

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that JEFFREY P SHANTAR

Located At 42 BALLPARK DR

Job ID: 2012-06-4256-SF

CBL: 371- A-034-001

has permission to New 2,200 sq. ft. single family  
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**



# Certificate of Occupancy

CITY OF PORTLAND, MAINE

Department of Planning and Urban Development  
Building Inspections Division



Location: 42 BALLPARK DR

CBL: 371 A034001

Issued To: Sebago Heights

Issued Date: 12/04/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 201245034 has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

ENTIRE

APPROVED OCCUPANCY

USE GROUP R-3

TYPE 5-B

SINGLE FAMILY DWELLING

IRC 2009

LIMITING CONDITIONS: NONE

Approved:

  
Inspector

  
Inspection Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required inspections:

Footings/Setbacks prior to pouring concrete

Backfill Inspection

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2012-06-4256-SF

Located At: 42 BALLPARK DR

CBL: 371- A-034-001

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. Separate permits shall be required for future decks, sheds, pools, and/or garages.

### **Fire**

All construction shall comply with City Code Chapter 10.

A sprinkler system shall be installed.

A separate no fee One- or Two-family Fire Sprinkler Permit is required.

All smoke detectors and smoke alarms shall be photoelectric.

Hardwired Carbon Monoxide alarms with battery back up are required on each floor.

### **Sprinkler requirements**

The sprinkler system shall be installed in accordance with NFPA 13D. A compliance letter is required.

All control valves shall be supervised in accordance with NFPA 13D. Pad locks shall only be installed on valves designed to be secured in the open position by pad lock.

Application requires State Fire Marshal approval.

### **DRC**

1. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
2. The applicant shall have a licensed surveyor install, prior to the issuance of any Certificate of Occupancy, permanent monumentation/pins identifying property corners.
3. A street opening permit(s) may be required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
4. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
5. The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and

- approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
6. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
  7. All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy. A performance guarantee will be required to cover the cost of site work not completed due to seasonal conditions ie., finish grading, loaming, seeding, mulching, installation of street trees, etc. The performance guarantee must be reviewed, approved, and accepted by the Planning Authority prior to the release of a Temporary Certificate of Occupancy.
  8. Trees that are designated to be saved are to be protected during excavation and construction. Tree protection fencing is to be installed around the tree canopy drip line prior to the start of any excavation. Tree protection measures are to be inspected and maintained daily.
  9. Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
  10. The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
  11. A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

## **Building**

Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.

There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level.

The size of the deck was not shown on the plans. A separate permit is required for any decks. The header over the garage doors is undersized. Engineered beams are required to be installed.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

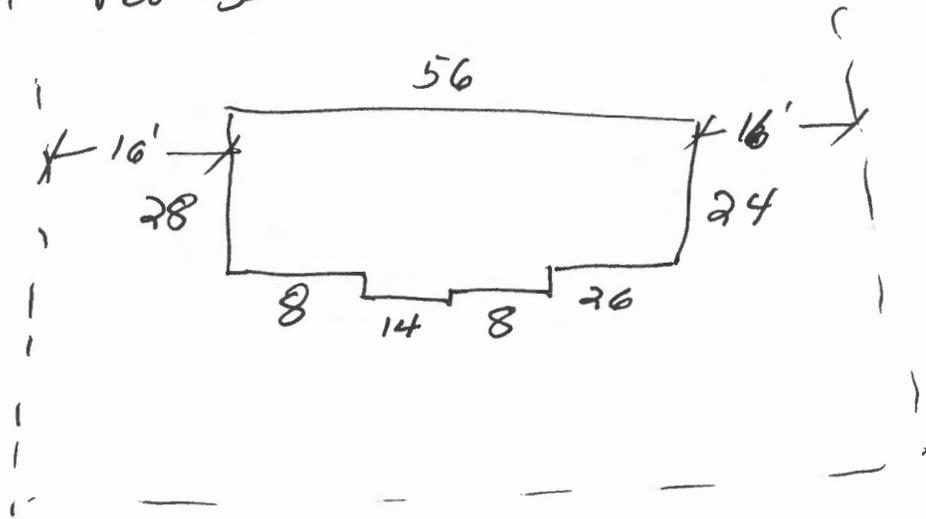
Job No: 2012-06-4256-SF	Date Applied: 6/15/2012	CBL: 371- A-034-001	
Location of Construction: 42 BALLPARK DR	Owner Name: SEBAGO HEIGHTS, LLC	Owner Address: 97A EXCHANGE ST, SUITE 304  PORTLAND, ME 04101	Phone:  207-772-2127
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone:  R-2
Past Use:  Vacant lot	Proposed Use:  New single family home – two stories (29.5' x 30') with attached 24' x 26' two car garage	Cost of Work: 185000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-3 Type: SB IRC 09
		Signature: <i>Capt. [Signature]</i>	Signature: <i>[Signature]</i>
Proposed Project Description: New 2,200 sq. ft. 2 story single family home		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK w/ conditions 6/20/12 ABM</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABM</i></p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

7-18-12 DWM Footings OK



7-25-12 GF

OK Backfill  
Drain Tile OK  
WP - OK

9-18-12 DWM/BK Amy Steve Close-in Fail / Elec pass.

9-19-12 DWM/GEF Greg Close-in Fail Floor framing over garage not per plan, Joist notch near stair exceeds limits, top plate hole exceeds limits, plumbing flat vented various locations, provide rafter ties, provide fire blocking various locations, stair to 2nd floor may not meet headroom + rise/run req., provide basement egress, provide landings at stair to basement, block floor joists, provide guard rail at rear door.

9-20-12 DWM/GEF Close-in Provide rafter ties, fire blocking, Headroom at stair may not be adequate. Temp treads in place. Block floor joists, Plumbing flat vented, Top plate hole exceeds limits,

~~10~~ 11-19-12 GF/BKL CONTRACTOR NOT READY  
FAIL DEBRIS/JUNK/WORKING

11-27-12 DWM/BKL/Capt Pirone Greg 671-2631 Final fail Bldg Provides Headroom @ Stair, CO + PE detectors, sprinkler compliance letter, Dryer vent, ~~provide~~ ~~verify~~ inspection of framing corrections, 44" max at basement egress, clearance @ boiler flue, DRC

12-3-12 DWM/BKL/Lt Kallave Greg - Amy ~~headroom at stair is 6'5 1/2" 6'8" req'd~~, Dryer duct to be hard pipe when penetrating wall, Clearance at flue NTC, DRC, FIRE  
12-4-12 DWM/BKL (Final) OK

2012 06 42 56

Project Address: 42 BALL PARK DRIVE

Total Square Footage of Proposed Structure/Area:

2200<sup>sq ft</sup>

Area of lot (total sq. ft.): 20713

Garage: Yes  No

Attached

Detached

Sq. Ft.: 624

Number of Stories: 2

Number of Bathrooms: 2 1/2

Number of Bedrooms: 3

Tax Assessor's Chart, Block & Lot(s):

Chart# Block # Lot #

371 A 34

RECEIVED

JUN 15 2012

Current legal use: vacant lot

Dept. of Building Inspections  
City of Portland Maine

Number of Residential Units \_\_\_\_\_

If vacant, what was the previous use? land owned by developer

Is property part of a subdivision? yes If yes, please name BALLPARK DRIVE

Project Description: Construction of single family home with attached garage with bonus room finished over garage.

