

DEP Approval Request
 Curb Cut Rehabilitation
 Approve w/ Conditions

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM
 DRC Copy

2005-0194
 Application I. D. Number
 8/29/2005
 Application Date
 single Family Home lot#7
 Project Name/Description

Ballpark Drive Development Llc
 Applicant
 67 Havertys Way , Portland , ME 04103
 Applicant's Mailing Address
 Michael DiMillo
 Consultant/Agent
 Agent Ph: _____ Agent Fax: _____
 Applicant or Agent Daytime Telephone, Fax

Jay Reynolds

74 - 74 Ballpark Dr , Portland, Maine
 Address of Proposed Site
 371 A037001
 Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1744 Proposed Building square Feet or # of Units 37130 Acreage of Site _____ Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 8/30/2005

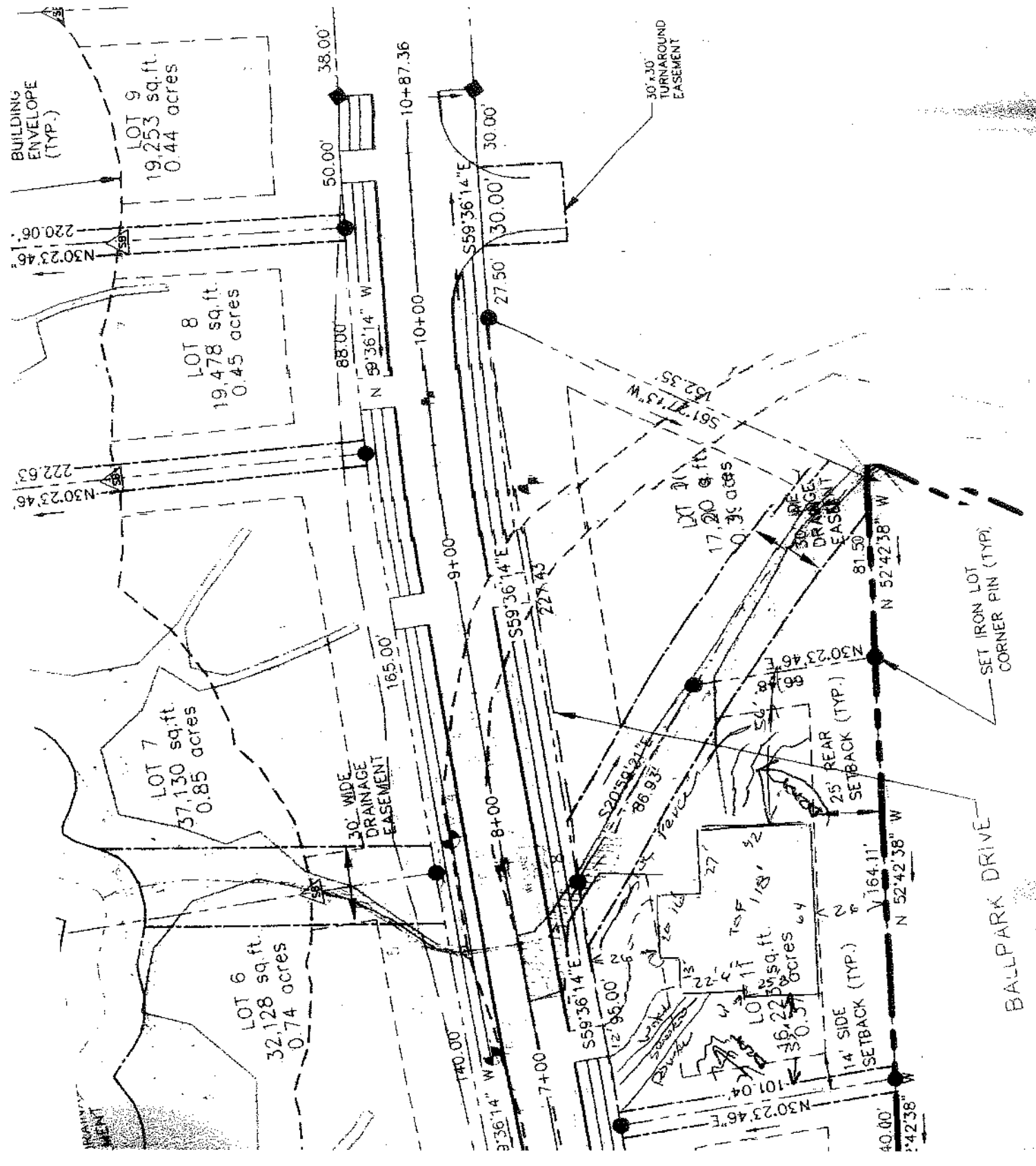
DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
 Reviewer Jay Reynolds
 Approval Date 9-15-05 Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance J.R. signature 9-15-05 date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date
- Inspection Fee Paid _____ date _____ amount
- Building Permit Issue _____ date
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature
- Temporary Certificate of Occupancy _____ date Conditions (See Attached) _____ expiration date
- Final Inspection _____ date _____ signature
- Certificate Of Occupancy _____ date
- Performance Guarantee Released _____ date _____ signature
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date
- Defect Guarantee Released _____ date _____ signature



