

10' easement lot on S.B. Plus
 Full Size Release
 Remove Foundations from Stream Buffer limit
 Add Demolition (00)

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM
 DRC Copy

2005-0170
 Application I. D. Number
 7/20/2005
 Application Date
 SFH Ballpark Drive Lot#3
 Project Name/Description

Ballpark Drive Development LLC
 Applicant
 67 Havertys Way, Portland, ME 04103
 Applicant's Mailing Address

Jay Reynolds

Anthony Orlando
 Consultant/Agent
 Agent Ph: (207)797-8499
 Agent Fax:
 Applicant or Agent Daytime Telephone, Fax

Ballpark Dr, Portland, Maine
 Address of Proposed Site
 371 A033001
 Assessor's Reference: Chart-Block-Lot

Letter Sent
 8-5

Lot 2

371-A-33

Proposed Development (check all that apply):
 New Building
 Building Addition
 Change Of Use
 Residential
 Office
 Retail
 Manufacturing
 Warehouse/Distribution
 Parking Lot
 Other (specify) _____
 2814
 Proposed Building square Feet or # of Units
 25163
 Acreage of Site
 Zoning

Check Review Required:
 Site Plan (major/minor)
 Flood Hazard
 Zoning Conditional Use (ZBA/PB)
 Subdivision # of lots _____
 Shoreland
 Zoning Variance
 PAD Review
 Historic Preservation
 14-403 Streets Review
 DEP Local Certification
 Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 7/26/2005

DRC Approval Status:
 Approved
 Approved w/Conditions See Attached
 Denied
 Reviewer Jay Reynolds
 Approval Date 8-15-05
 Approval Expiration _____
 Extension to _____
 Additional Sheets Attached
 Condition Compliance
 Jay Reynolds signature
 8-15-05 date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

JAY - FYI



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator*

August 9, 2005

Anthony Orlando
P.O. Box 11606
Portland, ME 04104

RE: Lot #2 Ballpark Drive - 371-A-032 - R-2 Zone - application #05-1010

Dear Mr. Orlando,

I am in receipt of your application to construct a new single family home. First, I would like to confirm that the lot you are intending to build upon is lot #2. Your original application requested a permit for lot #3. However, your plans and deed indicate that you intend to building upon lot #2. Please confirm the lot that this permit covers.

Your permit is on hold at the present time because this office does not have all the required information in which to determine compliance with the zoning ordinance. This office will require a scaled survey, site plan showing the proposed building situated on the lot. Your survey site plan shall match your building plans. Currently your submitted reduced site plan does not match your constructions plans. All building projections such as decks, stairs, bay windows, steps, and chimneys shall be shown on your survey site plan. If your scaled submitted survey site plan is larger than 11" x 17", we will need a reduced copy of at least 11" x 17" for archiving purposes.

Your permit will be on hold without further review pending your required submittal(s).

Very truly yours,

A handwritten signature in black ink, appearing to read "Marge Schmuckal".

Marge Schmuckal
Zoning Administrator

Cc: Jay Reynolds, planning
file



PORTLAND MAINE

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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. Anthony Orlando
57 Shepherd Street
Portland, ME 04103

August 5, 2005

Dear Mr. Orlando:

RE: Application for Single Family House, Ball Park Drive, Lot 2, ID # 2005-0170

Upon review of the site plan, the City's Planning Division has the following comments:

1. There is a 10' easement on your site plan that was not part of the Ball Park Subdivision. Please elaborate.
2. Please remove the foundation drain that falls within the stream buffer limit.
3. A sewer cleanout is required on sewer services greater than 80 feet from the sewer main. Please add a cleanout to the plan.
4. Reduced size/copy of site plan was not to-scale.

Please submit 4 copies of full size/scalable revised plans to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM
 DRC Copy

RECEIVED

2005-0186
 Application I. D. Number

AUG 22 RECD

8/15/2005
 Application Date

PORTLAND PLANNING OFFICE

Ballpark Drive Development Llc
 Applicant

Jay Reynolds

67 Havertys Way, Portland, ME 04103
 Applicant's Mailing Address

Brook Taylor House Lot# 3
 Project Name/Description

Brook Taylor
 Consultant/Agent
 Agent Ph: (207)415-8581 Agent Fax:
 Applicant or Agent Daytime Telephone, Fax