Applicant - must be owner, Lessee or Buyer

Name: Sebago Heights, LLC  
Business Name, if applicable: c/o Greg McCormack  
Address: 97 A Exchange St. Suite 304  
City/State: Portland, Me Zip Code: 04101

Applicant Contact Information

Work # 772-2127  
Home#  
Cell # 671-2631  
e-mail: GREG@MAINEHOMES.NET

Owner - (if different from Applicant) same

Name:  
Address:  
City/State: Zip Code:

Owner Contact Information

Work # same  
Home#  
Cell #  
e-mail:

Billing Information

Name: same as above  
Address:  
City/State: Zip Code:  
Phone Number: 772-2127

Contact when Building Permit is Ready:

Name: Greg McCormack  
Address: 97 A Exchange St. Suite 304  
City/State: Portland, Me Zip Code: 04101  
Phone Number: 671-2631 or 772-2127

**DEVELOPMENT REVIEW FEES:**

Payment may be made in cash, credit card or check addressed to the City of Portland.

<b>Level I Minor Residential Site Plan</b>	<b>Fees Paid:</b>
<b>1. Application Fee - \$300.00</b>	\$ _____
<b>2. Inspection Fee - \$100.00</b> (for site plan inspection by the Planning Division)	\$ _____
<b>3. Certificate of Occupancy Fee - \$75.00</b>	\$ _____
<b>4. Building Permit (Cost of Work)</b>	\$ _____
<b>Total Due:</b>	\$ _____
<b>Building Permit Fee - \$30 for the first \$1,000 construction cost - \$10 every additional \$1,000.</b>	
<b>Performance Guarantee - Exempt except for those projects that complete construction in the winter and the site work is incomplete.</b>	

Please submit all of the information outlined on the applicable Checklist, shown on Page 4 and 5 of this Application. In addition, a CD or PDF (e-mailed to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)) of the entire Application, including all plans, must be submitted with the Application. Failure to do so may result in the automatic denial of your permit.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov) Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.

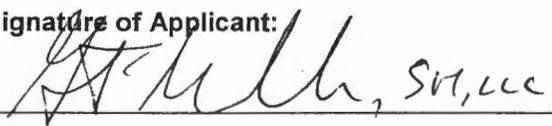
**Property Taxes:**

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

**Separate Permits:**

Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

<b>Signature of Applicant:</b> 	<b>Date:</b> 6/7/12
--	------------------------

**This is not a permit - you may not commence any work until the permit is issued.**

2012-06-4256 ① of ①

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST	
Soil type/Presumptive Load Value (Table R401.4.1)			
Component	Submitted Plan	Findings	Revisions Date
<b>STRUCTURAL</b> Footings Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	10" x 20" - 8" wall		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	OK - see wall section detail		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A		
Anchor Bolts/Straps, spacing (Section R403.1.6)	OK - see wall section detail		
Lally Column Type (Section R407)			
Girder & Header Spans (Table R 502.5(2))			
Built-Up Wood Center Girder Dimension/Type	3 - 2x12's - 6'-3" clear span - max - OK		
Sill/Band Joist Type & Dimensions	2x6 PT		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 - 16" - 12'6 span - OK 2x10 - 12" 15'6 span - OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	" " OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x6 - OK		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x10 - 5 - OK	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	OK	
Fastener Schedule (Table R602.3(1) & (2))	Per 09	
<b>Private Garage</b> (Section R309) Living Space? <i>YES</i> (Above or beside)		
Fire separation (Section R309.2)	- shows 5/8" walls + ceiling - OK	
Opening Protection (Section R309.1)	- OK - shows fire doors	
Emergency Escape and Rescue Openings (Section R310)	Shows egress windows	
Roof Covering (Chapter 9)	<del>Asphalt</del> - <del>Asphalt</del> Asphalt	
Safety Glazing (Section R308)	N/A	
Attic Access (Section R807)	22" x 30" - OK	
Chimney Clearances/Fire Blocking (Chap. 10)	Need condition	
Header Schedule (Section 502.5(1) & (2))	Need LVL's over garage doors + <del>Header schedule</del> 3-2x10's - Typ - OK	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-49 Roof R-21 Roof	

42 Ballpark (3) of (3)

Type of Heating System		
<b>Means of Egress</b> (Sec R311 & R312) Basement Number of Stairways Interior Exterior Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.5.2) Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	$10'' + 7\frac{1}{4} + 7\frac{3}{8}$ $36'' +$ $6'8'' +$ $OK$	
Smoke Detectors (Section R313) Location and type/Interconnected	$OK$	
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8) Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	$N/A$	
Deck Construction (Section R502.2.1)	$Need \text{ sep. plan}$	

(A CD or PDF (e-mailed to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)) of the entire application, including all plans, must be submitted with the application.)

<b>General Submittal Requirements – Level I Minor Residential</b>			
<b>Applicant Checklist</b>	<b>Planner Checklist (internal)</b>	<b>Number of Copies</b>	<b>Submittal Requirement</b>
✓		2	Completed application form and check list.
✓	✓	1	Application fees.
✓	✓	2	Evidence of right, title and interest.
N/A	N/A	2	Copies of required state and/or federal permits.
✓	✓	2	Written Description of existing and proposed easements or other burdens.
N/A	N/A	2	Written requests for waivers from individual site plan and/or technical standards.
✓	✓	2	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). Refer to Fire Department Checklist on page 6 of this application..

<b>Site Plans and Boundary Survey Requirements – Level I Minor Residential</b>			
<b>Applicant Checklist</b>	<b>Planner Checklist (internal)</b>	<b>Number of Copies</b>	<b>Submittal Requirement</b>
✓		3	Boundary survey meeting the requirements of section 13 of the City of Portland Technical Manual with the site plan information listed below shown on the plan, including a north arrow and a scale greater than or equal to 1"=20'. (Photocopies of the plat or hand drawn building footprints will not be accepted.)
✓			▪ Zoning district, setbacks and dimensional requirements. Show zone lines and overlay zones that apply to the property, including Shoreland Zone &/or Stream Protection Zone.
✓			▪ Existing and proposed structures (including location of proposed piers, docks or wharves if in Shoreland Zone).
✓			▪ Location and dimension of existing and proposed paved areas.
✓			▪ Proposed ground floor area of building.
✓			▪ Finish floor elevation (FEE) or sill elevation.
✓			▪ Exterior building elevations (show all 4 sides).
✓			▪ Existing and proposed utilities (or septic system, where applicable)
✓			▪ Existing and proposed grading and contours.
✓			▪ Proposed stormwater management and erosion controls.
✓			▪ Total area and limits of proposed land disturbance.
✓			▪ Proposed protections to or alterations of watercourses.
✓			▪ Proposed wetland protections or impacts.
✓			▪ Existing vegetation to be preserved and proposed site landscaping and street trees (2 trees per unit for a single or two-family house).

