

CITY OF PORTLAND, MAINE  
 DEVELOPMENT REVIEW APPLICATION  
 PLANNING DEPARTMENT PROCESSING FORM  
 DRC Copy

2005-0194

Application I. D. Number

8/29/2005

Application Date

single Family Home lot#7

Project Name/Description

DEP Approval Required  
 Corp Got Rejection?  
 Approve w/ Conditions

Jay Reynolds

Ballpark Drive Development Llc

Applicant

67 Havertys Way, Portland, ME 04103

Applicant's Mailing Address

Michael DiMillo

Consultant/Agent

Agent Ph: Agent Fax:

Applicant or Agent Daytime Telephone, Fax

74 - 74 Ballpark Dr, Portland, Maine

Address of Proposed Site

371 A037001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail

Manufacturing  Warehouse/Distribution  Parking Lot

Other (specify) \_\_\_\_\_

1744

37130

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

Site Plan  
(major/minor)

Subdivision  
# of lots \_\_\_\_\_

PAD Review

14-403 Streets Review

Flood Hazard

Shoreland

Historic Preservation

DEP Local Certification

Zoning Conditional  
Use (ZBA/PB)

Zoning Variance

Other \_\_\_\_\_

Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 8/30/2005

DRC Approval Status:

Approved

Approved w/Conditions  
See Attached

Reviewer

Denied

Approval Date 9-15-05

Approval Expiration \_\_\_\_\_

Extension to \_\_\_\_\_

Additional Sheets  
Attached

Condition Compliance

J.R. signature

9-15-05 date

Performance Guarantee

Required\*

Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

\_\_\_\_\_ date

\_\_\_\_\_ amount

\_\_\_\_\_ expiration date

Inspection Fee Paid

\_\_\_\_\_ date

\_\_\_\_\_ amount

Building Permit Issue

\_\_\_\_\_ date

Performance Guarantee Reduced

\_\_\_\_\_ date

\_\_\_\_\_ remaining balance

\_\_\_\_\_ signature

Temporary Certificate of Occupancy

\_\_\_\_\_ date

Conditions (See Attached)

\_\_\_\_\_ expiration date

Final Inspection

\_\_\_\_\_ date

\_\_\_\_\_ signature

Certificate Of Occupancy

\_\_\_\_\_ date

Performance Guarantee Released

\_\_\_\_\_ date

\_\_\_\_\_ signature

Defect Guarantee Submitted

\_\_\_\_\_ submitted date

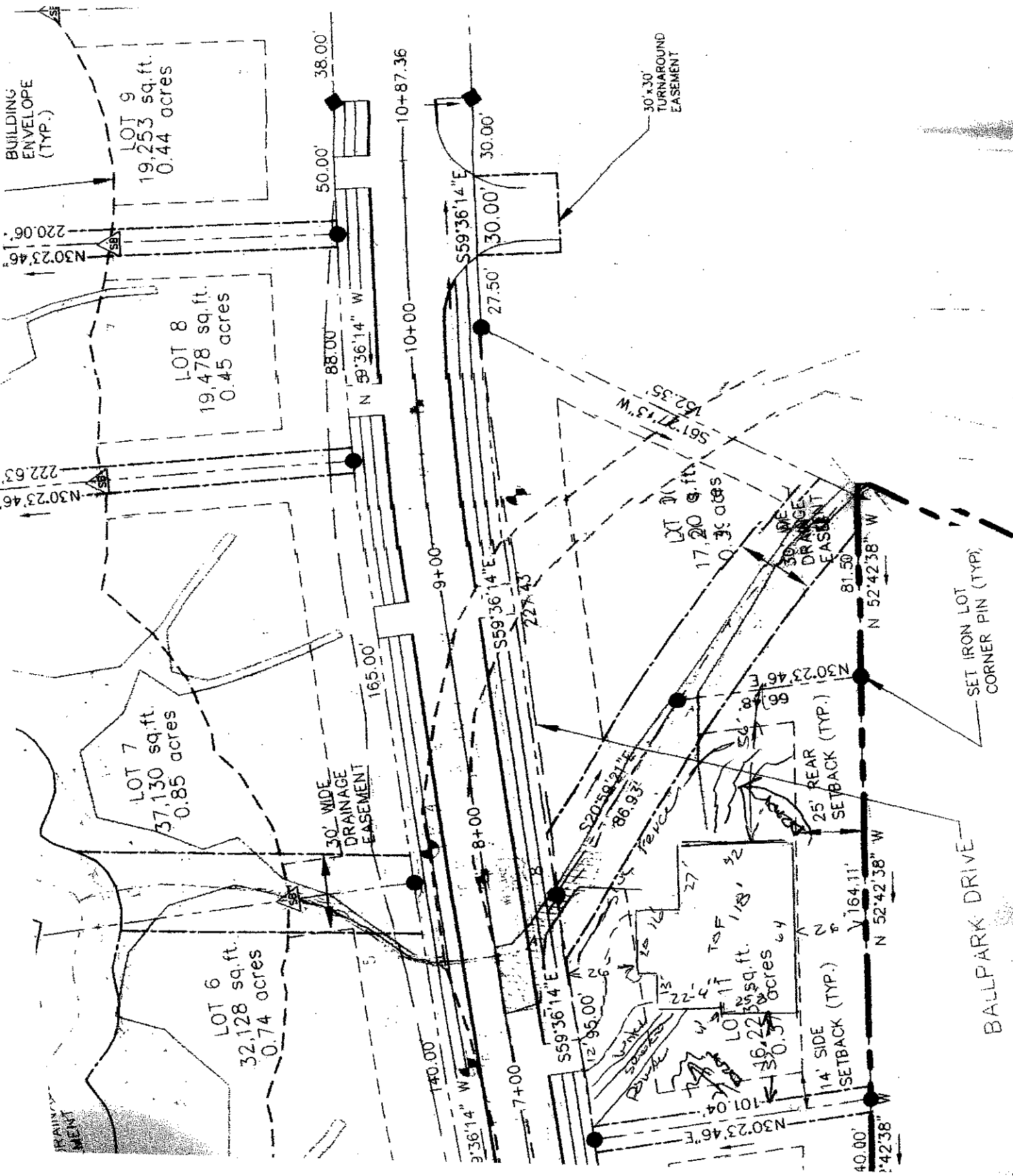
\_\_\_\_\_ amount

\_\_\_\_\_ expiration date

Defect Guarantee Released

\_\_\_\_\_ date

\_\_\_\_\_ signature



SET IRON LOT CORNER PIN (TYP.)

BALLPARK DRIVE

BUILDING ENVELOPE (TYP.)

