

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that Risbara Brothers Construction

Located At 20 BALLPARK DR

Job ID: 2012-05-3891-SF

CBL: 371-A-031-001

has permission to build a new Two Story Single Family F
provided that the person or persons, firm or corporation
the Statues of Maine and of the Ordinances of the City o
the buildings and structures, and of the application on fil

Notification of inspection and written permission procur
before this building or part thereof is lathed or otherwis
closed-in. 48 HOUR NOTICE IS REQUIRED.

*Co has
been sent*

provisions of
e and use of

! by owner
cupied. If a
t must be

05/18/2012

viewer

Fire Prevention Officer

THIS CARD MUST BE POSTED ON T
PENALTY FOR REM

closed

SCANNED

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

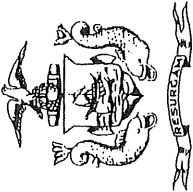
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/ Setbacks
 2. Foundation wall prior to backfill
 3. Close-In: Electrical, Plumbing, Framing
 4. Insulation prior to Close-In
 5. Final Inspection/ Certificate of Occupancy

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



Certificate of Occupancy

CITY OF PORTLAND, MAINE

Department of Planning and Urban Development



Location 20 BALL PARK DRIVE

CBL 371-A-031-001

Issued to RICHARD AND CARMELA HOLDEN

Date Issued 11-5-2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit NO. , has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

ENTIRE

APPROVED OCCUPANCY

USE GROUP R-3
SINGLE FAMILY RESIDENCE
TYPE 5-B
IRC 2009 (MUBEC)

Dore M. Poirer

Approved:
11-5-2012

Inspector

[Signature]

Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-05-3891-SF	Date Applied: 5/1/2012	CBL: 371- A-031-001	
Location of Construction: 20 BALLPARK DR	Owner Name: RISBARA BROS. CONSTRUCTION	Owner Address: PO Box 485 SCARBOROUGH, ME 04070	Phone:
Business Name:	Contractor Name: Risbara Brothers Construction	Contractor Address: PO Box 485 Scarborough ME 04070	Phone: (207) 885-5528
Lessee/Buyer's Name: Richard & Carmela Holden	Phone:	Permit Type: BLDG - Building	Zone: R-2
Past Use: Vacant land	Proposed Use: Build new two story single family home - 34' x 38' with one story attached garage - 34' x 36'	Cost of Work: 377000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Capt. [Signature]</i>	Inspection: Use Group: RS Type: SB JRL, 2009 (MUBFC) Signature: <i>[Signature]</i>
Proposed Project Description: New Single Family; 3 bed, 2.5 bath 2 floor; at gar		Pedestrian Activities District (P.A.D.)	

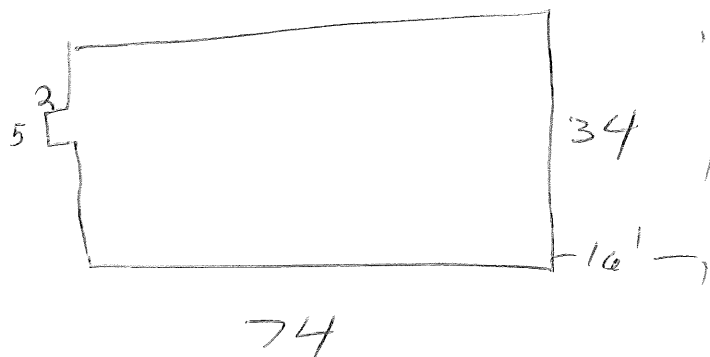
Permit Taken By:	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetlands <i>N/A</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>para 2 - zone X</i> <input checked="" type="checkbox"/> Site Plan <i>Level I Minor</i> <i>res idmtrah</i> <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/conditions 5/1/12 ABN</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABN</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

5-30-12 DWM Gerald 838-9348 Footing OK set back Surveyed



6-6-12 DWM Backfill OK

7-27-12 G OK close in
RIGID PIPE FOR DRYER

10-25-12 DWM/BKL/capt Pirone. Tim 776-0398 Final
Fire OK, Bldg + Elec Fall. Bldg provide landing at Basement/
Garage door, Sash limiters in Mstr Bdrm, Tempered glass in Hall Bath



Certificate of Occupancy



CITY OF PORTLAND, MAINE
Department of Planning and Urban Development

Location 20 BALL PARK DRIVE

CBL 371-A-031-001

Issued to RICHARD AND CARMELA HOLDEN

Date Issued 11-5-2012

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APPROVED OCCUPANCY

USE GROUP R-3
SINGLE FAMILY RESIDENCE
TYPE 5-B
IRC 2009 (MUBEC)

Approved:

11-5-2012

(Date) *Inspector*

Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

Donald McPherson - Re: 20 Ball Park Drive, Portland

From: Donald McPherson
To: Tim Halpin
Date: 11/5/2012 1:13 PM
Subject: Re: 20 Ball Park Drive, Portland
CC: Brad Saucier; Lannie Dobson; Tammy Munson
Attachments: Donald McPherson.vcf

Hi Tim,
I have the CO waiting to be signed by the Director. Someone will scan and sent it to you today.
Don

Don McPherson
Code Enforcement Officer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8705
Support Staff: 207.874.8701
DMcPherson@portlandmaine.gov
>>> Donald McPherson 11/5/2012 11:32 AM >>>

Tim,
I talked to Phil this morning. He was going to visit the site today.
Don

Don McPherson
Code Enforcement Officer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8705
Support Staff: 207.874.8701
DMcPherson@portlandmaine.gov
>>> Tim Halpin <Tim@risbara.com> 11/5/2012 11:23 AM >>>
Hi Don,

Just checking in with you on the 20 Ball park Drive C/O, I know we spoke Friday I want to make sure you have everything from me you need.

Thank you
Tim Halpin
Cell: 776-0398

Memorandum
Department of Planning and Development
Planning Division



TO: Inspections Department
FROM: Philip DiPierro, Development Review Coordinator
DATE: November 5, 2012
RE: C. of O. for # 20 Ballpark Drive, Holden Single Family Home
(Id#2012-05-3891-SF) (CBL 371 A 031001)

After visiting the site, I have the following comments:

Site work complete:

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Tammy Munson, Inspection Services Manager
Barbara Barhydt, Development Review Services Manager
File: 1 Solution



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-05-3891-SF

Located At: 20 BALLPARK DR

CBL: 371- A-031-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted including the revised site plan received 5/15/12. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Fire

1. All construction shall comply with City Code Chapter 10.
2. A sprinkler system shall be installed.
3. A separate no fee One- or Two-family Fire Sprinkler Permit is required.
4. All smoke detectors and smoke alarms shall be photoelectric.
5. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
- 6. Sprinkler requirements**
7. The sprinkler system shall be installed in accordance with NFPA 13D. A compliance letter is required.
8. All control valves shall be supervised in accordance with NFPA 13D. Pad locks shall only be installed on valves designed to be secured in the open position by pad lock.
9. Application requires State Fire Marshal approval.
10. Install an NFPA 13D automatic sprinkler system.

DRC

1. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
2. The applicant shall have a licensed surveyor install, prior to the issuance of any Certificate of Occupancy, permanent monumentation/pins identifying property corners.
3. A street opening permit(s) may be required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
4. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
5. The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and

- approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
6. Two (2) City of Portland approved species and size trees must be planted or preserved on your street frontage prior to issuance of a Certificate of Occupancy.
 7. All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy. A performance guarantee will be required to cover the cost of site work not completed due to seasonal conditions ie., finish grading, loaming, seeding, mulching, installation of street trees, etc. The performance guarantee must be reviewed, approved, and accepted by the Planning Authority prior to the release of a Temporary Certificate of Occupancy.
 8. Trees that are designated to be saved are to be protected during excavation and construction. Tree protection fencing is to be installed around the tree canopy drip line prior to the start of any excavation. Tree protection measures are to be inspected and maintained daily.
 9. Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
 10. The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
 11. A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on via email.
3. R310.1 The basement emergency escape must open directly into a public way, or to a yard or court that opens to a public way (not the garage).
4. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
5. A code compliant emergency escape shall be provided in each bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
6. Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.

7. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers
- 8.

TABLE R302.6
DWELLING/GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2 inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2 inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2 inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.



PLUMBING PERMIT APPLICATION

PROPERTY ADDRESS	
Street:	20 Ballpark Dr
CBL:	371 A031
PROPERTY OWNER(S) NAME	
NAME:	RICK Holden
Applicant Name:	Charles Bradbury
Mailing Address of Owner/Applicant (if Different)	PO Box 670 Raymond ME 04071
Owner/Applicant Statement	
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector(s) to deny a permit.	
Signature of Owner/Applicant	Date 7/17/12

Town/City	PORTLAND	Permit #	201246056
Date Permit Issued	7/17/12	Fee: \$	180 Double Fee Charged []
Local Plumbing Inspector Signature		L.P.I. # 360	
# 11934			
Caution: inspection required			
I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules Application.			
Date Approved (Rough-in)		Date Approved (Final)	
LPI Signature		Date Approved (Final)	

be installed until a Permit is shall authorize the owner or with this application and the osal Rules.

PERMIT INFORMATION

This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type of Structure to be Served 1. <input checked="" type="checkbox"/> SINGLE FAMILY RESIDENCE 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER-SPECIFY _____	Plumbing to be Installed by: NAME: Charles Bradbury 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D HOUSING DEALER / MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # MS 910008434
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RECEIVED
JUL 17 2012
Dept. of Building Inspections
City of Portland Maine

SCANNED
Please call 874-8703 with your permit # to schedule inspections!

	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<input type="checkbox"/> HOOK-UP: to public sewer by those cases where the connection is not regulated and inspected by the local sanitary district.	<input type="checkbox"/> 3	Hosebib / Sillcock	<input type="checkbox"/> 1	Bathtub (and Shower)
	<input type="checkbox"/>	Floor Drain	<input type="checkbox"/> 2	Shower (separate)
	<input type="checkbox"/>	Urinal	<input type="checkbox"/> 7	Sink
	<input type="checkbox"/>	Drinking Fountain	<input type="checkbox"/> 4	Wash Basin
<input type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system	<input type="checkbox"/> 1	Indirect Waste	<input type="checkbox"/> 3	Water Closet (Toilet)
	<input type="checkbox"/>	Water Treatment Softener, Filter, Etc.	<input type="checkbox"/> 1	Clothes Washer
	<input type="checkbox"/>	Grease / Oil Separator	<input type="checkbox"/> 1	Dish Washer
	<input type="checkbox"/>	Roof Drain	<input type="checkbox"/>	Garbage Disposal
<input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	<input type="checkbox"/>	Bidet	<input type="checkbox"/>	Laundry Tub
	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	Water Heater
	<input checked="" type="checkbox"/> 4	Fixtures (Subtotal) Column 2	<input checked="" type="checkbox"/> 3	Fixtures (Subtotal) Column 1
			<input checked="" type="checkbox"/> 7	TOTAL FIXTURES
<input type="checkbox"/> TRANSFER FEE [\$10.00]	Fees by fixture: First 4 fixtures = \$40 Over 4 = \$10/fixture + \$10 Surcharge		<input type="checkbox"/>	Fixture Fee
			<input type="checkbox"/>	Transfer Fee
			<input type="checkbox"/>	Hook-Up & Relocation Fee

Please call 874-8703 with your permit # to schedule inspections! 180.00 PERMIT FEE (TOTAL)

Freedom Fire Protection, Inc.

Over 30 Years of Fire Protection Experience
209 Quaker Ridge Rd. Casco, Maine 04015
Phone 207/627-4109 Fax 207/627-7340

October 25, 2012

Portland City Hall
Third Floor Room 315
Portland, Maine 04101

Atten. Captain Pirone

Ref: Rick Holden Residence
20 Ball Park Lane
Portland, Maine 04101

Subj: Sprinkler System Certification Letter

This letter is certification that sprinkler system was designed, calculated and installed at the above referenced location by Freedom Fire Protection, and meets the requirements of the National Fire Protection Association 13D Standard (NFPA 13D).

Sprinkler permit # 9985 was issued by the State of Maine Fire Marshal s office.

The sprinkler system was left in service by Freedom Fire Protection on September 25, 2012.

Regards,

Digitally signed by Mark Radziszewski
DN: cn=Mark Radziszewski, o=Freedom
Fire Protection, ou,
email=markrad@maine.rr.com, c=US
Date: 2012.10.25 10:36:35 -04'00'

Mark Radziszewski

Contractor's Material and Test Certificate for Aboveground Piping

PROCEDURE
 Upon completion of work, inspection and tests shall be made by the contractor's representative and witnessed by an owner's representative. All defects shall be corrected and system left in service before contractor's personnel finally leave the job.
 A certificate shall be filled out and signed by both representatives. Copies shall be prepared for approving authorities, owners, and contractor. It is understood the owner's representative's signature in no way prejudices any claim against contractor for faulty material, poor workmanship, or failure to comply with approving authority's requirements or local ordinances.

PROPERTY NAME: Rick Holden Residence
 DATE: September 26, 2012

PROPERTY ADDRESS: 20 Ball Park Ln.

PLANS
 ACCEPTED BY APPROVING AUTHORITIES (NAMES): State of Maine Fire Marshal's Office
 ADDRESS: Augusta, Maine
 INSTALLATION CONFORMS TO ACCEPTED PLANS: YES NO
 EQUIPMENT USED IS APPROVED, IF NO EXPLAIN DEVIATIONS: YES NO

INSTRUCTIONS
 HAS PERSON IN CHARGE OF FIRE EQUIPMENT BEEN INSTRUCTED AS TO LOCATION OF CONTROL VALVES AND CARE AND MAINTENANCE OF THIS NEW EQUIPMENT? IF NO, EXPLAIN: YES NO
 HAVE COPIES OF THE FOLLOWING BEEN LEFT ON THE PREMISES: YES NO
 1. SYSTEM COMPONENTS INSTRUCTIONS YES NO
 2. CARE AND MAINTENANCE INSTRUCTIONS YES NO
 3. NFPA 25 YES NO

LOCATION OF SYSTEM: SUPPLIES BUILDINGS Basement

SPRINKLERS	MAKE	MODEL	YEAR OF MANUFACTURE	ORIFICE SIZE	QUANTITY	TEMPERATURE RATING
	Tyco	Pendant	2012	1/2"	25	155
Tyco	HSW	2012	1/2"	12	155	

TYPE OF PIPE: Mixture of BlazeMaster CPVC and Steel
 TYPE OF FITTINGS: Mixture of BlazeMaster CPVC and Steel

ALARM VALVE OR FLOW INDICATOR	ALARM DEVICE			MAXIMUM TIME TO OPERATE THROUGH TEST CONNECTION	
	TYPE	MAKE	MODEL	MIN.	SEC.
Flow Indicator	Potter	VSR			12

DRY PIPE OPERATING TEST	DRY VALVE					Q.O.D.			
	MAKE	MODEL	SERIAL NO.	MAKE	MODEL	SERIAL NO.			
	MIN.	TIME TO TRIP THROUGH TEST CONNECTION*	WATER PRESSURE	AIR PRESSURE	TRIP POINT AIR PRESSURE	TIME WATER REACHED TEST OUTLET*	ALARM OPERATED PROPERLY		
		SEC.	PSI	PSI	PSI	MIN.	SEC.	YES	NO
Without Q.O.D.								<input type="checkbox"/>	<input type="checkbox"/>
With Q.O.D.								<input type="checkbox"/>	<input type="checkbox"/>

IF NO, EXPLAIN

DELUGE & PREACTION ACTION
 OPERATION: PNEUMATIC ELECTRIC HYDRAULIC
 PIPING SUPERVISED: YES NO
 DETECTING MEDIA SUPERVISED: YES NO
 DOES VALVE OPERATE FROM THE MANUAL AND/OR REMOTE STATIONS: YES NO
 IS THERE AN ACCESSIBLE FACILITY IN EACH CIRCUIT FOR TESTING: YES NO
 IF NO, EXPLAIN

MAKE	MODEL	DOES EACH CIRCUIT OPERATE SUPERVISION LOSS ALARM		DOES EACH CIRCUIT OPERATE VALVE RELEASE		MAXIMUM TIME TO OPERATE	
		YES	NO	YES	NO	YES	NO
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*MEASURED FROM TIME INSPECTOR'S TEST CONNECTIONS IS OPENED.