✓		▪ Existing and proposed curb and sidewalk, except for a single family home.
✓		▪ Existing and proposed easements or public or private rights of way.
✓		▪ Show foundation/perimeter drain and outlet.
✓		▪ Additional requirements may apply for lots on unimproved streets.

### Building Permit Submittal Requirements –Level I: Minor Residential Development

Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
✓		1	<b>One (1) complete set of construction drawings must include:</b>
✓			▪ Cross section with framing details
✓			▪ Floor plans and elevations to scale
✓			▪ Stair details including dimensions of : rise/run, head room, guards/handrails, baluster space
✓			▪ Window and door schedules
✓			▪ Foundation plans w/required drainage and damp proofing , if applicable
✓			▪ Detail egress requirements and fire separation, if applicable
✓			▪ Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2003
✓			▪ Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
✓			▪ As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)
✓			▪ Reduced plans or electronic files in pdf format are also required if original plans are larger than 11X17"

**\*\* Reminder: \*\***

1. A CD or PDF of the entire application, including all plans, must be submitted with the application.
2. Separate permits are required for internal and external plumbing, HVAC, and electrical installations.
3. Please submit all of the information outlined in this application checklist.
4. If the application is incomplete, the application may be refused.
5. The Planning and Urban Development Department may request additional information prior to the issuance of a permit.

**WARRANTY DEED**  
(Maine Statutory Short Form)

**KNOW ALL PERSONS BY THESE PRESENTS**, that I, Jeffrey P. Shantar, of Sandy Hook, County of Fairfield, State of Connecticut, for consideration paid, GRANT to Sebago Heights, LLC, with a principal place of business located at 97A Exchange Street, Suite 304, Portland, Maine, with **WARRANTY COVENANTS**, the land with buildings thereon in Portland, County of Cumberland and the State of Maine, described as follows:

A certain lot or parcel of land situated in the City of Portland, County of Cumberland and State of Maine, more particularly described as follows:

Lot No. 4 shown on a plan entitled "Plan of Division of Land, The Haverty Estate Property, Ballpark Drive Subdivision", by URS Corporation, Portland, Maine, dated November 22, 2004 and recorded in the Cumberland County Registry of Deeds in Plan Book 204, Page 855 (the "Plan"), and on related plan recorded with the Plan entitled "Residential Lot Subdivision Plat Ballpark Drive Subdivision" dated November 22, 2004 and recorded in said Registry of Deeds in Plan Book 204, Page 856 (the "Subdivision Plan") (the Plan and the Subdivision Plan being hereinafter collectively referred to as the "Project Plans").

Excepting and reserving to Ballpark Drive Development, LLC the fee interest in Ballpark Drive shown on the Project Plans, which Ballpark Drive Development, LLC intends to convey to the City of Portland as a public street following the City's acceptance thereof, but hereby conveying an easement in common with Ballpark Drive Development, LLC, its successors and assigns, and other owners of lots in Ballpark Drive Subdivision, to use Ballpark Drive shown on the Project Plans for vehicular and pedestrian access to and from the above-described premises and for the installation, maintenance, repair and replacement of utilities over, under and through Ballpark Drive to serve the above-described premises including, but not limited to, power lines, sewer and water lines, telephone and other communication lines, and cable television lines. The Grantee, its successors and assigns, shall repair Ballpark Drive as nearly as practical following any activity therein pursuant to the exercise of said easement, which obligation shall be enforceable by all parties having rights in and to the use of Ballpark Drive. Following the acceptance of Ballpark Drive as a public street, the use thereof by the Grantee, its successors and assigns, shall be further subject to all applicable municipal ordinances and regulations with respect thereto.

The above-described premises are conveyed subject to the following to the extent they affect the premises or other interest relating thereto and referred to herein:

1. Rights and easements acquired by the City of Portland by virtue of a Taking dated June 3, 1963 and recorded in said Registry of Deeds in Book 2764, Page 362;
2. Rights and easements excepted and reserved in a deed from Mary Margaret I. Harvery to Ballpark Drive Development, LLC dated December 8, 2004 and recorded in said Registry of Deeds in Book 22100, Page 73;
3. General Notes, Setbacks, 75' Stream Buffer, Easements and other matters set forth, shown on, or referred to on the Project Plans, particular reference being made to (a) the restrictions and limitations set forth or referred to on said Project Plans regarding activities within the 75' Stream Buffer along the southern edge of the intermittent brook running through Lots 1 through 9, and (b) General Note 12 on Subdivision Plan that reads as follows:

No public service (i.e., snow plowing, trash removal, lighting) will be provided unless and until the proposed street is accepted by the City Council. The Developer shall provide a performance guarantee for a time period of up to two years to the City which shall include the cost of curbside trash removal, snow plowing, street maintenance, and lighting. The City will not release the performance guarantee unless the road is accepted by the City Council. In the interim, the developer shall be responsible for snow plowing, street maintenance, lighting and curbside trash removal.
4. Easement Deed from Mary Margaret I. Haverty to the Portland Water District dated January 10, 2005 and recorded in said Registry of Deeds in Book 22228, Page 90;
5. Easement Deed for drainage and culvert easements from Ballpark Drive Development, LLC to the City of Portland dated January 13, 2005 and recorded in said Registry of Deeds in Book 22268, Page 53;
6. Easement Deed for sewer line easement from Ballpark Drive Development, LLC to the City of Portland dated January 23, 2005 and recorded in said Registry of Deeds in Book 22268, Page 57;
7. Declaration of Covenants and Restrictions by Ballpark Drive Development, LLC regarding Lots 1 through 16 in Ballpark Drive Subdivision dated January 27, 2005 and recorded in said Registry of Deeds in Book 22278, Page 204, as amended by the Amendment to Declaration of Covenants and Restrictions dated March 2, 2005 and recorded in said Registry of Deeds in Book 22380, Page 177;

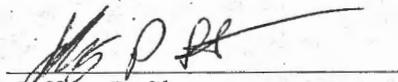
8. Trail Easement over Lot 18 in Ballpark Drive Subdivision granted to Portland Trails dated January 24, 2005 and recorded in said Registry of Deeds in Book 22284, Page 63; and
9. Standard Easement Deed from Ballpark Drive Development, LLC to Central Maine Power Company and Verizon New England, Inc. dated December 27, 2004 and recorded in said Registry of Deeds in Book 22384, Page 105.

The above-described premises are further conveyed together with the benefit of a Declaration of Covenants and Restrictions by Ballpark Drive Development, LLC regarding Lot 18 in Ballpark Drive Subdivision dated January 13, 2005 and recorded in said Registry of Deeds in Book 22268, Page 59.

Meaning and intending to convey the same premises described in deed of Ballpark Drive Development, LLC, dated August 26, 2005 and recorded in the Cumberland County Registry of Deeds in Book 23075, Page 80.

Witness my hand and seal this 30<sup>th</sup> day of May, 2012.

  
\_\_\_\_\_  
Witness

  
\_\_\_\_\_  
Jeffrey P. Shantar

STATE OF MAINE  
COUNTY OF CUMBERLAND, SS.

May 30, 2012

Then personally appeared before me the above- named Jeffrey P. Shantar and acknowledged the foregoing instrument to be his free act and deed.