LOT 9  
19,253 sq. ft.  
0.44 acres

LOT 8  
19,478 sq. ft.  
0.45 acres

LOT 7  
37,130 sq. ft.  
0.85 acres

LOT 6  
32,128 sq. ft.  
0.74 acres

LOT 20  
17,200 sq. ft.  
0.39 acres

30' WIDE DRAINAGE EASEMENT

30' x 30' TURNAROUND EASEMENT

30' REAR SETBACK (TYP.)

30' SIDE SETBACK (TYP.)

N30°23'46"

N30°23'46"

N30°23'46" E

N30°23'46" W

N 52°42'38" W

N 52°42'38" W

N 52°42'38" W

N 52°42'38" W

10+87.36

10+00

9+00

8+00

7+00

7+00

7+00

38.00'

50.00'

88.00'

165.00'

140.00'

127.95.00'

101.04'

40.00'

30.00'

30.00'

27.50'

227.43'

86.93'

27'

11'

11'

S 59°36'14" E

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JAY



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life - [www.portlandmaine.gov](http://www.portlandmaine.gov)*

*Lee Urban- Director of Planning and Development  
Marge Schmuckal, Zoning Administrator*

May 12, 2005

Candage Douglas  
P.O. Box #142  
South Windham, ME 04062

RE: Lot #11 Ballpark Drive - #371-A-041- R-2 Zone -- application #05-0461

Dear Douglas,

Your permit to construct a new single family dwelling at lot #11 Ballpark Drive has been denied because we have not received all the required submittals in order to determine compliance with City Ordinances.

You have not submitted a scaled site plan showing the proposed, dimensioned structure. Your currently submitted site plan does not match your submitted building construction plans. Your site plan must show all projections, including, but not limited to, decks, stairs, chimneys, and bay windows.

When you applied for a building permit, the front staff did not charge you for a required minor/minor site plan review. Before we can complete your permit approval, you need to apply and be approved by planning under site plan review. Please review our new single family home application packet for all the required information for submittals

Your permit will be on hold until this office receives all the required information to determine compliance with City Ordinances.

Very truly yours,

A handwritten signature in black ink that reads "Marge Schmuckal".

Marge Schmuckal  
Zoning Administrator

Cc: Jay Reynolds, Planning  
file

City of Portland  
Department of Planning and Development  
Planning Division  
389 Congress Street, 4<sup>th</sup> Floor  
Portland ME 04101  
(207)874-8721 or (207)874-8719  
Fax: (207)756-8258



FAX

To:

Doug Combs

Company:

Fax #:

893-1320

Date:

5-17-05

From:

Jay Reynolds

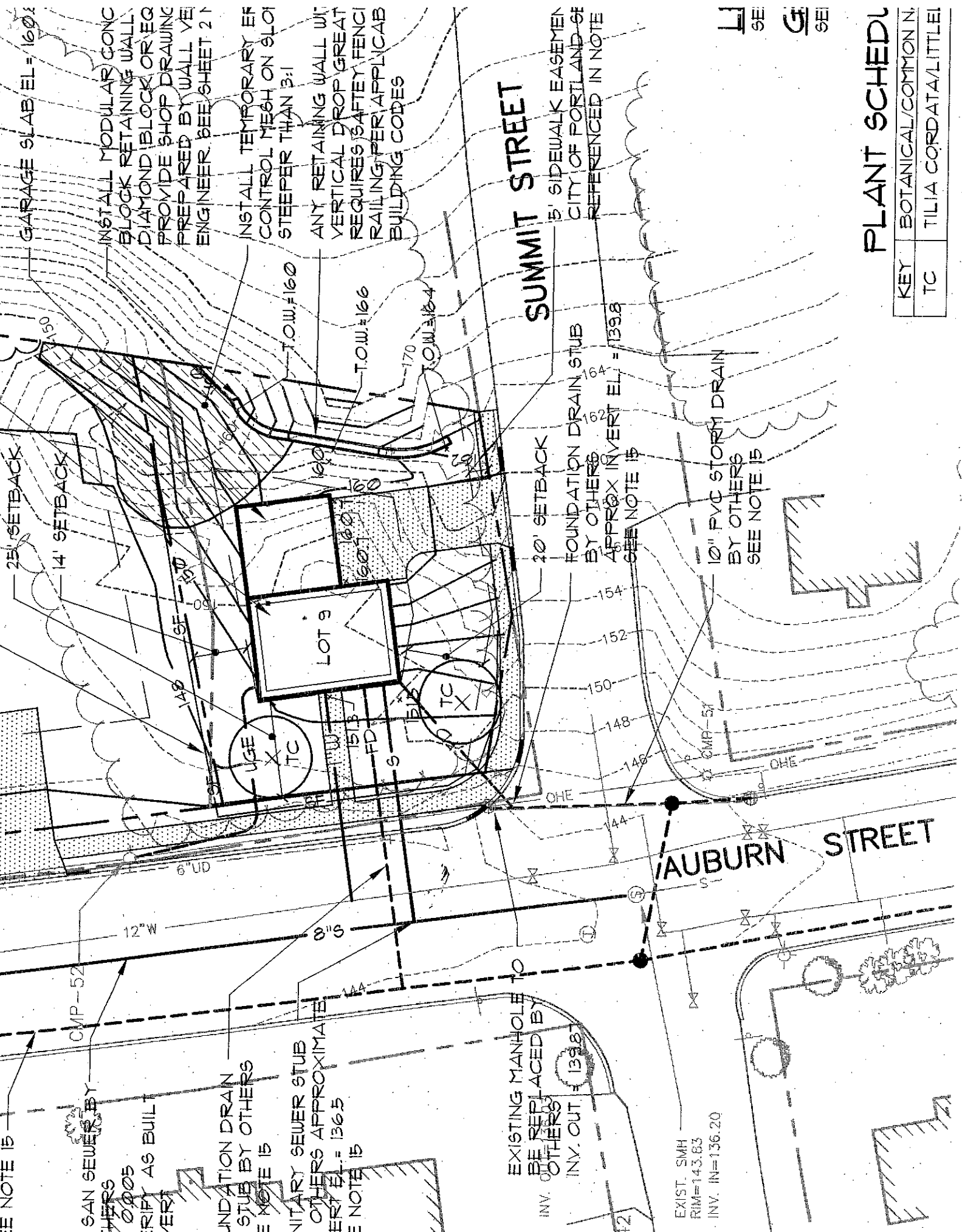
You should receive 2 page(s) including this cover sheet.

Comments:

Attached is a 30-scale, legible, readable, clear plan that shows the following information needed to approve a single family application in an approved subdivision:

House, existing/proposed topography, utilities, driveway, street trees, buffer zone area, finish floor elevation, etc. methods, erosion control... etc.

Any questions, call.



