

FRONT ELEVATION  
1/4" = 1'-0"

RIGHT ELEVATION  
1/4" = 1'-0"

FRONT AND RIGHT ELEVATIONS  
SIDELINGER RESIDENCE  
PORTLAND, ME



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REVISIONS:

DATE: 07/06/06  
BY: JIM

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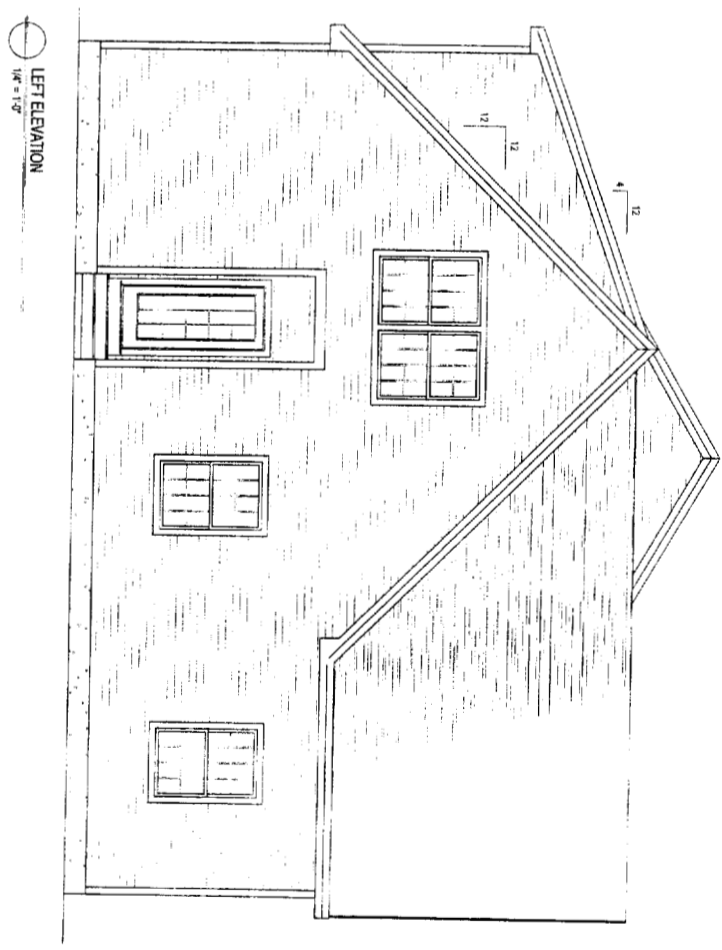
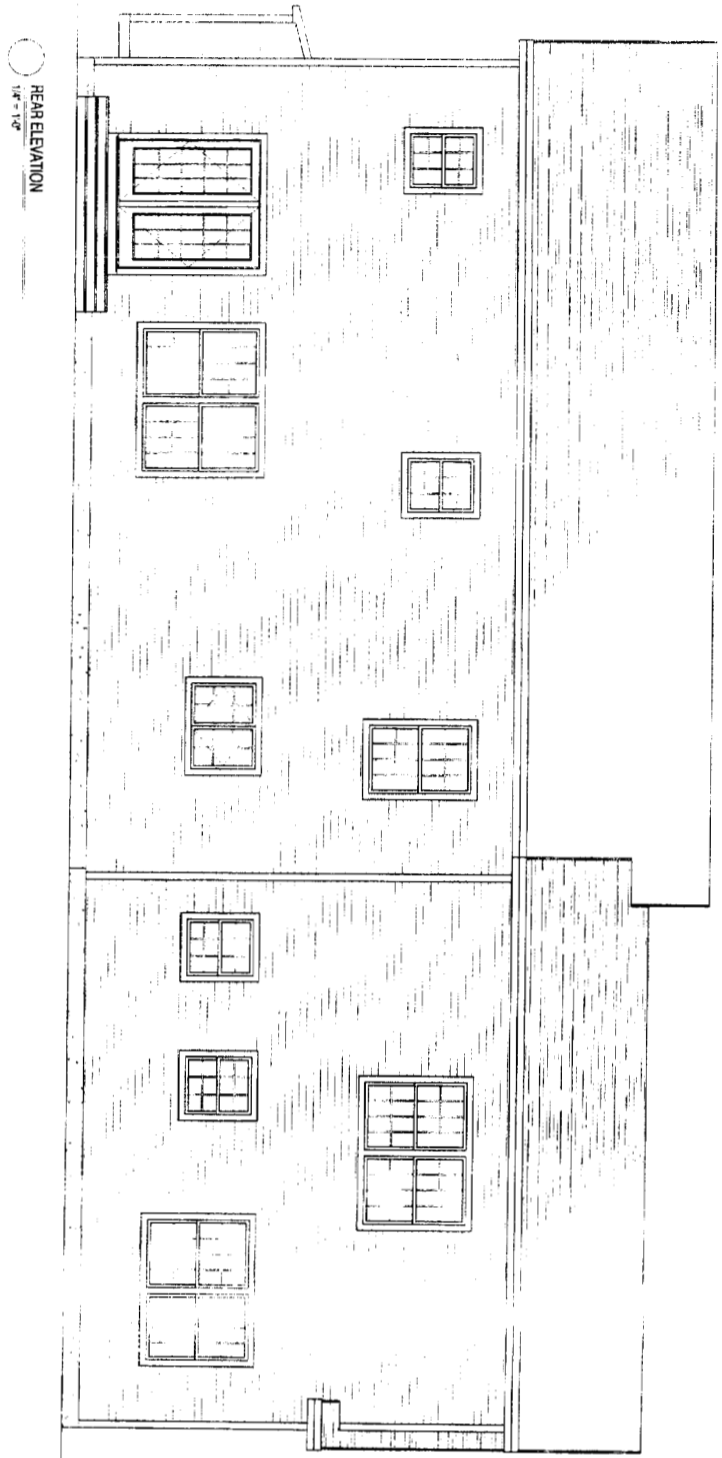
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REAR ELEVATION  
1/4" = 1'-0"