PRESSURE REDUCING VALVE TEST	LOCATION & FLOOR	MAKE & MODEL	SETTING	STATIC PRESSURE		RESIDUAL PRESSURE (FLOWING)		FLOW RATE
				INLET (PSI)	OUTLET (PSI)	INLET (PSI)	OUTLET (PSI)	FLOW (GPM)
TEST DESCRIPTION	<p>HYDROSTATIC. Hydrostatic tests shall be made at not less than 200 psi (13.6 bars) for two hours or 50 psi (3.4 bars) above static pressure in excess of 150 psi (10.2 bars) for two hours. Differential dry-pipe valve clappers shall be left open during test to prevent damage. All aboveground piping leakage shall be stopped.</p> <p>PNEUMATIC. Establish 40 psi (2.7 bars) air pressure and measure drop, which shall not exceed 1 1/2 (0.1 bars) in 24 hours. Test pressure tanks at normal water level and air pressure measure and air pressure drop, which shall not exceed 1 1/2 (0.1 bars) in 24 hours.</p>							
TESTS	ALL PIPING HYDROSTATICALLY TESTED AT <u>200</u> PSI FOR <u>2</u> HRS.				IF NO, STATE REASON			
	DRY PIPING PNEUMATICALLY TESTED <input type="checkbox"/> YES <input type="checkbox"/> NO EQUIPMENT OPERATES PROPERLY <input type="checkbox"/> YES <input type="checkbox"/> NO				n/a			
	DO YOU CERTIFY AS THE SPRINKLER CONTRACTOR THAT ADDITIVES AND CORROSIVE CHEMICALS, SODIUM SILICATE OR DERIVATIVES OF SODIUM SILICATE, BRINE, OR OTHER CORROSIVE CHEMICALS WERE NOT USED FOR TESTING SYSTEMS OR STOPPING LEAKS? <input type="checkbox"/> YES <input type="checkbox"/> NO							
	DRAIN TEST	READING OF GAUGE LOCATED NEAR WATER SUPPLY TEST CONNECTION: <u>60</u> PSI			RESIDUAL PRESSURE WITH VALVE IN TEST CONNECTION OPEN WIDE <u>37</u> PSI			
	UNDERGROUND MAINS AND LEAD IN CONNECTIONS TO SYSTEM RISERS FLUSHED BEFORE CONNECTION MADE TO SPRINKLER PIPING <input type="checkbox"/> YES <input type="checkbox"/> NO				OTHER Installed and Flushed by Others		EXPLAIN	
	VERIFIED BY COPY OF THE U FORM NO. 85B FLUSHED BY INSTALLER OF UNDERGROUND SPRINKLER PIPING <input type="checkbox"/> YES <input type="checkbox"/> NO							
	IF POWDER DRIVEN FASTENERS ARE USED IN CONCRETE, HAS REPRESENTATIVE SAMPLE TESTING BEEN SATISFACTORILY COMPLETED? <input type="checkbox"/> YES <input type="checkbox"/> NO				IF NO, EXPLAIN			
BLANK TESTING GASKETS	NUMBER USED n/a	LOCATIONS					NUMBER REMOVED	
WELDING	WELDED PIPING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO							
	IF YES...							
	DO YOU CERTIFY AS THE SPRINKLER CONTRACTOR THAT WELDING PROCEDURES COMPLY WITH THE REQUIREMENTS OF AT LEAST AWS D10.9, LEVEL AR-3? <input type="checkbox"/> YES <input type="checkbox"/> NO							
	DO YOU CERTIFY THAT THE WELDING WAS PERFORMED BY WELDERS QUALIFIED IN COMPLIANCE WITH THE REQUIREMENTS OF AT LEAST AWS D10.9, LEVEL AR-3? <input type="checkbox"/> YES <input type="checkbox"/> NO							
CUTOUTS (DISCS)	DO YOU CERTIFY THAT WELDING WAS CARRIED OUT IN COMPLIANCE WITH A DOCUMENTED QUALITY CONTROL PROCEDURE TO INSURE THAT ALL DISCS ARE RETRIEVED, THAT OPENINGS IN PIPING ARE SMOOTH, THAT SLAG AND OTHER WELDING RESIDUE ARE REMOVED, AND THAT THE INTERNAL DIAMETERS OF PIPING ARE NOT PENETRATED? <input type="checkbox"/> YES <input type="checkbox"/> NO							
	DO YOU CERTIFY THAT YOU HAVE A CONTROL FEATURE TO ENSURE THAT ALL CUTOUTS (DISCS) ARE RETRIEVED? <input type="checkbox"/> YES <input type="checkbox"/> NO							
HYDRAULIC DATA NAMEPLATE	NAMEPLATE PROVIDED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			IF NO, EXPLAIN				
REMARKS	DATE LEFT IN SERVICE WITH ALL CONTROL VALVES OPEN: <u>September 25, 2012</u>							
	NAME OF SPRINKLER CONTRACTOR <u>Freedom Fire Protection, Inc.</u>							
	TESTS WITNESSED BY							
	FOR PROPERTY OWNER (SIGNED) <u>Rick Holden</u>			TITLE <u>Owner</u>		DATE <u>9/26/2012</u>		
	FOR SPRINKLER CONTRACTOR (SIGNED) <u>Digitally signed by Mark Radziszewski</u>			TITLE <u>Project Manager</u>		DATE <u>9/26/2012</u>		
ADDITIONAL EXPLANATION AND NOTES <u>Protection, ou,</u> <u>email=markrad@maine.rr.com, c=US</u> <u>Date: 2012.09.27 08:18:26 -04'00'</u>								

permit # 2012-05-3591

Location/Address of Site: * 20 BALPARK DRIVE PORTLAND MAINE		
Total Square Footage of Proposed Structure/Area:	Area of lot (total square feet): 45.893	Number of Stories: two
Tax Assessor's Chart, Block & Lot(s) Chart# Block # Lot# 371 A 31-01	Fees Paid: (for Office Use Only) Site Plan _____ Building Permit _____ Inspection _____	Cost of Work: 2710 Work: \$ 377,060 C of O Fee \$ _____
Current Legal Use: Number of residential Units	If vacant, previous use?	Is property part of a subdivision? If yes, please name: BALPARK DRIVE SUBDIVISION
Proposed Use and Project Description: SINGLE FAMILY HOME.		
Applicant - must be owner, Lessee or Buyer Name: Richard & Curmea Holden Business Name, if applicable: Address: 14 TARDEN AVE. City/State: PORTLAND, ME Zip Code: 04103		Applicant Contact Information Work # RECEIVED Home# MAY 01 2012 Cell # e-mail: Dept. of Building Inspections City of Portland Maine
Owner - (if different from Applicant) Name: Address: City/State: Zip Code:		Owner Contact Information Work # Home# Cell # e-mail:
Agent/ Contractor Name: Rishana Bros. Const Co INC Address: P.O. Box 4055 City/State: SEARSB. ME. Zip Code: 04070-0405		Agent/Contractor Contact Information Work # 207. 883. 5528 Ext. 1108 Home# Cell # 207. 776. 0398 e-mail: tim@rishana.com
Billing Information Name: (SAME AS ABOVE) Address: City/State: Zip Code: Phone Number:		Contact when Building Permit is Ready: Name: Tim Harpin Address: City/State: Zip Code: Phone Number: 207. 776. 0398

Applicant:

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)	Submitted Plan	Findings/Revisions/Dates
Component		
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8" x 16" w/ 2 - #4 Bars 8" Thick wall 4" Spall	Okay
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Tar, Paper & Filter Fab.	Okay
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	5/8" x 12" Long 3'-0" @ Corners	Okay
Lally Column Type (Section R407)	3 1/2" DIA in (24 x 24" Footing)	Okay
Girder & Header Spans (Table R 502.5(2)) Built-Up Wood Center Girder Dimension/Type	(3) 2x12" 5'-6" Max 2x6" PT w/ Hooked A307	Okay
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x12" @ 16" O.C. Max span 17'-0"	Okay e40
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x12" @ 16" O.C.	Okay e30
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Trusses	1 Specs Needed

<p>Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)</p>	<p>8¹² Trusses @ 24" o.c. w/ clips.</p>	<p>2 Spans needed</p>
<p>Sheathing; Floor, Wall and Roof (Table R503.2.1.1(1))</p>	<p>Floor: 5/4 Wall: 7/16 Roof: 5/8</p>	<p>Okay</p>
<p>Fastener Schedule (Table R602.3(1) & (2))</p>	<p>"Per Code"</p>	<p>Okay</p>
<p>Private Garage (Section R309) Living Space? (Above or beside)</p>	<p>N/A</p>	<p>*Table on Conditions</p>
<p>Fire separation (Section R309.2) Opening Protection (Section R309.1)</p>	<p>"1 Hr. Wall" 5/8" Gypsum</p>	<p>Okay</p>
<p>Emergency Escape and Rescue Openings (Section R310)</p>	<p>"3068 Fire Rated Door"</p>	<p>Okay</p>
<p>Roof Covering (Chapter 9)</p>	<p>"3068 Egress Windows" 40 y.r. Asphalt</p>	<p>Okay</p>
<p>Safety Glazing (Section R308)</p>	<p>Temp. Master & Bath Tubs</p>	<p>Okay</p>
<p>Attic Access (Section R807)</p>	<p>→</p>	<p>22 x 30 Req.</p>
<p>Chimney Clearances/Fire Blocking (Chap. 10)</p>	<p>N/A</p>	<p></p>
<p>Header Schedule (Section 502.5(1) & (2))</p>	<p>"Sec A1"</p>	<p>Okay</p>
<p>Energy Efficiency IECC, 2009 R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration Ventilation of Space per ASRAE 62.2, 2007</p>	<p>Walls: 21 Windows: U-35 Ceilings: 49 Foundation: ? Floors: 21</p>	<p></p>

Type of Heating System		
Means of Egress (Sec R311 & R312) Basement		
Number of Stairways	5	
Interior	2	
Exterior	2	
Treads and Risers (Section R311.5.3)	7" x 10" : 7 1/2" x 10"	
Width (Section R311.5.1)	3'-3"	
Headroom (Section R311.5.2)	7'-0" & 6'-8"	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	34"	
Carbon Monoxide Alarms (R315) Smoke Alarms (Section R313) Location and Interconnected	"See A1" (0 & sink shown)	obey
Dwelling Unit Separation (Section R302.3)	N/A	
Deck Construction (Section R502.2.1)	2x8 @ 2x12" @ 16" o.c. (PT) 2x12 Beams "A0"	(3) 2x8 Beams 5-6' Max (3) 2x12 Beams 5-6' Max

Jonathan Rioux - RE: 20 Ballpark Dr.

From: Tim Halpin <Tim@risbara.com>
To: Jonathan Rioux <JRIOUX@portlandmaine.gov>
Date: 5/18/2012 11:55 AM
Subject: RE: 20 Ballpark Dr.

From: Jonathan Rioux [mailto:JRIOUX@portlandmaine.gov]
Sent: Friday, May 18, 2012 10:01 AM
To: Tim Halpin
Subject: 20 Ballpark Dr.

Tim,

Can you provide a response to the bulleted items below?

- R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location .I believe it is shown on the plan in the large walk in master closet.
- Ventilation of this space is required per ASRAE 62.2 , 2007 edition. It should meet, it has continuous ridge vent and eaves
- Insulation shall comply with the IECC, 2009 (Maine State Energy Codes). It meets all new energy code insulation.

With the truss specification does the attic meet the criteria below? Space is unfinished and only accessible from the scuttle.

Habitable Attics: A finished or unfinished area, not considered a *story*, complying with all of the following requirements:

1. The occupiable floor area is at least 70 square feet, in accordance with Section R304,
 2. The occupiable floor area has a ceiling height in accordance with Section R305, and
 3. The occupiable space is enclosed by the roof assembly above, knee walls (if applicable) on the sides and the floor-ceiling assembly below.
- The basement egress must open directly into a public way, or to a yard or court that opens to a public way (not the garage) This is not finished space, therefore doesn't need to meet egress.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Footings/ Setbacks
2. Foundation wall prior to backfill
3. Close-In: Electrical, Plumbing, Framing
4. Insulation prior to Close-In
5. Final Inspection/ Certificate of Occupancy

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

Lannie Dobson - 86 Ballpark Drive, Delahanty Single Family - Building Permit Issuance

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 5/16/2012 1:05 PM
Subject: 86 Ballpark Drive, Delahanty Single Family - Building Permit Issuance

Hi all, this project, site plan #2012-04-3809-SF, the Delahanty single family home proposed for construction at 86 Ballpark Drive, meets minimum DRC site plan requirements for the issuance of the Building Permit. Please see 1S for sign off.

Feel free to contact me with any questions. Thanks.

Phil

DEVELOPMENT REVIEW FEES:

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p>Level I Minor Residential Site Plan</p> <p>___ Application Fee (\$300.00 flat fee) \$ 300.⁰⁰</p> <p>___ Inspection Fee (\$100.00 flat fee) \$ 100.⁰⁰ (for an inspection conducted by the Planning Division)</p> <p style="text-align: right;">c/o \$ 75.⁰⁰</p> <p>The City invoices separately for the following:</p> <ul style="list-style-type: none"> • Notices (\$.75 each) \$ 30.⁰⁰ <p style="text-align: right;">\$ 3760.⁰⁰</p>	<p>Fees Paid (office use)</p> <p>___</p> <p>___</p>	<p>3 BEDROOM</p> <p>2 1/2 BATH</p> <p>1ST FLOOR LIVING : 1313 □'</p> <p>2ND FLOOR LIVING: 1306 □'</p> <p>GARAGE : 1224 □'</p> <p>FRONT PORCH : 228 □'</p> <p>REAR DECK : 384 □'</p>
<p>Performance Guarantee</p>	<p>Exempt except for those projects that complete construction in the winter and the site work is incomplete.</p>	
<p>Building Permit Fee</p> <p style="text-align: right;">\$ 4,265.⁰⁰</p>	<p>\$30 for the first \$1,000 construction cost, \$10 per additional \$1,000 cost.</p>	

Application Check List:

As of December 1, 2010, all site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Inspections Division to start the review process.

Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.

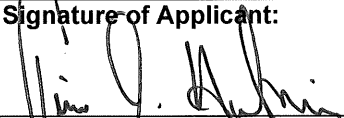
Property Taxes:

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

Separate Permits:

Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

<p>Signature of Applicant:</p> 	<p>Date:</p> <p>4/9/12</p>
---	-----------------------------------

TRUSTEES' DEED

MAINE REAL ESTATE TAX PAID

THIS INDENTURE WITNESSETH, that MICHAEL R. JIMINO and MARY ANN JIMINO, Trustees, or their successors in trust, under the MICHAEL R. JIMINO REVOCABLE LIVING TRUST, dated September 7, 2004, and any amendments thereto, AND MICHAEL R. JIMINO and MARY ANN JIMINO, Trustees, or their successors in trust, under the MARY ANN JIMINO REVOCABLE LIVING TRUST, dated September 7, 2004, and any amendments thereto ("Grantors") of Cumberland County, in the State of Maine, by virtue of their authority thereunder, for valuable consideration, the receipt of which consideration is hereby acknowledged, do hereby release unto RISBARA BROS. CONSTRUCTION ("Grantee") of Cumberland County, Maine, the certain real estate in Portland, in Cumberland County, in the State of Maine:

See Exhibit A attached hereto and made a part hereof.

This conveyance is subject to all restrictions, easements and encumbrances of record.

IN WITNESS WHEREOF, Grantors have caused this Deed to be executed this 20th day of April, 2012.

Grantor: [Signature] MICHAEL R. JIMINO, Trustee of the MICHAEL R. JIMINO REVOCABLE LIVING TRUST dated September 7, 2004

Grantor: [Signature] MICHAEL R. JIMINO, Trustee of the MARY ANN JIMINO REVOCABLE LIVING TRUST dated September 7, 2004

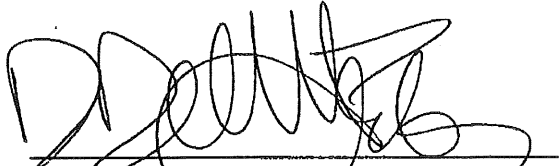
Grantor: [Signature] MARY ANN JIMINO, Trustee of the MICHAEL R. JIMINO REVOCABLE LIVING TRUST dated September 7, 2004

Grantor: [Signature] MARY ANN JIMINO, Trustee of the MARY ANN JIMINO REVOCABLE LIVING TRUST dated September 7, 2004

[Signature]

STATE OF MAINE)
) SS:
COUNTY OF CUMBERLAND)

Then personally appeared the above-named **MICHAEL R. JIMINO and MARY ANN JIMINO**, who acknowledged execution of the foregoing Trustees' Deed to be their free act and deed in their said capacities.



Notary Public/Attorney at Law

Printed Name:

My Commission Expires:

Doreen Duval-Flaherty
Notary Public, Maine
My Commission Expires
December 18, 2014

SEAL

EXHIBIT A

A certain lot or parcel of land situated in the City of Portland, County of Cumberland and State of Maine, more particularly described as follows:

Lot 1 shown on a plan entitled "Plan of Division of Land, The Haverty Estate Property, Ballpark Drive Subdivision" by URS Corporation, Portland, Maine, dated November 22, 2004, recorded in the Cumberland County Registry of Deeds in Plan Book 204, Page 855 (the "Plan"), and on a related plan recorded with the Plan entitled "Residential Lot Subdivision Plat Ballpark Drive Subdivision" dated November 22, 2004, and recorded in said Registry of Deeds in Plan Book 204, Page 856 (the "Subdivision Plan") (the Plan and the Subdivision Plan being hereinafter collectively referred to as the "Project Plans").