Before me,  
  
\_\_\_\_\_  
Notary Public/ Attorney at Law

**C. TRENT GRACE**  
Notary Public, Maine  
My Commission Expires February 2, 2015

## Summary of Burden Easements

Soil disturbance landscaping between 25 feet and 75 feet from the intermittent brook requires a NRPA Permit-By-Rule approved through the Maine DEP. A NRPA Permit-By-Rule Notice of Intent for Lot 6 and 7 was filed with the Maine DEP. on June 4, 2004. The construction activity was authorized by the DEP in accordance with Chapter 305 as of June 18, 2004. The permit is valid for two years. All construction on these two lots must comply with Chapter 305, Section 2 of the National Resources Protection Act (NRPA).

The 75-foot undisturbed buffer on the southern side of the intermittent brook to the northern property boundaries of Lots 1-9 is subject to regulation under the City of Portland Shoreland Regulations and the State of Maine Natural Resources Protection Act, as amended. Reference to the restrictions shall be noted in each deed for lots 1 through 9.

Existing Burdens and Easements includes 10 ft. drainage easement along property side lines and 30 ft. drainage easement along rear as shown on subdivision plan.

June 11, 2012

Summary For Fire Safety

Property Location: 42 Ballpark Drive, Portland

Applicant: Sebago Heights, LLC c/o Greg McCormack

97 A Exchange St. Suite 304

Portland, Maine 04101

772-2127 or 671-2631

Architect/Draftsman: Peter Palanza, South Portland, 329-4176

Proposed Use: Single Family Residence

Square Footage: Basement 860 square feet (unfinished)

1<sup>st</sup> Floor 860 square feet

2<sup>nd</sup> floor 860 square feet

3060 square feet

Elevation: Attached

Proposed Fire Protection: Property to be sprinkled in compliance with NFPA 13D.

Hydrant Location: Within 100ft. of property.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

## Receipts Details:

**Tender Information:** Check , BusinessName: Sebago Heights LLC, Check Number: 3205  
**Tender Amount:** 2345.00

## Receipt Header:

**Cashier Id:** gguertin  
**Receipt Date:** 6/15/2012  
**Receipt Number:** 45036

## Receipt Details:

Referance ID:	6913	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-06-4256-SF - new 624 sq. ft. 2 story single family home			
Additional Comments: Sebago heights LLC			

Referance ID:	6914	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	1870.00	Charge Amount:	1870.00
Job ID: Job ID: 2012-06-4256-SF - new 624 sq. ft. 2 story single family home			

Additional Comments:

Referance ID:	6916	Fee Type:	BP-INSP
Receipt Number:	0	Payment Date:	
Transaction Amount:	100.00	Charge Amount:	100.00
Job ID: Job ID: 2012-06-4256-SF - new 624 sq. ft. 2 story single family home			
Additional Comments:			

Referance ID:	6919	Fee Type:	BP-MSFSR
Receipt Number:	0	Payment Date:	
Transaction Amount:	300.00	Charge Amount:	300.00
Job ID: Job ID: 2012-06-4256-SF - new 624 sq. ft. 2 story single family home			
Additional Comments:			

Thank You for your Payment!

Applicant: Sebago Heights LLC  
c/o Greg McCormack  
Address: 42 Ball Park Drive (lot 4)

Date: 6/20/12

C-B-L: 371-A-34  
permit # - 2012-06-4256

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - build a two story single family home (29.5 x 30) w/ 2 car attached garage (26' x 24')

Sevage Disposal - City

Lot Street Frontage - 50' min. - 88' given (OK)

Front Yard - 25' min. - 39.5' scaled to front of lot (OK)

Rear Yard - 25' min. - 16.5' scaled (OK)

Side Yard - 2 stories - 14' - 16' scaled on right (OK)  
16' scaled on left (OK)

Projections -

Width of Lot - 80' min. - 88' scaled (OK)

Height - 35' max. - 28.5' scaled from lowest grade (OK)

Lot Area - 10,000 sq ft min - 20,713 sq ft given

Lot Coverage/ Impervious Surface - 20% = 4142.6

Area per Family - 10,000 sq ft (OK)

Off-street Parking - 2 spaces required - garage 23.5' x 18.5' (OK)

Loading Bays - N/A

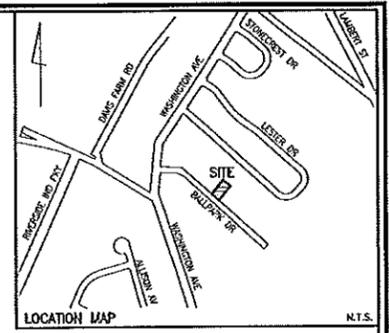
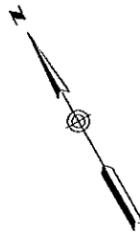
Site Plan - level I minor residential

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 2-200X

house 28 x 30 = 840  
humpout 15 x 14 = 21  
garage 24 x 26 = 624  
backyard 6 x 4.25 = 25.5

1510.5 sq ft (OK)