LEFT ELEVATION  
1/4" = 1'-0"

REAR AND LEFT ELEVATIONS  
SIDELINGER RESIDENCE  
PORTLAND, ME



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REVISIONS:

NO.	DATE	DESCRIPTION

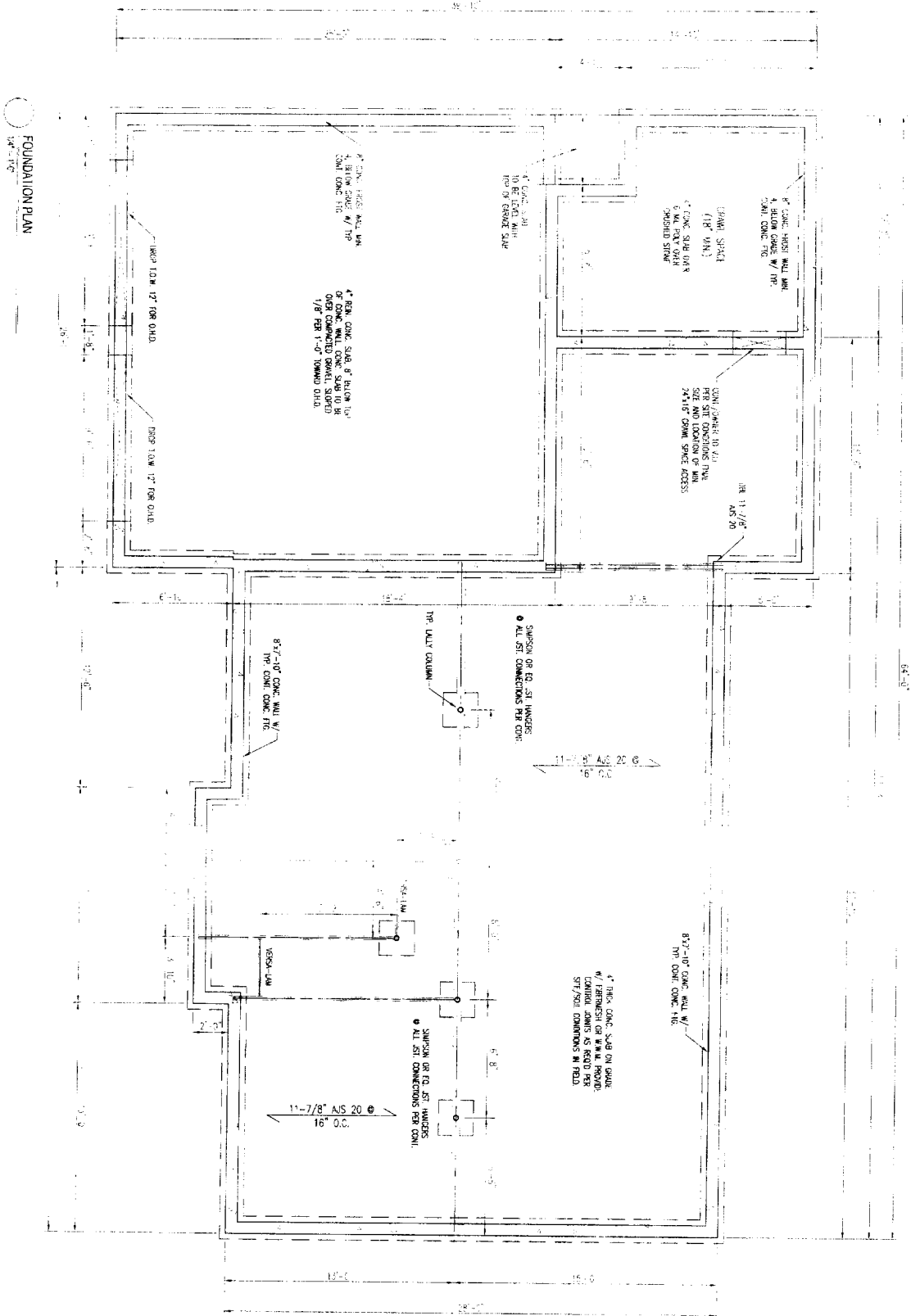
Date : 07/06/06

Scale : 1/4"=1'-0"

Drawn By: JIM

Project: 03041306

Sheet Number: 2 of 7



FOUNDATION PLAN  
1/4" = 1'-0"

- NOTES:
1. SHED RAFTERS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
    1. LION SLEEPING AREA
    2. NORTH SIDE PORCH SYSTEM, AREA IN THE MOUNTAIN ROOM OF THE BEDROOMS
    3. ON EACH ADDITIONAL STORY OF THE BUILDING INCLUDING BROWNS
  2. ALL SHED RAFTERS SHALL BE INTERCONNECTED
  3. \* LIGRESS W/ALUM
- FOUNDATION NOTES:
1. 4" DIA. WERE INTER-REINFORCED WITH 2" DIA. 4" OR CLEAN CRUSHED STONE TO ALLOW FOR FUTURE SUB-SLAB VENTILATION & DRAINAGE
  2. ALL FOUNDATIONS ARE SET AS SHOWN TO BE STOCK CONCRETE READY DUALT COLUMNS
  3. ALL FOUNDATION FORMS ASSIGNED TO BE 12" SETTED FOUNDATIONS WITH 1/2" DIA. 4" OR CLEAN CRUSHED STONE TO ALLOW FOR FUTURE SUB-SLAB VENTILATION & DRAINAGE
  4. DUALT SUPPORTS TO BE 12" DIA. SQUARE, ANCHORED TO 12" DIA. PRE-CAST CONCRETE BY 2 PC #4 REBAR @ 400# AND MUST BE SET FLUSH WITH/IN GRACE AT TOP OF OTHER DUALT CONNECTION TO MANY CONDITIONS IN FIELD AND STEP PND. AS REQUIRED PER SHALL

