

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2005-0170
Application I. D. Number

7/20/2005
Application Date

SFH Ballpark Drive Lot#3
Project Name/Description

10' easement lot on 303 Plus
R11.5z/1.5h/1.5s
Remove Foundation from
from Steam Boiler Unit
Add easement (80')

Jay Reynolds

Ballpark Drive Development LLC

Applicant
67 Havertys Way, Portland, ME 04103

Applicant's Mailing Address

Anthony Orlando

Consultant/Agent
Agent Ph: (207)797-8499

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):

New Building

Building Addition

Change Of Use

Residential

Office

Retail

Warehouse/Distribution

Parking Lot

Other (specify)

Manufacturing

25163

Acreage of Site

Zoning

2814
Proposed Building square Feet or # of Units

Check Review Required:

Site Plan
(major/minor)

Subdivision
of lots

PAD Review

14-403 Streets Review

Flood Hazard

Shoreland

Historic Preservation

DEP Local Certification

Zoning Conditional
Use (ZBA/PB)

Zoning Variance

Other

Fees Paid: Site Pla

\$50.00

Subdivision

Engineer Review

\$250.00

Date 7/26/2005

Reviewer

Jay Reynolds

Denied

DRC Approval Status:

Approved

Approved w/Conditions
See Attached

Additional Sheets
Attached

Approval Date 8-15-05

Approval Expiration

Extension to

signature

8-15-05

date

Condition Compliance

Required*

Not Required

Performance Guarantee

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

date

amount

expiration date

Inspection Fee Paid

date

amount

Building Permit Issue

date

Performance Guarantee Reduced

date

remaining balance

signature

Temporary Certificate of Occupancy

date

Conditions (See Attached)

expiration date

Final Inspection

date

signature

Certificate Of Occupancy

date

signature

Performance Guarantee Released

date

amount

expiration date

Defect Guarantee Submitted

submitted date

signature

Defect Guarantee Released

date

signature

JAY - FYI



PORTLAND MAINE

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Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

August 9, 2005

Anthony Orlando
P.O. Box 11606
Portland, ME 04104

RE: Lot #2 Ballpark Drive - 371-A-032 - R-2 Zone - application #05-1010

Dear Mr. Orlando,

I am in receipt of your application to construct a new single family home. First, I would like to confirm that the lot you are intending to build upon is lot #2. Your original application requested a permit for lot #3. However, your plans and deed indicate that you intend to building upon lot #2. Please confirm the lot that this permit covers.

Your permit is on hold at the present time because this office does not have all the required information in which to determine compliance with the zoning ordinance. This office will require a scaled survey, site plan showing the proposed building situated on the lot. Your survey site plan shall match your building plans. Currently your submitted reduced site plan does not match your constructions plans. All building projections such as decks, stairs, bay windows, steps, and chimneys shall be shown on your survey site plan. If your scaled submitted survey site plan is larger than 11" x 17", we will need a reduced copy of at least 11" x 17" for archiving purposes.

Your permit will be on hold without further review pending your required submittal(s).

Very truly yours,

Marge Schmuckal
Zoning Administrator

Cc: Jay Reynolds, planning
file



PORTLAND MAINE

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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

August 5, 2005

Mr. Anthony Orlando
57 Shepherd Street
Portland, ME 04103

Dear Mr. Orlando:

RE: Application for Single Family House, Ball Park Drive, Lot 2, ID # 2005-0170

Upon review of the site plan, the City's Planning Division has the following comments:

1. There is a 10' easement on your site plan that was not part of the Ball Park Subdivision. Please elaborate.
2. Please remove the foundation drain that falls within the stream buffer limit.
3. A sewer cleanout is required on sewer services greater than 80 feet from the sewer main. Please add a cleanout to the plan.
4. Reduced size/copy of site plan was not to-scale.