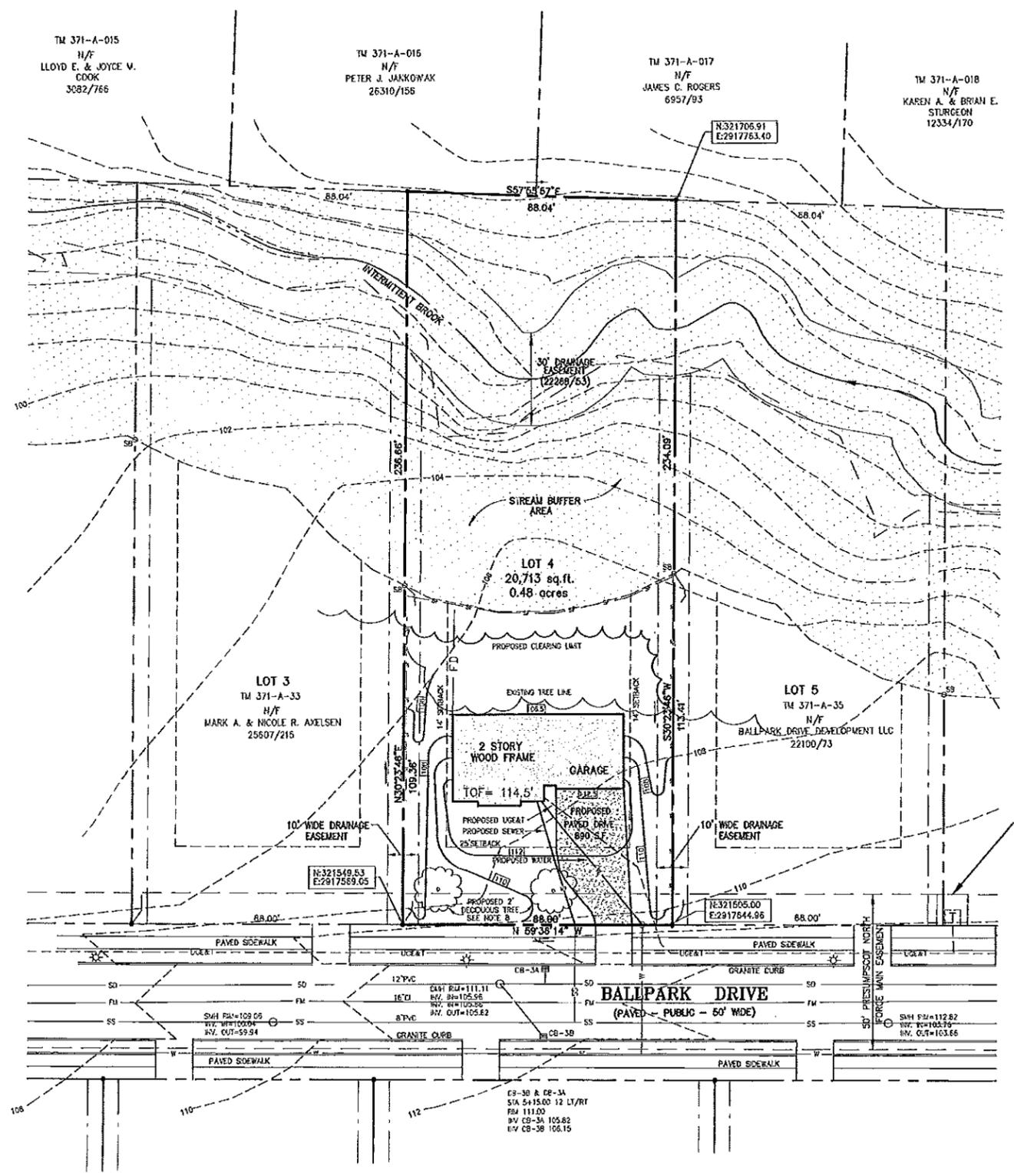


**PLAN REFERENCE:**

1. "PLAN OF DIVISION OF LAND, THE HAVERTY ESTATE PROPERTY", BALLPARK DRIVE SUBDIVISION" MADE FOR MARGARET HAVERTY BY URS CORPORATION DATED 2-23-04 REVISED 11-17-04 RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204 PAGE 855.

**NOTES:**

- OWNER OF RECORD: JEFFREY P. SHANTAR  
C.C.R.D. BOOK 23269 PAGE 295.
- PROPERTY IS SHOWN AS LOT 34 BLOCK A ON MAP 371 OF THE CITY OF PORTLAND ASSESSORS MAPS.
- COORDINATES LISTED ON PLAN ARE BASED ON MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83.
- ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.
- BENCH MARK IS A BOLT IN A 3 FOOT OFFSET MONUMENT UNDER A MANHOLE AT THE SOUTHEAST CORNER OF JACKSON AND AUBURN STREET. ELEVATION IS 140.443 FEET.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NUMBER 230051 D002 C, REVISED DECEMBER 8, 1995, THE SUBJECT PROPERTY LIES IN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAN.
- TOPOGRAPHY AND UTILITIES ARE FROM DESIGN PLANS PROVIDED BY URS. NO CURRENT FIELD SURVEY HAS BEEN COMPLETED BY OWEN HASKELL, INC. EXISTING LOT GRADING SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- A MINIMUM OF TWO TREES PER LOT SHALL BE PLANTED IN THE FRONT YARD OF EACH LOT 10 FEET BACK FROM SIDEWALK, MEETING THE CITY'S ARBORICULTURAL SPECIFICATIONS AND STANDARDS. LOT OWNERS SHALL CONSULT WITH THE CITY ARBORIST FOR RECOMMENDED TREE SPECIES.

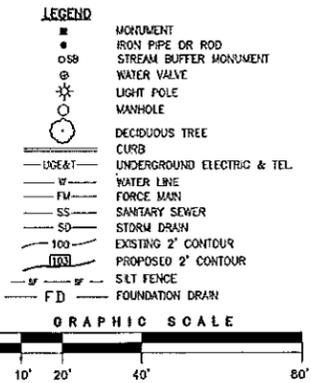


10'x10' TRANSFORMER EASEMENT (TYP) (22384/105)

RECEIVED

JUN 15 2012

Dept. of Building Inspections  
City of Portland Maine



**UTILITY NOTE:**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-800-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO DSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

**ZONING:**  
THE SUBJECT PROPERTY IS A PORTION OF LAND SHOWN ON PLAN REFERENCE 1, LIES IN THE CITY OF PORTLAND'S R-2 RESIDENTIAL ZONE, AND IS SUBJECT TO THE FOLLOWING:  
MINIMUM LOT FRONTAGE: 50 FEET  
MINIMUM LOT SIZE: 10,000 S.F.  
SETBACKS:  
FRONT: 25 FEET  
REAR: 25 FEET  
SIDE: 12 FEET, 1 OR 1-1/2 STORY RESIDENCE  
14 FEET, 2 STORY RESIDENCE  
16 FEET, 2-1/2 STORY RESIDENCE

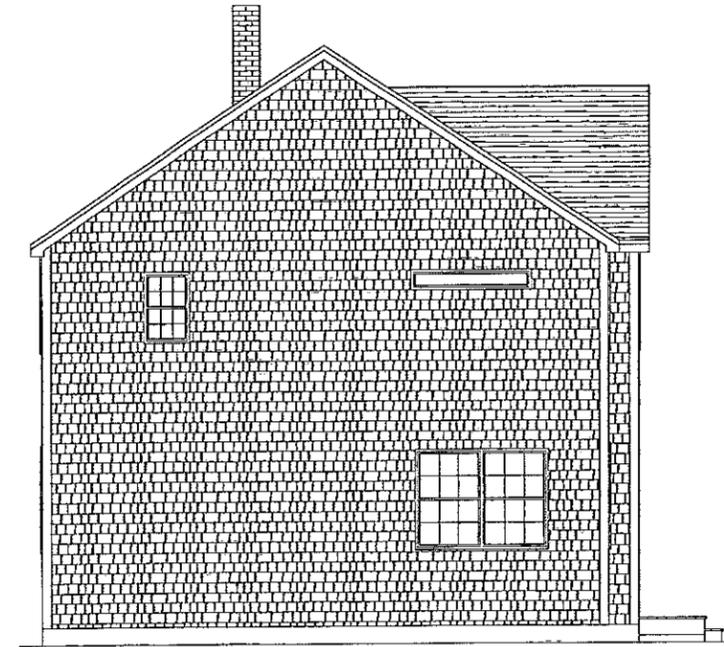
LOT SIZE = 20,713 S.F.  
LOT COVERAGE = 2,371 S.F.  
% OF SITE COVERED = 11.5 %  
TOTAL DISTURBED AREA = 8,095 S.F.  
% OF SITE DISTURBED = 39.1 %  
GROUND FLOOR AREA OF BUILDING = 1,481 S.F.