GARAGE SLAB EL = 160.2

25' SETBACK  
14' SETBACK

SEE NOTE 15  
8" SAN SEWER BY OTHERS  
S = 0.005  
VERIFY AS BUILT  
INVERT

FOUNDATION DRAIN TO STUB BY OTHERS  
SEE NOTE 15

SANITARY SEWER STUB BY OTHERS APPROXIMATE  
INVERT EL = 136.5  
SEE NOTE 15

EXISTING MANHOLE TO BE REPLACED BY OTHERS  
INV. OUT = 139.8

EXIST. SMH  
RIM = 143.63  
INV. IN = 136.20

INSTALL MODULAR CONCRETE BLOCK RETAINING WALL DIAMOND BLOCK OR EQ PROVIDE SHOP DRAWING PREPARED BY WALL VENDOR ENGINEER SEE SHEET 21

INSTALL TEMPORARY EROSION CONTROL MESH ON SLOPE STEEPER THAN 3:1

ANY RETAINING WALL WITH VERTICAL DROP GREAT THAN 4 FEET REQUIRES SAFETY FENCING PER APPLICABLE BUILDING CODES

SUMMIT STREET

5' SIDEWALK EASEMENT CITY OF PORTLAND SEE REFERENCED IN NOTE

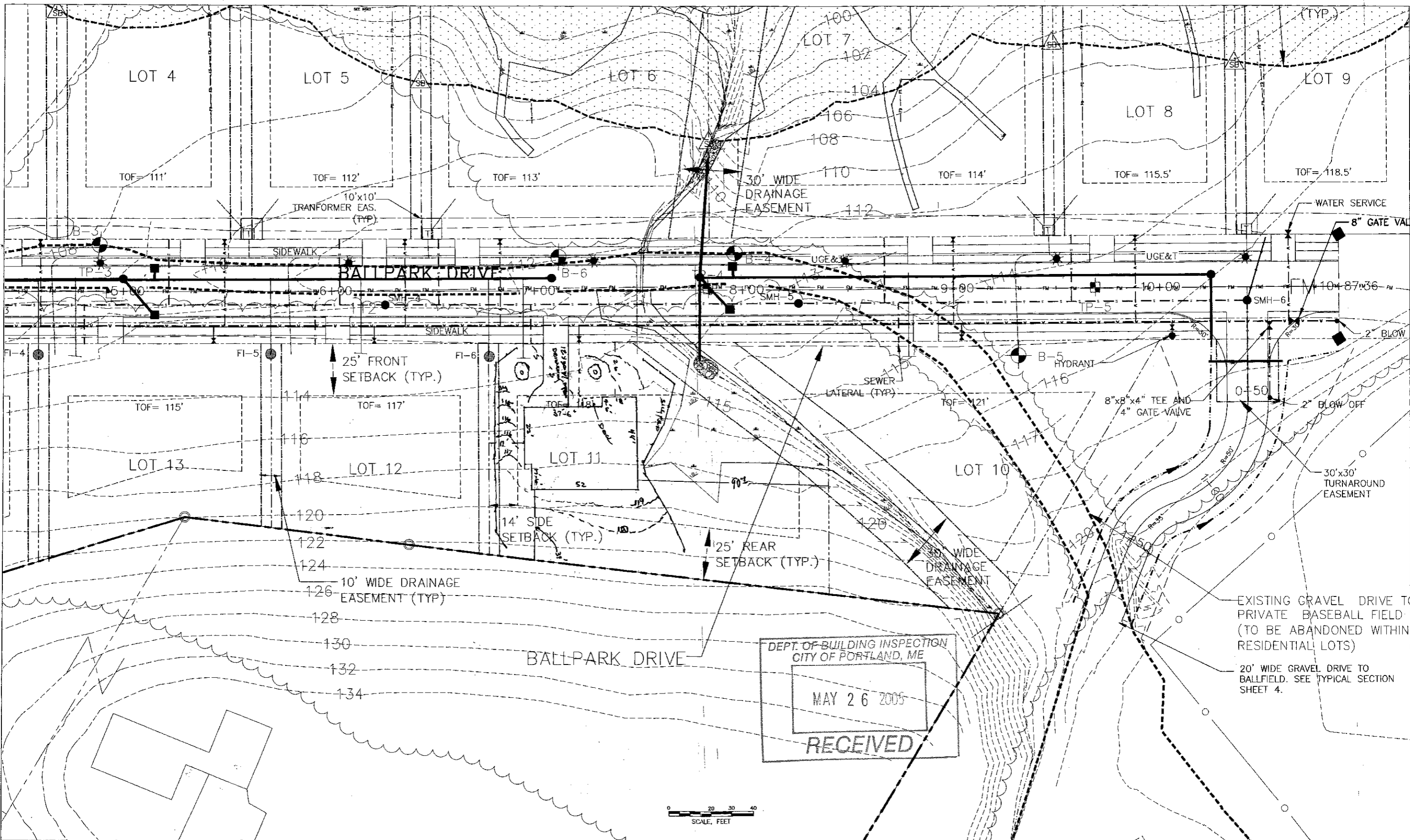
20' SETBACK  
FOUNDATION DRAIN STUB BY OTHERS APPROX INVERT EL = 139.8  
SEE NOTE 15