JAY



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life - www.portlandmaine.gov

Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

May 12, 2005

Candage Douglas
P.O. Box #142
South Windham, ME 04062

RE: Lot #11 Ballpark Drive - #371-A-041- R-2 Zone - application #05-0461

Dear Douglas,

Your permit to construct a new single family dwelling at lot #11 Ballpark Drive has been denied because we have not received all the required submittals in order to determine compliance with City Ordinances.

You have not submitted a scaled site plan showing the proposed, dimensioned structure. Your currently submitted site plan does not match your submitted building construction plans. Your site plan must show all projections, including, but not limited to, decks, stairs, chimneys, and bay windows.

When you applied for a building permit, the front staff did not charge you for a required minor/minor site plan review. Before we can complete your permit approval, you need to apply and be approved by planning under site plan review. Please review our new single family home application packet for all the required information for submittals

Your permit will be on hold until this office receives all the required information to determine compliance with City Ordinances.

Very truly yours,

A handwritten signature in black ink that reads "Marge Schmuckal".

Marge Schmuckal
Zoning Administrator

Cc: Jay Reynolds, Planning
file

City of Portland
Department of Planning and Development
Planning Division
389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To:

Doug Candage

Company:

Fax #:

893-1320

Date:

5-17-05

From:

Jay Reynolds

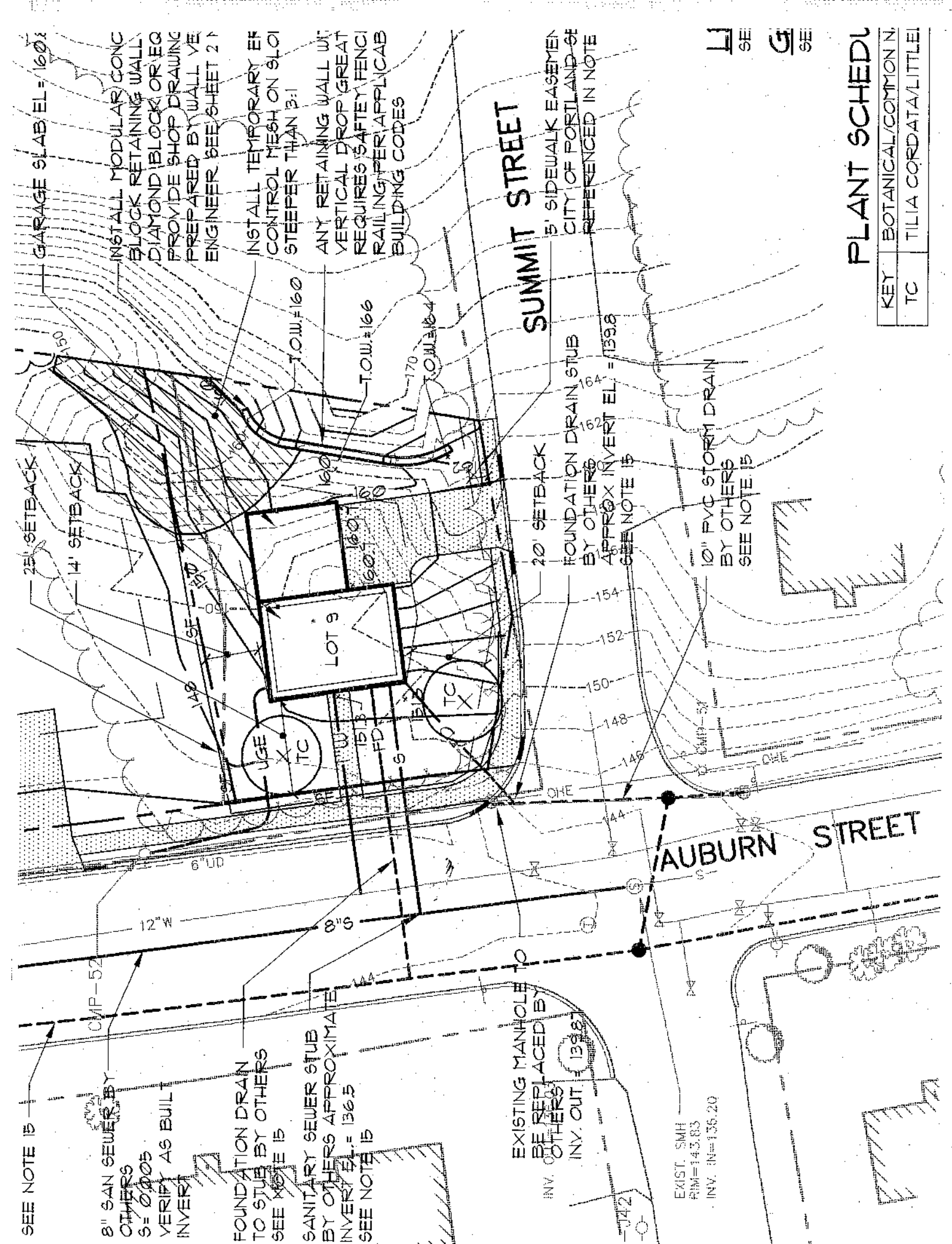
You should receive 2 page(s) including this cover sheet.