Excepting and reserving to the Grantor the fee interest in Ballpark Drive shown on the Project Plans, which the Grantor intends to convey to the City of Portland as a public street following the City's acceptance thereof, but hereby conveying an easement in common with the Grantor, its successors and assigns, and other owners of lots in Ballpark Drive Subdivision, to use Ballpark Drive shown on the Project Plans for vehicular and pedestrian access to and from the above-described premises and for the installation, maintenance, repair and replacement of utilities over, under and through Ballpark Drive to serve the above-described premises including, but not limited to, power lines, sewer and water lines, telephone and other communication lines, and cable television lines. The Grantees, their heirs and assigns, shall repair Ballpark Drive as nearly as practical following any activity therein pursuant to the exercise of said easement, which obligation shall be enforceable by all parties having rights in and to the use of Ballpark Drive. Following the acceptance of Ballpark Drive as a public street, the use thereof by the Grantees, their heirs and assigns, shall be further subject to all applicable municipal ordinances and regulations with respect thereto.

The above-described premises are conveyed subject to the following to the extent they affect the premises or other interests relating thereto and referred to herein:

1. Rights and easements acquired by the City of Portland by virtue of a Taking dated June 3, 1963 and recorded in said Registry of Deeds in Book 2764, Page 362;
2. Rights and easements excepted and reserved in a deed from Mary Margaret I. Haverty to the Grantor dated December 8, 2004 and recorded in said Registry of Deeds in Book 22100, Page 73;
3. General Notes, Setbacks, 75' Stream Buffer, Easements and other matters set forth, shown on, or referred to on the Project Plans, particular reference being made to the restrictions and limitations set forth or referred to on said Project Plans regarding activities within the 75' Stream Buffer along the southern edge of the intermittent brook running through Lots 1 through 9;
4. Easement Deed for drainage and culvert easements from the Grantor to the City of

Portland dated January 13, 2005 and recorded in said Registry of Deeds in Book 22268, Page 53;

5. Easement Deed for sewer line easement from the Grantor to the City of Portland dated January 13, 2005 and recorded in said Registry of Deeds in Book 22268, Page 57;
6. Declaration of Covenants and Restrictions by the Grantor regarding Lots 1 through 16 in Ballpark Drive Subdivision dated January 27, 2005 and recorded in said Registry of Deeds in Book 22278, Page 204, as amended; and
7. Trail Easement over Lot 18 in Ballpark Drive Subdivision from the Grantor to Portland Trails dated January 24, 2005 and recorded in said Registry of Deeds in Book 22284, Page 63.

The above-described premises are further conveyed together with the benefit of a Declaration of Covenants and Restrictions by the Grantor regarding Lot 18 in Ballpark Drive Subdivision dated January 13, 2005 and recorded in said Registry of Deeds in Book 22268, Page 59.

For title of Grantors reference is hereby made to a deed given by Ballpark Drive Development, LLC, dated March 2, 2005 and recorded in the Cumberland County Registry of Deeds in Book 22380, Page 179.

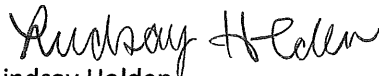
Received
Recorded Register of Deeds
Apr 26, 2012 03:41:49P
Cumberland County
Pamela E. Lovley

Atlantic Coast Lending

April 2, 2012

To Whom It May Concern:

The mortgage for 20 Ballpark Lane in Portland, Maine has been conditionally approved by Franklin American Mortgage Company. Final approval will be issued once the home is complete, the final inspection takes place and the certificate of occupancy has been issued.



Lindsay Holden
Atlantic Coast Lending
Owner/Broker

phone 207. 854. 2007
fax 207. 591. 4583

90 Bridge St., Suite 230
Westbrook, ME 04092

Tim Halpin

From: Tim Halpin
Sent: Monday, April 23, 2012 1:35 PM
To: 'Mark Radziszewski'
Subject: RE: Rick Holden
Attachments: 03-120423-0001.pdf

Hi Mark,

This is the plot plan for the project, it should have the info you are looking for. The lot is the first one on the left as you enter from Washington Ave ext.

Thank you
Tim Halpin

From: Mark Radziszewski [mailto:markrad@maine.rr.com]
Sent: Monday, April 23, 2012 1:29 PM
To: Tim Halpin
Subject: Re: Rick Holden

On 4/23/2012 1:25 PM, Tim Halpin wrote:
Hi Mark,

Just looking for an update on the Holden project. We last spoke you were thinking a design would be into the City of Portland Friday 4-20-12.

Thank you
Tim Halpin

we are finishing up design today, which side of the street is the house on and how far off the street is the house. This info is needed for the hydraulics.

--
Mark Radziszewski
Freedom Fire Protection, Inc.
209 Quaker Ridge Road
Casco, Maine 04015
Office 207-627-4109
Cell 207-318-9992
Fax 207-627-7340
email markrad@maine.rr.com

Bill Wake
c: 671-8639

DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT BY RULE NOTIFICATION FORM

(For use with DEP Regulation, Chapter 305)

PLEASE TYPE OR PRINT IN BLACK INK ONLY

Name of Applicant: (owner) Richard Holden		Name of Agent: Riskana Bros. Const Co Inc.	
Applicant Mailing Address: 14 TARDEN AVE		Agent Phone # (include area code): 207 776-0348	
Town/City: PORTLAND, ME. 04103		PROJECT Information Name of Town/City: PORTLAND: BALL PARK DRIVE	
State and Zip code:		Name of Wetland or Waterbody:	
Daytime Phone # (include area code):		Map #: 371	Lot #: A 31-01
Detailed Directions to Site: OUTER WASHINGTON AVE EXTENSION, TURN ONTO BALL PARK DRIVE, FIRST LOT ON THE LEFT AS YOU DRIVE INTO THE PROJECT.			
		UTM Northing: (if known)	UTM Easting: (if known)
Description of Project: BUILD A SINGLE FAMILY HOME - RUN UTILITIES			
Part of a larger project? (check one) →	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	After the Fact? (check one) →	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Check one → This project <input type="checkbox"/> does (or) <input checked="" type="checkbox"/> does not involve work below mean low water (average low water).			

PERMIT BY RULE (PBR) SECTIONS: (Check at least one)

I am filing notice of my intent to carry out work which meets the requirements for Permit By Rule (PBR) under DEP Rules, Chapter 305. I and my agents, if any, **have read** and will comply with all of the standards in the Sections checked below.

- | | | |
|---|---|---|
| <input type="checkbox"/> Sec. (2) Act. Adj. to Protected Natural Res. | <input type="checkbox"/> Sec. (10) Stream Crossing | <input type="checkbox"/> Sec. (17) Transfers/Permit Extension |
| <input type="checkbox"/> Sec. (3) Intake Pipes | <input type="checkbox"/> Sec. (11) State Transportation Facil. | <input type="checkbox"/> Sec. (18) Maintenance Dredging |
| <input type="checkbox"/> Sec. (4) Replacement of Structures | <input type="checkbox"/> Sec. (12) Restoration of Natural Areas | <input type="checkbox"/> Sec. (19) Activities in/on/over significant vernal pool habitat |
| <input type="checkbox"/> Sec. (5) REPEALED | <input type="checkbox"/> Sec. (13) F&W Creation/Enhance/Water Quality Improvement | <input type="checkbox"/> Sec. (20) Activities in existing dev. areas located in/on/over high or moderate value inland waterfowl & wading bird habitat or shorebird nesting, feeding & staging areas |
| <input type="checkbox"/> Sec. (6) Movement of Rocks or Vegetation | <input type="checkbox"/> Sec. (14) REPEALED | |
| <input type="checkbox"/> Sec. (7) Outfall Pipes | <input type="checkbox"/> Sec. (15) Public Boat Ramps | |
| <input type="checkbox"/> Sec. (8) Shoreline stabilization | <input type="checkbox"/> Sec. (16) Coastal Sand Dune Projects | |
| <input checked="" type="checkbox"/> Sec. (9) Utility Crossing | | |

I have attached the following required submittals. **NOTIFICATION FORMS CANNOT BE ACCEPTED WITHOUT THE NECESSARY ATTACHMENTS:**

- Attach** a check for \$65 made payable to: "Treasurer, State of Maine".
- Attach** a U.S.G.S. topo map or Maine Atlas & Gazetteer map with the project site clearly marked.
- Attach Proof of Legal Name.** If applicant is not an individual or municipality, provide a copy of Secretary of State's registration information (available at <http://icrs.informe.org/nei-sos-icrs/ICRS?MainPage=x>)
- Attach photos of the proposed site where activity will take place as outlined in PBR Sections checked above.**
- Attach** all other required submissions as outlined in the PBR Sections checked above.

I authorize staff of the Departments of Environmental Protection, Inland Fisheries & Wildlife, and Marine Resources to access the project site for the purpose of determining compliance with the rules. I also understand that **this permit is not valid until approved by the Department or 14 days after receipt by the Department, whichever is less.**

By signing this Notification Form, I represent that the project meets all applicability requirements and standards in the rule and that the applicant has sufficient title, right, or interest in the property where the activity takes place.

Signature of Agent or Applicant: 	Date: 4/27/12
---	-------------------------

Keep a copy as a record of permit. Send the form with attachments via certified mail or hand deliver to the Maine Dept. of Environmental Protection at the appropriate regional office listed below. The DEP will send a copy to the Town Office as evidence of the DEP's receipt of notification. No further authorization by DEP will be issued after receipt of notice. Permits are valid for two years. **Work carried out in violation of any standard is subject to enforcement action.**

AUGUSTA DEP
 17 STATE HOUSE STATION
 AUGUSTA, ME 04333-0017
 (207)287-3901

PORTLAND DEP
 312 CANCO ROAD
 PORTLAND, ME 04103
 (207)822-6300

BANGOR DEP
 106 HOGAN ROAD
 BANGOR, ME 04401
 (207)941-4570

PRESQUE ISLE DEP
 1235 CENTRAL DRIVE
 PRESQUE ISLE, ME 04769
 (207)764-0477

OFFICE USE ONLY	Ck.#		Staff	Staff	
PBR #	FP	Date	Acc. Date	Def. Date	After Photos



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , Check Number: 22799

Tender Amount: 4265.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 5/1/2012

Receipt Number: 43423

Receipt Details:

Referance ID:	6334	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-05-3891-SF - New Single Family; 3 bed, 2.5 bath 2 floor; at gar			
Additional Comments: 20 Ballpark			

Referance ID:	6335	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	3790.00	Charge Amount:	3790.00
Job ID: Job ID: 2012-05-3891-SF - New Single Family; 3 bed, 2.5 bath 2 floor; at gar			

Additional Comments:

Referance ID:	6336	Fee Type:	BP-MSFSR
Receipt Number:	0	Payment Date:	
Transaction Amount:	300.00	Charge Amount:	300.00

Job ID: Job ID: 2012-05-3891-SF - New Single Family; 3 bed, 2.5 bath 2 floor; at gar

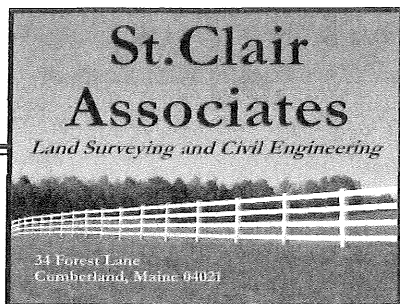
Additional Comments:

Referance ID:	6337	Fee Type:	BP-INSP
Receipt Number:	0	Payment Date:	
Transaction Amount:	100.00	Charge Amount:	100.00

Job ID: Job ID: 2012-05-3891-SF - New Single Family; 3 bed, 2.5 bath 2 floor; at gar

Additional Comments:

Thank You for your Payment!



12005

May 14, 2012

Philip DiPierro, Development Review Coordinator/Site Inspector
Planning and Urban Development Department
Planning Division, 4th Floor
Portland City Hall
389 Congress Street
Portland, ME 04101

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MAY 15 2012

Dept. of Building Inspections
City of Portland Maine

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MAY 15 2012

City of Portland
Planning Division

Holden Single Family Home

City Project ID # 2012-05-3891 SF

20 Ballpark Drive (Portland Assessor's Map 371 Block A Lot 31)

Response to Comments

Level 1-Minor Residential Site Plan Review

Dear Phil,

We would like to thank you and Jeff Tarling for meeting with Rocco Risbara III, Tim Halpin, and David and me earlier today at the project site to discuss your May 11, 2012 review comments regarding the Holden residence at 20 Ballpark Drive. We have prepared this response letter and updated plan to address your comments, as well as the items discussed during our site visit.

As was discussed in the field with you and Jeff Tarling, after the meeting concluded we flagged the 75' stream buffer limits on the site and also reflagged the easterly edge of the wetlands that were shown on the original subdivision plan.

Response to May 11, 2012 Staff Comments:

For ease of review, we have reiterated the staff comments below in *italics*, along with our responses.

Survey Requirements:

- 1. Please submit a revised survey/site plan that includes the following information:*

- *Property corners and stream buffer pins. Where no property markers exist, the City of Portland requires that the property markers be installed on site prior to the issuance of a building permit. Please confirm and identify at the site, the locations of the installed stream buffer pins, and the limits of wetland boundaries that are depicted on the survey/site plan.*

As discussed in the field, and as noted above, the property markers have been located and flagged in the field. In addition, the stream buffer pins shown on the subdivision plan were previously installed and have been flagged in the field. As noted above, we have shown additional flagging along the 75' stream buffer limits and have also reflagged the wetland boundaries shown on the subdivision plan, along the limits of work.

- *Please add the total land area of the site to the survey/site plan.*

This information has been added to the enclosed updated plan.

Site Plan Requirements:

1. Please submit a revised site plan that includes the following information:

- *The original subdivision approval requires the applicant to consult with the City Arborist to develop a tree save plan as part of the Level 1 site plan submission. In addition, Sec. 14-526(b) of the Site Plan Ordinance requires the submission of a tree save plan as well. Please submit a tree save plan that meets the requirements of both the original subdivision approval, and the Site Plan Ordinance.*

This consultation occurred as part of our on-site meeting with you and Jeff Tarling earlier today. As part of the tree save plan, there are two mature Ash trees located on the edge of the side yard setback (along the easterly property line) that have been flagged to be saved. A third mature tree in the vicinity of the two ash trees (located within the building window) will be saved, if possible. In addition, Mr. Tarling flagged a desirable native tree specimen to remain in the backyard area. These trees were survey located during our meeting and their approximate locations have been shown on the enclosed updated plan.

- *The original approved subdivision plan does not allow for clearing of vegetation beyond the eastern boundary of the wetland. This area is to remain in its natural state and cannot be cleared.*

As we discussed during our site meeting, the applicant and the prospective home buyer were not aware that the westerly edge of the property was subject to a no-cut buffer and could not be cleared, since there is no notation to this effect on the recorded plat. You indicated that the large scalloped edge line shown on the landscaping plan for the Ballpark subdivision has generally been interpreted as the limit of clearing for the lots within the subdivision. Since there was no line shown on the westerly edge of this site, staff has indicated that the area cannot be lawn.

It is our understanding from our conversations with you and Jeff Tarling today, that during the review process, neighborhood concerns were raised regarding stream buffering and preservation of wooded areas in the subdivision that contained valuable native species. Accordingly, there is a 75' stream buffer on the northerly end of this property, which is not proposed to be cleared. As Mr. Tarling had noted to us in the field, vegetation within the wooded areas of this site (outside of the 75' stream buffer area) generally did not represent a significant stand of native vegetation. Accordingly, it was agreed that areas located outside of the 75' stream buffer, and easterly of the existing wetland finger, could be cleared for the lot development and grading, with the exception of the tree saves flagged and identified in the field.

With regard to the area westerly of the wetland, it is our understanding that since this area contains an abundance of invasive species Mr. Tarling has indicated that the landowner can work with him to establish a plan to clean up the area west of the wetland. This will allow clearing in this area in order to remove the invasive species and allow a more appropriate landscape along the westerly side of the property.

- *Please revise the grading within the drainage easement along the eastern boundary. The current grading proposal appears to force the surface flow of water onto the neighbor's property. This area should be graded in a manner that evenly distributes the surface drainage between both sites within the drainage easement.*

As discussed in the field, the proposed garage roof sheds water toward the front and rear and does not shed water to this area. The driveway has been designed to shed water away in a generally southwesterly direction, away from the side yard area. The majority of runoff in the easement area is simply the lawn area along the side of the garage. During our site visit today we picked up additional spot grades in the drainage easement along the common line with the abutter to the east. These spot elevations have been shown on the plan, and the grading in this area has been revised to reflect the grades of the abutting parcel.

- *The City Arborist has inspected the site and feels confident that trees can be saved that meet the City's frontage standards for planting street trees.*

As was discussed at our site meeting, it is our understanding that Mr. Tarling is satisfied that the existing trees along the site frontage that are located within the wetlands and along the westerly frontage of the site can meet the City's frontage standards for street trees.