10" PVC STORM DRAIN BY OTHERS  
SEE NOTE 15

# PLANT SCHEDULE

KEY	BOTANICAL / COMMON NAME
TC	TILIA CORDATA / LITTLE

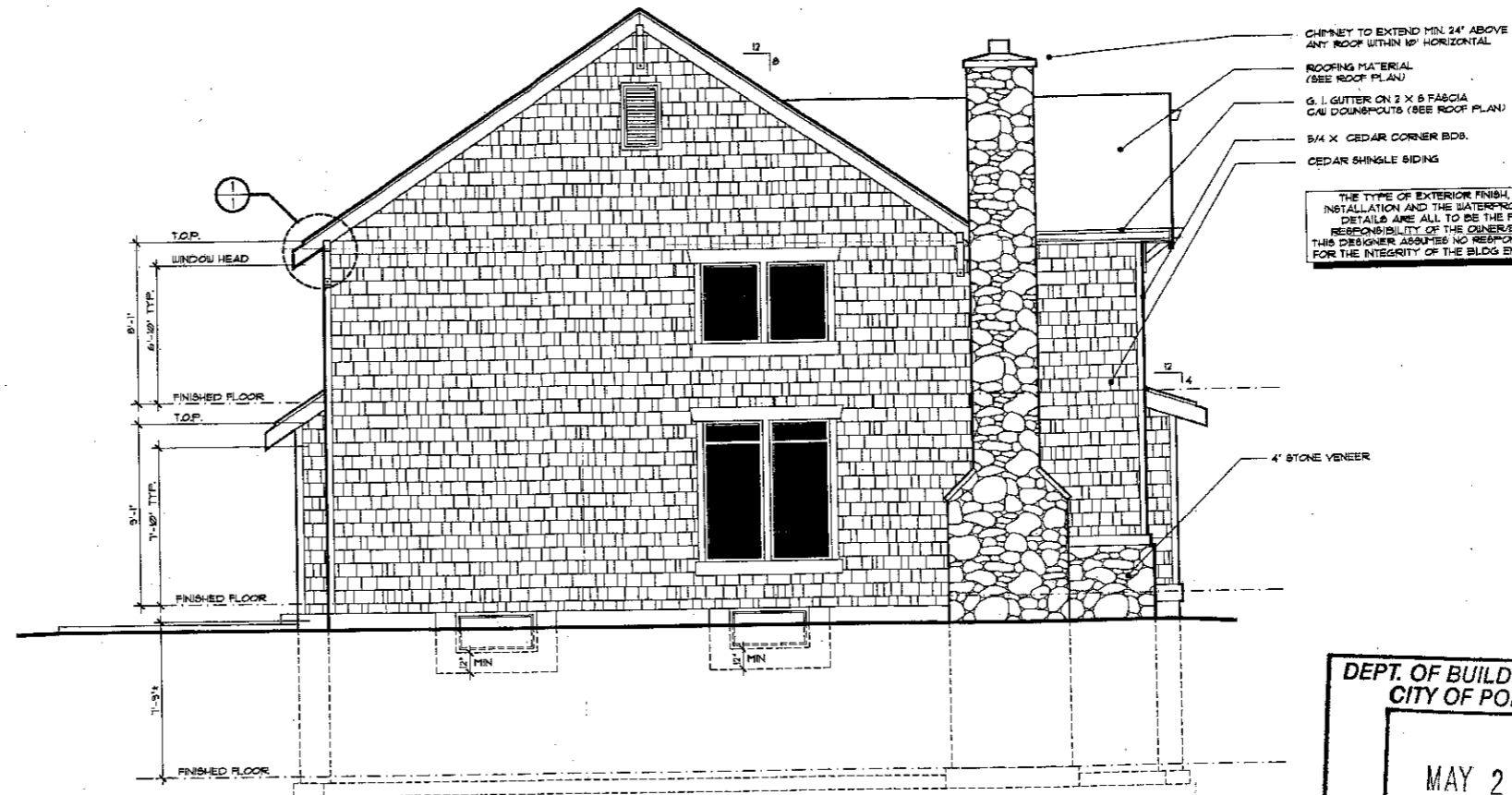
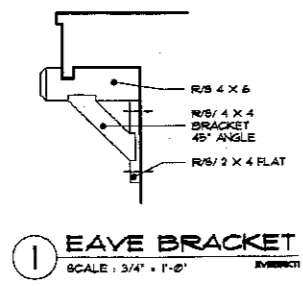
SEE SEE



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAY 26 2005  
RECEIVED

0 20 30 40  
SCALE, FEET

STAMP:	 <p>URS Corporation 477 Congress Street, 9th Floor Portland, ME 04101-3453 Tel: 207.879.7686 Fax: 207.879.7685 www.urscorp.com</p>	PROJECT NAME: BALLPARK DRIVE LOTS 10-12 PROJECT LOCATION: WASHINGTON AVE, PORTLAND, MAINE CLIENT: PROJECT NO.:	SHEET TITLE: LOTS 10-12 PLAN BALLPARK DRIVE SUBDIVISION SCALE: 1" = 20' DATE: MAY 19 2005	SHEET OF DRAWING NO.:
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THE TYPE OF EXTERIOR FINISH, THE INSTALLATION AND THE WATERPROOFING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF THE BLDG ENVELOPE.

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

MAY 26 2005

RECEIVED

**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

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073397

THIS STAMP MUST APPEAR IN RED FOR THIS TO BE A LEGAL COPY

UPPER FLOOR	1092 SQ. FT.
LOWER FLOOR	2074 SQ. FT.
SUB-TOTAL	2866 SQ. FT.
BONUS ROOM	231 SQ. FT.

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION OF ALL EXTERIOR FINISHES AND WEATHERPROOFING.

B2211

CHIMNEY TO EXTEND MIN. 24" ABOVE ANY ROOF WITHIN 10' HORIZONTAL

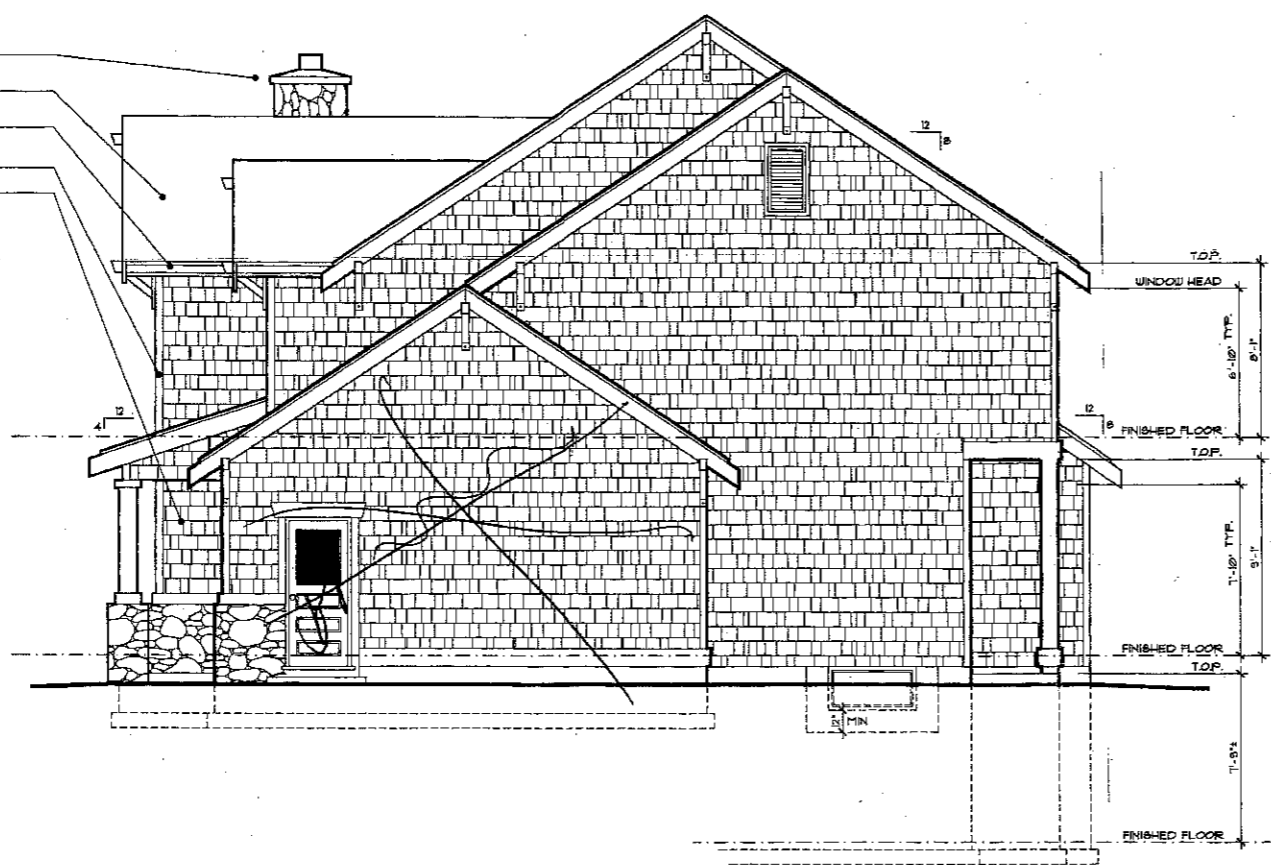
ROOFING MATERIAL (SEE ROOF PLAN)