Comments:

Attached is a 30-scale, legible, readable, plan that shows the following information needed to approve a single family application in an approved subdivision:

house, existing/proposed topography, utilities, driveway, street trees, buffer zone area, finish floor elevation, etc., setbacks, erosion control... etc.

Any questions, call.



PLANT SCHEDULE

KEY	BOTANICAL/COMMON N
TC	TILIA CORDATA/LITTLE

U SEE
G SEE

SUMMIT STREET
 5' SIDEWALK EASEMENT
 CITY OF PORTLAND-GE
 REFERENCED IN NOTE

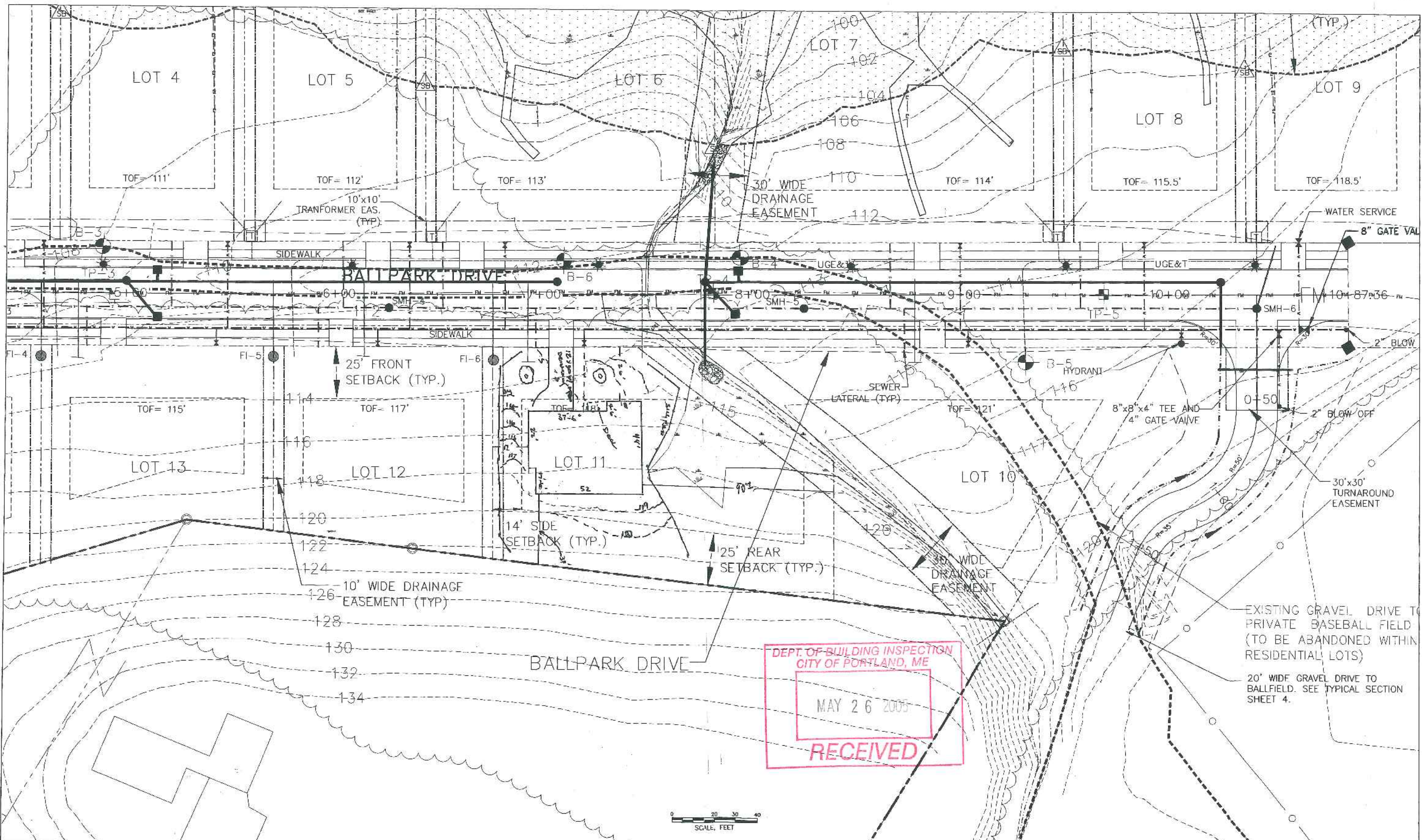
FOUNDATION DRAIN STUB
 BY OTHERS
 APPROX INVERT EL. = 139.8
 SEE NOTE 15

10" PVC STORM DRAIN
 BY OTHERS
 SEE NOTE 15

INSTALL MODULAR CONC
 BLOCK RETAINING WALL
 DIAMOND BLOCK OR LEG
 PROVIDE SHOP DRAWING
 PREPARED BY WALL VE
 ENGINEER. SEE SHEET 21

INSTALL TEMPORARY EF
 CONTROL MESH ON SLOPE
 STEEPER THAN 3:1

ANY RETAINING WALL W/
 VERTICAL DROP GREAT
 REQUIRES SAFETY FENCE
 RAILING PER APPLICAB
 BUILDING CODES



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY 26 2005
RECEIVED

0 20 30 40
SCALE, FEET