- *Please include the Zoning District of the site on the site plan.*

This information has been added to the enclosed revised plan.

- *Please include, on the site plan, in square feet, the amount of the proposed paved area.*

This information has been added to the updated plan.

- *Please include, on the site plan, in square feet, the ground floor area of the proposed building.*

The site plan has been updated to note this information, as requested.

- *Please show the total area, and the limits of ground disturbance in square feet, on the site plan.*

The site plan has been updated to note this information, as requested.

- *Please note, the utility crossing through the wetland is allowed, but upon completion of the water line installation, if ground disturbance takes place, the wetland must be restored to the conditions that existed prior to construction.*

As discussed in the field, the proposed water service will be bored through the wetland area in order to connect between the residence and the curb stop installed as part of the construction of Ballpark Drive. It is understood that if any disturbance occurs within the wetland area, the wetland must be restored to the pre-construction conditions. With the proposed method of boring, it is not anticipated that restoration within the wetland will be necessary.

Closure

We appreciated the opportunity to meet with you and Jeff Tarling to discuss the specific site conditions and look forward to the completion of the staff review process

Mr. DiPierro

~ 5 ~

May 14, 2012

such that construction of the new residence can commence. Should you have any additional questions or require any additional information, please call me.

Sincerely,

ST.CLAIR ASSOCIATES



Nancy J. St. Clair, P.E.

Vice President

NJS:njs

C: Risbara Bros. Construction Co. Inc.

(Tim Halpin)

Applicant: Rishara Brothers Construction Co., Inc

Date: 5/10/12

Address: 20 Ball Park Drive

C-B-L: 371-A-31

perm. # 2012-05-3891

CHECK-LIST AGAINST ZONING ORDINANCE

* received revised site plan 5/15/12

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - build two story side family w/ attached garage 38' x 34', ^{1 story} garage 36' x 34'

Severage Disposal - City

Lot Street Frontage - 50' min - 143.77' given (OK)

Front Yard - 25' min - ⁷⁷ ~~80~~' scaled to park (OK)

Rear Yard - 25' min - 117' scaled to house (OK) ¹ deck

Side Yard - 2 spruce 14' min - 16' on right scaled (OK) ¹⁰

Projections - porch 6' x 38', deck 24' x 16', front steps 6' x 1.75', deck steps 6' x 3.75'

Width of Lot - 80' min - 171' scaled (OK)

Height - 35' max - 29.5' scaled @ lowest elevation

Lot Area - 10,000 sq min - 45,893 sq min (OK)

Lot Coverage Impervious Surface - 20% = 9178.6 sq ft

Area per Family - 10,000 sq ft (OK)

Off-street Parking - 2 spaces required - 2 spaces in garage (OK)

Loading Bays - N/A

Site Plan - Level I Minor Residential

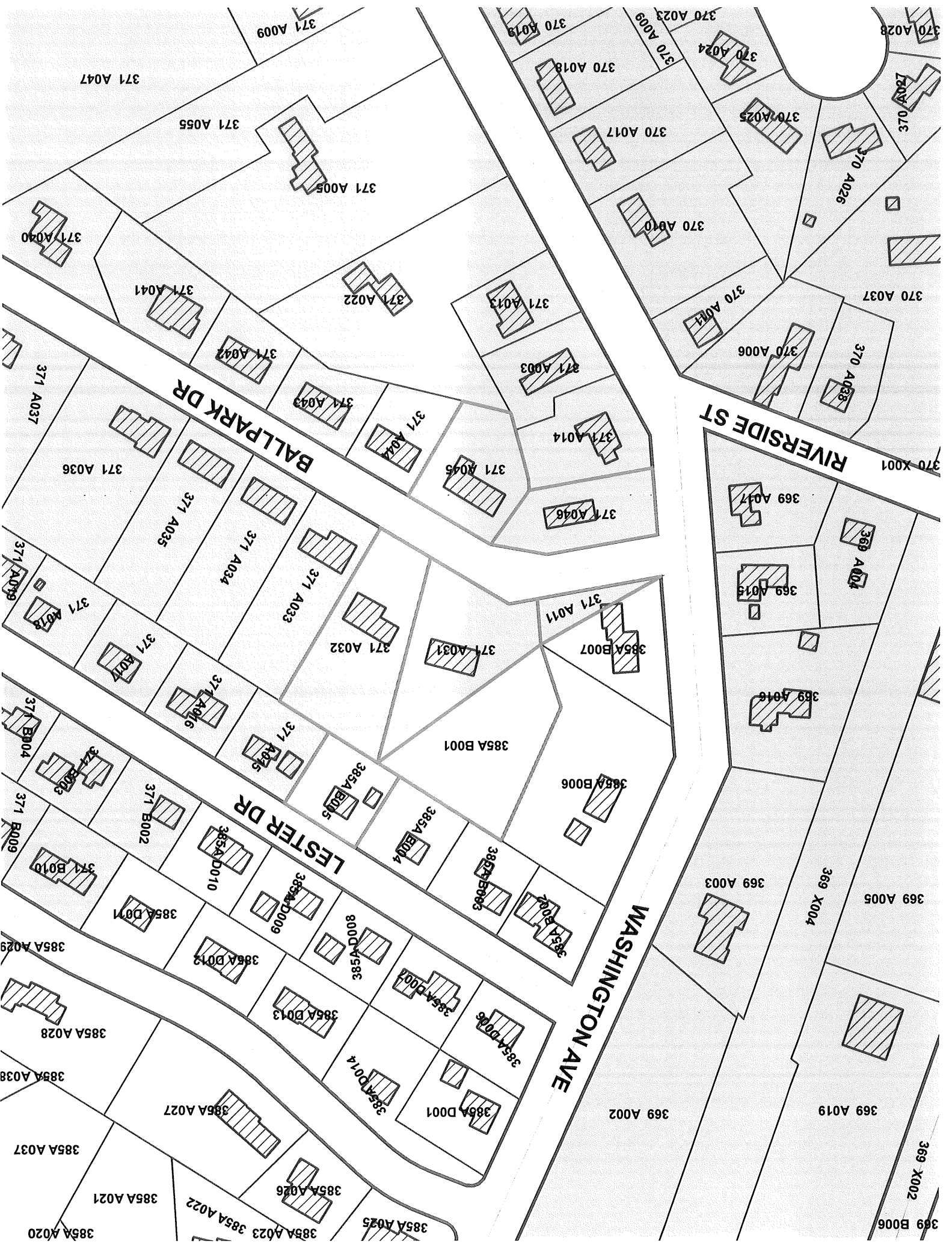
Shoreland Zoning/ Stream Protection - N/A

Flood Plains - parcel 2 rare x

* partial daylight

38 x 34 =	1292
36 x 34 =	1224
6 x 38 =	228
24 x 16 =	384
6 x 1.75 =	10.5
3.75 x 6 =	22.5

3161.4 (OK)



IMPORTANT NOTICE FROM CITY OF PORTLAND

To residents and property owners: A Level I Minor Residential Development application was submitted to the Portland Inspections Division by Risbara Brothers Construction to build a new single family home at 20 Ballpark Drive.

In accordance with the Portland Land Use Ordinance, notices of receipt of a Level I Minor Residential Development application must be sent to neighbors. This application will be reviewed administratively by City Staff.

Plans are available in the Portland Inspections Division, Room 315, City Hall. If you have any questions or wish to submit comments, contact Ann Machado, Zoning Specialist at 874-8709 or email amachado@portlandmaine.gov

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CBL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
	BALLPARK DRIVE DEVELOPMENT	67 HAVERTYS WAY PORTLAND , ME 04103	11 BALLPARK DR	0
	BOSWELL JOANNE WID WWII VET	1955 WASHINGTON AVE PORTLAND, ME 04103	1955 WASHINGTON AVE	1
	DIBIASE THOMAS JR & NANCY M SPRINGER	5 WESTVIEW RD WINDHAM, ME 04062	29 LESTER DR	1
	DUDLEY KEITH M & MICHELE B DUDLEY JTS	16 TAYLOR LN GRAY , ME 04039	25 BALLPARK DR	1
	HAVERTY MARY MARGARET I	67 HAVERTYS WAY PORTLAND, ME 04103	0 WASHINGTON AVE	0
	JIMINO MICHAEL R & MARY ANN JIMINO TRUSTEE	1407 RIVERSIDE ST PORTLAND , ME 04103	20 BALLPARK DR	0
	ORLANDO ANTHONY & SUZANNE ORLANDO JTS	PO BOX 11606 PORTLAND , ME 04104	28 BALLPARK DR	1

Gayle Guertin - 20 Ballpark Dr. Notices

From: Gayle Guertin
To: Ann Machado; Marge Schmuckal
Date: 5/10/2012 3:10 PM
Subject: 20 Ballpark Dr. Notices
CC: Gayle Guertin

Sent out abutters notices for 20 Ballpark Dr. as of 5-10-12

Thanks Gayle

SECTION 08600
POLYVINYL CHLORIDE (PVC) WINDOWS
Paradigm Window Solutions
8311 Standard Double Hung Window

PART 1 – GENERAL

1.1 **APPLICABLE PUBLICATIONS:** The publications listed below form a part of this specification to the extent referenced. The publications are referred to in text by basic designation only.

1.1.1 **Federal Specifications (Fed. Spec.):**

L-S-125B Screening, Non-metallic, Insect
 DD-G-45-1D Glass, Float or Plate, Sheet

1.1.2 **American Architectural Manufacturers Association (AAMA):**

AAMA 101 I.S.2-97 Voluntary Specification for Aluminum, PVC, and Wood Windows and Glass Doors

Test method for rate of Air Leakage through Exterior windows, Curtain walls and doors (ASTM E283)

Test method for Structural Performance of Exterior Windows, Curtain walls and doors (ASTM E330)

Test method for Water Penetration of Exterior windows, Curtain walls and doors by Uniform Static Air Pressure Difference (ASTM E547)

Specifications for Sealed Insulating Glass Units (ASTM E774)

AAMA 1503-98 Voluntary test method for Condensation Resistance of Windows, Doors, and Glazed wall sections

AAMA 615-02 Voluntary Specification, Performance Requirements, and Test Procedures for Superior Performing Organic Coatings on Plastic Profiles

NFRC 100-97 Procedure for Determining Fenestration Product U-factors

NFRC 200-97 Procedure for Determining Fenestration Product Solar Heat Gain Coefficients

NFRC 400-01 Procedure for Determining Fenestration Product Air Leakage

1.1.3 **AAMA Certification Program for Vinyl Window Manufacturers**

1.2 **SUBMITTALS:** Submit to Contracting Officer for Approval.

1.2.1 **Certified Test Reports:** Submit for air infiltration, water resistance, and uniform loading in accordance with the above referenced specification.

1.2.2 **Catalog Data:** Shall describe each type of window, hardware, fastener, accessory, operator, screen, and finish. (as applicable)

1.2.3 **Certification of Compliance:** Submit certificates that equivalent windows have been successfully tested and meet the requirements specified herein for air infiltration and water penetration.

1.3 **DELIVERY AND STORAGE:** Deliver windows to project site in an undamaged condition. Use care in handling and hoisting during transportation and at the job site. Store windows and components out of contact with the ground, under cover, protected from the weather, so as to prevent damage to the windows. Damaged windows shall be repaired to an "as new" condition or replaced as approved.

1.4 **PROTECTION:** Finished surfaces shall be protected during shipping and handling using manufacturers standard method.

PART 2 – PRODUCTS

- 2.1 MANUFACTURER: Paradigm Standard Double Hung Window as manufactured by **Paradigm Window Solutions**, 400 Riverside Industrial Parkway, Portland, ME 04103
- 2.2 MATERIALS: Windows shall conform to the requirements of specifications listed above. Provide windows of combinations, types and sizes indicated or specified.
- 2.2.1 Extruded PVC components produced from commercial quality virgin PVC (unplasticised polyvinyl chloride), conforms to AAMA 303 from sections in one piece, straight, true and smooth. Provide multi-chambered PVC extruded frames and sash in accordance with the manufacturers standard practice. Make fusion welded frame joints strong enough to develop full strength of members, with an external wall thickness of .070". Head and jamb members shall have integral screen stops. Make interior horizontal top surfaces of both meeting rails flat and in the same plane. Meeting rails have an integral interlock with two lines of pite weatherstrip provided. Upper and lower sash shall have the same glass size. Sash shall have fusion welded mitered corners with an external wall thickness of .070".
- 2.2.2 Balance Mechanism (DH): Provide two 1/2" stainless steel, constant force coil spring balances for each sash. Enclose balance springs in rustproof cases, with jamb liner covers, from the top of the bottom sash to the head of the window unit. Balance covers shall be finished to match window frame finish and easily removable for field service. Balances shall also have an interlocking pivot bar, for integral frame alignment with sash for keeping window frames straight and true during installation.
- 2.2.3 Locking Device (DH): Provide each window over 32 inches in width with two cam-action sweep sash Locks, and windows under 30" in width with one lock. The lower sash shall have one continuous, integral lift rail at the bottom of the sash. The upper sash shall have a continuous, integral pull-down member on the sash top rail. Provide two tilt latches in the top of each sash for tilting in sash for clearing. The tilt latches shall be integrally mortised into the sash top rails for a clean appearance.
- 2.2.4 Glass and Glazing: Glass shall conform to DD-G-451 and not less than "B" quality. Factory glazed 3/4" insulating glass conforming to ASTM-E-774, with Truseal Duraseal seal spacer, manufactured by TruSeal Industries Inc., Cleveland, OH. Glazing shall be integral glazing type system with architectural back bedded glazing tape and designed to maintain a watertight seal between glass and sash frame. Non-standard glass options will have metal box-type spacer with dual seal system.
- 2.2.5 Factory-applied exterior paint finish to be Royal Spectra-Coat™ as manufactured by Royal Bond Co., Ontario, Canada. Finish may be provided in 24 standard colors, satin finish only, on exterior surfaces as determined by the factory. Finish shall meet the performance requirements specified by AAMA 615-02. *NOTE TO SPECIFIER: Remove this section if not applicable.*
- 2.2.6 Weather-stripping: All sash units shall be triple weather-stripped where the sash meet the jamb using silicone treated pile with a mylar center fin bonded to backing.
- 2.2.7 Insect Screening: Fed. Spec. L-S-125, Type II, Class 2 (plastic coated or impregnated fibrous glass yarn) of standard color as approved, mesh 18 X 16.
- 2.3 FABRICATION
- 2.3.1 Weathering Surfaces: All frame members shall be multi-chambered PVC extrusions utilizing double wall design without the need for reinforcement. Frame corners shall be fusion welded. Sash members shall be multi-chambered PVC extrusions utilizing double wall design at all glazing locations. Horizontal sash members shall be mitered and fusion welded to vertical sash members.
- 2.3.2 Drips and Weep Holes: Provided as required to return water to the outside.
- 2.3.3 Glazing Thickness: Design glazed windows and rabbets suitable for glass thickness specified above.
- 2.3.4 Fasteners: All fasteners are to be stainless steel type, corrosion resistance. Use flathead, cross-recessed type, exposed head screws with standard threads on windows, trim, and accessories. Screw heads shall finish flush with adjoining surfaces. Self-tapping sheet metal screws are not acceptable for material more than 1/16 inch in thickness. All sheetmetal screw fasteners shall penetrate into a screw boss consisting of at least three layers of PVC profile for secure fastening and reduce pull out.

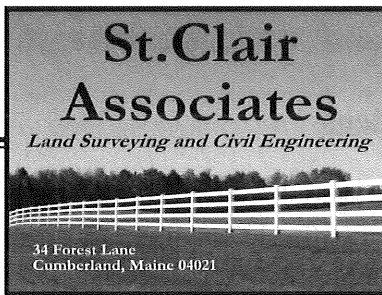
- 2.3.15 Screens: Provide one insect screen for each operable ventilating unit. Design screens to fit closely around entire perimeter of each ventilator or opening, to be rewirable, easily removable from inside building, and interchangeable for same size ventilators of similar type windows, with no exposed fasteners and latches. Provide all guides, stops, clips, bolts and screws as necessary, for a secure and insect tight attachment to window. Provide continuous extruded aluminum screen frame for screen strength.
- 2.3.15.1 Screen Frames: Provide same quality and color finish as the window units. Frames shall have extruded sections not less than .4375" by 1.25" by 0.050" thick and shall have removable vinyl splines. Hardware, attachment devices, and accessories shall be manufacturer's standard and of same quality, material and finish as hardware of window unit. Painted windows to have full screens only.
- 2.3.15.2 Screening: Install screening with weave parallel to frame and stretch sufficiently to present a smooth appearance. Conceal edges of screening in the spline channel.
- 2.3.15.3 Screen Finish: Exposed surfaces of aluminum extrusions shall be thoroughly cleaned, primed and given a finish in accordance with AAMA 603.8 with total dry thickness not less than 0.8mil. The finish color shall match the vinyl window.