G. I. GUTTER ON 2 X 8 FASCIA CAU DOWNSPOUTS (SEE ROOF PLAN)

5/4 X CEDAR CORNER BOB

CEDAR SHINGLELEADING

THE TYPE OF EXTERIOR FINISH, THE INSTALLATION AND THE WATERPROOFING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE OWNER/BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF THE BLDG ENVELOPE

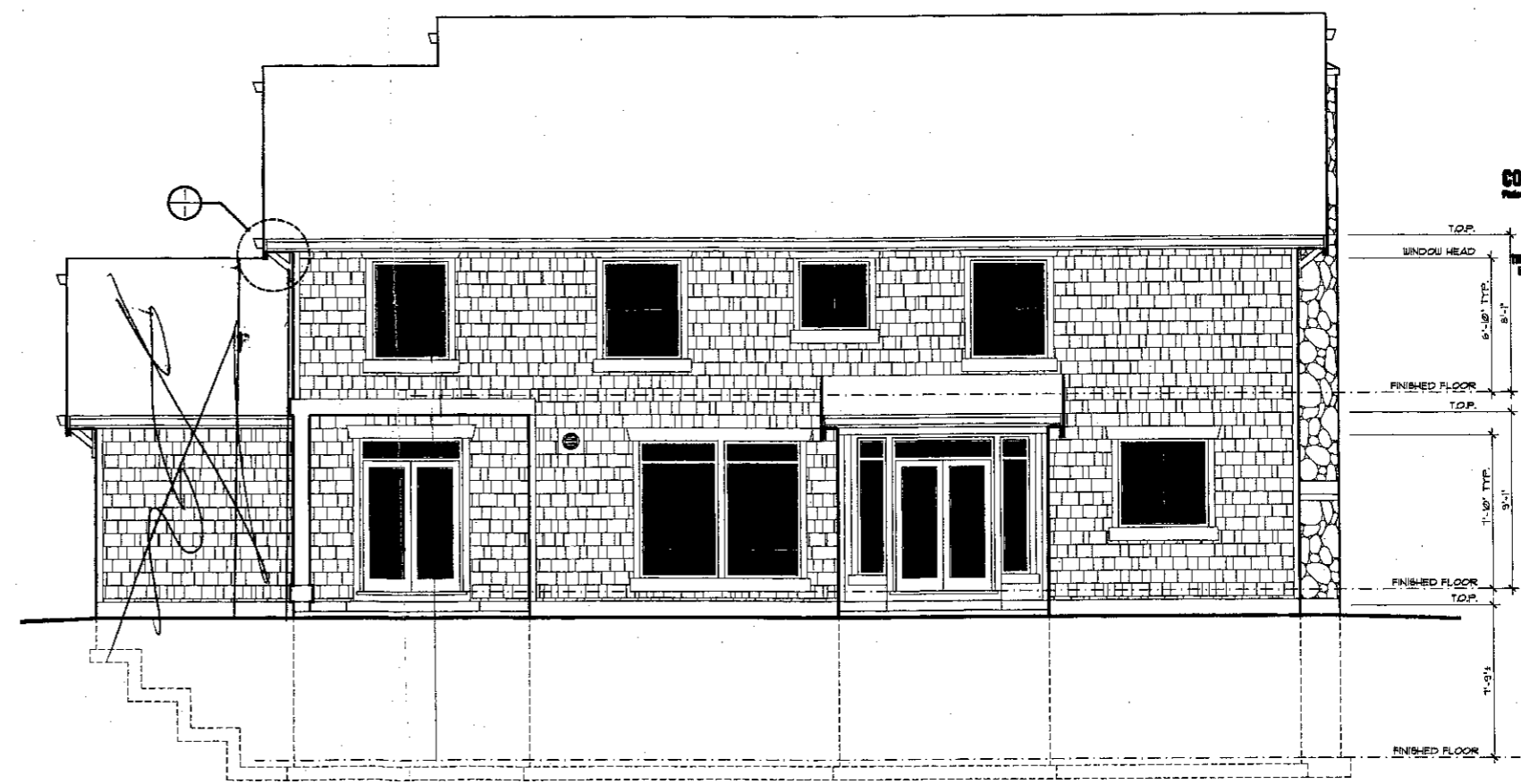


**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

MAY 26 2005

RECEIVED



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

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UPPER FLOOR	1392 SQ. FT.
MAIN FLOOR	1874 SQ. FT.
SUB-TOTAL	2866 SQ. FT.
BONUS ROOM	231 SQ. FT.

