT.
SUB-TOTAL	2966 SQ. FT.
BONUS ROOM	+ 231 SQ. FT.
BASEMENT	1574 SQ. FT.
GARAGE AREA	+461 SQ. FT.

B22113

2

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION OF ALL EXTERIOR

Alford COLLECTION

ALAN MARCHAND DESIGN RESOURCES, INC. 383-252-2100 FAX: 383-252-2102
100 W. 10TH ST. PORTLAND, ME 04101-3000



DRUMMOND DESIGNS INC.
Your Home Plan Experts

2550 Lemire Boul., Drummondville
(Quebec) Canada, J2B 7J6
1-800-567-5267

ATTENTION!

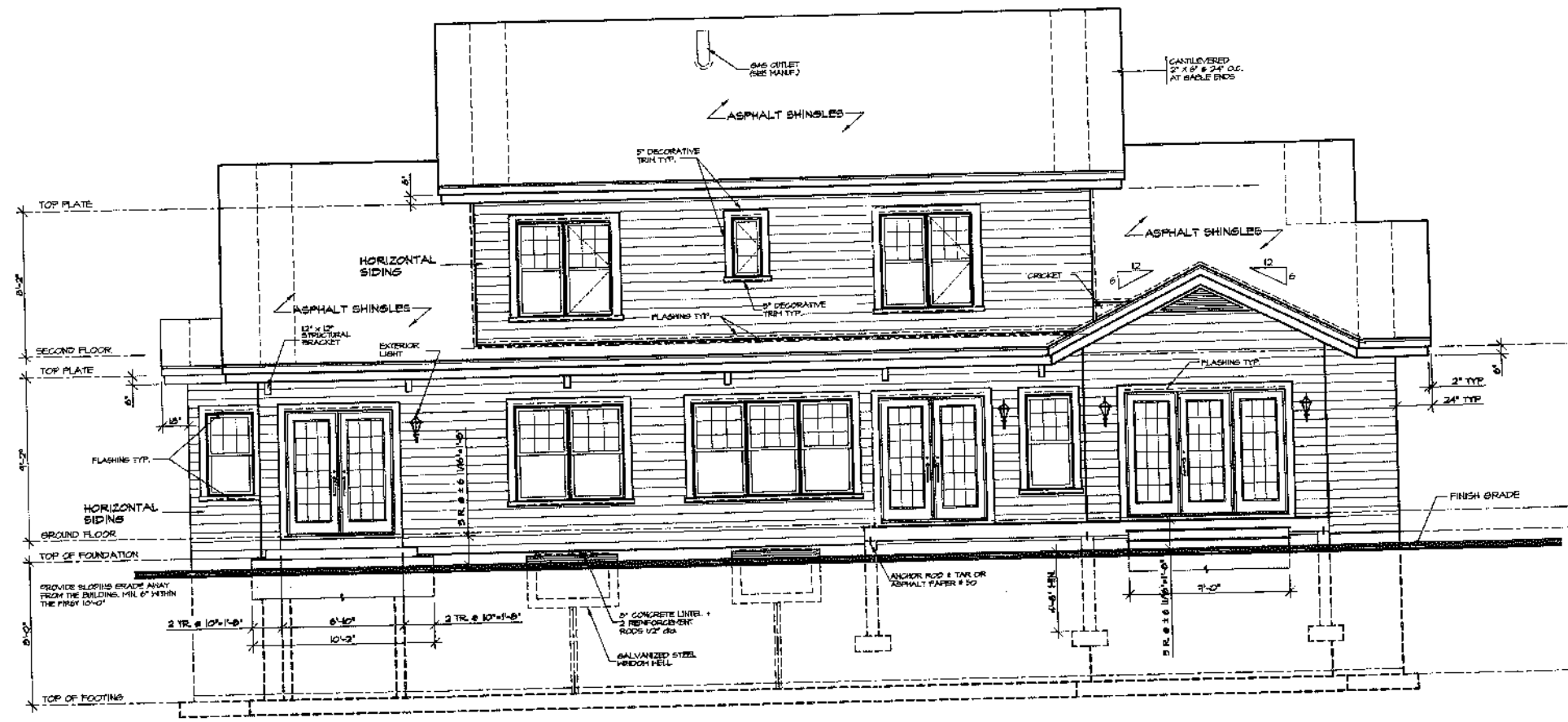
FOR ANY TECHNICAL INFORMATION THAT IS UNCLEAR PLEASE CONTACT DRUMMOND DESIGNS INC. AT THE NUMBER ABOVE BEFORE OR DURING THE COURSE OF THIS PROJECT.