PART 3 – EXECUTION

3.1 INSTALLATION

- 3.1.1 Method of Installation: Install in strict accordance with the window manufacturer's printed instructions and details, except as specified otherwise herein. Install windows without forcing into prepared window openings. Insulate perimeter of window frame with acceptable approved insulation material, as recommended by window manufacturer. Set windows at proper elevation, location, and reveal; plumb, square, level, and in alignment; and brace, strut, and stay properly to prevent distortion and misalignment. Protect ventilators and operating parts against accumulation of dirt, and building materials by keeping ventilators tightly closed and locked to frame. Bed screws in joints at mullions, contacts of windows with sills, built in fins, and sub-frames in approved sealant. Install windows in a manner that will prevent entrance of water. For replacement window installations, provide sill angle flashed in sealant at windowsills.
- 3.1.2 Anchors and Fasteners: Make ample provision for securing units to each other, and to adjoining construction.
- 3.1.3 Adjustments after Installation: After installation of windows adjust all ventilators and hardware to operate smoothly and to provide weathertight sealing when ventilators are closed and locked. Lubricate hardware and operating parts as necessary.
- 3.1.4 Protection: Where surfaces are in contact with, or fastened to wood, or dissimilar materials, the surface shall be protected from dissimilar materials as recommended by the manufacturer. Surfaces in contact with sealant after installation shall not be coated with any type of protective material.
- 3.2 CLEANING: Clean interior and exterior of window units of mortar, plaster, paint spattering spots, sealants, and other foreign matter to present a neat clean appearance and to prevent fouling of weather-stripping surfaces and weather-stripping, exterior finish, and to prevent interference with the operation of hardware. Replace with new windows all stained, discolored, or abraded windows that can not be restored to their original condition.

END OF SECTION



12005

April 10, 2012

Philip DiPierro, Development Review Coordinator/Site Inspector
Planning and Urban Development Department
Planning Division, 4th Floor
Portland City Hall
389 Congress Street
Portland, ME 04101

RECEIVED

MAY 1 2012

Dept. of Building Inspections
City of Portland Maine

Proposed Residence

20 Ballpark Drive (Portland Assessor's Map 371 Block A Lot 31)

Request for Level 1-Minor Residential Site Plan Review

Dear Phil,

On behalf of Risbara Bros. Construction Co. Inc., we have prepared this project description and supporting site plans to assist in your review of the proposed construction of a new residence at 20 Ballpark Drive. The proposed residence will include a two story home with attached garage as detailed in the attached floor plans and architectural elevations. The applicants have the parcel under option and will be constructing the site improvements for a customer who will purchase the home once it is completed. This narrative describes the site and proposed improvements and how they comply with the Level 1 Minor Residential Permit requirements.

Existing Site Features

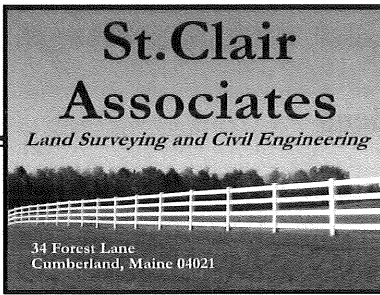
In 2004, the Portland Planning Board approved Ballpark Drive Subdivision which included 16 residential lots, a private ball field and conservation land. Lot #1 is located on the northerly side of Ballpark Drive. According to the recorded plan, this lot is approximately 1.05 acres (45,893 sf) in size. The site has frontage along Ballpark Drive. The constructed sidewalk crosses the entire property frontage. Utility stubs for public water, sewer and underground power, cable and telephone were provided to this lot as part of the design for Ballpark Drive Subdivision.

In addition, Sheet 7 of 10 identified a typical lot grading detail based on the property's location within the subdivision. For Lot 1, the detail directed all lot drainage to the rear (northerly) side of the lot. Protective front, side and rear slopes adjacent to the home are included to divert runoff away from the residence and to the receiving areas on the northerly end of the site. Our proposed grading design reflects this approach.

Erosion and Sedimentation Control

In accordance with Section 6 of the Portland Technical Manual for Erosion and Sediment Control Standards for Single Family and Two-Family Homes, the contractor shall be required to conform to the applicable standards outlined in Portland's Chapter 500 sections under Section 5 of the Technical Manual as described below (provisions for erosion and sedimentation control to protect the site both during and after construction are also identified on the plans):

- Appendix A - Pollution Prevention, Sediment Barriers, Temporary and Permanent Stabilization and Stormwater Channels. The plan set includes notes and details for these elements associated with the construction of the proposed new home and associated site improvements. Given the fact that the sitework is limited to that which is necessary and associated with the construction of a single-family residence, no new roads, culverts, or parking areas are proposed. No winter construction is proposed.
- Appendix B1 (a and b) - During construction, the contractor shall inspect the disturbed areas on the site for any potential areas of erosion and shall install corrective measures as needed. The proposed elements of the Erosion and Sediment Control Plan shall be maintained throughout the duration of construction and until the site is stabilized.
- Appendix C - Housekeeping Methods- Risbara Bros. Construction Co. Inc. is an established local contractor and residential developer familiar with the area and typical urban residential settings, along with the general housekeeping performance standards for Erosion and Sediment Control on construction sites. They are well experienced in the appropriate measures to protect the site and its surrounding environs. Given the fact that this project includes the construction of a single family residence and its associated improvements, it is anticipated that the amount of time associated with potential soil exposure will be also be limited. General housekeeping methods are noted on the plans.



12005

April 10, 2012

Philip DiPierro, Development Review Coordinator/Site Inspector
Planning and Urban Development Department
Planning Division, 4th Floor
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389 Congress Street
Portland, ME 04101

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Street Trees

In accordance with the subdivision approval conditions for this lot, we would like to coordinate with the city arborist regarding the location and type of street trees (two are required for each lot). We would like to arrange a meeting on site with you and the city arborist to review the site frontage to determine whether there are two existing trees along the site frontage that could be saved in order to meet this condition.

Written Summary of Fire Safety

There is an existing public fire hydrant on Ballpark Drive. The property is supplied with public water via the Portland Water District. The proposed driveway to the residence meets the applicable standards for driveway width as outlined in the Ordinance. In addition, in accordance with the City code requirements, the new home will include a residential sprinkler system for fire protection.

Closure

We would appreciate your review of the enclosed Level 1: Minor Residential Site Plan. Thank you for your assistance in this process, we look forward to the opportunity to discuss this matter further with you as you review these materials. Should you have any additional questions or require any additional information, please call me.

Sincerely,

ST.CLAIR ASSOCIATES



Nancy J. St.Clair, P.E.

Vice President

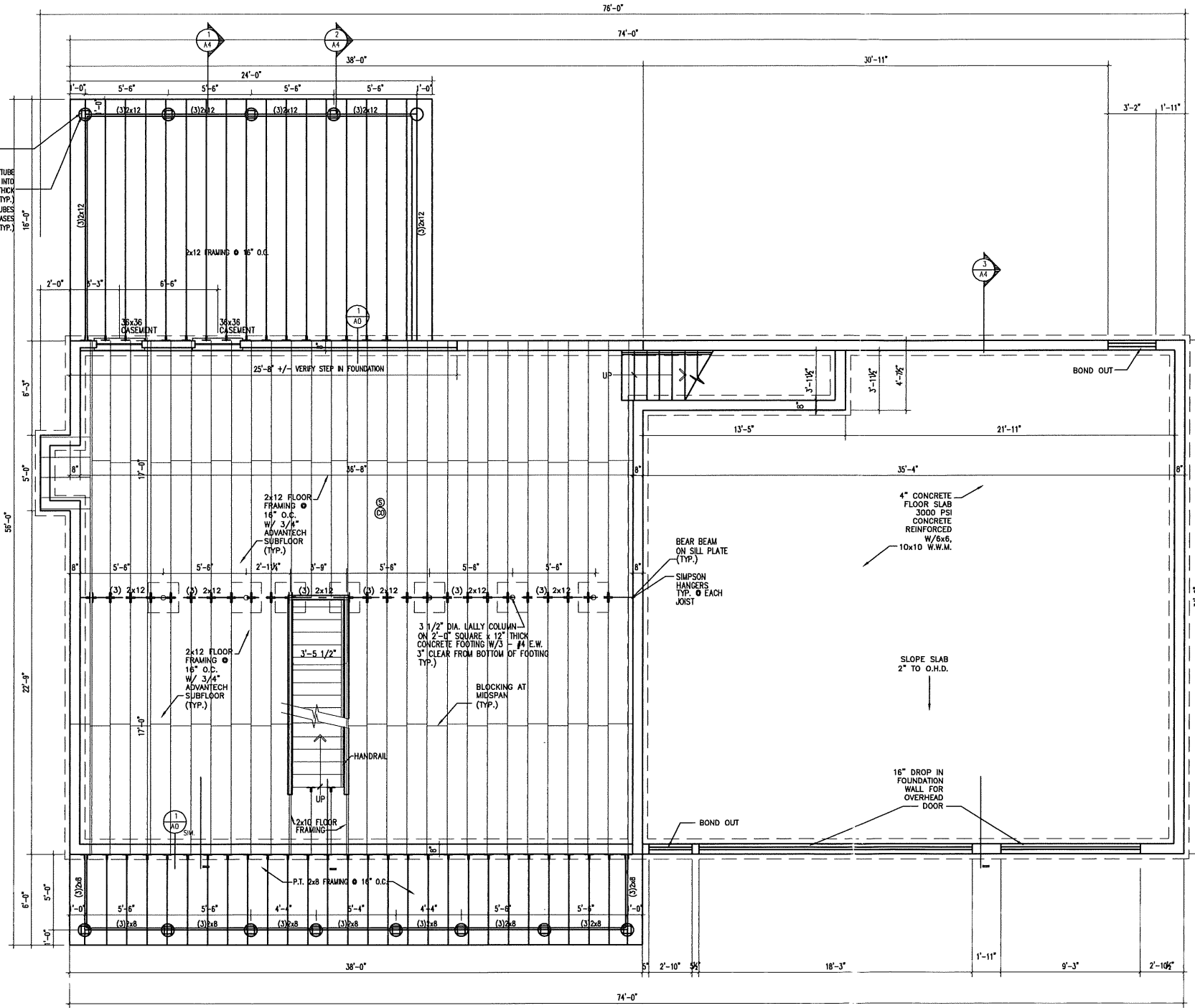
NJS:njs

C: Risbara Bros. Construction Co. Inc.

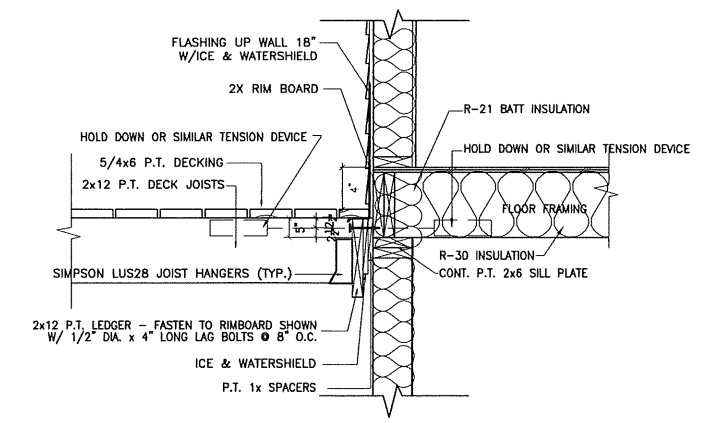
6x6 P.T. POST W/SIMPSON
DECK POST CONNECTORS

10" DIA. CONC. FILLED SONOTUBE
W/1-#4 AT CENTER HOOKED INTO
BOTTOM OF 1'-5" SQ. x 10" THICK
CONCRETE FOOTING (TYP.)

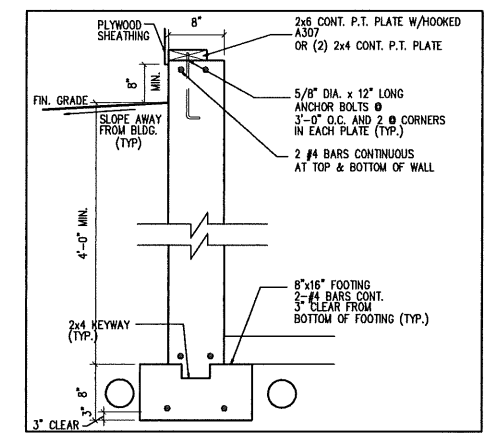
ANCHOR BEAMS TO CONC. SONOTUBES
W/ SIMPSON ANCHOR POST BASES
SHIMMED TIGHT (TYP.)



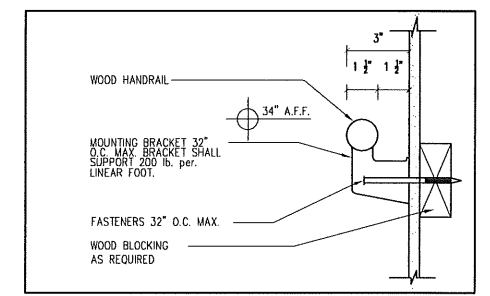
FOUNDATION PLAN
SCALE: 1/4"=1'-0"



1 DECK / JOIST CONNECTION DETAIL
SCALE: 1"=1'-0"



TYPICAL FOUNDATION WALL
SCALE: 1"=1'-0"



HANDRAIL DETAIL
NTS

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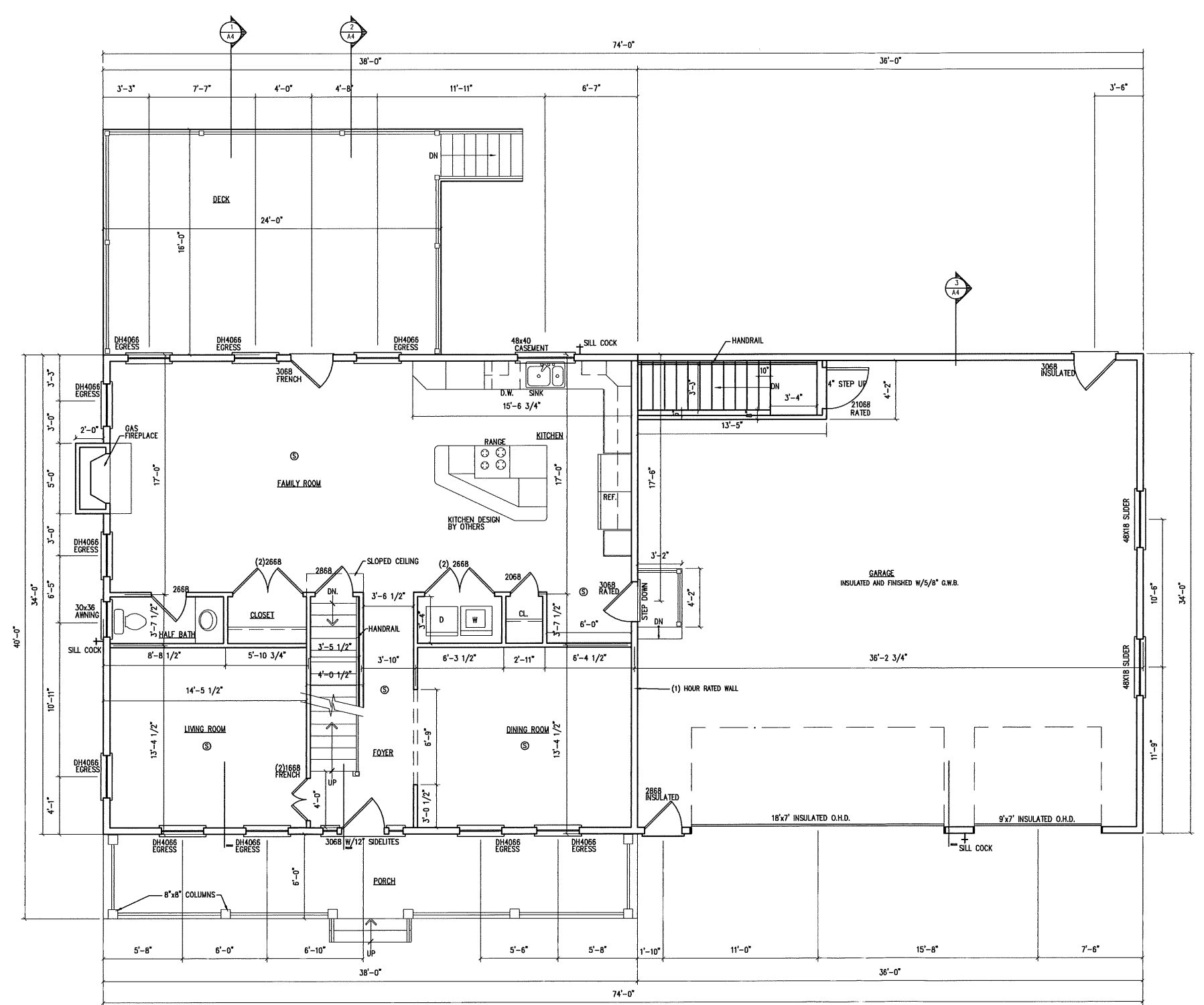
Dept. of Building Inspections
City of Portland Maine

HOLDEN RESIDENCE
PORTLAND, MAINE

DRAWINGS THIS SHEET
BASEMENT /FRAMING PLAN
DETAILS

AO

04/03/12



GENERAL NOTES:

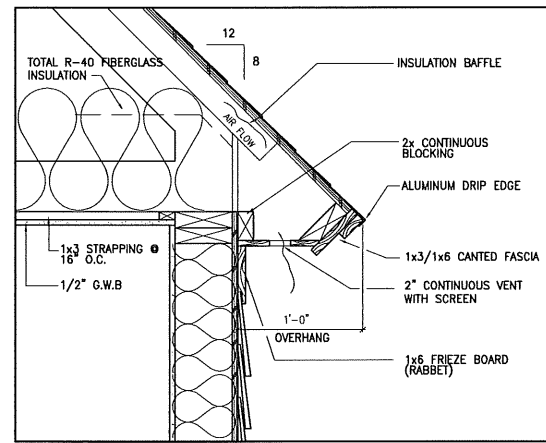
1. All work shall be in accordance with IRC 2009, IBC Basic Building Code 2009, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act (ADA) and all local, State and Federal requirements.
2. All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
3. All required City and State permits must be obtained before any construction begins.
4. It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeling, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
5. Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
6. All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire sealing material.
7. Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
8. Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101. Local authority having jurisdiction needs to provide written requirements.
9. Balconies must maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
10. HVAC installation to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-211, NFPA-31, NFPA-54 and NFPA-70 as applicable.