B2211

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION OF ALL EXTERIOR

7

63 32 2 1 1 0  
DRAWN 03/10/03

*Alford*







**DRUMMOND DESIGNS INC.**  
Your Home Plan Experts

2950 Lemire Boul., Drummondville  
(Quebec) Canada, J2B 7J6  
1-800-567-5267

**ATTENTION !**

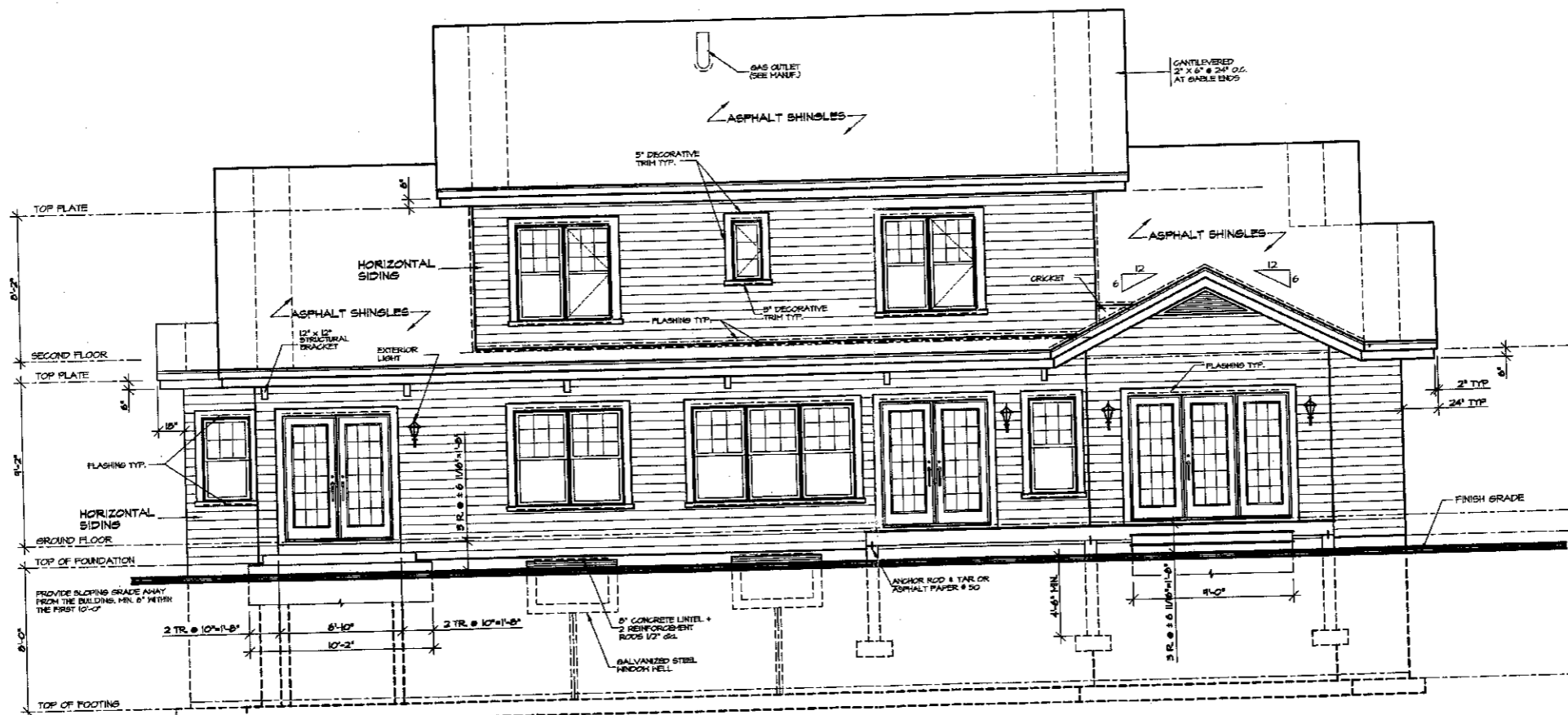
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TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS, WALLS, PLASTER AND CONCRETE ANGLES, MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE (5 lb ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" FIBERBOARD)



REVISION	NO	DATE	BY



DESIGNED BY: D.C.  
DRAWN BY: S.B.  
CHECKED BY: M.D.  
COMPUTER ASSISTED DRAFTING

CLIENT: \_\_\_\_\_  
PROJECT: **NEW CONSTRUCTION (BASEMENT)**  
DRAWING: **REAR ELEVATION**  
DATE: 21 / 03 / 2005 SCALE: 1/4" = 1'-0"  
PLAN NO.: 2663 eng. SHEET NO.: 4-11



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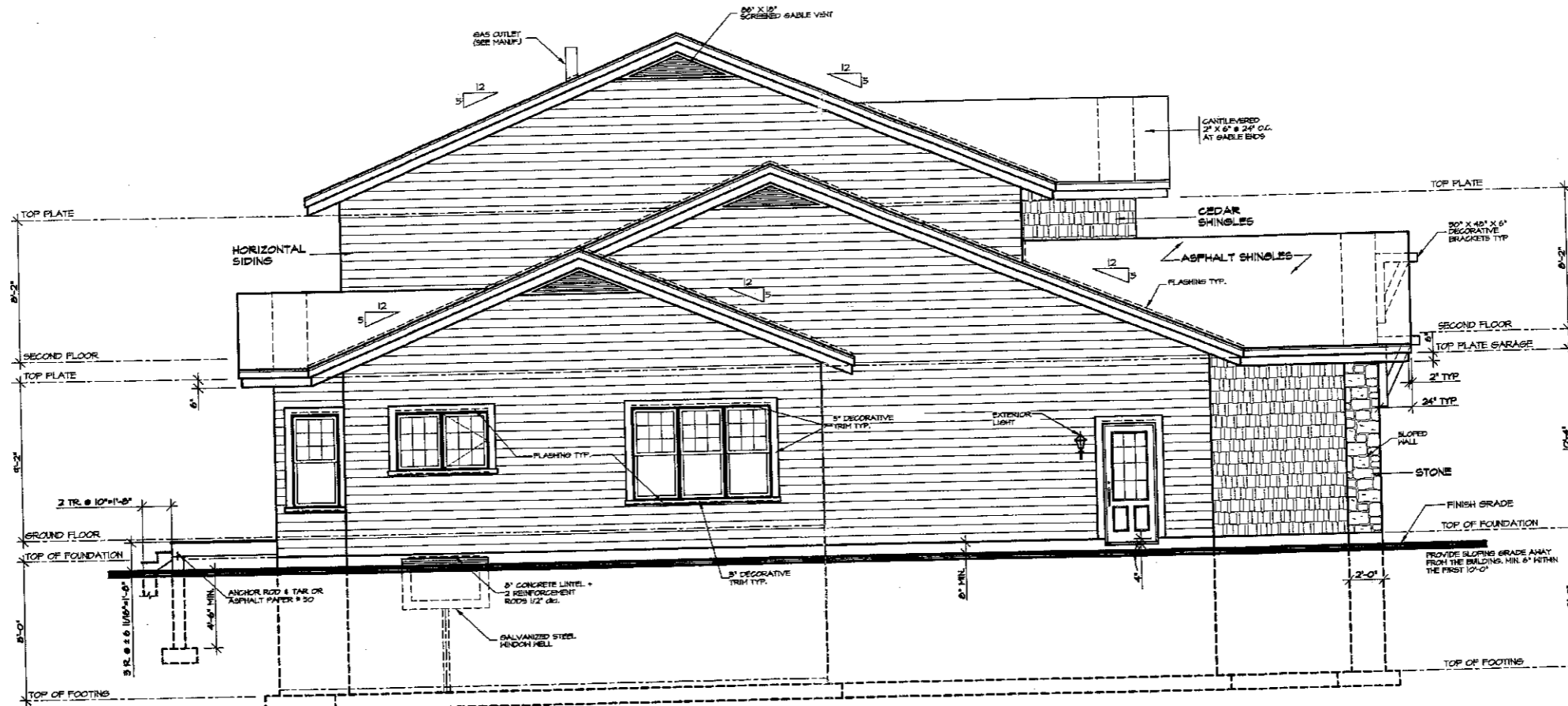
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REVISION	NO.	DATE	BY



	DESIGNED BY	D.C.
	DRAWN BY	S.B.
	CHECKED BY	M.D.