Ballpark Dr, Portland, Maine
 Address of Proposed Site
 371 A033001
 Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2600 sf
 Proposed Building square Feet or # of Units

20939 sf
 Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots _____
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 8/18/2005

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
 Reviewer Jay Reynolds

Approval Date 8-26-05 Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds signature 8-26-05 date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date Conditions (See Attached) _____ expiration date
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date
- Defect Guarantee Released _____ date _____ signature _____

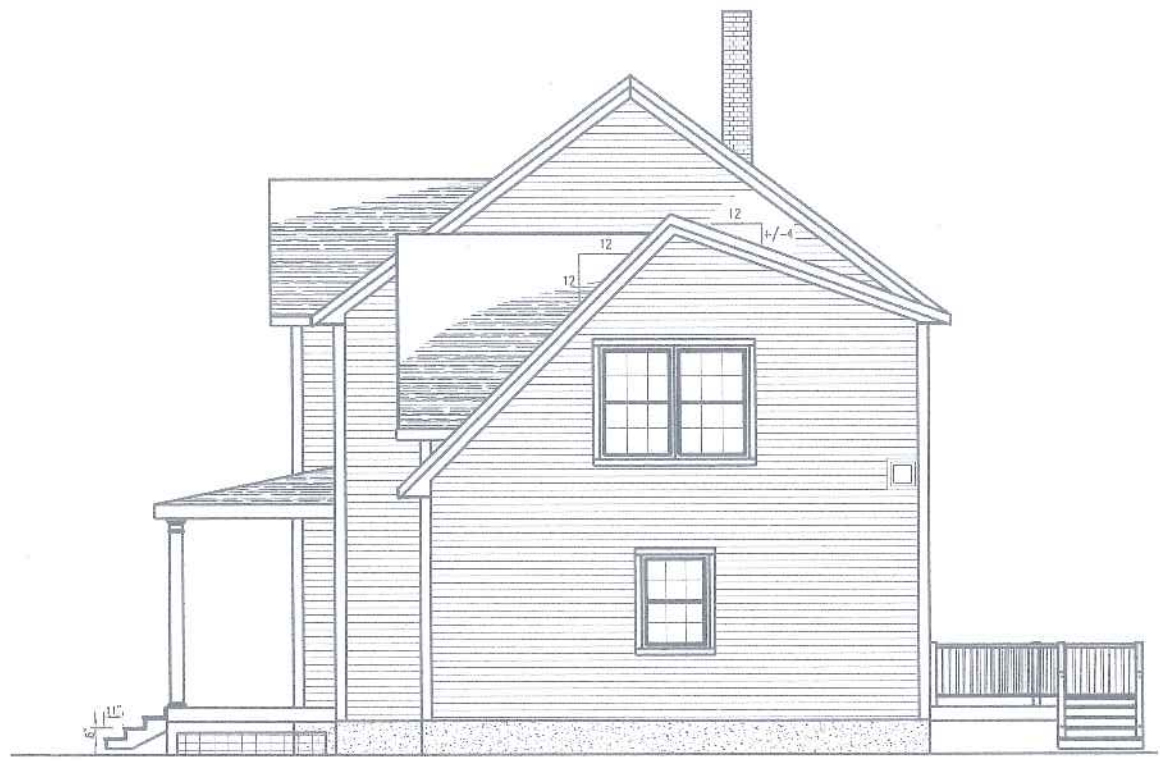
Belle Park # 3



HOUSE ELEVATION
 JIM & KATHY
 LOT #3 Hoverty Park, Portland, ME.