Please submit 4 copies of full size/scalable revised plans to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM
 DRC Copy

Jay Reynolds

RECEIVED

2005-0186 Application I. D. Number
 8/15/2005 Application Date
 PORTLAND PLANNING OFFICE

Ballpark Drive Development LLC
 Applicant

67 Havertys Way, Portland, ME 04103
 Applicant's Mailing Address

Brook Taylor
 Consultant/Agent

Agent Ph: (207)415-8581
 Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):
 New Building
 Building Addition
 Change Of Use
 Residential
 Office
 Retail
 Other (specify) _____

2600 sf Proposed Building square Feet or # of Units
 20939 sf Acreage of Site
 Zoning _____

Ballpark Dr, Portland, Maine
 Address of Proposed Site
 371 A033001
 Assessor's Reference: Chart-Block-Lot

Brook Taylor House Lot# 3
 Project Name/Description

Check Review Required:

- Site Plan (major/minor)
- Flood Hazard
- Zoning Conditional Use (ZBA/PB)
- Subdivision # of lots _____
- Shoreland
- Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____
 Engineer Review \$250.00 Date 8/18/2005

DRC Approval Status:

- Approved
- Approved w/Conditions See Attached
- Denied
- Approval Date 8-26-05
- Approval Expiration 8-26-05
- Extension to _____
- Additional Sheets Attached
- Condition Compliance
- signature Jay Reynolds
- date 8-26-05

Performance Guarantee

Required*
 Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

Ball Park # 3



HOUSE ELEVATION
JIM & KATHY
LOT # 3 Hoverty Park, Portland, ME.