COMMENTS

E-MAIL: info@drummonddesigns.com
HEAD OFFICE: 1-800-567-5267

NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY AND AS SUCH MAY REQUIRE CHANGES. THE BUILDING CONTRACTOR MUST REVIEW AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.
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YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.
TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS, WALLS, PILASTERS AND CONCRETE ANGLES MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE (5 LBS ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" FIBERBOARD).



REVISION	NO.	DATE	BY



DESIGNED BY: D.G.
DRAWN BY: G.S.
CHECKED BY: H.D.
COMPUTER ASSISTED DRAWINGS

CLIENT: _____

PROJECT: NEW CONSTRUCTION (BASEMENT)

DRAWING: REAR ELEVATION

DATE: 21 / 03 / 2005 SCALE: 1/4" = 1'-0"



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(Quebec) Canada, J2B 7J6
1-800-567-5267

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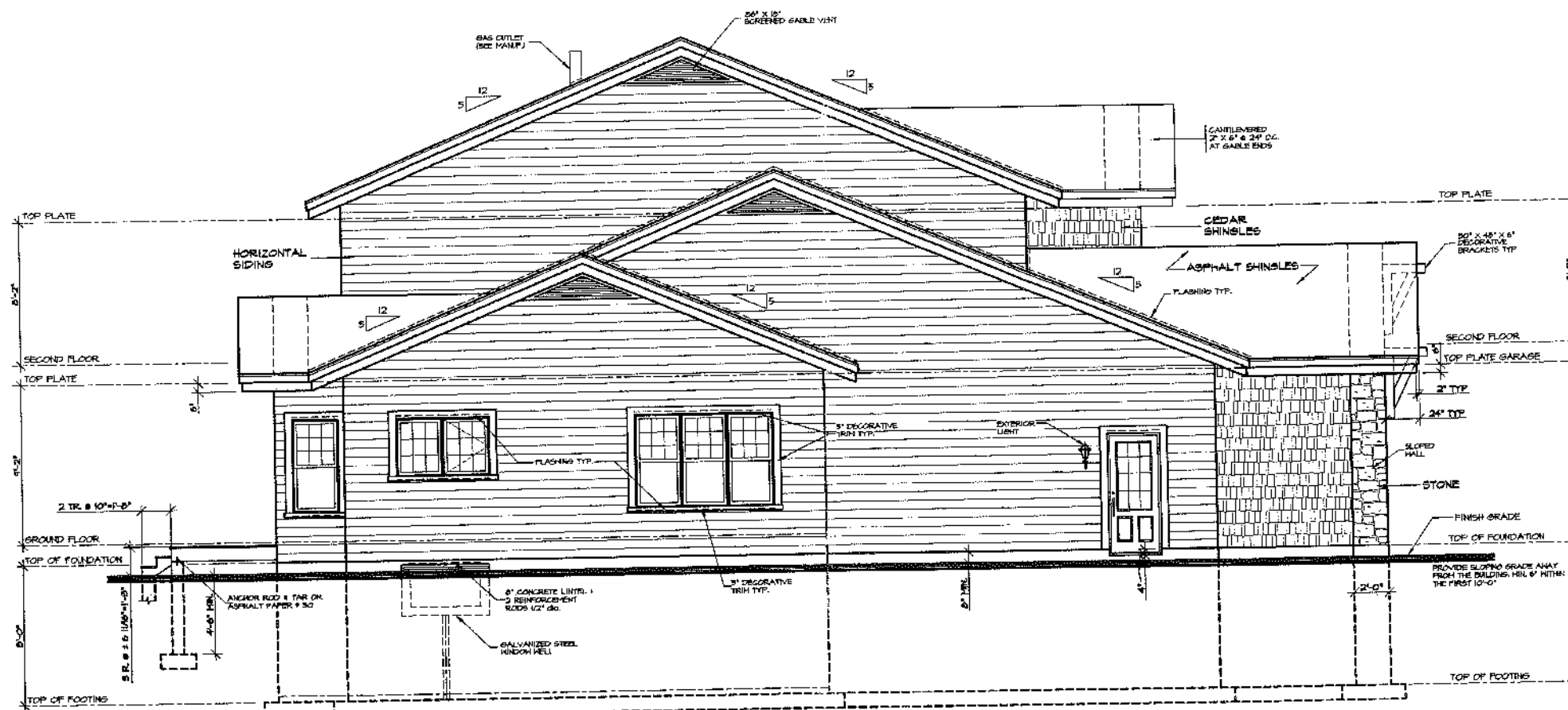
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REVISION	NO	DATE	BY



DESIGNED BY: D.C.
DRAWN BY: G.B.
CHECKED BY: M.D.