<p>STAMP:</p> <p>URS</p> <p>URS Corporation 477 Congress Street, 9th Floor Portland, ME 04101-3453 Tel: 207.879.7686 Fax: 207.879.7685 www.urscorp.com</p>	<p>PROJECT NAME: BALLPARK DRIVE LOTS 10-12</p> <p>PROJECT LOCATION: WASHINGTON AVE, PORTLAND, MAINE</p> <p>CLIENT:</p> <p>PROJECT NO.:</p>	<p>SHEET TITLE:</p> <p>LOTS 10-12 PLAN BALLPARK DRIVE SUBDIVISION</p> <p>SCALE: 1" = 20'</p> <p>DATE: MAY 19 2005</p>	<p>SHEET OF</p> <p>DRAWING NO.:</p>
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DRUMMOND DESIGNS INC.
Your Home Plan Experts

2950 Lemire Boul., Drummondville
(Quebec) Canada, J2B 7J6
1-800-567-5267

ATTENTION !

FOR ANY TECHNICAL INFORMATION THAT IS UNCLEAR, PLEASE CONTACT DRUMMOND DESIGNS INC. AT THE NUMBERS ABOVE BEFORE OR DURING THE COURSE OF THIS PROJECT.

COMMENTS

E-MAIL : info@drummondsga.com
HEAD OFFICE : 1-800-567-5267

NOTES :

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH MAY REQUIRE CHANGES. THE BUILDING CONTRACTOR MUST REVISION AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS HOME PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