CLIENT	
PROJECT	NEW CONSTRUCTION (BASEMENT)
DRAWING	LEFT ELEVATION
DATE	21 / 05 / 2005
SCALE	1/4" = 1'-0"
PLAN NO.	2663 eng.
SHEET NO.	5-11



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HEAD OFFICE : 1-800-567-5267

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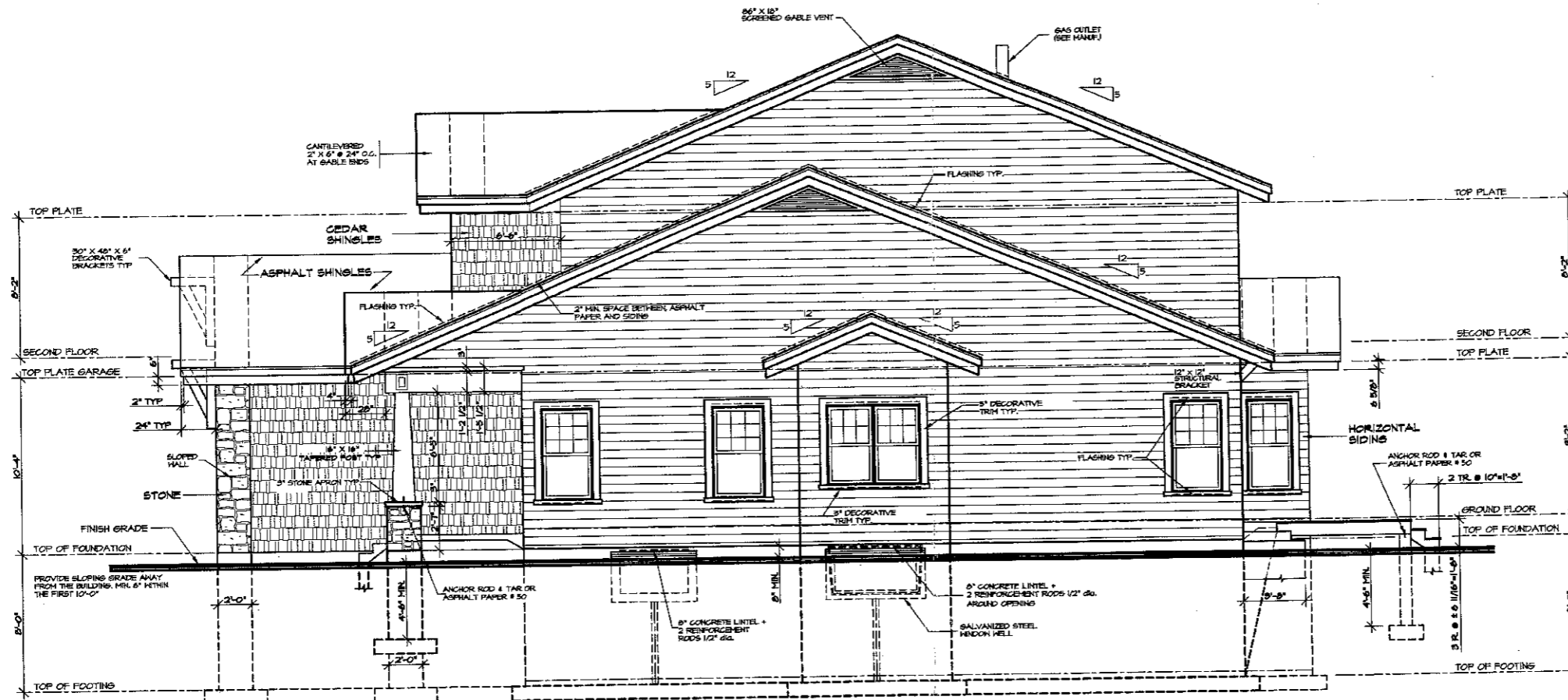
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(5 LB ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION  
OR 12" FIBERGLASS)



REVISION	NO	DATE	BY



DESIGNED BY	D.C.
DRAWN BY	G.B.
CHECKED BY	M.D.

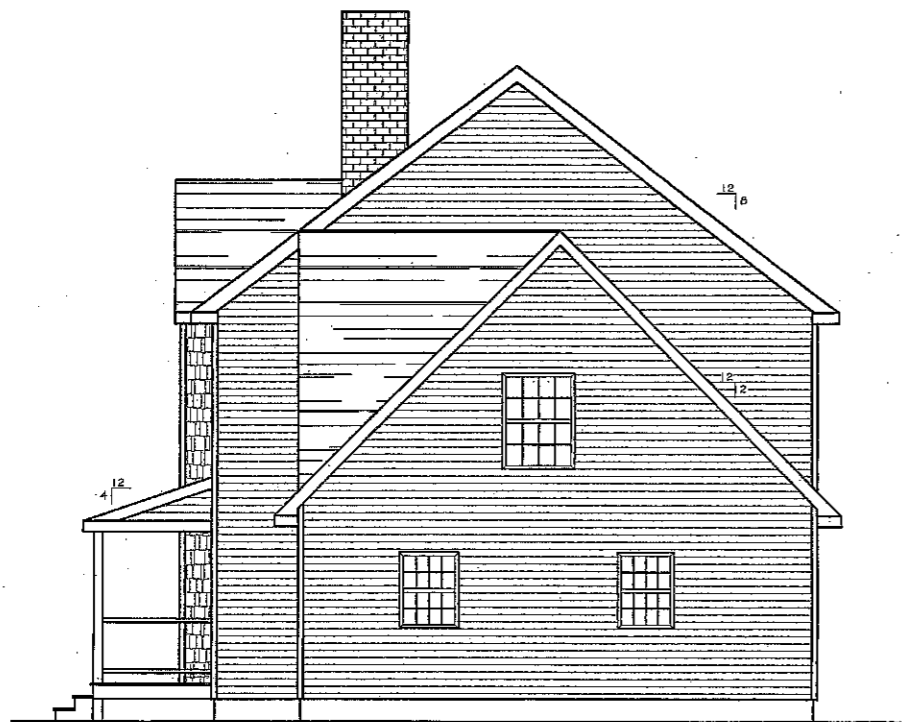
CLIENT

PROJECT: **NEW CONSTRUCTION (BASEMENT)**

DRAWING: **RIGHT ELEVATION**

DATE: 21 / 03 / 2005      SCALE: 1/4" = 1'-0"