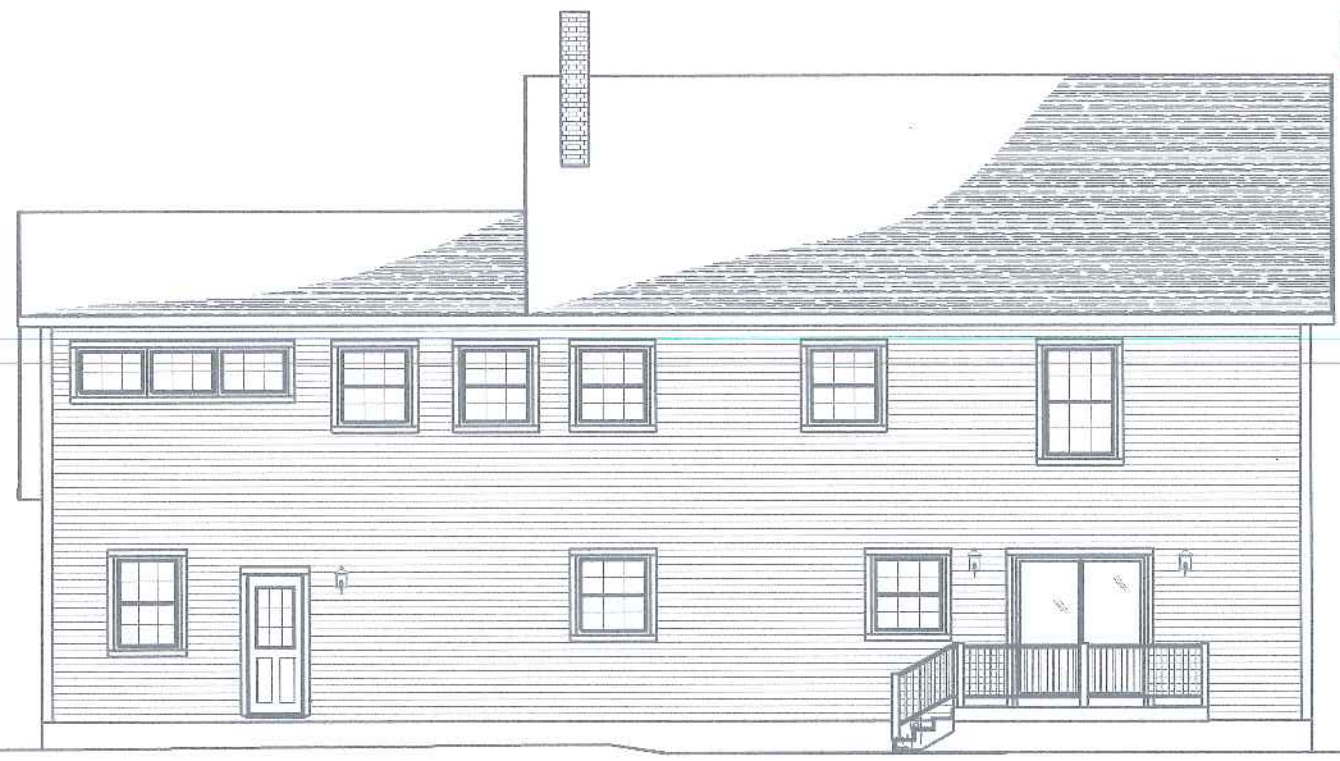


FRONT ELEVATION

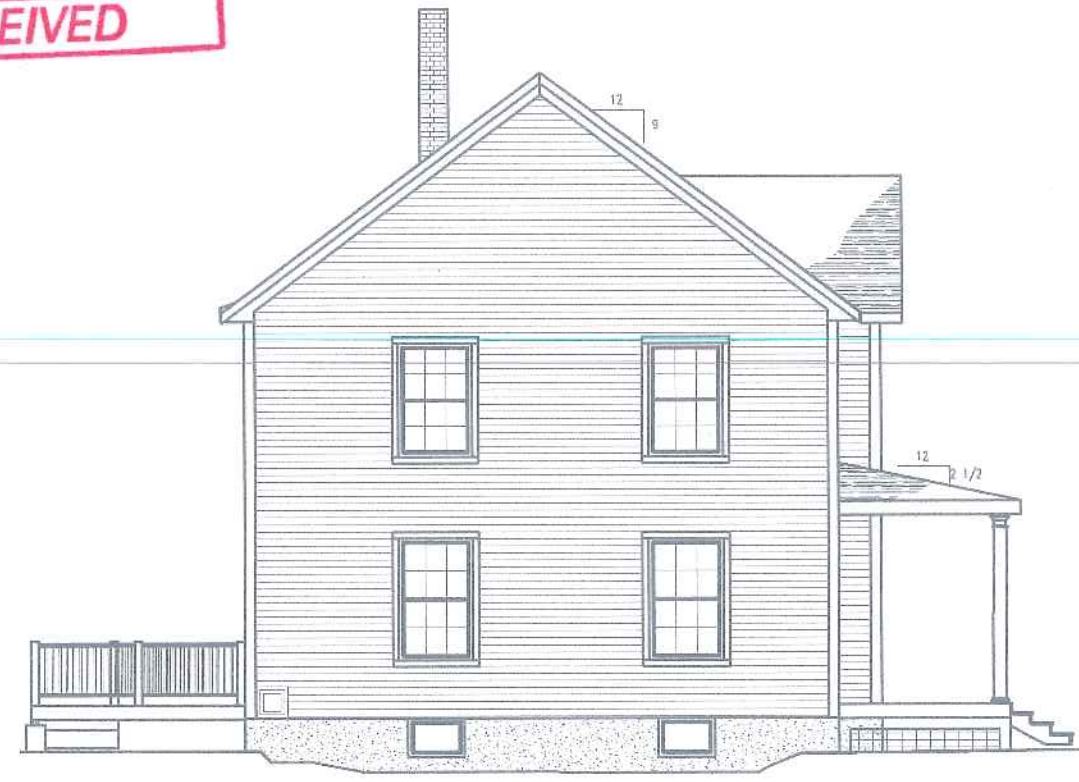


RIGHT ELEVATION

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 AUG 16 2005
 RECEIVED



REAR ELEVATION

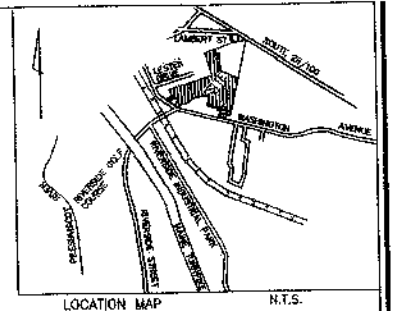


LEFT ELEVATION

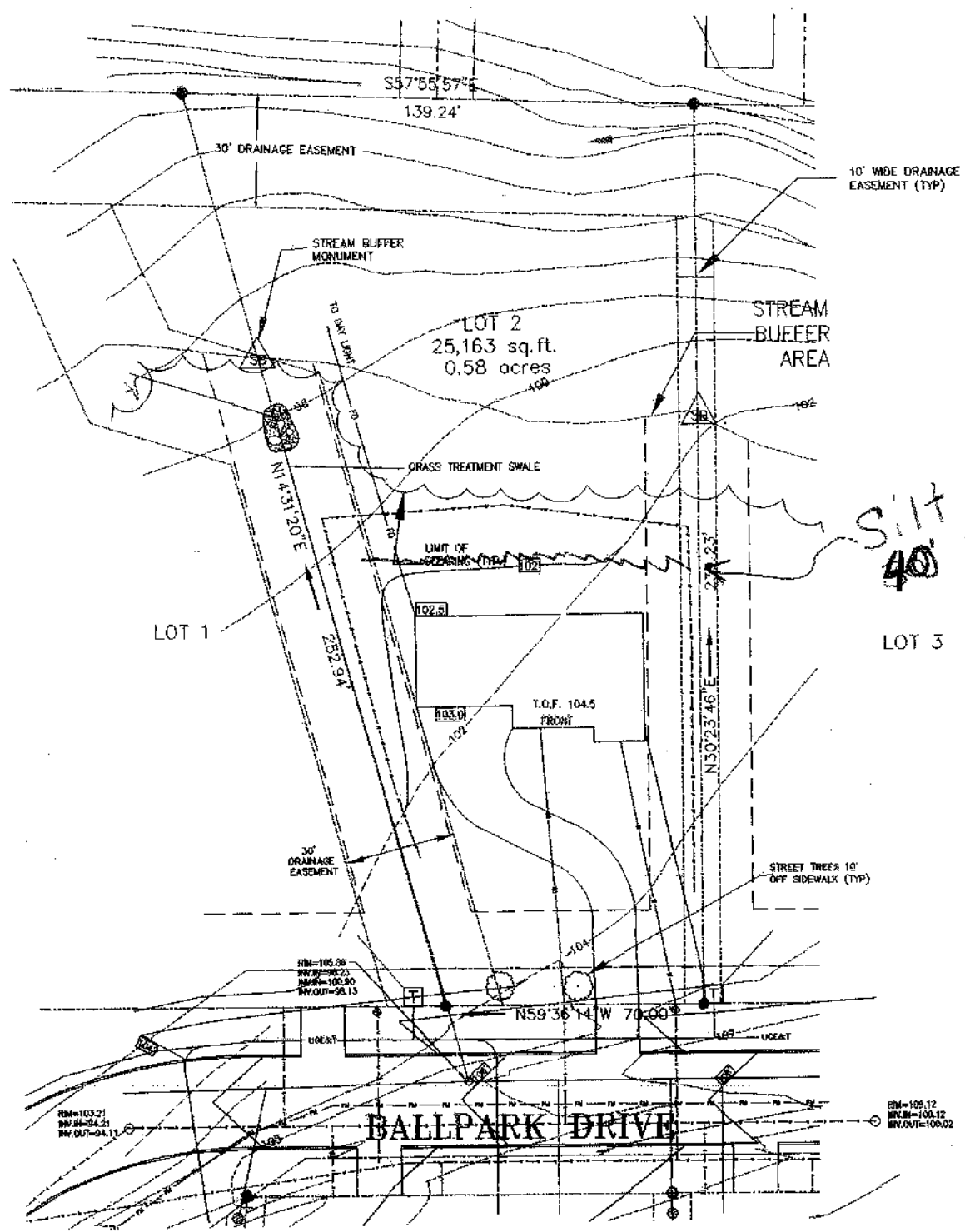
THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE WORK PRODUCT OF ANY ARCHITECT. NEITHER HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES ARE TO BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. CUSTOMERS SHOULD CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING CUSTOMERS WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT MAKE ANY WARRANTY, REPRESENTATION OR STATEMENT OF OPINION FOR ANY PURPOSE OF THE CUSTOMER.