FOUNDATION PLAN  
SIDELINGER RESIDENCE  
PORTLAND, ME



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REVISIONS:

NO.	DATE	DESCRIPTION

Date: 01/06/06

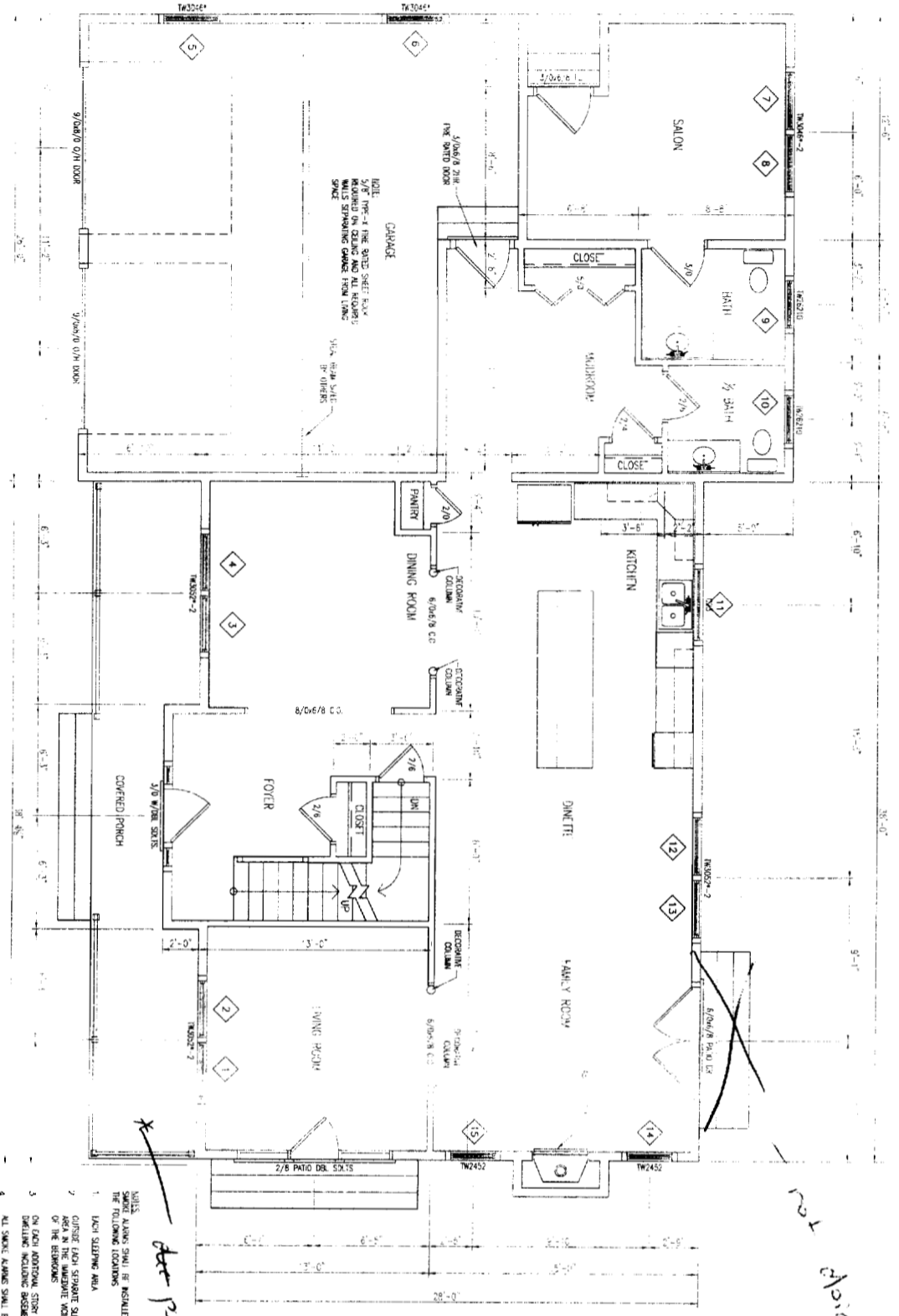
Scale: 1/4" = 1'-0"

Drawn By: JIM

Project: 01041106

Sheet Number: 3 of 7

FIRST FLOOR PLAN



NOTE: ALL WINDOW MARKERS SHOULD BE NOTED IN THE FOLLOWING LOCATIONS:  
 1. EACH SLEEPING AREA  
 2. OUTSIDE EACH SLEEPING STEERING  
 3. ON EACH SIDEWALK FRONT OF THE BUILDING INCLUDING SIDEWALKS  
 4. ALL SMOKE ALARMS SHALL BE INTERCONNECTED  
 5. EGRESS WINDOWS