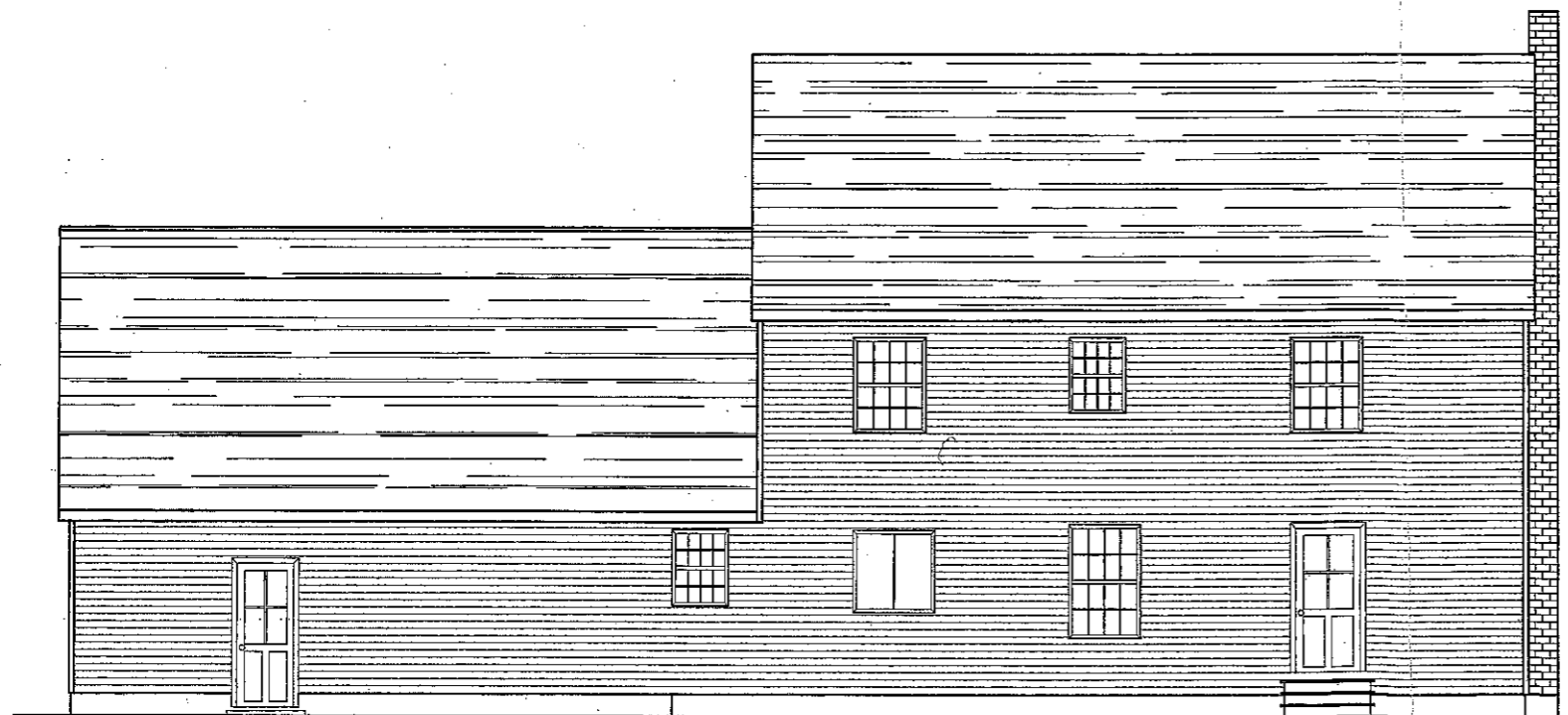
PLAN NO. 2663 eng.      SHEET NO. 2-11



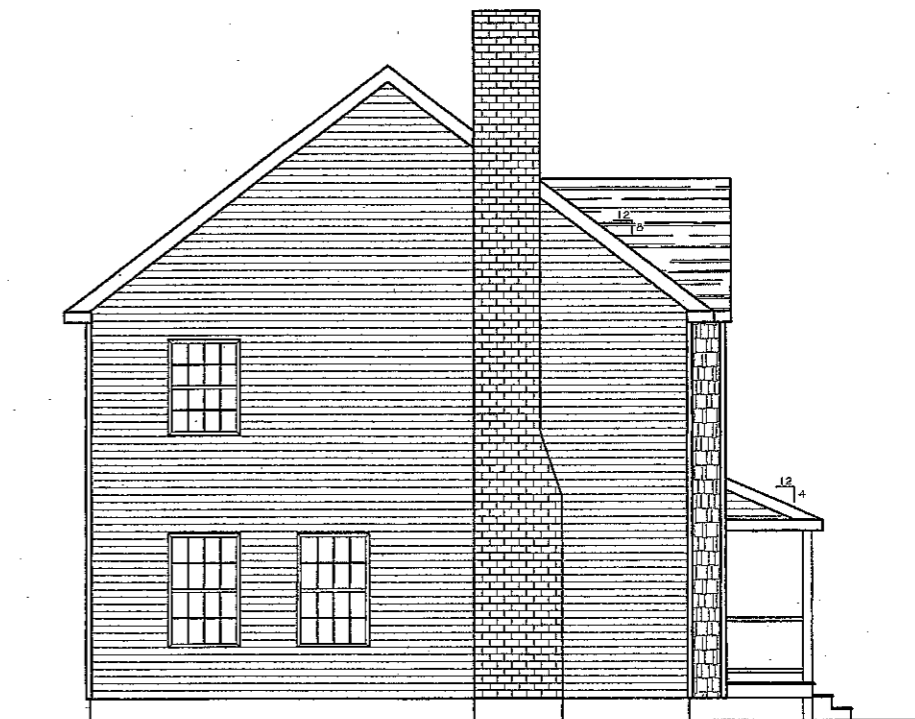
RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION

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PROJECT: **BALL PARK DRIVE  
 PORTLAND, ME**  
 FOR: VESTIA CORP

SHEET TITLE:  
**BUILDING ELEVATIONS**

NO.	BY	DATE	REVISIONS	DESCRIPTION

DATE : 08/25/05  
 SCALE : 1/4"=1'-0"  
 DESIGN BY: CMB  
 DRAWN BY: AL  
 FILE #: 05078-S201-315V.DWG  
 PROJECT NUMBER:  
**05226**  
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**S201**