COMPUTER ASSISTED DRAFTING

PROJECT: NEW CONSTRUCTION (BASEMENT)
DRAWING: LEFT ELEVATION



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(Quebec) Canada, J2B 7J6
1-800-567-5267

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HEAD OFFICE : 1-800-567-5267

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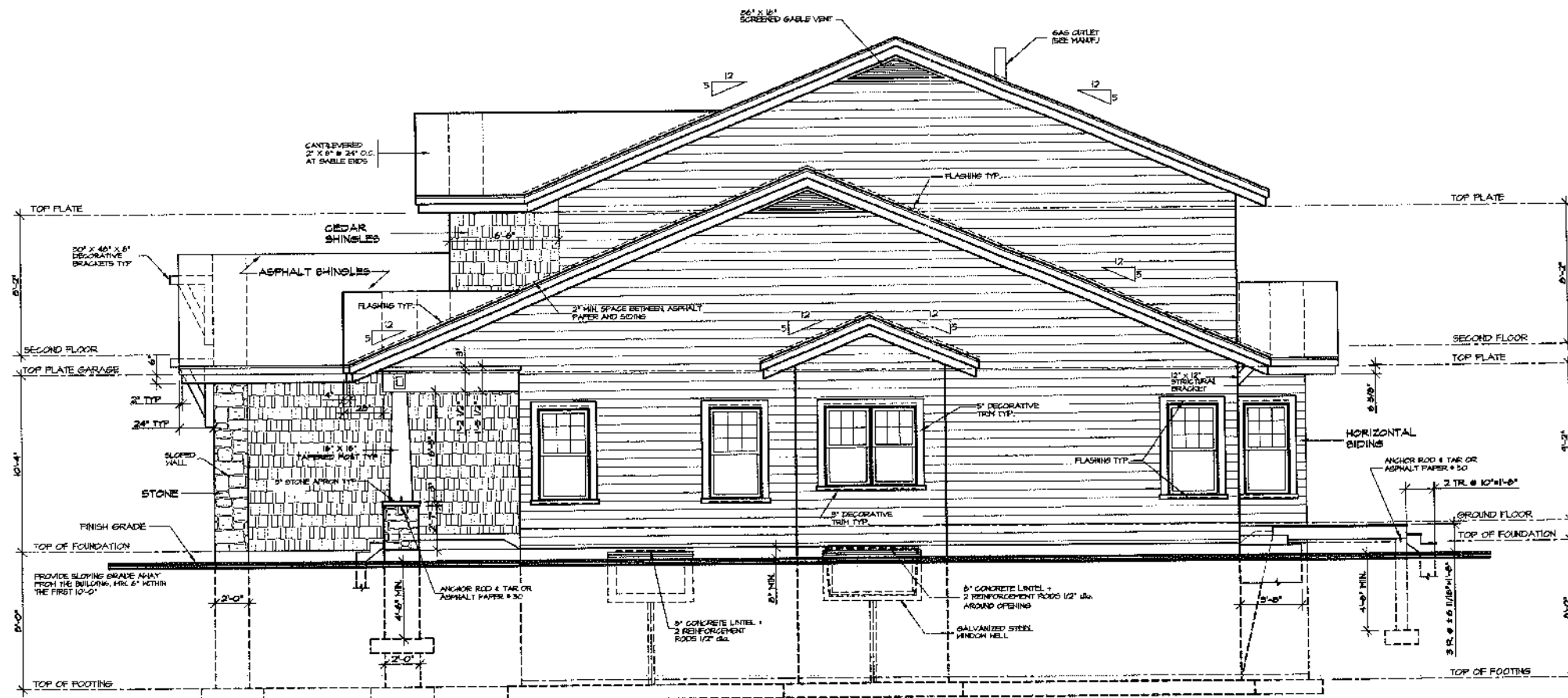
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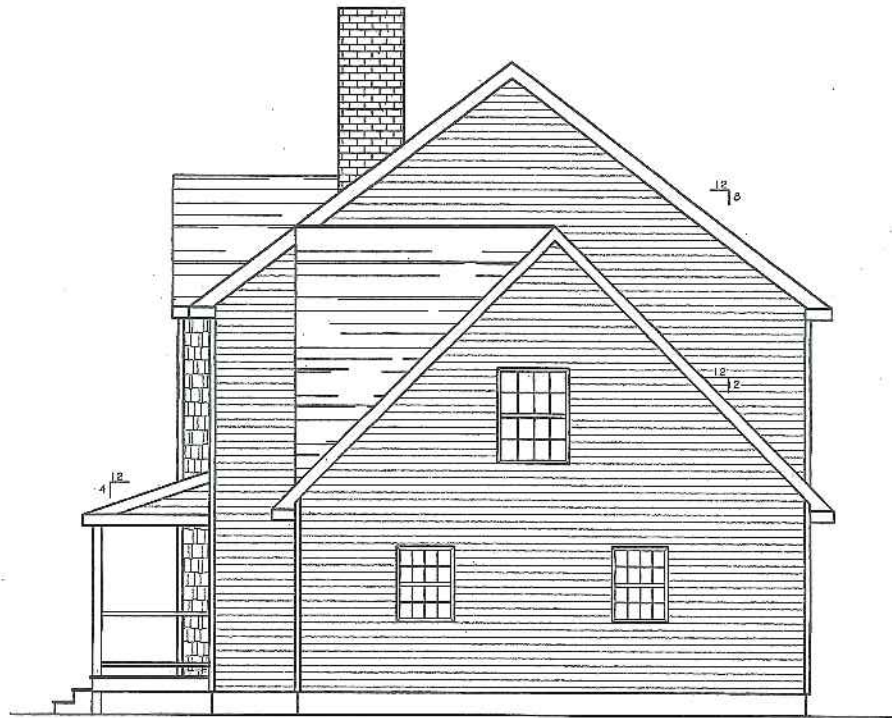
REVISION	NO	DATE	BY