*det porch is 5' deep  
 not 6' "  
 per conversation  
 w/ Mark Mann*

WINDOW SCHEDULE

Mark	Manufacturer	Model	Material	Width	Height	Egress	Header Size	HP Low-E
1	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
2	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
3	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
4	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
5	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
6	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
7	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
8	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
9	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
10	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
11	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
12	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
13	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
14	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33
15	AMERSON	W1002	WHL	3'-2"	4'-9"	*	3'-2 1/2" W / 1 7/8" R.V.	33

FIRST FLOOR PLAN  
 SIDELINGER RESIDENCE  
 PORTLAND, ME



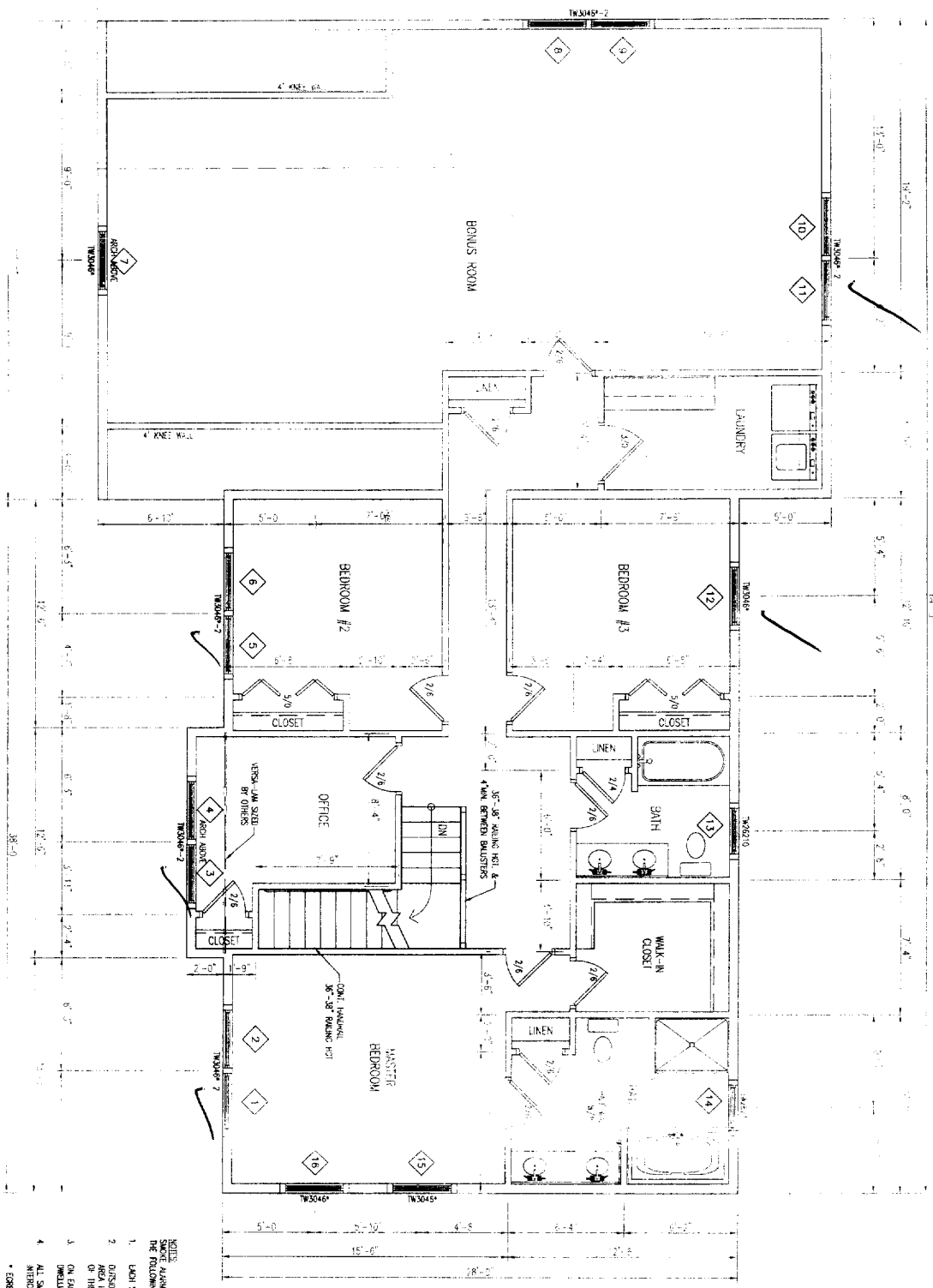
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Revisions:

DATE	DESCRIPTION
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07/06/06	ISSUED FOR PERMIT

Date: 07/06/06  
 Scale: 1/4" = 1'-0"  
 Drawn By: JIM  
 Project: C1001105  
 Sheet Number: 4 of 7

SECOND FLOOR PLAN  
1:4" = 1'-0"



- NOTE: ALL WINDOWS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. EACH SLEEPING AREA
  2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE JAMBLED KNOCK-OUT OF THE BEDROOMS
  3. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BREAKFASTS
  4. ALL SMOKE ALARMS SHALL BE INTERCONNECTED
- \* EXCESS WINDOW

WINDOW SCHEDULE

Mark	Manufacturer	Model	Material	Size	Egress	Header Size	HP Low-E	
				Width	Height		U-Factor / R-Value	
1	ANDERSON	TRUSSE	WHT	4'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
2	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
3	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
4	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
5	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
6	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
7	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
8	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
9	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
10	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
11	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
12	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
13	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
14	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
15	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
16	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
17	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35
18	ANDERSON	TRUSSE	WHT	3'-0"	4'-9"	*	3-2/10 W / 1/2 RVI	33 - 35