JOHN W. SWAN, PLS NO. 1038  
DATE \_\_\_\_\_

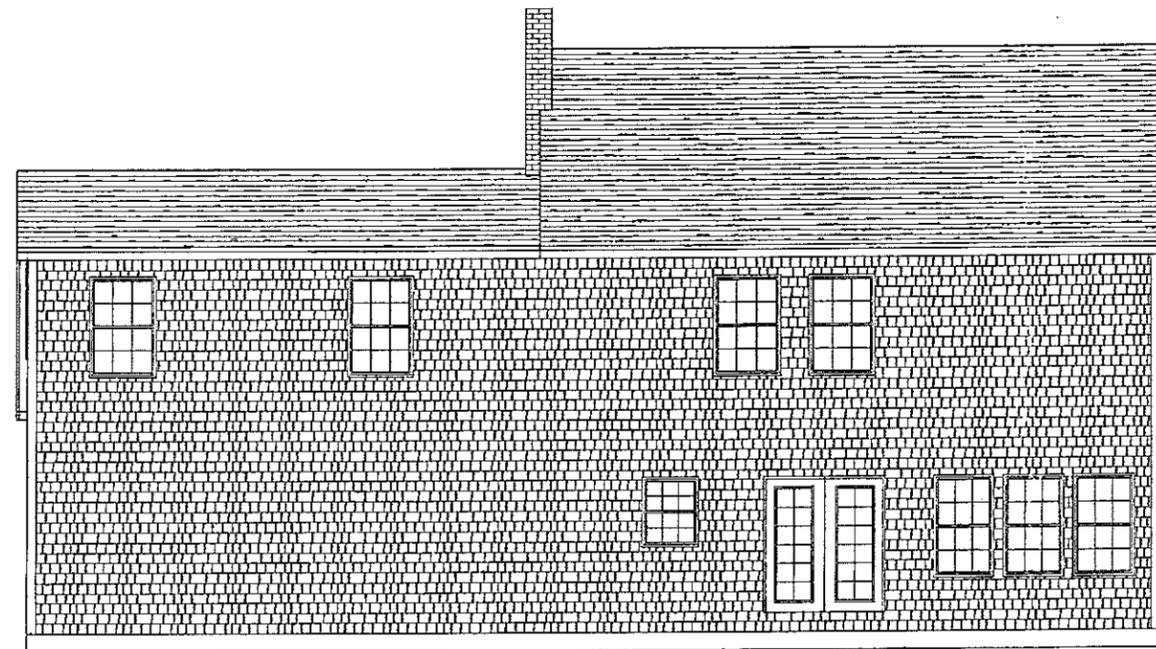
SITE PLAN		
OF		
LOT4 - 42 BALLPARK DRIVE, PORTLAND, MAINE		
MADE FOR		
MULKERIN ASSOCIATES		
97A EXCHANGE STREET, PORTLAND, MAINE 04101		
OWEN HASKELL, INC.		
390 U.S. ROUTE ONE, FAIMOUTH, ME 04105 (207)774-0424		
PROFESSIONAL LAND SURVEYORS		
Drawn By	OH	Date
Trace By	JLW	JUNE 12, 2012
Check By	JWS	Scale
Book No.	1010	1" = 20'
Job No.	2012-097P	Drawn By
		Drng. No.
		1



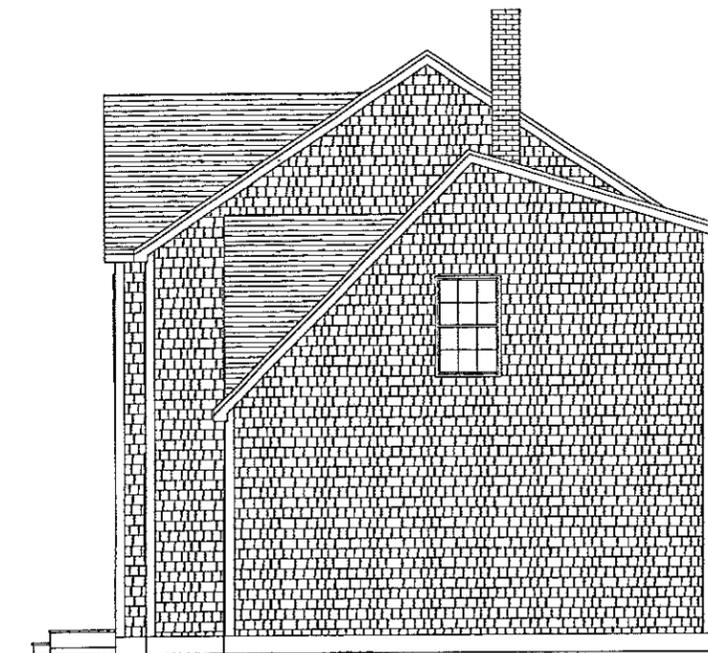
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER IN THE STATE OF MAINE AND SHALL BE USED ONLY AS A GUIDE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.

PROJECT NAME: 47 Ball Park Drive  
**ANGELONE  
 RESIDENCE**

**SEGAGO  
 HEIGHTS LLC.**

REVISIONS	

**RECEIVED**

JUN 15 2012

Dept. of Building Inspections  
 City of Portland Maine

DATE: Jun 1 2012
SCALE: AS NOTED
DRAWN:
FILE:
SHEET: ____ OF ____





Memorandum  
Department of Planning and Development  
Planning Division

---



TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: December 3, 2012

RE: C. of O. for # 42 Ballpark Drive, McCormick Single Family Home  
(Id#2012-06-4256-SF) (CBL 371 A 034001)

---

After visiting the site, I have the following comments:

Site work complete:

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Tammy Munson, Inspection Services Manager  
Barbara Barhydt, Development Review Services Manager  
File: Urban Insight

# lot 4 Ball Park Beam Specs

## SOLID-SAWN JOIST



### ALLOWABLE FLOOR SPANS

#### ALLOWABLE FLOOR SPANS — Live Load = 40 psf, Dead Load = 10 psf

Live Load Deflection Limit of L/480

JOIST DEPTH	JOIST SERIES	SIMPLE SPANS ON CENTER SPACING				MULTIPLE SPANS ON CENTER SPACING			
		12'	16'	19.2'	24'	12'	16'	19.2'	24'
		9-1/2"	NI-20	16'-7"	15'-3"	14'-5"	13'-6"	18'-1"	16'-7"
	NI-40x	18'-8"	17'-0"	16'-1"	15'-0"	20'-4"	18'-5"	16'-10"	15'-0"
	NI-60	18'-11"	17'-4"	16'-4"	15'-3"	20'-8"	18'-10"	17'-9"	16'-7"
	NI-80	20'-11"	19'-1"	18'-0"	16'-9"	22'-9"	20'-9"	19'-6"	18'-2"
11-7/8"	NI-20	19'-11"	18'-3"	17'-3"	16'-1"	21'-8"	19'-10"	17'-9"	14'-2"
	NI-40x	22'-2"	20'-3"	19'-2"	17'-2"	24'-2"	21'-0"	19'-2"	17'-1"
	NI-60	22'-8"	20'-8"	19'-6"	18'-2"	24'-8"	22'-6"	21'-2"	19'-8"
	NI-80	24'-11"	22'-8"	21'-4"	19'-11"	27'-1"	24'-8"	23'-3"	21'-7"
	NI-90x	25'-9"	23'-6"	22'-1"	20'-7"	28'-1"	25'-6"	24'-1"	22'-4"
14"	NI-40x	25'-2"	22'-11"	21'-2"	18'-11"	26'-8"	23'-1"	21'-1"	18'-10"
	NI-60	25'-9"	23'-6"	22'-2"	20'-8"	28'-0"	25'-7"	24'-1"	21'-7"
	NI-80	28'-3"	25'-9"	24'-3"	22'-7"	30'-10"	28'-0"	26'-5"	24'-6"
	NI-90x	29'-4"	26'-9"	25'-2"	23'-5"	32'-0"	29'-1"	27'-5"	25'-5"
16"	NI-60	28'-6"	26'-0"	24'-7"	22'-10"	31'-1"	28'-4"	26'-0"	21'-9"
	NI-80	31'-4"	28'-6"	26'-10"	25'-0"	34'-2"	31'-1"	29'-3"	26'-3"
	NI-90x	32'-7"	29'-8"	27'-11"	26'-0"	35'-6"	32'-3"	30'-5"	28'-3"