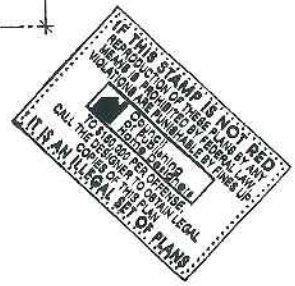
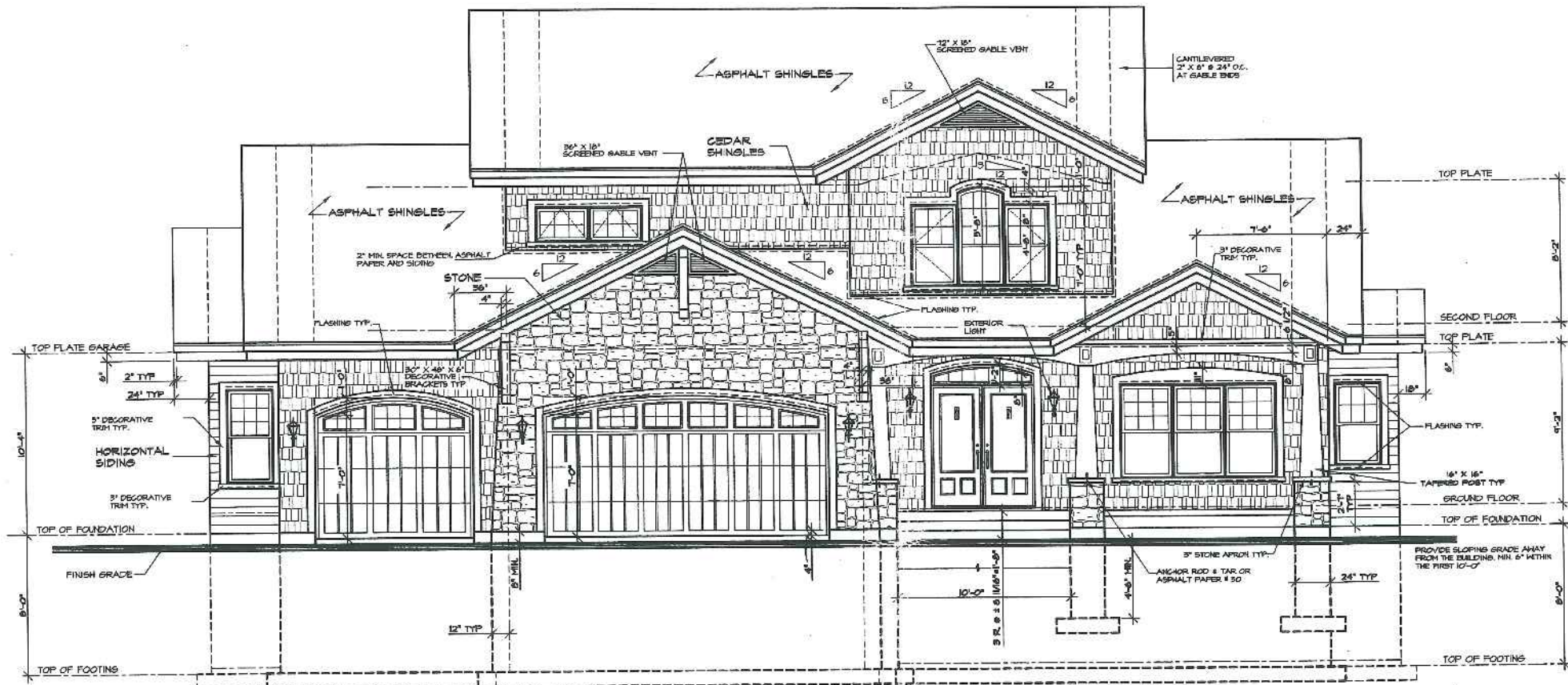
THE PURCHASE OF A HOME PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE; THIS LICENSE CAN BE PURCHASED UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE HOME IS TO BE BUILT WITH THIS HOME PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS, WALLS, PILASTERS AND CONCRETE ANGLES, MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE (5 lbs ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" FIBERBOARD)

IMPORTANT NOTE

SOME ADJUSTMENTS MAY BE REQUIRED DEPENDING ON SITE CONDITIONS. ALL WORK SHOULD BE DONE :
- ACCORDING TO THE ESTABLISHED STANDARDS AND IN ACCORDANCE WITH THE LATEST COUNTRY'S, STATE OR NATIONAL CONSTRUCTION CODES
- ACCORDING TO THE BEST PRACTICES OF TRADES
- IF APPLICABLE, ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.



AREA	
TOTAL LIVABLE AREA	
GROUND FLOOR :	2 486 sq. ft.
SECOND FLOOR :	1 457 sq. ft.
TOTAL :	3 943 sq. ft.
BONUS ROOM :	0 sq. ft.
GARAGE :	703 sq. ft.