SECOND FLOOR PLAN  
SIDELINGER RESIDENCE  
PORTLAND, ME



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Date : 07/10/06  
Scale : 1/4" = 1'-0"  
Drawn By: JIM  
Project: 03001306  
Sheet Number:  
5 of 7





# CONSTRUCTION NOTES SIDELINGER RESIDENCE PORTLAND, ME

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DATE: 07/06/06  
DRAWN BY: JIM  
PROJECT: 03WH1305  
SHEET NUMBER: 7 OF 7

TABLE 25 (CONT.)  
ORDER'S AND HEADERS

ORDER'S AND HEADERS	SPEC	BAYING WIDTH (ft)			
		20	24	28	36
ORDER'S AND HEADERS	2x4	4	4	4	4
	2x6	4	4	4	4
	2x8	4	4	4	4
	2x10	4	4	4	4
	2x12	4	4	4	4
	4x4	4	4	4	4
	4x6	4	4	4	4
	4x8	4	4	4	4
	4x10	4	4	4	4
	4x12	4	4	4	4
	6x6	4	4	4	4
	6x8	4	4	4	4

TABLE 26 (CONT.)  
ORDER'S AND HEADERS

ORDER'S AND HEADERS	SPEC	BAYING WIDTH (ft)			
		20	24	28	36
ORDER'S AND HEADERS	2x4	4	4	4	4
	2x6	4	4	4	4
	2x8	4	4	4	4
	2x10	4	4	4	4
	2x12	4	4	4	4
	4x4	4	4	4	4
	4x6	4	4	4	4
	4x8	4	4	4	4
	4x10	4	4	4	4
	4x12	4	4	4	4
	6x6	4	4	4	4
	6x8	4	4	4	4

ORDER'S AND HEADERS	SPEC	BAYING WIDTH (ft)			
		20	24	28	36
ORDER'S AND HEADERS	2x4	4	4	4	4
	2x6	4	4	4	4
	2x8	4	4	4	4
	2x10	4	4	4	4
	2x12	4	4	4	4
	4x4	4	4	4	4
	4x6	4	4	4	4
	4x8	4	4	4	4
	4x10	4	4	4	4
	4x12	4	4	4	4
	6x6	4	4	4	4
	6x8	4	4	4	4