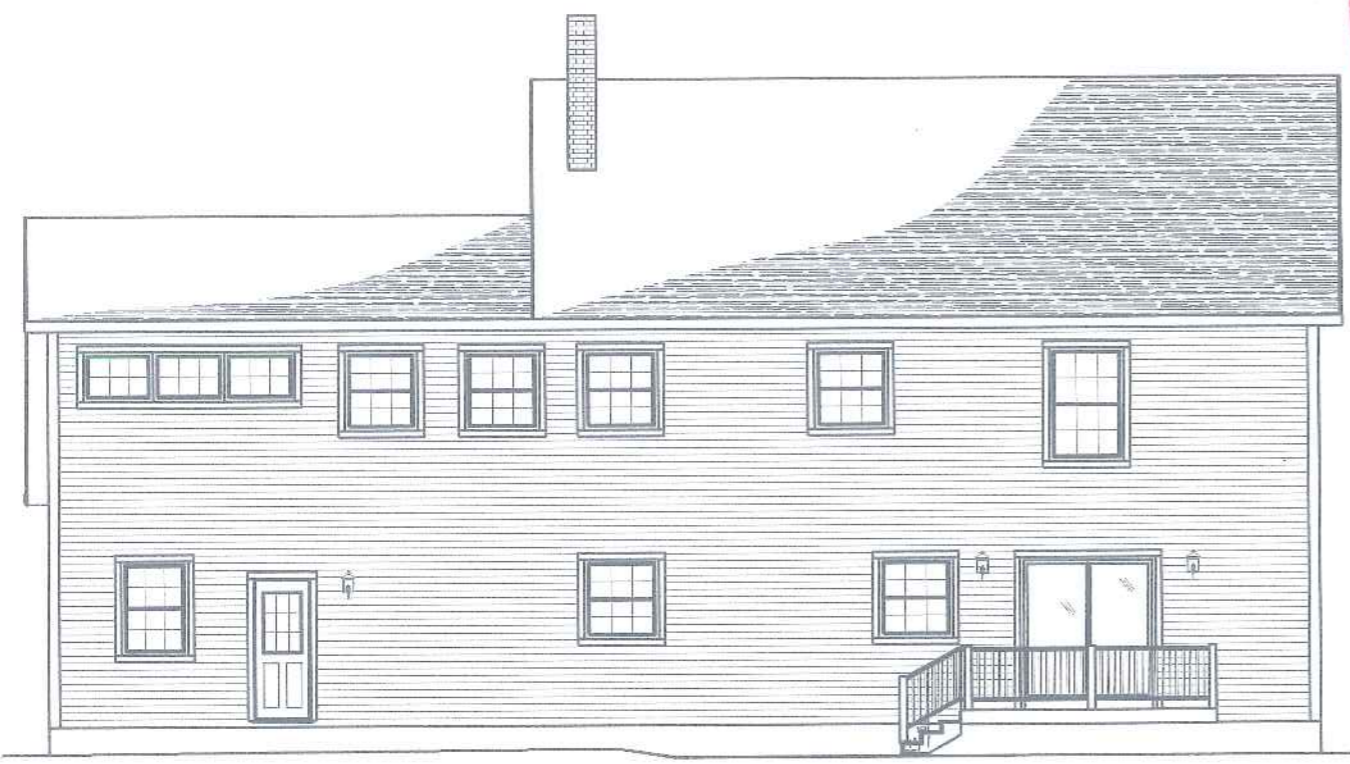


FRONT ELEVATION

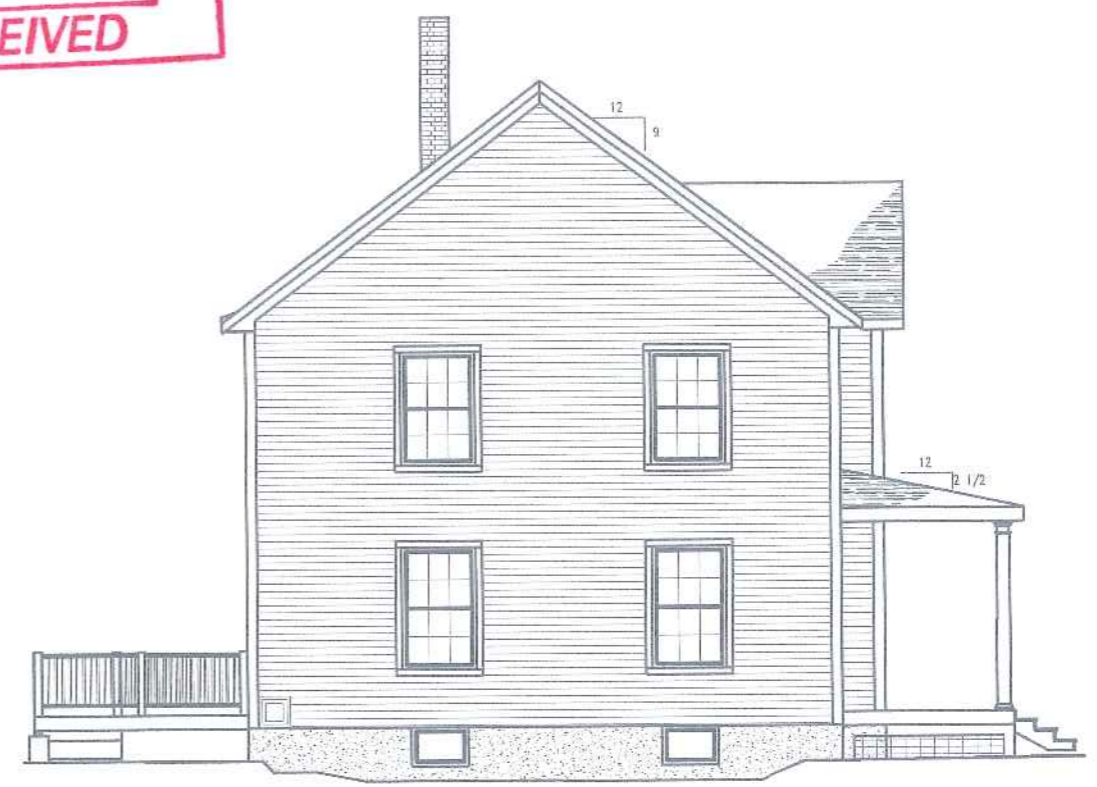


RIGHT ELEVATION

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