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

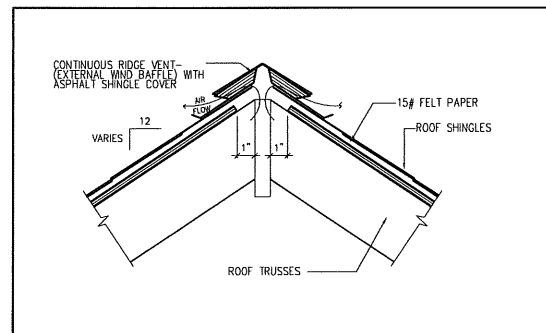
NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

FIRST FLOOR PLAN
 1,313 S.F.
 1,224 S.F.-GARAGE
 SCALE: 1/4"=1'-0"

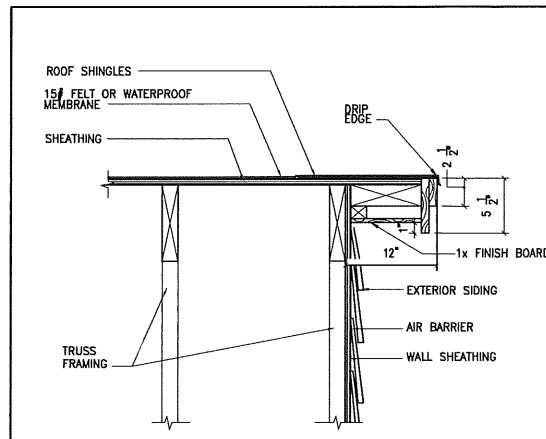
HOLDEN RESIDENCE	
PORTLAND, MAINE	
DRAWINGS THIS SHEET	
FIRST FLOOR PLAN	
GENERAL NOTES	
	A1
04/03/12	



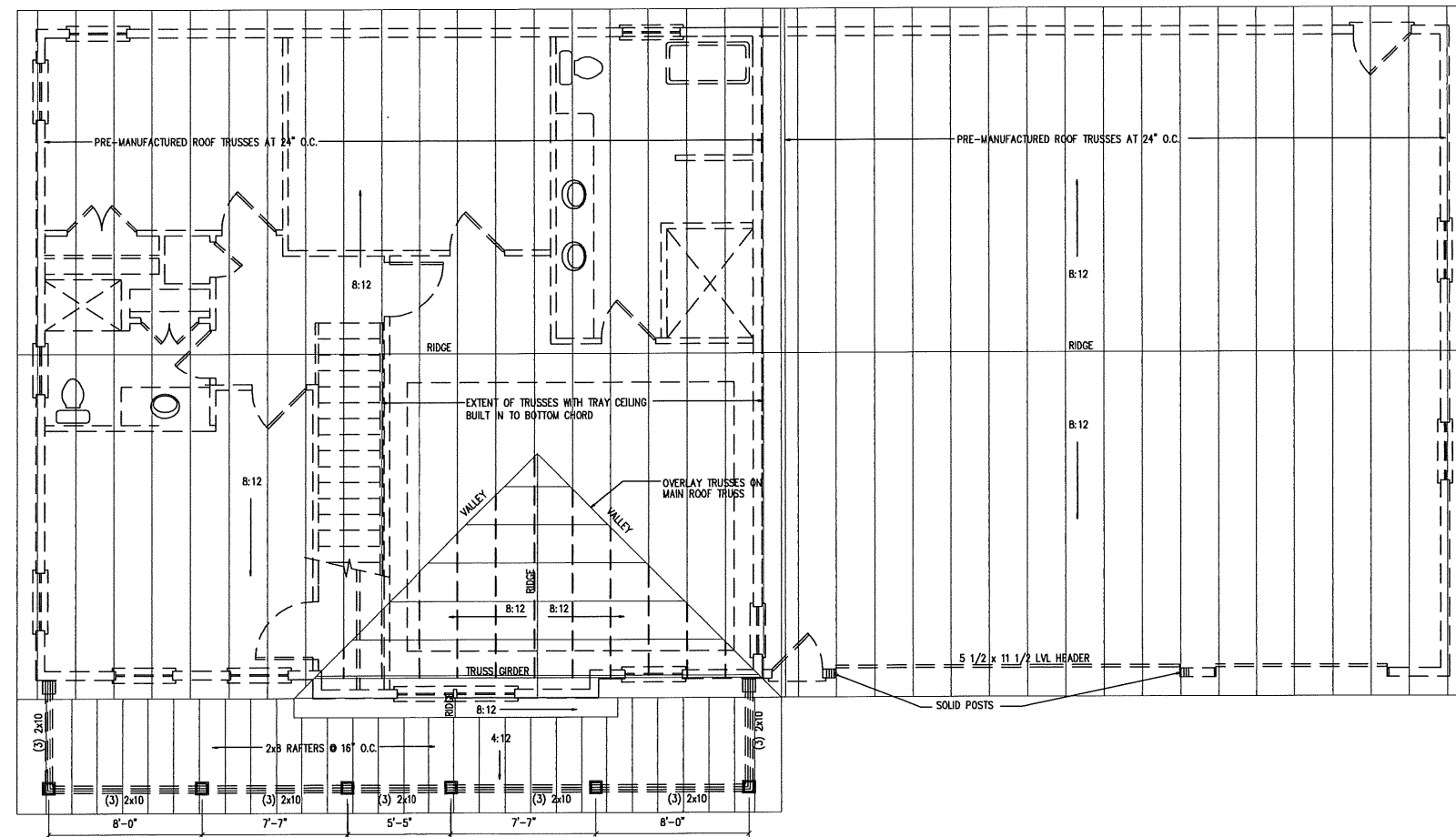
1 EAVE DETAIL SCALE: 1 1/2"=1'-0"



2 RIDGE VENT DETAIL SCALE: 1 1/2"=1'-0"



3 RAKE DETAIL SCALE: 1 1/2"=1'-0"



ROOF FRAMING PLAN SCALE: 1/4"=1'-0"

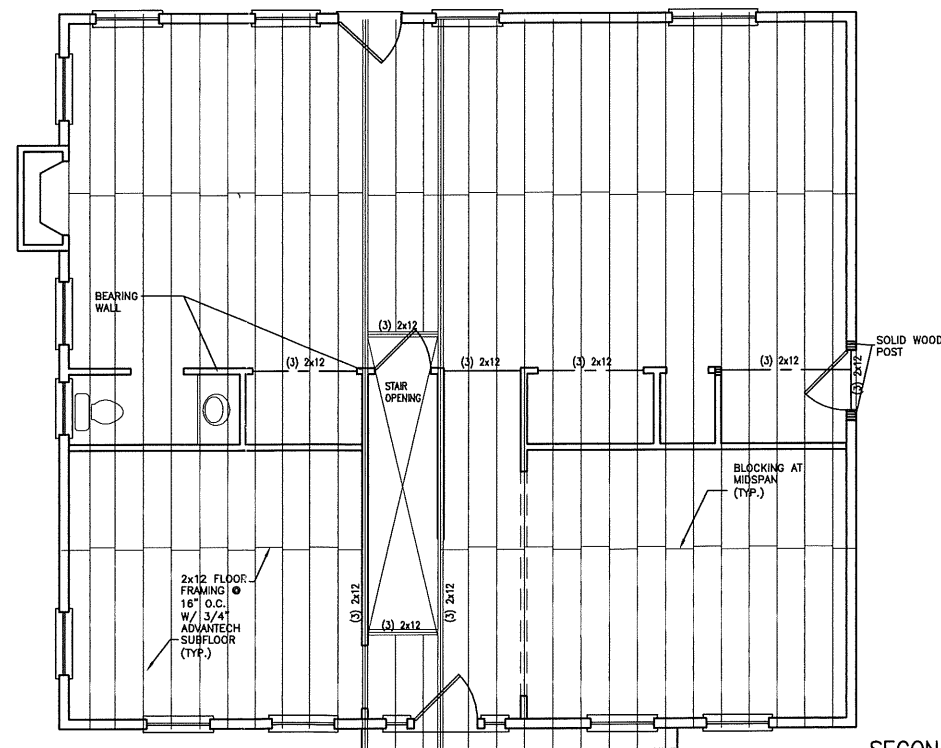
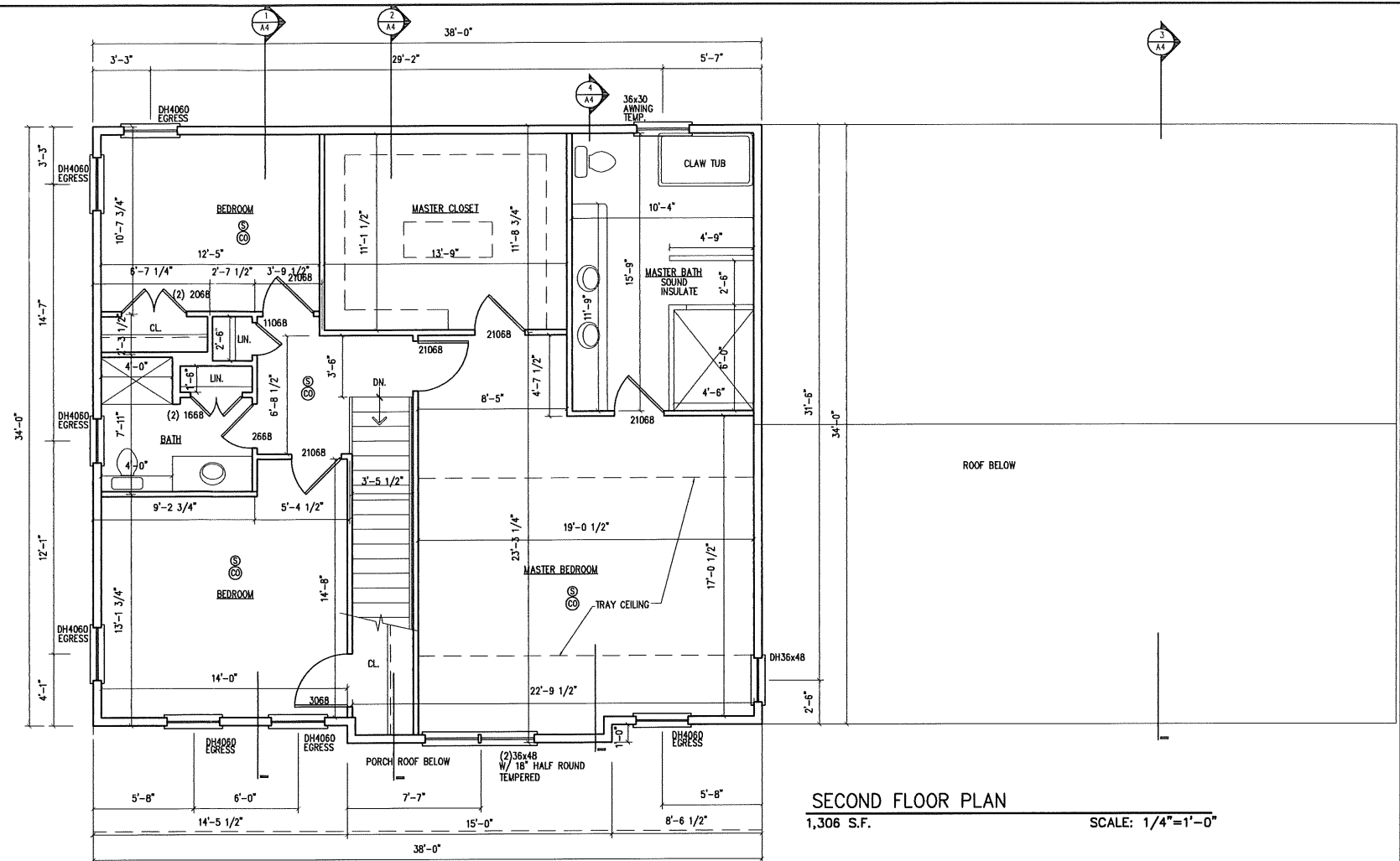
HOLDEN RESIDENCE
PORTLAND, MAINE

DRAWINGS THIS SHEET
ROOF FRAMING PLAN
DETAILS

04/03/12

A2-A

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
COMPONENT	SUBMITTED PLAN	FINDINGS/REVISIONS/DATES
STRUCTURAL		
FOOTING DIMENSIONS/DEPTH	8"x16" FOOTING, 8" THICK WALL, 4" CONC. SLAB	
FOUNDATION DRAINAGE, FABRIC, DAMP PROOFING	ASPHALT TAR,PIPE/DRAIN FILTER FABRIC OVER THE DRAIN	
VENTILATION/ACCESS CRAWL SPACE ONLY	N/A	
ANCHOR BOLTS/STRAPS, SPACING	5/8" DIA. x 12" LONG HOOKED A307, 3'-0" O.C. & CORNERS	
LALLY COLUMN TYPE, GIRDER & HEADER SPANS	3 1/2" DIA. LALLY COLUMN ON 24"x24" FOOTING 12" THICK MAX SPAN 5'-6"	
BUILT-UP WOOD CENTER GIRDER DIMENSIONS/TYPE	(3) 2x12 W/JOIST HANGERS	
SILL/BAND JOIST TYPE & DIMENSIONS	2x8 PRESSURE TREATED, 2x12 RM	
FIRST FLOOR JOIST SPECIES DIMENSIONS AND SPACING	2x12 @ 16" O.C.	
SECOND FLOOR JOIST SPECIES DIMENSIONS AND SPACING	2x12 @ 16" O.C.	
ATTIC OR ADDITIONAL FLOOR JOISTS DIMENSIONS AND SPACING	ROOF TRUSSES @ 24" O.C. W/2x4 BOTTOM AND TOP CHORD	
PITCH, SPAN, SPACING & DIMENSION, ROOF RAFTER: FRAMING & CONNECTIONS	8:12 ROOF TRUSSES @ 24" O.C. SPANNING 34'-0" W/HURRICANE CLIP TIES DOWNS	
SHEATHING: FLOOR, WALL AND ROOF	3/4" ADVANTECH FLOOR SHEATHING, 7/16" APA RATED WALL SHEATHING, 5/8" APA RATED ROOF SHEATHING	
FASTENER SCHEDULE	PER CODE	
PRIVATE GARAGE		
LIVING SPACE? FIRE SEPARATION	NO LIVING SPACE, (1) HR. FIRE SEPARATION 5/8" TYPE 'X' G.W.B.	
OPENING PROTECTION	3068 FIRE RATED DOOR	
EMERGENCY ESCAPE AND RESCUE OPENINGS	4066 EGRESS WINDOWS	
ROOF COVERING	40 YEAR ASPHALT SHINGLES	
SAFETY GLAZING	N/A	
ATTIC ACCESS	N/A	
CHIMNEY CLEARANCES/FIRE BLOCKING	N/A	
HEADER SCHEDULE	REFER TO HEADER SCHEDULE SHEET A1	
ENERGY EFFICIENT R-FACTORS OF WALLS, FLOORS, CEILINGS, BUILDING ENVELOPE, U-FACTOR FENESTRATION	WALLS: R-21 CEILING: R-49 FLOOR: R-21 WINDOWS: U-FACTOR .35	
TYPE OF HEATING SYSTEM	REFER TO GENERAL NOTES	
MEANS OF EGRESS		
BASEMENT	YES - GARAGE ACCESS	
NUMBER OF STAIRWAYS	5	
INTERIOR	3	
EXTERIOR	2	
TREADS AND RISERS	7" RISE 10" TREAD; 7 1/2" RISE	
WIDTH	3'-3" CLEAR	
HEADROOM	7'-0" CLEAR +/-, 6'-8" CLEAR IN BASEMENT	
GUARDRAILS & HANDRAILS	34" WITH RETURNS	
SMOKE DETECTORS LOCATION AND TYPE/INTERCONNECTED	REFER TO GENERAL NOTES A1	
DWELLING UNIT SEPARATION	N/A	
DECK CONSTRUCTION	2x8 AND 2x12 @ 16" O.C. W/(3) 2x8 AND (3) 2x12 BEAMS REFER TO DECK/JOIST CONNECTION DETAIL AD	

