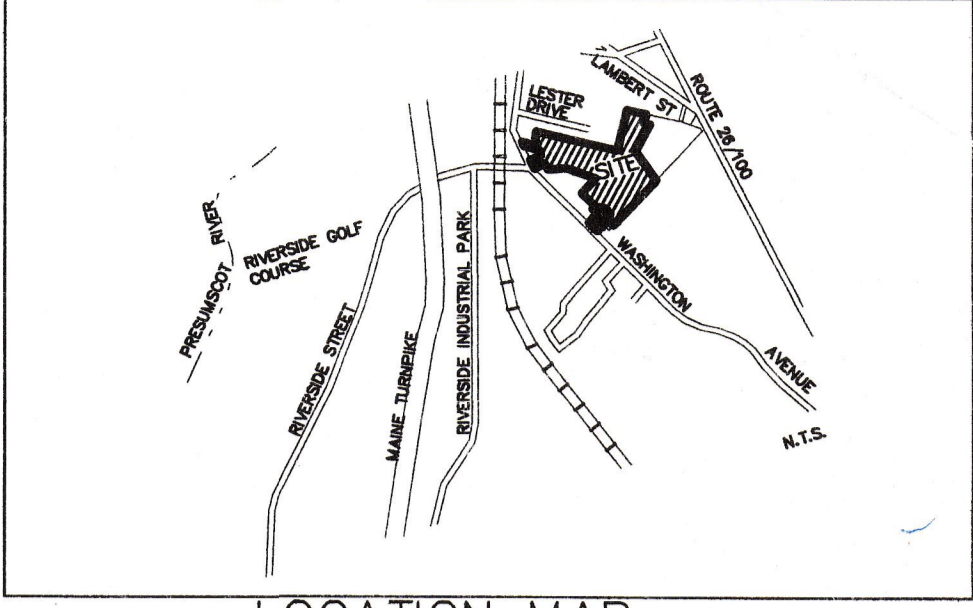


AREA	GRANTEE	PURPOSE
(A)	CITY OF PORTLAND, MARGARET HAVERTY	CULVERT AND DRAINAGE EASEMENT
(B)	CITY OF PORTLAND	SEWER FORCEMAIN EASEMENT
(C)	CITY OF PORTLAND	DRAINAGE EASEMENT
(D)	CITY OF PORTLAND	CULVERT AND DRAINAGE EASEMENT
(E)	CITY OF PORTLAND	CULVERT AND DRAINAGE EASEMENT
(F)	CITY OF PORTLAND	CULVERT AND DRAINAGE EASEMENT
(G)	CITY OF PORTLAND	PEDESTRIAN EASEMENT
(H)	LOT 18 OWNER	RIGHT-OF-WAY TO LOT 18
(I)	CITY OF PORTLAND	PEDESTRIAN EASEMENT
(J)	CITY OF PORTLAND	TURNAROUND EASEMENT