#### ALLOWABLE FLOOR SPANS — Live Load = 40 psf, Dead Load = 20 psf

Live-Load Deflection Limit of L/480

JOIST DEPTH	JOIST SERIES	SIMPLE SPANS ON CENTER SPACING				MULTIPLE SPANS ON CENTER SPACING			
		12'	16'	19.2'	24'	12'	16'	19.2'	24'
		9-1/2"	NI-20	15'-11"	14'-7"	13'-10"	12'-11"	17'-4"	15'-10"
	NI-40x	17'-11"	16'-4"	15'-5"	13'-9"	19'-5"	16'-10"	15'-4"	13'-8"
	NI-60	18'-2"	16'-7"	15'-8"	14'-7"	19'-9"	18'-0"	17'-0"	14'-9"
	NI-80	20'-1"	18'-3"	17'-2"	16'-0"	21'-10"	19'-10"	18'-8"	15'-8"
11-7/8"	NI-20	19'-1"	17'-6"	16'-6"	14'-10"	20'-10"	17'-9"	14'-9"	11'-9"
	NI-40x	21'-4"	19'-3"	17'-7"	15'-8"	22'-2"	19'-2"	17'-6"	15'-7"
	NI-60	21'-8"	19'-10"	18'-8"	17'-5"	23'-8"	21'-7"	20'-1"	17'-11"
	NI-80	23'-10"	21'-9"	20'-6"	19'-0"	26'-0"	23'-8"	22'-3"	19'-1"
	NI-90x	24'-9"	22'-6"	21'-2"	19'-8"	26'-11"	24'-6"	23'-0"	21'-5"
14"	NI-40x	24'-1"	21'-2"	19'-3"	17'-3"	24'-4"	21'-1"	19'-3"	17'-2"
	NI-60	24'-8"	22'-6"	21'-3"	19'-9"	26'-11"	24'-2"	22'-0"	18'-1"
	NI-80	27'-1"	24'-8"	23'-3"	21'-7"	29'-6"	26'-10"	25'-3"	21'-10"
	NI-90x	28'-2"	25'-7"	24'-1"	22'-5"	30'-8"	27'-10"	26'-3"	24'-4"
16"	NI-60	27'-4"	24'-11"	23'-6"	20'-8"	29'-10"	26'-0"	22'-8"	18'-1"
	NI-80	30'-0"	27'-4"	25'-9"	22'-0"	32'-9"	29'-9"	27'-4"	21'-10"
	NI-90x	31'-3"	28'-5"	26'-9"	24'-10"	34'-1"	30'-11"	29'-1"	27'-0"

#### NOTES:

1. Allowable clear span applicable to residential floor construction with a design live load of 40 psf and dead load of 20 psf. The live load deflection is limited to L/600 or L/480 as shown, and the total load deflection to L/360. For multiple-span applications, the end spans shall be 40% or more of the adjacent span.
2. Spans are based on a composite floor with glued-nailed sheathing meeting the requirements for APA Rated Sheathing or APA Rated STURD-I-FLOOR conforming to PRP-108 PS 1, or PS 2 with a minimum thickness of 19/32 inch (40/20 or 20 oc) for a joist spacing of 19.2 inches or less, or 23/32 inch (48/24 or 24 oc) for a joist spacing of 24 inches. Adhesive shall meet APA Specification AFG-01 or ASTM D3498.
3. Minimum bearing length shall be 1-3/4 inches for the end bearings, and 3-1/2 inches for the intermediate bearings.
4. Bearing stiffeners are not required when I-joists are used with the spans and spacing given in these tables, except as required for hangers.
5. These span charts are based on uniform loads. For applications with other than uniformly distributed loads, an engineering analysis may be required based on the use of the design properties.
6. For ceramic tile applications, spacings greater than 16" o.c. are typically not recommended.

SI units conversion: 1 inch = 25.4 mm, 1 foot = 0.305 m

I - JOIST ALLOWABLE FLOOR SPANS

# Lot 4 Ball Park Beam Specs

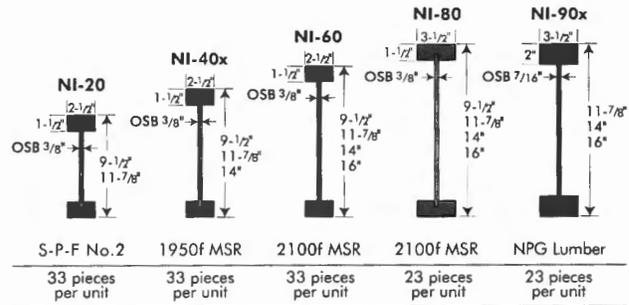
## SOLID-SAWN JOIST



### DESIGN PROPERTIES

Chantiers Chibougamau Ltd. harvests its own trees, which enables Nordic products to adhere to strict quality control procedures throughout the manufacturing process. Every phase of the operation, from forest to the finished product, reflects our commitment to quality.

Nordic Engineered Wood I-joists use only finger-jointed black spruce lumber in their flanges, ensuring consistent quality, superior strength, and longer span carrying capacity.



#### DESIGN PROPERTIES FOR NORDIC I-JOISTS <sup>(a)(b)</sup>

JOIST DEPTH	JOIST SERIES	EI <sup>(c)</sup> (10 <sup>3</sup> lbf-in. <sup>2</sup> )	M <sup>(d)</sup> (lbf-ft)	V <sup>(e)</sup> (lbf)	IR <sup>(f)</sup> (lbf)	IR w/WS <sup>(g)</sup> (lbf)	ER <sup>(h)</sup> (lbf)	K <sup>(i)</sup> (10 <sup>3</sup> lbf)	WEIGHT (lbf/ft)
9-1/2"	NI-20	145	2,590	1,120	1,700	1,700	900	4.94	2.55
	NI-40x	218	2,900	1,200	2,240	2,620	1,120	4.94	2.65
	NI-60	231	3,810	1,200	2,240	2,620	1,120	4.94	2.78
	NI-80	324	5,385	1,200	2,380	2,790	1,190	4.94	3.27
11-7/8"	NI-20	253	3,355	1,420	1,800	1,800	900	6.18	2.85
	NI-40x	371	3,760	1,480	2,750	2,930	1,250	6.18	2.85
	NI-60	396	4,935	1,480	2,750	2,930	1,250	6.18	2.99
	NI-80	547	6,980	1,480	2,900	3,120	1,330	6.18	3.45
	NI-90x	615	9,465	2,055	4,170	4,170	1,765	6.18	4.43
14"	NI-40x	540	4,530	1,730	2,750	3,240	1,250	7.28	3.00
	NI-60	584	5,945	1,730	2,750	3,240	1,250	7.28	3.15
	NI-80	802	8,405	1,730	3,310	3,840	1,330	7.28	3.75
	NI-90x	910	11,415	2,210	4,170	4,170	1,765	7.28	4.73
16"	NI-60	799	6,895	1,970	2,750	3,240	1,250	8.32	3.46
	NI-80	1,092	9,745	1,970	3,310	3,840	1,330	8.32	3.95
	NI-90x	1,245	13,100	2,325	4,170	4,170	1,765	8.32	4.93

For SI: 1 lbf = 4.448 N, 1 lbf-ft = 1.356 N-m, 1 lbf-in<sup>2</sup> = 0.00287 N-m<sup>2</sup>, 1 inch = 25.4 mm.