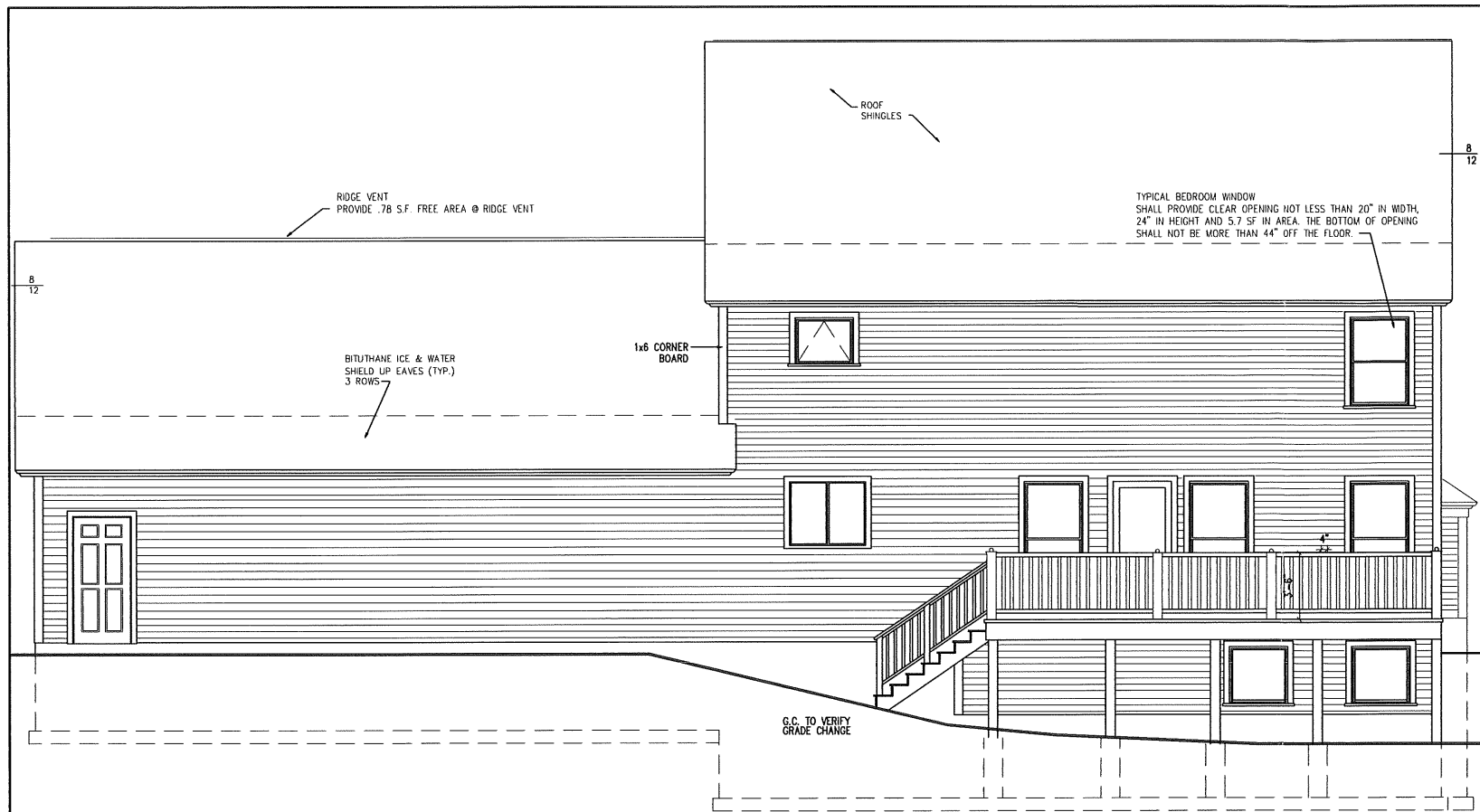


HOLDEN RESIDENCE
PORTLAND, MAINE

DRAWINGS THIS SHEET
SECOND FLOOR PLAN
SECOND FLOOR FRAMING PLAN
CHECKLIST

04/03/12

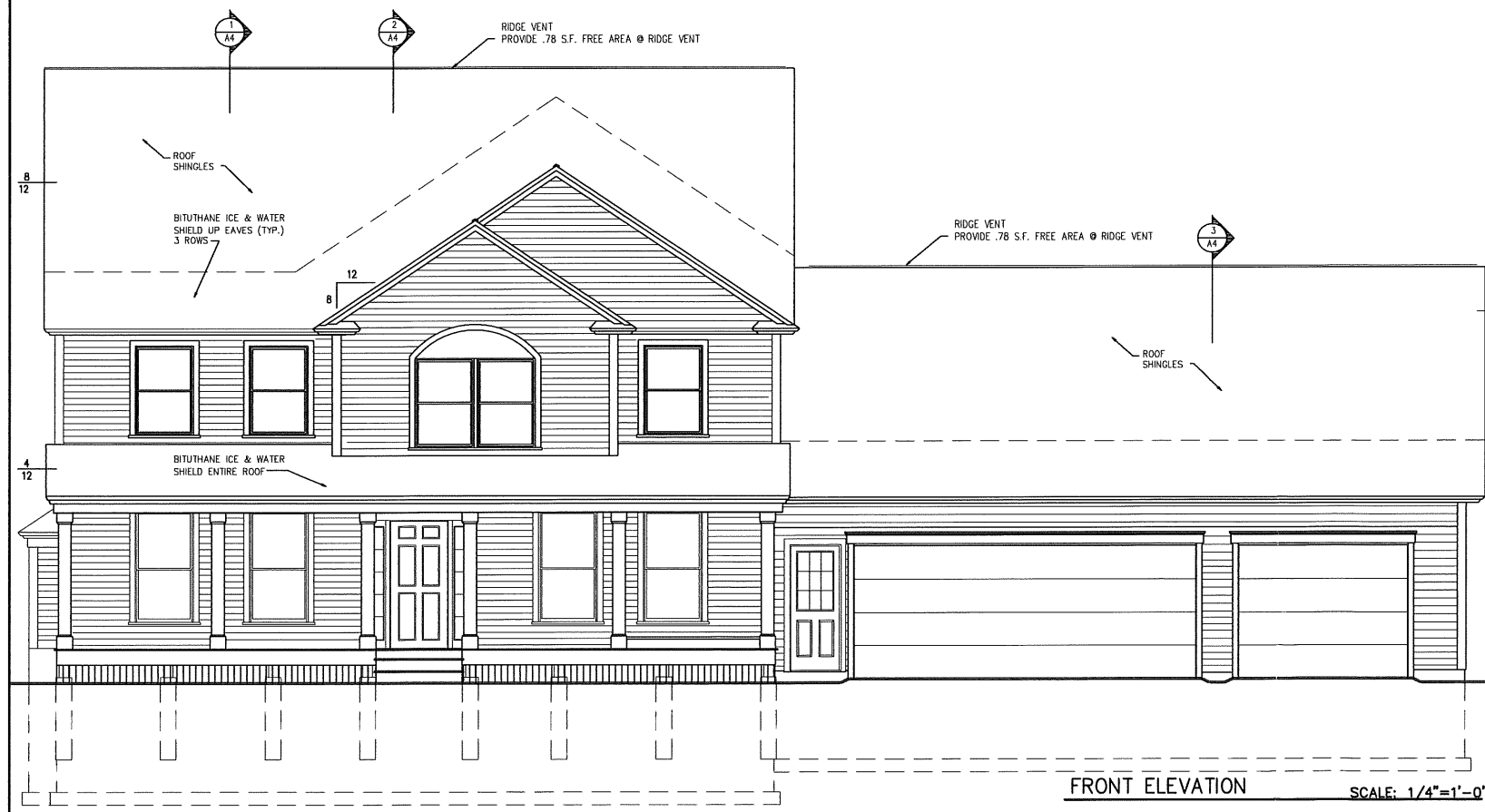
A2



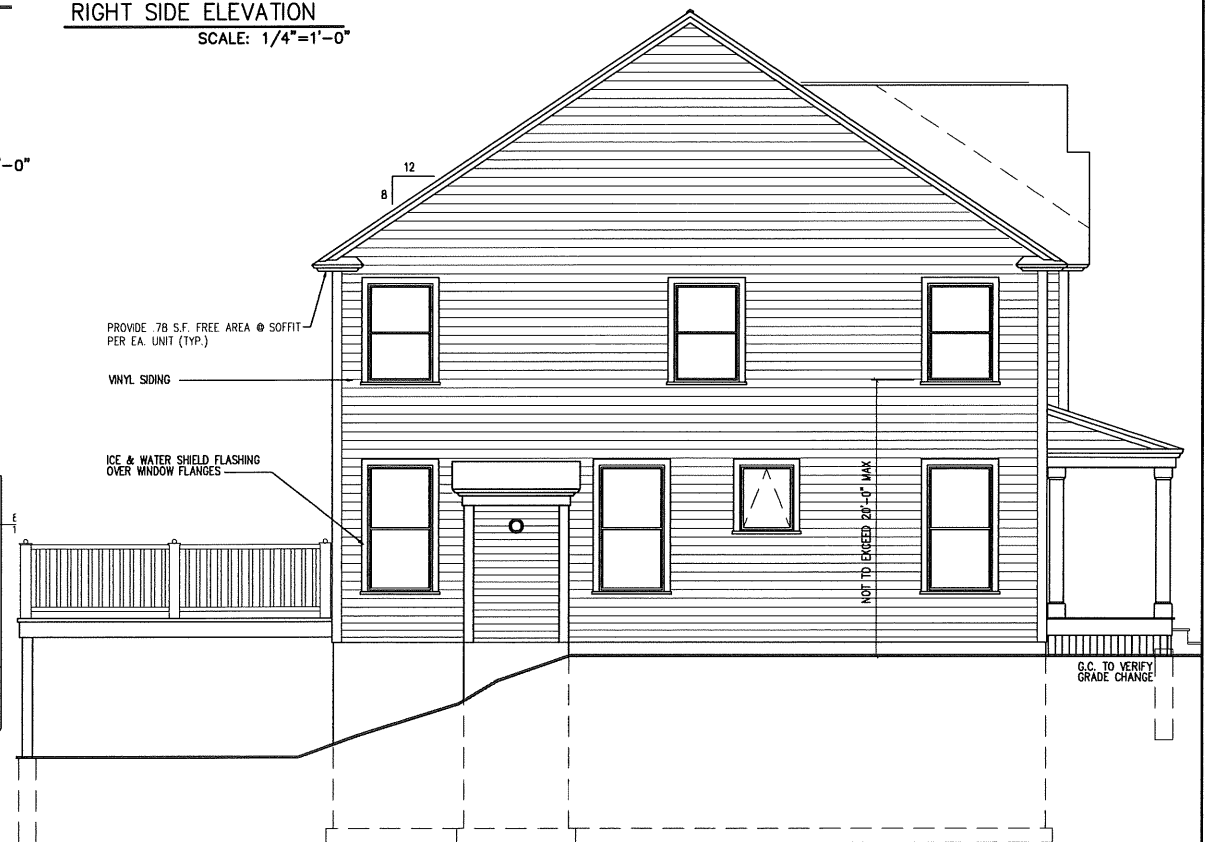
REAR ELEVATION
SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

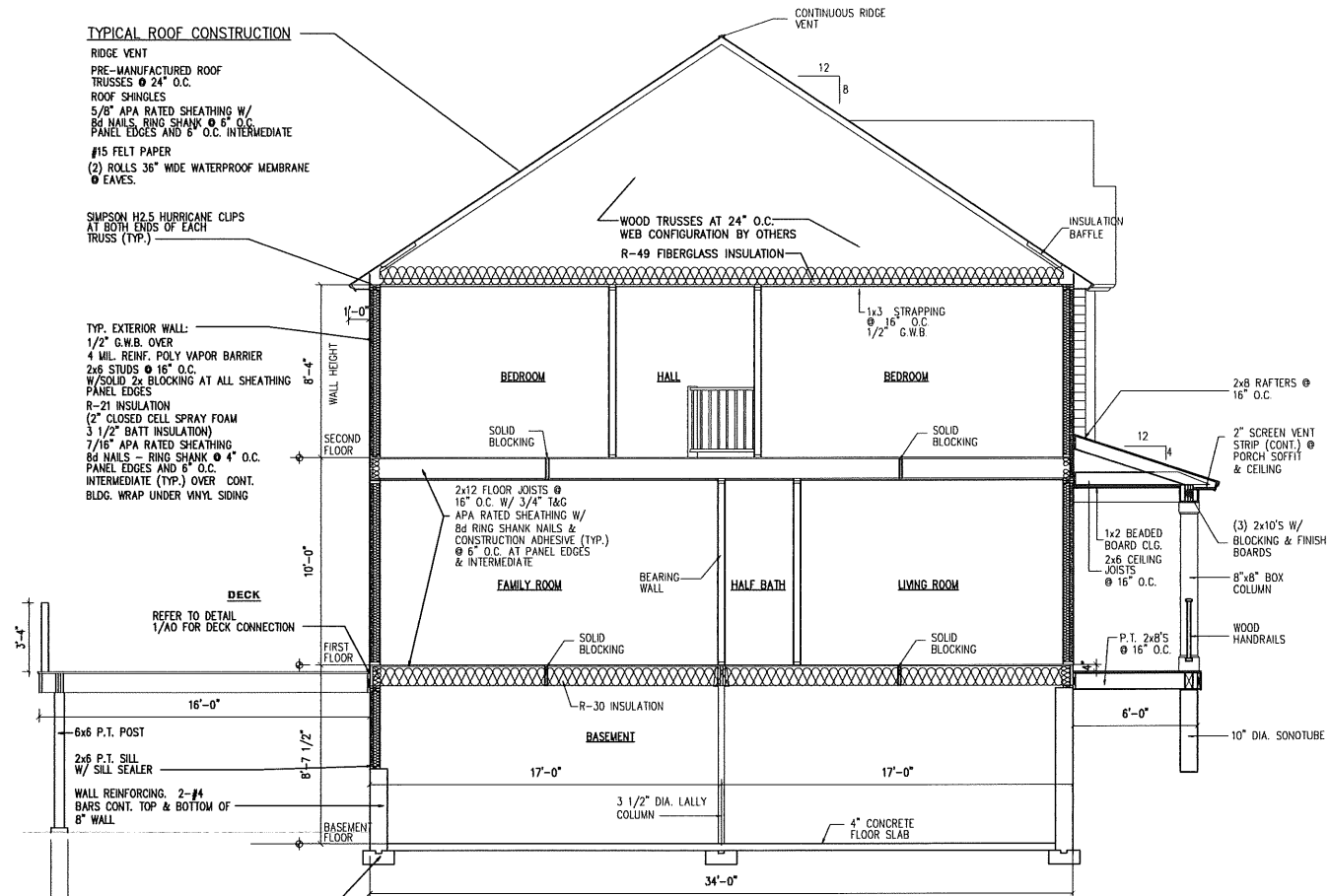
HOLDEN RESIDENCE PORTLAND, MAINE	
DRAWINGS THIS SHEET ELEVATIONS	
04/03/12	A3

TYPICAL ROOF CONSTRUCTION

RIDGE VENT
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
 ROOF SHINGLES
 5/8" APA RATED SHEATHING W/ 8d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE
 #15 FELT PAPER
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES.

SIMPSON H2.5 HURRICANE CLIPS AT BOTH ENDS OF EACH TRUSS (TYP.)