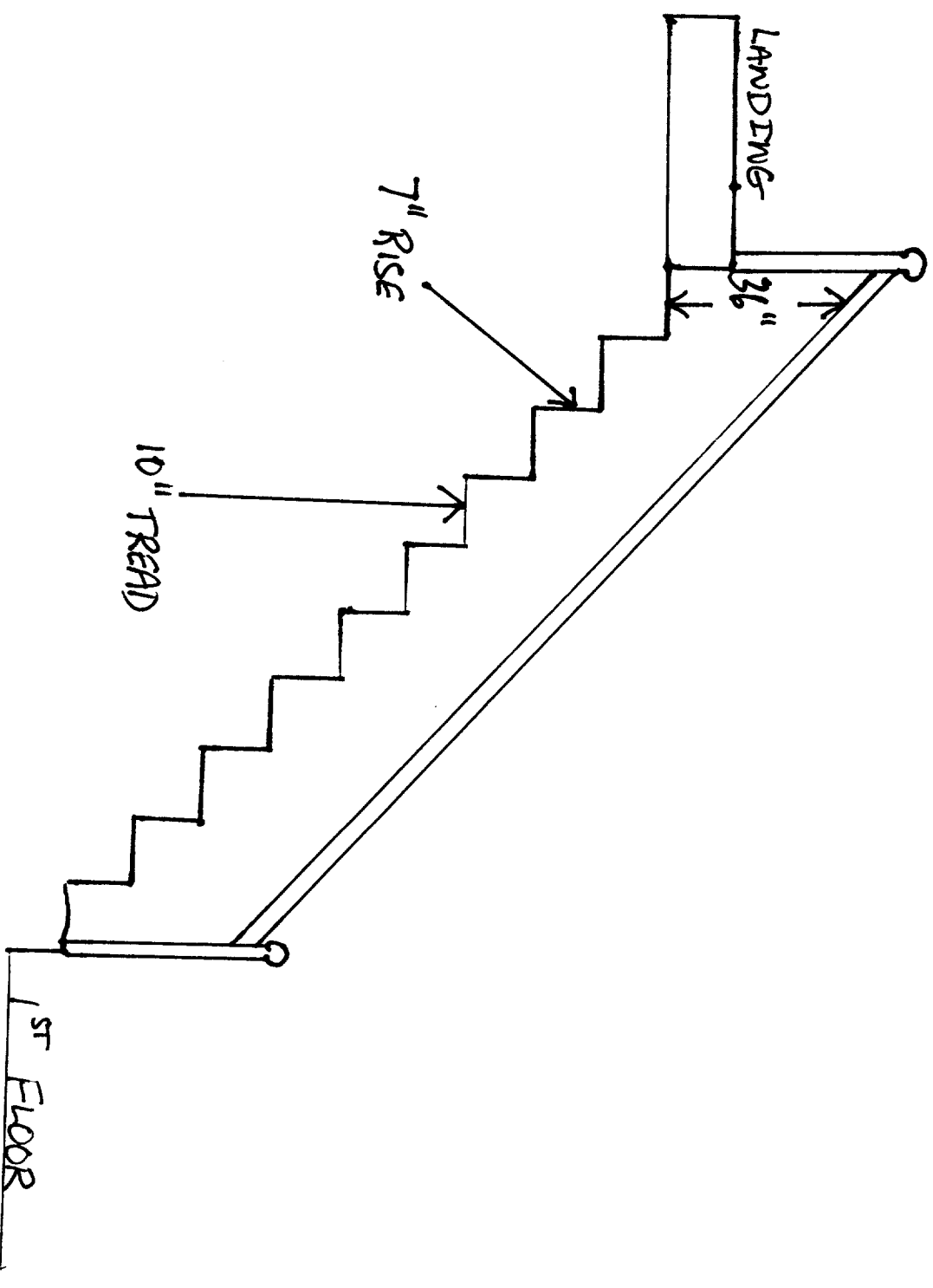
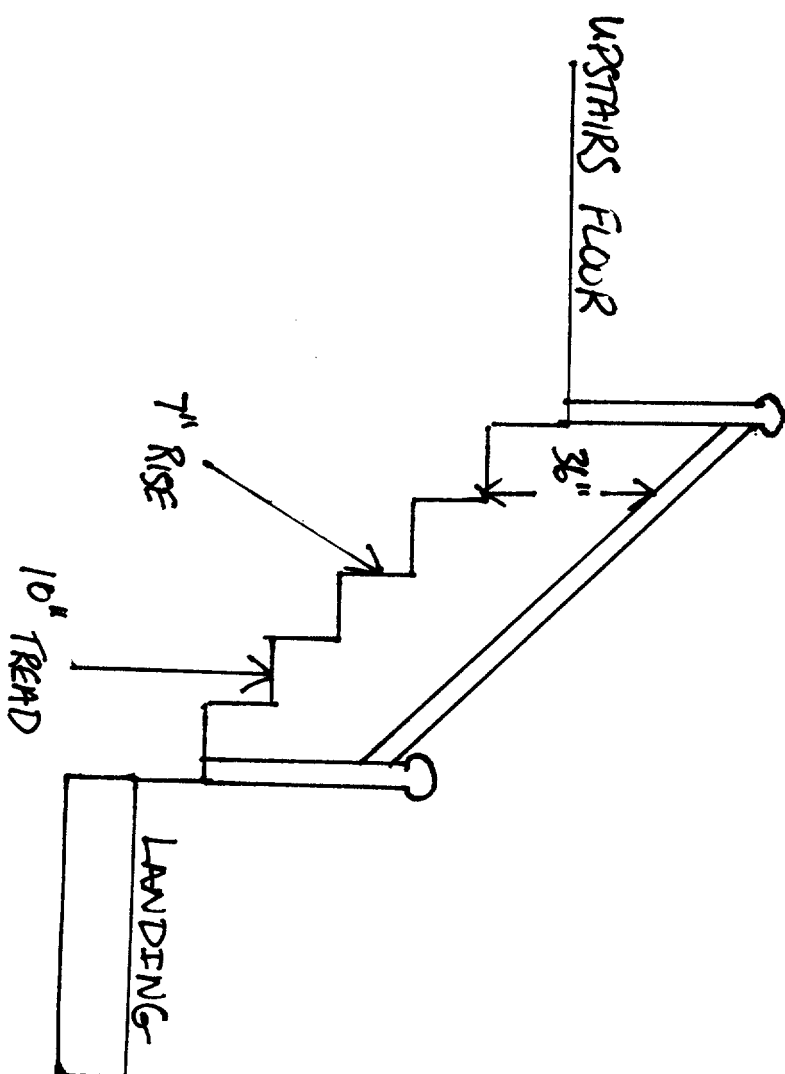
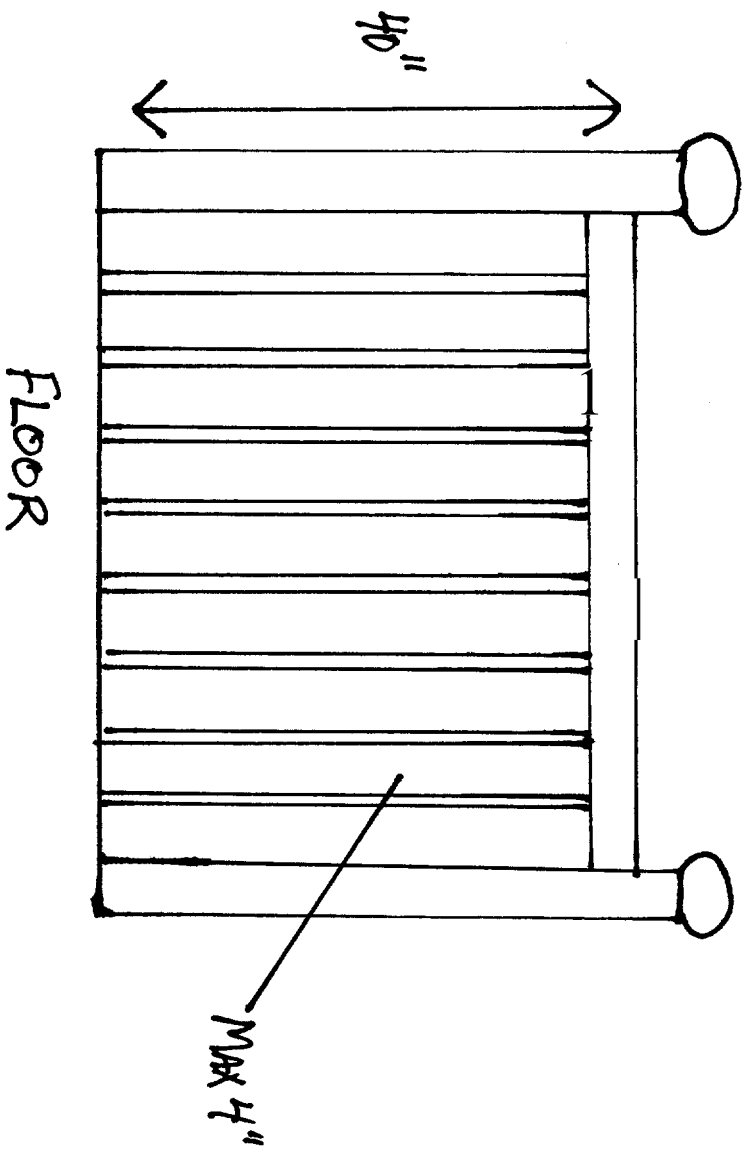
DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF MATERIALS	LENGTH OF FASTENERS (ft)	INTERPRETED APPROVAL (ft)
Wood structural joists, ceiling, floor and wall sheathing in framing and partitioned wall sheathing in framing	6d common nail (decking nail)	6	12*
5/8" - 1/2"	6d common nail (floor)	6	12*
1/2" - 1/4"	10d common nail or 8d deflected nail	6	12
1/2" regular exterior sheathing	1-1/2" galvanized roofing nail 8d common nail slope 18deg. 1-1/2" long	3	6
1/2" regular exterior sheathing	1-1/2" galvanized roofing nail 8d common nail slope 18deg. 1-1/2" long	3	6
2x4/2" structural ceiling	1-1/2" galvanized roofing nail 8d common nail slope 18deg. 1-1/2" long	3	6
1/2" gypsum sheathing	1-1/2" galvanized roofing nail 8d common nail slope 18deg. 1-1/2" long	4	8
5/8" gypsum sheathing	1-1/2" galvanized roofing nail 8d common nail slope 18deg. 1-1/2" long	4	8
wood structural joists, ceiling, exterior wall sheathing in framing	8d deflected nail or 8d common nail	6	12
5/8" - 1"	8d common nail or 8d deflected nail	6	12
1-1/2" - 1"	10d common nail or 8d deflected nail	6	12