AUG 16 2005
RECEIVED



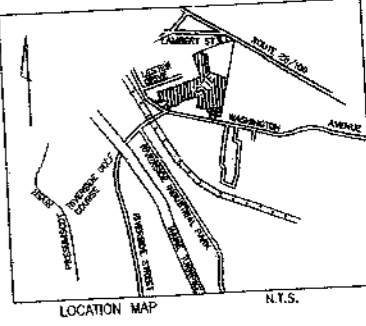
REAR ELEVATION



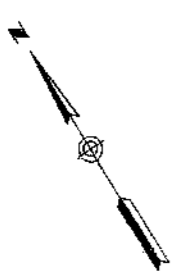
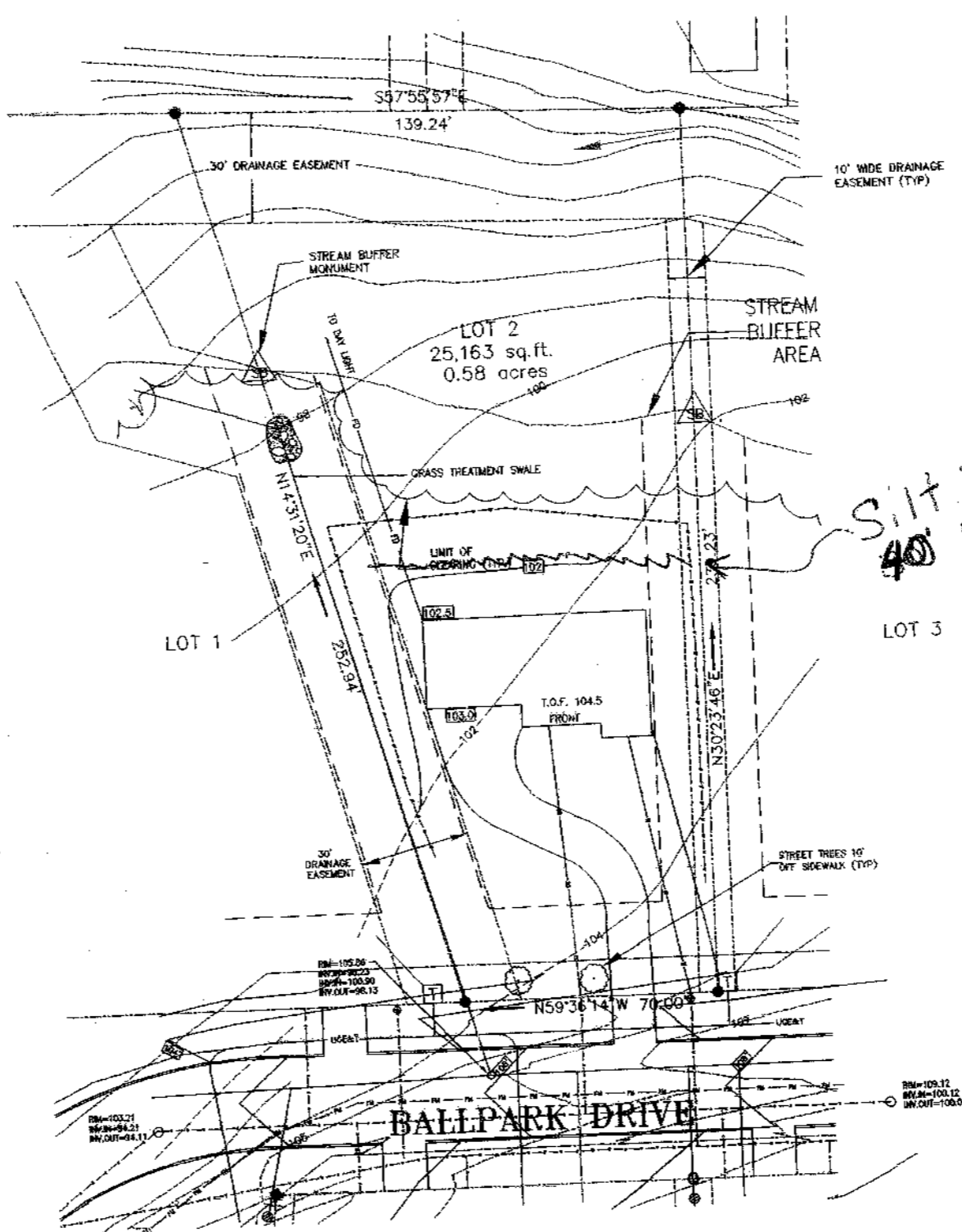
LEFT ELEVATION