TYP. EXTERIOR WALL:
 1/2" G.W.B. OVER
 4 MIL. REIN. POLY VAPOR BARRIER
 2x6 STUDS @ 16" O.C.
 W/SOLID 2x6 BLOCKING AT ALL SHEATHING PANEL EDGES
 R-21 INSULATION
 (2" CLOSED CELL SPRAY FOAM
 3 1/2" BATT INSULATION)
 7/16" APA RATED SHEATHING
 8d NAILS - RING SHANK @ 4" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE (TYP.) OVER CONT. BLDG. WRAP UNDER VINYL SIDING



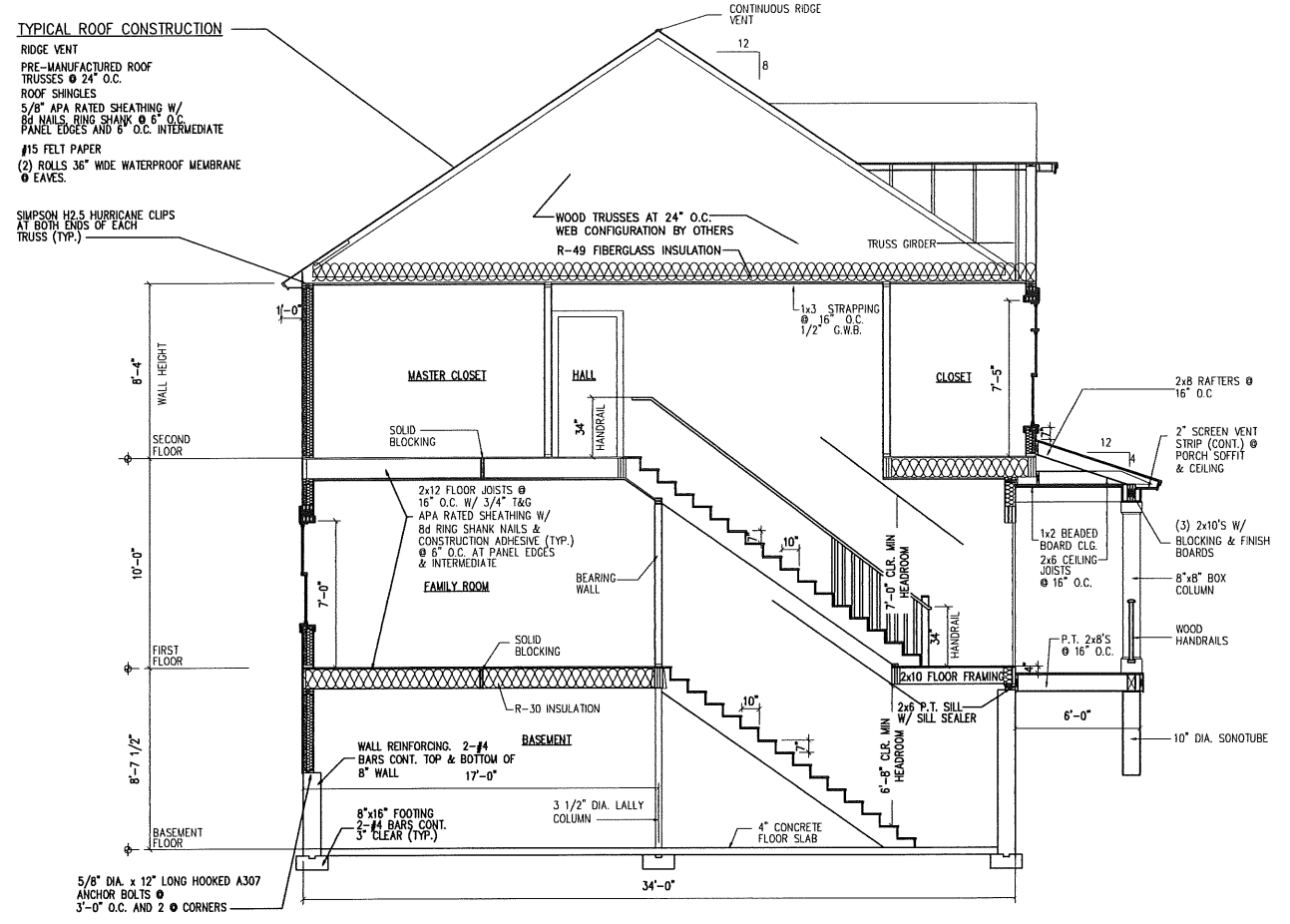
1 SECTION THRU HOUSE

SCALE : 1/4" = 1' - 0"

TYPICAL ROOF CONSTRUCTION

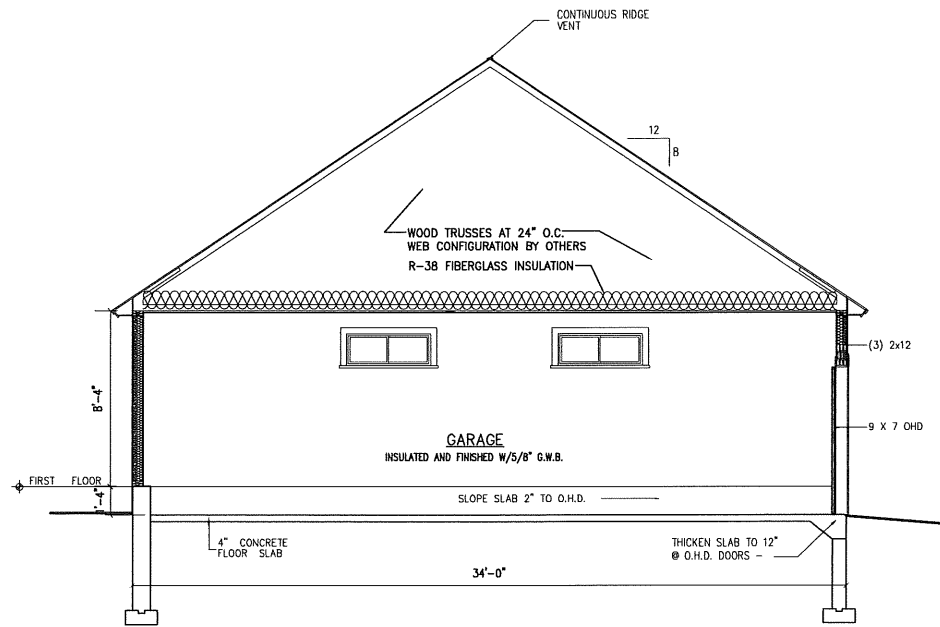
RIDGE VENT
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
 ROOF SHINGLES
 5/8" APA RATED SHEATHING W/ 8d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE
 #15 FELT PAPER
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES.

SIMPSON H2.5 HURRICANE CLIPS AT BOTH ENDS OF EACH TRUSS (TYP.)



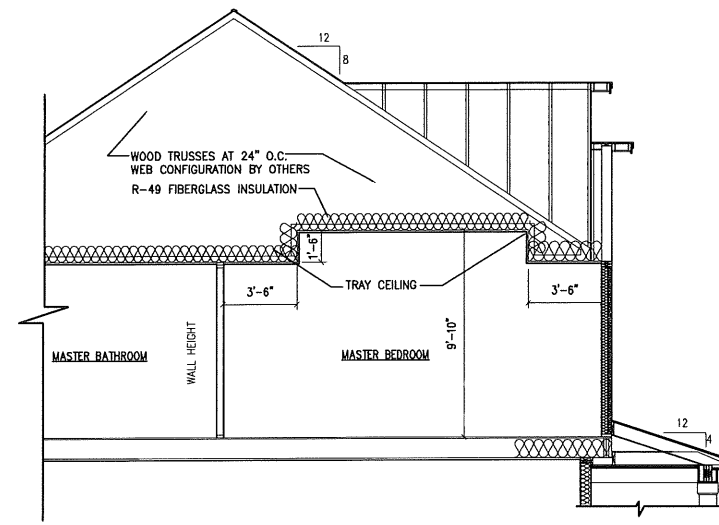
2 SECTION THRU STAIR

SCALE : 1/4" = 1' - 0"



3 SECTION THRU GARAGE

SCALE : 1/4" = 1' - 0"



4 PARTIAL SECTION @ M. BEDROOM

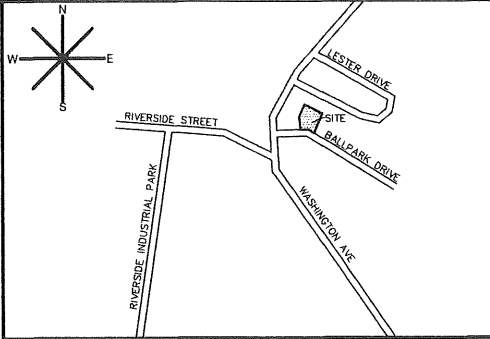
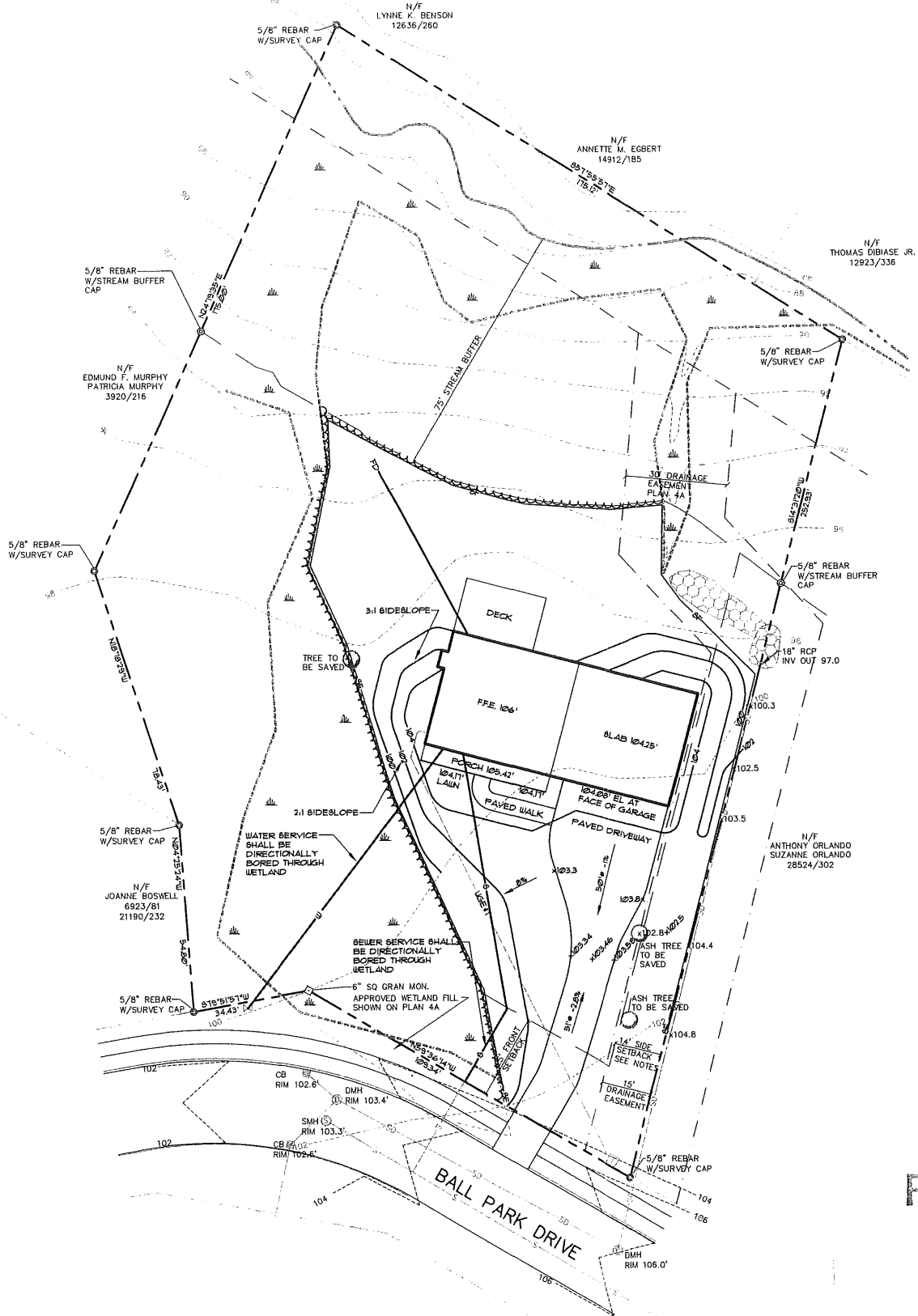
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HOLDEN RESIDENCE
 PORTLAND, MAINE

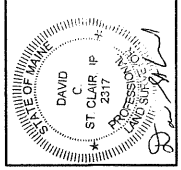
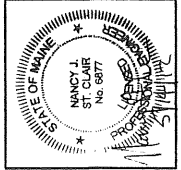
DRAWINGS THIS SHEET
 SECTIONS

A4

04/03/12

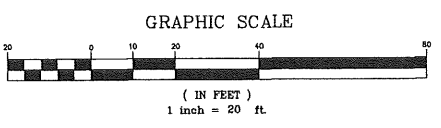


LOCATION MAP N.T.S.



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/R.O.W.	---
---	ABUTTER LINE/R.O.W.	---
---	SETBACK	---
---	EASEMENT	---
□	MONUMENT	□
○	5/8" REBAR W/ SURVEY CAP	○
○	STREAM BUFFER PIN	○
▲	BUILDING	▲
▲	WETLANDS	▲
---	EDGE WETLAND	---
---	STREAM	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	TREELINE	---
---	CONTOURS	---
---	SPOT GRADE	---
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○
---	WATER	---
---	GATE VALVE	---
---	SEWER	---
---	SEWER MH	---
---	STORM DRAIN	---
---	CATCH BASIN	---
---	DRAINAGE MH	---
---	EG. BLANKET	---
---	SILT FENCE	---
---	RIPRAP	---



GENERAL NOTES

- THE RECORD OWNER OF THE PROPERTY IS MICHAEL R. JIMINO AND MARY ANN JIMINO TRUSTEE.
- THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND TAX MAP 311 BLOCK A LOT 31001.
- THE BEARINGS AND NORTH ORIENTATION SHOWN HEREON IS BASED UPON GRID NORTH, NORTH AMERICAN DATUM OF 1983 (NAD 83).
THE CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE PROJECT BENCHMARK, A BOLT IN 3-FOOT OFFSET MONUMENT LOCATED AT THE SOUTHEAST CORNER OF JACKSON AND AUBURN STREETS AS PROVIDED BY THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS. ELEVATION ON MONUMENT IS 142.443 AND IS BASED UPON CITY OF PORTLAND DATUM. SAID DATUM IS TIED TO NATIONAL GEOGRAPHIC VERTICAL DATUM OF 1929 (NGVD 29).
HORIZONTAL CONTROL WAS ESTABLISHED UTILIZING A TOPCON GR5-1 DUAL-FREQUENCY GPS RECEIVER.
- PLAN REFERENCES:
 - RESIDENTIAL LOT SUBDIVISION PLAN OF BALLPARK DRIVE SUBDIVISION DATED THROUGH NOVEMBER 11, 2004 BY URS CORPORATION AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204 PAGE 886.
 - ROAD AND UTILITIES PLAN AND PROFILE "THE HAVERTY ESTATE PROPERTY" BALLPARK DRIVE SUBDIVISION DATED THROUGH JULY 5, 2006 BY URS CORPORATION.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO AND BENEFITED BY NOTES REFERENCED ON THE SUBDIVISION PLAN REFERENCED IN NOTE 4A.
- THE TOTAL AREA OF THE PROPERTY IS 45,894 SQUARE FEET OR 1.05 ACRES.
- THE TOTAL AREA OF THE PROPOSED SITE DISTURBANCE IS APPROXIMATELY 16,762 SQUARE FEET.
- THE TOTAL AREA OF THE PROPOSED PAVEMENT FOR THE DRIVEWAY AND SIDEWALK IS APPROXIMATELY 1996 SQUARE FEET.
- THE TOTAL AREA OF THE PROPOSED GROUND FLOOR AREA OF THE BUILDING IS APPROXIMATELY 2576 SQUARE FEET (RESIDENCE + GARAGE).

SPACE & BULK REQUIREMENTS

THE PROPERTY IS LOCATED IN THE R-2 RESIDENTIAL ZONE, THE SPACE AND BULK REQUIREMENTS FOR THE R-2 RESIDENTIAL ZONE ARE LISTED BELOW:

MINIMUM LOT SIZE	10,000 SF.
MINIMUM STREET FRONTAGE	80 FEET
MINIMUM FRONT YARD	25 FEET
MINIMUM REAR YARD	25 FEET
MINIMUM SIDE YARD	12 FEET - 1 STORY BUILDING
	12 FEET - 1 1/2 STORY BUILDING
	14 FEET - 2 STORY BUILDING
	16 FEET - 2 1/2 STORY BUILDING
MAXIMUM LOT COVERAGE	20%
MINIMUM LOT WIDTH	60 FEET
MAXIMUM STRUCTURE HEIGHT	35 FEET

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MAY 15 2012

City of Portland
Planning Division

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MAY 15 2012

Dept. of Building Inspections
City of Portland Maine

ST. CLAIR ASSOCIATES
LAND SURVEYING AND CIVIL ENGINEERING
34 Forest Lane
Cape Elizabeth, ME 04924
Tel: (207) 829-5558

PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
12005		NLS	NLS	DCS

PLOT PLAN
OF: LOT 1
BALLPARK DRIVE
PORTLAND, MAINE
FOR: **BARBARA BROS. CONST. CO. INC.**
P.O. BOX 485
SCARBOROUGH, ME 04070-0485

DATE	SCALE
4-10-12	1"=20'

SHEET 1 OF 2

1205EC-B TAB 1205ES