**GENERAL NOTES**

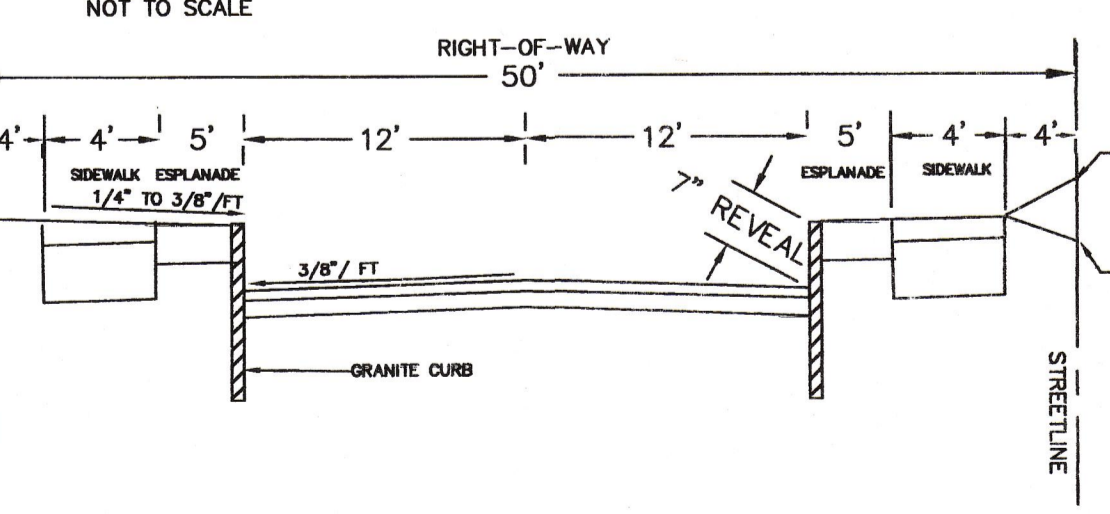
- THE RECORD OWNER OF THE PROPERTY IS MARY MARGARET I. HAVERTY AS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 14636 PAGE 178.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND'S TAX MAP 371 BLOCK A LOT 2, MAP 384 BLOCK A LOT 11 AND MAP 385A BLOCK B LOT 1.
- PLAN REFERENCES:
  - A) STANDARD BOUNDARY SURVEY OF THE HAVERTY ESTATE PROPERTY FOR MARGARET HAVERTY DATED DECEMBER 23, 1989 BY SEBAGO TECHNIQUES, INC. AND RECORDED AT THE CUMBERLAND COUNTY SS REGISTRY OF DEEDS IN PLAN BOOK 203 PAGE 598 ON OCTOBER 6, 2003.
  - B) PLAN OF DIVISION OF LAND OF THE HAVERTY ESTATE PROPERTY FOR MARGARET HAVERTY DATED FEBRUARY 8, 2000 BY SEBAGO TECHNIQUES, INC. AND RECORDED AT THE CUMBERLAND COUNTY SS REGISTRY OF DEEDS IN PLAN BOOK 200 PAGE 187 ON APRIL 21, 2000.
  - C) PLAN OF PROPERTY IN PORTLAND MADE FOR RIGHT OF WAY LOCATION PRESUMPCOT NORTH FORCE MAIN DATED MARCH 13, 1989 BY H.L. & E.C. JORDAN.
  - D) AERIAL MAPPING PLAN SHEET 2917-3200 FOR CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS, ENGINEERING SECTION DATED JUNE 30, 2002.
  - E) PLAN RECEIVED FROM PORTLAND WATER DISTRICT.
  - F) PLAN RECEIVED FROM NORTHERN UTILITIES, INC. DATED OCT 1974.
  - G) TAX MAPS CITY OF PORTLAND.
- STREET REFERENCES: WASHINGTON AVENUE IS A 66 FOOT WIDE ROADWAY AS SHOWN ON THE CITY OF PORTLAND'S ENGINEERING DEPT. BLUE SHEETS 28, 29, & 30, AND WAS FORMERLY THE ORIGINAL COUNTY ROAD RUNNING FROM PORTLAND TO GRAY.
- SUBJECT TO:
  - A) AN EASEMENT FOR THE PURPOSES OF CONSTRUCTING A SEWER FORCE MAIN AS DEPICTED HEREON AND SHOWN ON PLAN REFERENCED IN NOTE 3C AND RECORDED IN BOOK 2784 PAGE 362.
- THE 20' WIDE RIGHT OF WAY AND 30' WIDE DRAINAGE EASEMENTS WITHIN LESTER DRIVE SUBDIVISION ARE BASED UPON THE LESTER DRIVE SUBDIVISION PLANS APPROVED BY THE CITY OF PORTLAND. NO CONVEYANCE TO OR FROM THE LOCUS PROPERTY CHAIN OF OWNERSHIP WAS FOUND WHEREBY THE RIGHT TO DRAIN TO THE PROPERTY WAS CONVEYED NOR THE RIGHT OF WAY GRANTED TO THE LOCUS PROPERTY.
- BENCHMARK IS A BOLT IN A 3" OFFSET MONUMENT UNDER A MANHOLE COVER IN THE SIDEWALK AT THE SOUTHEAST CORNER OF JACKSON AND AUBURN STREETS AS PROVIDED BY THE CITY OF PORTLAND'S DEPARTMENT OF PUBLIC WORKS, ELEVATION 140.442'.
- HORIZONTAL COORDINATES AND BEARINGS ARE BASED ON AERIAL TARGETS C103 AND C104 ON THE EAST SIDE OF DAVIS FARM ROAD AS TAKEN FROM AERIAL MAPS OBTAINED FROM THE CITY OF PORTLAND'S DEPARTMENT OF PUBLIC WORKS.
- WETLANDS SHOWN HEREON WERE DELINEATED BY WOODLOT ALTERNATIVES USING THE ARMY CORPS METHODOLOGY. WETLANDS NORTH OF THE INTERMITTENT BROOK WERE NOT DELINEATED.
- SIX LOTS WERE CREATED IN APRIL 2000 FROM THE MARGARET HAVERTY ESTATE PARCEL AS DEPICTED ON PLAN REFERENCE 3B, VIA A FAMILY DIVISION OF LAND THAT WAS EXEMPT FROM SUBDIVISION REVIEW PURSUANT TO 30-A M.R.S.A. SECTION 4401(4)(2).
- THE EXISTING 50-FOOT FORCEMAIN EASEMENT WILL BE ABANDONED BY THE CITY ALONG THE LENGTH OF THE PROPOSED BALLPARK DRIVE. THE BALLPARK DRIVE 50-FOOT RIGHT-OF-WAY WILL PROVIDE THE CITY ACCESS TO THE FORCEMAIN ALONG THE LENGTH OF THE ROAD.
- LOT 17, THE EXISTING BALLFIELD, WILL BE RETAINED BY THE OWNER. PURCHASERS OF LOTS 1 THROUGH 16 SHALL HAVE NO IMPLIED RIGHTS BY DEED. USE OF THE BALLFIELD SHALL ONLY BE SPECIFIC PERMISSION OF THE OWNER.
- THE EXISTING SEWER FORCEMAIN EASEMENT ALONG THE LENGTH OF BALLPARK DRIVE WILL BE ABANDONED BY THE CITY ONCE THE STREET IS ACCEPTED BY THE CITY. THE BALLPARK DRIVE RIGHT-OF-WAY WILL THEN SERVE AS CITY ACCESS TO THE FORCEMAIN. AN EASEMENT TO THE CITY ON LOT 16 WILL BE REQUIRED TO PROVIDE THE CITY WITH A 15-FOOT WIDTH ACCESS TO THE FORCEMAIN.
- THE 75-FOOT UNDISTURBED BUFFER ON THE SOUTHERN SIDE OF THE INTERMITTENT BROOK TO THE NORTHERN PROPERTY BOUNDARIES OF LOTS 1-9 WILL BE PRESERVED BY DEED RESTRICTION ON INDIVIDUAL LOTS.
- 10' WIDE EASEMENT TO THE CITY OF PORTLAND FOR THE DEVELOPMENT OF A RECREATIONAL TRAIL WHICH CONNECTS TO THE CITY'S EXISTING PRESUMPCOT NORTH FORCEMAIN EASEMENT FOLLOWS AN EXISTING TRAIL CLEARED AND MAINTAINED BY THE CITY FOR FORCEMAIN ACCESS.
- EASEMENT LOCATIONS FOR PRIVATE UTILITIES WILL BE DETERMINED BASED ON TRANSFORMER LOCATIONS DETERMINED BY CENTRAL MAINE POWER CO.