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT HANCOCK LUMBER AND ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE, AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING JOB. WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

Revisions:
Date: 08-16-05
Scale: 1/4"=1'-0"
Drawn By: PML
Project: CLY080105
Sheet Number:
1-of-6



R-2 ZONE



PLAN REFERENCE:

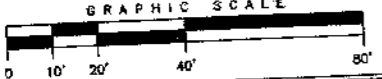
- RESIDENTIAL LOT SUBDIVISION PLAT BALLPARK DRIVE SUBDIVISION MADE FOR MARGARET HAWERTY, BY URS CORPORATION DATED 2-23-04 REVISED 11-17-04.

NOTES:

- THE SUBJECT PROPERTY IS A PORTION OF THE LAND SHOWN ON PLAN REFERENCE 1. LIES IN THE CITY OF PORTLAND'S R-2 RESIDENTIAL ZONE, AND IS SUBJECT TO THE FOLLOWING:
 MINIMUM LOT FRONTAGE: 50 FEET
 MINIMUM LOT SIZE: 10,000 S.F.
 SETBACKS:
 FRONT: 25 FEET
 REAR: 25 FEET
 SIDE: 12 FEET, 1 OR 1 1/2 STORY RESIDENCE
 14 FEET, 2 STORY RESIDENCE
 16 FEET, 2 1/2 STORY RESIDENCE
- ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.
- BENCHMARK IS A BOLT IN A 3 FOOT OFFSET MONUMENT UNDER A MANHOLE AT THE SOUTHEAST CORNER OF JACKSON AND AUBURN STREETS. ELEVATION IS 140.443 FEET.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY-PANEL NUMBER 230051 0002 C, REVISED DECEMBER 8, 1998, THE SUBJECT PROPERTY LIES IN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN.
- ALL UTILITIES AND ORIGINAL TOPOGRAPHY ARE FROM DESIGN PLANS PROVIDED BY URS

LEGEND:

- IRON PIPE OR ROD FOUND
- IRON ROD SET
- ⊙ WATER VALVE
- ⊙ UTILITY POLE
- MANHOLE
- ⊙ CATCH BASIN
- FENCE
- CURB
- PROPOSED CONTOURS
- EXISTING 1' CONTOUR
- OVERHEAD WIRES
- WATER LINE
- SILT FENCE
- FOUNDATION DRAIN
- 2" RED MAPLE (PROPOSED)



UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-800-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

7/15/05
DATE

[Signature]
JOHN W. SWAN, PLS NO. 1038

SITE PLAN
OF
LOT 2 BALLPARK DRIVE, PORTLAND, MAINE
MADE FOR
ANTHONY ORLANDO
57 SHEPHERD LANE, PORTLAND, MAINE

OWEN HASKELL, INC.
16 CASCO ST., PORTLAND, ME 04101 (207)774-0422
PROFESSIONAL LAND SURVEYORS

Drawn By	RR	Date	JULY 12, 2005	Job No.	2005-
Trace By	RWC	Scale	1" = 20'	Drawn	1
Check By	JMW	Book No.	1010		