- The tabulated values are design values for normal duration of load. All values, except for EI and K, are permitted to be adjusted for other load durations as permitted by the code for solid sawn lumber.
- The vertical (bearing) load capacity is 2,000 lbf/ft without bearing stiffeners.
- Bending stiffness (EI) of the I-joist.
- Moment capacity (M) of the I-joist, which shall not be increased by any code allowed repetitive member use factor.
- Shear capacity (V) of the I-joist.
- Intermediate reaction (IR) of the I-joist with a minimum bearing length of 3-1/2 inches without bearing stiffeners.
- Intermediate reaction (IR w/WS) of the I-joist with a minimum bearing length of 3-1/2 inches with bearing stiffeners.
- End reaction (ER) of the I-joist with a minimum bearing length of 1-3/4 inches without bearing stiffeners. Higher end reactions are permitted. For a bearing length of 4 inches, the end reaction may be set equal to the tabulated shear value. Interpolation of the end reaction between 1-3/4 and 4-inch bearing is permitted. For end reaction values over 1,550 lbf, bearing stiffeners are required.
- Coefficient of shear deflection (K). For calculating uniform load and center-point load deflections of the I-joist in a simple-span application, use Eqs. 1 and 2.

$$\text{Uniform Load: } \delta = \frac{5\omega\ell^4}{384EI} + \frac{\omega\ell^2}{K} \quad (1)$$

$$\text{Center-Point Load: } \delta = \frac{P\ell^3}{48EI} + \frac{2P\ell}{K} \quad (2)$$

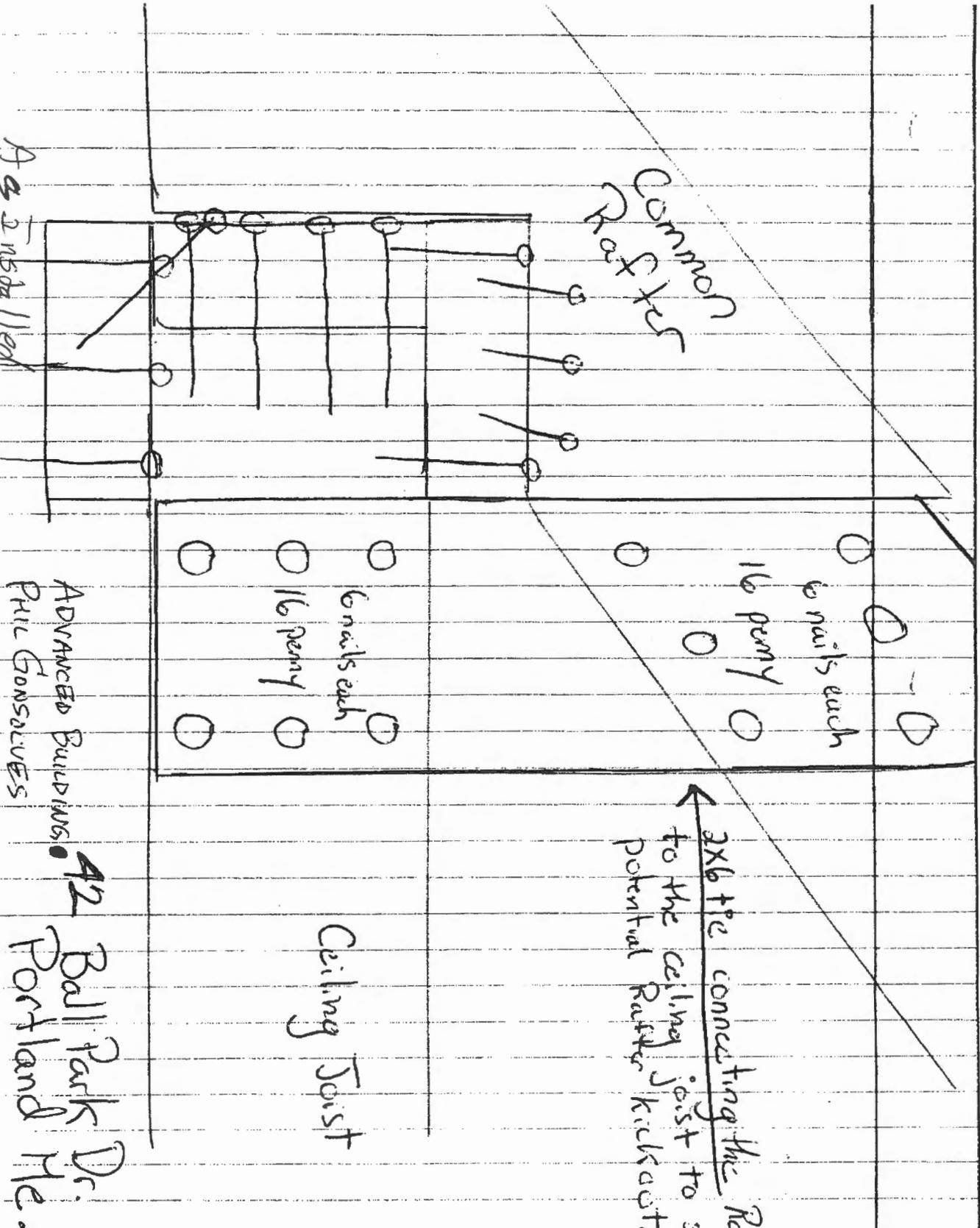
Where:

- $\delta$  = calculated deflection (in.)
- $\omega$  = uniform load (lbf/in.)
- $\ell$  = design span (in.)
- $P$  = concentrated load (lbf)
- $EI$  = bending stiffness of the I-joist (lbf-in.<sup>2</sup>)
- $K$  = coefficient of shear deflection (lbf)

For additional information, please visit our Web site at [www.coastalfp.com](http://www.coastalfp.com)

Phil Gonsalves  
SH, LLC

42-2-15-11 ed



2x6 tie connecting the Rafters to the ceiling joist to stop potential Rafter Kickout.

Ceiling Joist

ADVANCED BUILDINGS  
Phil GONSALVES

42 Ball Park Dr.  
Portland Me.

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