- 1. For 2x joists, 2x4s, 2x6s, 2x8s, 2x10s, 2x12s, 4x4s, 4x6s, 4x8s, 4x10s, 4x12s, 6x6s, 6x8s, 6x10s, 6x12s, 8x8s, 8x10s, 8x12s, 10x10s, 10x12s, 12x12s, 12x14s, 12x16s, 12x18s, 12x20s, 12x24s, 12x30s, 12x36s, 12x42s, 12x48s, 12x54s, 12x60s, 12x66s, 12x72s, 12x78s, 12x84s, 12x90s, 12x96s, 12x102s, 12x108s, 12x114s, 12x120s, 12x126s, 12x132s, 12x138s, 12x144s, 12x150s, 12x156s, 12x162s, 12x168s, 12x174s, 12x180s, 12x186s, 12x192s, 12x198s, 12x204s, 12x210s, 12x216s, 12x222s, 12x228s, 12x234s, 12x240s, 12x246s, 12x252s, 12x258s, 12x264s, 12x270s, 12x276s, 12x282s, 12x288s, 12x294s, 12x300s, 12x306s, 12x312s, 12x318s, 12x324s, 12x330s, 12x336s, 12x342s, 12x348s, 12x354s, 12x360s, 12x366s, 12x372s, 12x378s, 12x384s, 12x390s, 12x396s, 12x402s, 12x408s, 12x414s, 12x420s, 12x426s, 12x432s, 12x438s, 12x444s, 12x450s, 12x456s, 12x462s, 12x468s, 12x474s, 12x480s, 12x486s, 12x492s, 12x498s, 12x504s, 12x510s, 12x516s, 12x522s, 12x528s, 12x534s, 12x540s, 12x546s, 12x552s, 12x558s, 12x564s, 12x570s, 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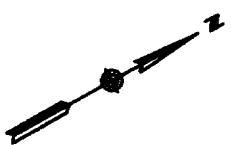
SIDENGER RESIDENCE  
56 BOSPARK DRIVE  
PORTLAND, ME 04103