DESIGNED BY: D.C.
DRAWN BY: E.B.
CHECKED BY: M.D.
COMPUTER ASSISTED DRAFTING

CLIENT: _____
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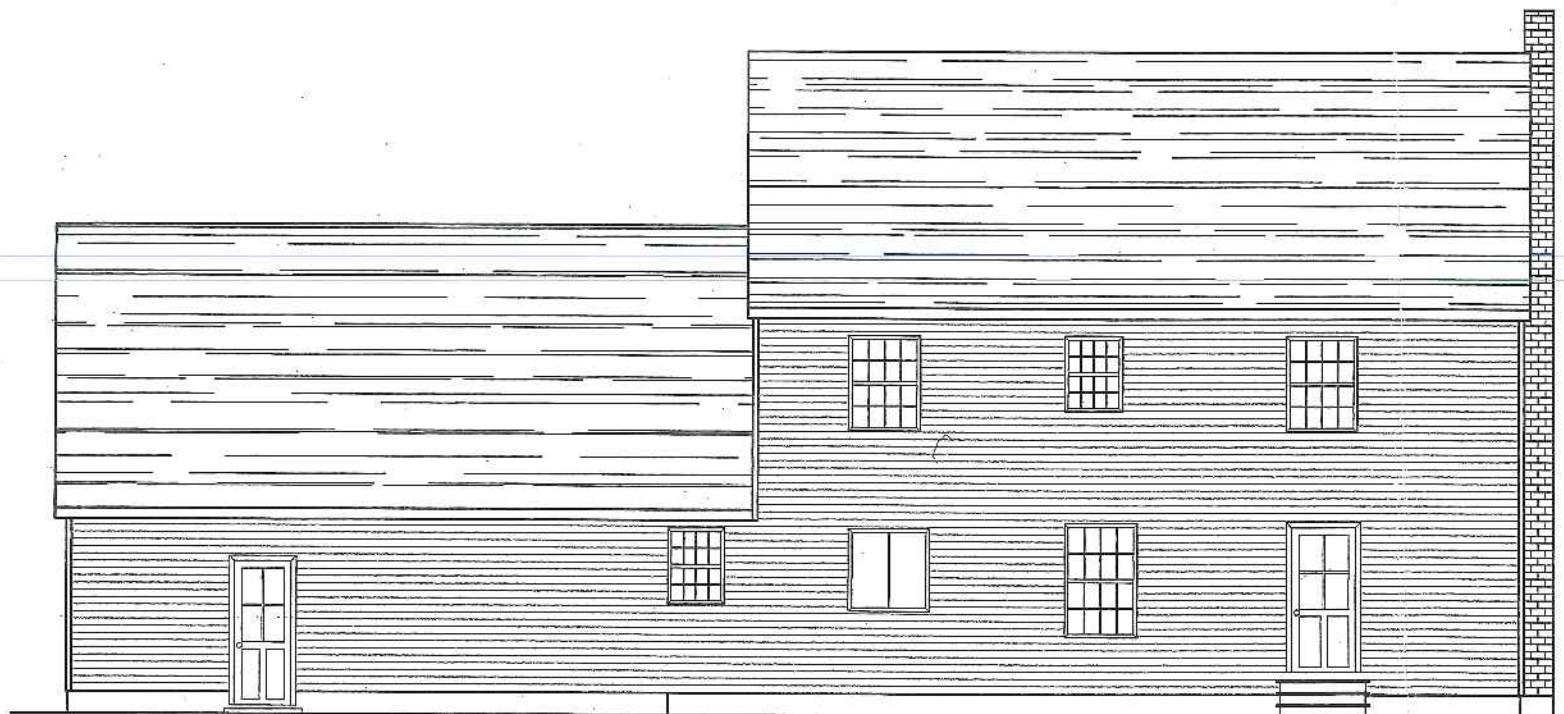
DRAWING: RIGHT ELEVATION