Revisions:

Date : 08-16-05
 Scale : 1/4"=1'-0"
 Drawn By: PML
 Project: Q1080105
 Sheet Number:
 1-of-6



R-2 ZONE



*Silt Fence
40' From Rear of Foundation*

PLAN REFERENCE:
1. RESIDENTIAL LOT SUBDIVISION PLAT BALLPARK DRIVE SUBDIVISION
MADE FOR MARGARET HAVERTY, BY URS CORPORATION DATED 2-23-04
REVISED 11-17-04.

- NOTES:
- THE SUBJECT PROPERTY IS A PORTION OF THE LAND SHOWN ON PLAN REFERENCE 1, LIES IN THE CITY OF PORTLAND'S R-2 RESIDENTIAL ZONE, AND IS SUBJECT TO THE FOLLOWING:
MINIMUM LOT FRONTAGE: 50 FEET
MINIMUM LOT SIZE: 10,000 S.F.
SETBACKS:
FRONT: 25 FEET
REAR: 25 FEET
SIDE: 12 FEET, 1 OR 1 1/2 STORY RESIDENCE.
14 FEET, 2 STORY RESIDENCE.
16 FEET, 2 1/2 STORY RESIDENCE.
 - ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.
 - BENCHMARK IS A BOLT IN A 3 FOOT OFFSET MONUMENT UNDER A MANHOLE AT THE SOUTHEAST CORNER OF JACKSON AND AUBURN STREETS. ELEVATION IS 140.443 FEET.
 - ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY-PANEL NUMBER 230051 D002 C, REVISED DECEMBER 8, 1998, THE SUBJECT PROPERTY LIES IN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN.
 - ALL UTILITIES AND ORIGINAL TOPOGRAPHY ARE FROM DESIGN PLANS PROVIDED BY URS

- LEGEND:
- IRON PIPE OR ROD FOUND
 - RS IRON ROD SET
 - ⊗ WATER VALVE
 - ⊕ UTILITY POLE
 - MANHOLE
 - ⊞ CATCH BASIN
 - FENCE
 - CURB
 - PROPOSED CONTOURS
 - EXISTING 1' CONTOUR
 - OVERHEAD WIRES
 - WATER LINE
 - SILT FENCE
 - FOUNDATION DRAIN
 - ⊙ 2" RED MAPLE (PROPOSED)



UTILITY NOTE
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

DATE: 7/15/05
JOHN W. SWAN, PLS NO. 1038

SITE PLAN
OF
LOT 2 BALLPARK DRIVE, PORTLAND, MAINE
MADE FOR
ANTHONY ORLANDO
57 SHEPHERD LANE, PORTLAND, MAINE

OWEN HASKELL, INC.
16 CASCO ST., PORTLAND, ME 04101 (207) 774-0484
PROFESSIONAL LAND SURVEYORS

Drawn By: RR	Date: JULY 12, 2005	Job No.: 2005-140 P
Trace By: RWC	Scale: 1" = 20'	Drawn No.: 1
Check By: JMW		
Book No.: 1010		