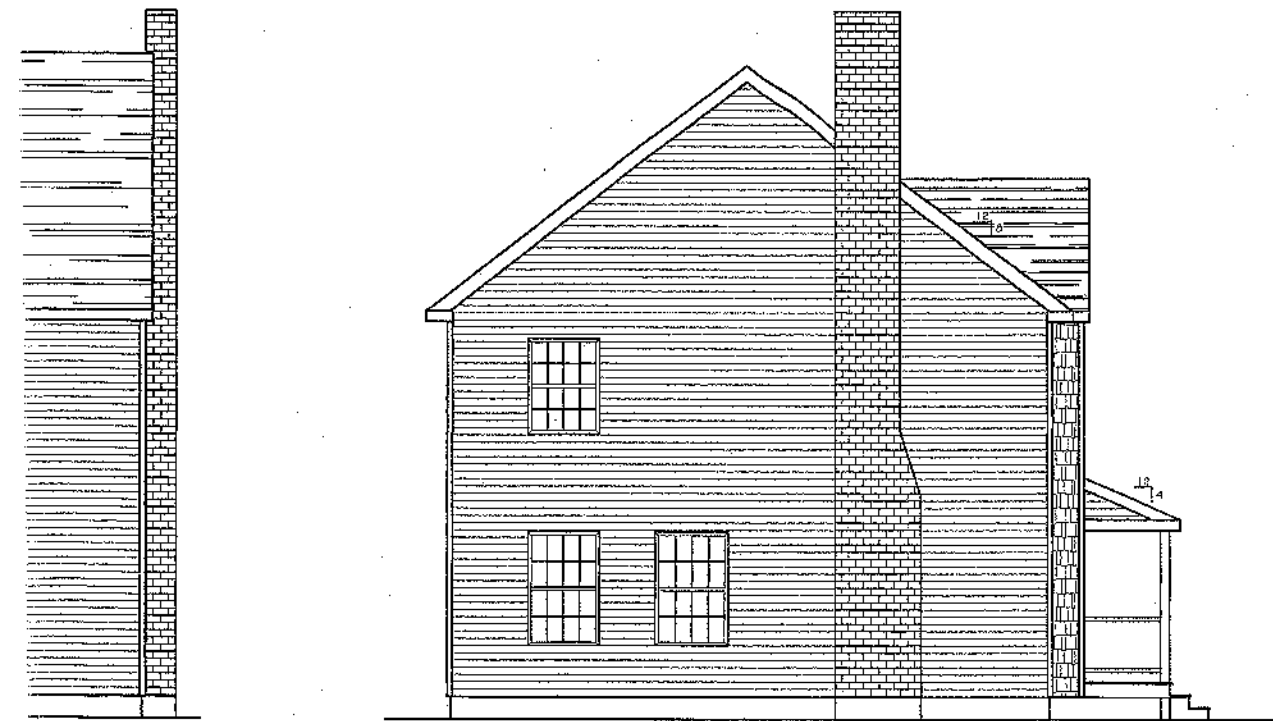
REVISION	NO	DATE	BY



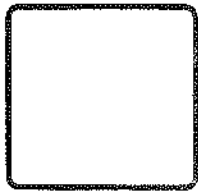
DESIGNED BY	D.C.
DRAWN BY	G.B.
CHECKED BY	M.D.
CLIENT	
PROJECT	NEW CONSTRUCTION (BASEMENT)
DRAWING	FRONT ELEVATION
DATE	21 / 03 / 2005
SCALE	1/4" = 1'-0"
PLAN NO.	2463 eng.
SHEET NO.	1-11



FRONT ELEVATION



LEFT ELEVATION



ASSOCIATED DESIGN PARTNERS INC.
 80 Leighton Road
 Fairport, Maine 04105
 Office: (207) 878-1751
 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com

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PROJECT: **BALL PARK DRIVE
 PORTLAND, ME
 FOR: VESTA CORP**
 SHEET TITLE: **BUILDING ELEVATIONS**

NO.	BY	REVISIONS DESCRIPTION	DATE
1	AL		
2	AL		
3	AL		
4	AL		

DATE : 08/25/05
 SCALE : 1/4" = 1'-0"
 DESIGN BY: GMB
 DRAWN BY: AL
 FILE #: 05078-3201-ELEV.DWG
 PROJECT NUMBER:
05226
 SHEET NO:
S201