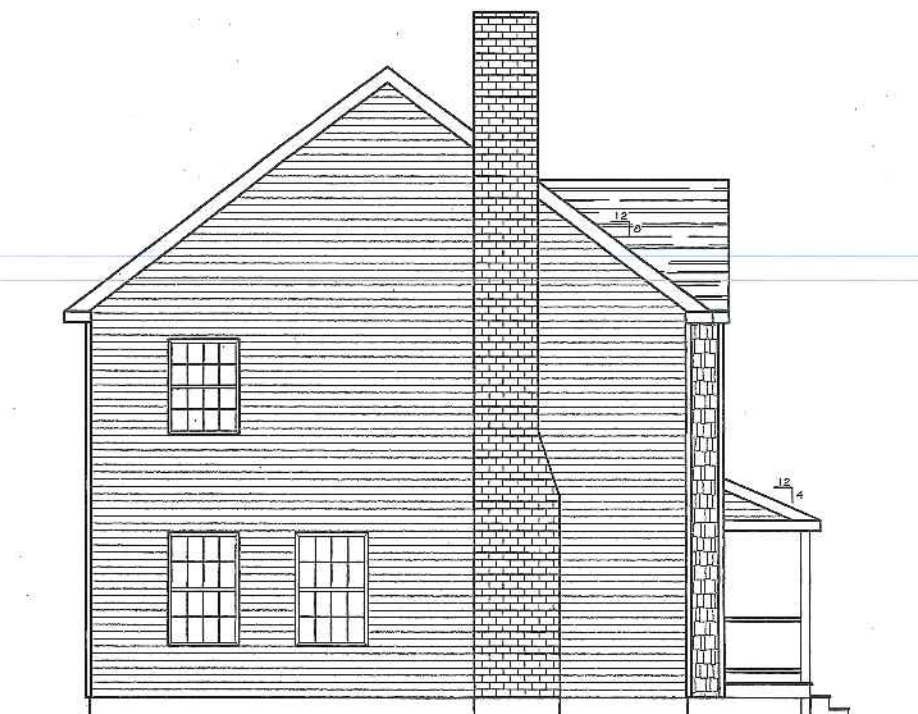
RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION

ASSOCIATED DESIGN PARTNERS INC.

Office: (207) 878-1751
 (207) 878-1788
 E-Mail: adp@adpengineering.com

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PROJECT: **BALL PARK DRIVE
 PORTLAND, ME
 FOR: VESTA CORP**

SHEET TITLE: **BUILDING ELEVATIONS**

NO.	BY	REVISIONS	DESCRIPTION	DATE

DATE : 08/25/05
 SCALE : 1/4"=1'-0"
 DESIGN BY: CMB
 DRAWN BY: AL
 FILE #: 05078-S201-ELEV.DWG
 PROJECT NUMBER:
05226
 SHEET NO:
S201