STAIRS SCHEDULE

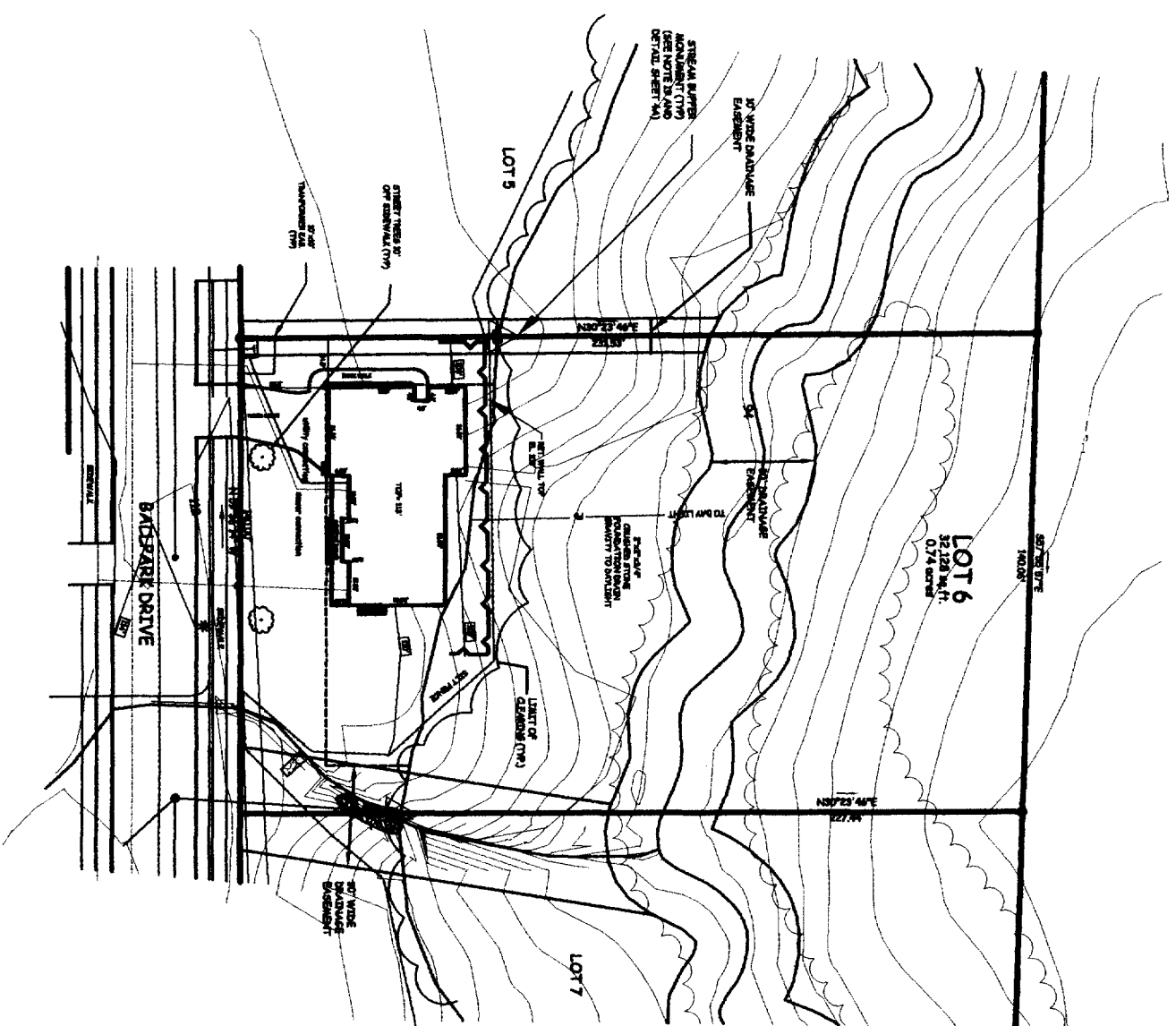
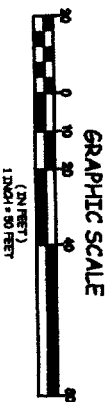
*Review  
D. G. Gault  
M. J. M...*







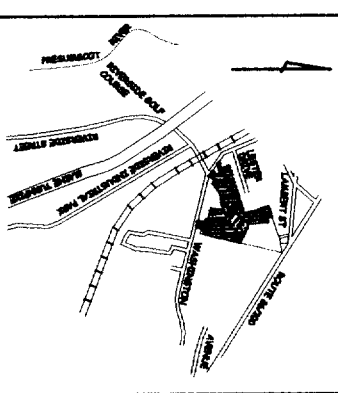
DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 JUL 18 2006  
**RECEIVED**



REVISED JULY 18, 2006 - added covered porch

**LEGEND:**

●	300V RIG ON END FOUND
○	300V RIG SET
○	WATER VALVE
○	UTILITY POLE
○	MANHOLE
○	CATCH BASIN
○	FENCE
○	GATE
○	UNROOFED ROOFS
○	EXISTING 1" CONTOUR
○	OPEN-ROOF WINGS
○	WATER LINE
○	SILT PILE
○	POLE/UTILITY/STAKE
○	2" NED MARK (ENCLOSURE)



**LOCATION MAP**  
 LOT 6

- NOTES:**
- Survey based reference: Book 22001, Page 073 Cumberland County Registry of Deeds
  - Owner of Record: Paul S. Mulligan 1454 Balsapark Avenue Portland, Maine 04103
  - Area of Surveyed Parcel: 74 acres
  - Survey on Per Plan Reference 83
  - All Land, Peg Land and Peg Reference are of the Cumberland County Registry of Deeds in Portland, Maine
  - 1-4 Residential Zone 10,000 sq. ft. 20' setback from & lower 12' side setback for 1 or 1 1/2 story 12' side setback for 2 story 12' side setback for 3 story 12' side setback for 2 1/2 story
  - Survey on based on City of Portland Deeds
  - FDMA/72041 parcel number ESD001, CODE C issued December 1, 1996 Subject parcel lies in Zone X and is outside the 800 year flood plain
  - All Utilities and Design contours are from Design Plans
- REFERENCES:**
- City of Portland, Maine
  - City of Cumberland and State of Maine
  - Tier Map 573 Sheet A Lot 36
  - The Liberty Empire Property BALMYPARK DRIVE SUBDIVISION prepared for Margaret Harvey Property Services, Inc. 1454 Balsapark Avenue Portland, Maine 04103 revised November 17, 2004 recorded at CSD in Plan Book 804 Page 858

**ORGANIZATION:**

- THE SURVEY COMPANYS TO THE BOARD OF LAND SURVEYORS FOR PROFESSIONAL LAND SURVEYORS WITH DISTRICT OF NO WRITTEN REPORT.

**PROJECT:**

**SITE PLAN**  
 Lot 6 - 3906 Balsapark Drive  
 PORTLAND, MAINE

Prepared by: **TKM**  
 TERRY K. MURPHY, INC.  
 100 WASHINGTON STREET  
 PORTLAND, MAINE 04103  
 TEL: (207) 861-4444

DATE	NO	SCALE	LINE	STATUS	SURVEY STATUS	PLD	BOOK
7/21	200	AS SHOWN	00-13				
7/21	200	1" = 30'					