STATE OF MAINE  
 COUNTY SS REGISTRY OF DEEDS  
 RECEIVED \_\_\_\_\_ 20\_\_\_\_  
 AT \_\_\_\_\_ M. AND RECORDED IN  
 PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 ATTEST \_\_\_\_\_ REGISTER

APPROVAL -  
 CITY OF PORTLAND  
 PLANNING BOARD

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION
---	PROPERTY/ROW	---	---	WETLANDS
---	HAVERTY PROPERTY	---	---	EDGE WETLAND
---	EASEMENT	---	---	INTERMITTENT BROOK
---	SETBACK	---	---	BUILDING
---	5/8" IRON REBAR	---	---	CHAIN LINK FENCE
---	MONUMENT	---	---	BARB WIRE FENCE
---	IRON PIPE/ROD	---	---	STOCKADE FENCE
---	CENTERLINE W/STATION	---	---	STONE WALL
---	GRANITE CURB	---	---	DEED CALL MEASURED
---	EDGE PAVEMENT	---	---	TAX MAP BLOCK LOT
---	EDGE GRAVEL	---	---	WETLAND FILL
SD	STORM DRAIN	SD	---	---
W	WATER	W	---	---
UE	UNDERGROUND ELECTRICAL	UE	---	---
S	SEWER	S	---	---
---	OVERHEAD ELEC. & TEL.	---	---	---
---	UNDERGROUND ELEC. & TELEPHONE	---	---	---
---	EDGE OF VEGETATION/CLEARING	---	---	---

**MINOR RESIDENTIAL STREET SECTION**  
 NOT TO SCALE

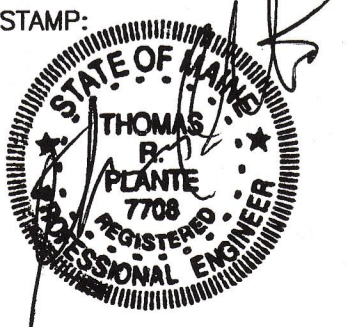


**Surveyor's Statement**

This plan and its perimeter boundary lines are based on plan reference 3A and do not represent an "on-the-ground" Boundary Survey by Owen Haskell, Inc. The interior lot lines and road computations have been checked and are correct to the best of our knowledge and belief.

Owen Haskell, Inc.  
 150 State Street  
 Portland, Maine 04102-9759  
 207-725-7744  
 WALKER  
 200 Mt. Vernon St #2338  
 207-725-1603/04

REV	DATE	DESCRIPTION	CONSTRUCTION
3	9/03/04	REVISED LOT AND ROAD LAYOUT PER CITY COMMENTS AND PLANNING WORKSHOP JULY 27, 2004.	ISSUED FOR
2	6/02/04	REVISED TO INCLUDE COMPLETED BOSWELL PURCHASE, WETLANDS UPDATE, AND BALLFIELD PARKING AREA.	DATE: 10/8/03
1	4/19/04	CORRECTIONS TO NOTES, LEGENDS, PLAN FORMAT, AND BOSWELL PURCHASE.	DESIGN: RIZZO
	2/23/04	SUBMITTED FOR PLANNING BOARD WORKSHOP & CITY REVIEW	DRAWN: RIZZO
			CHECKED: PLANTE



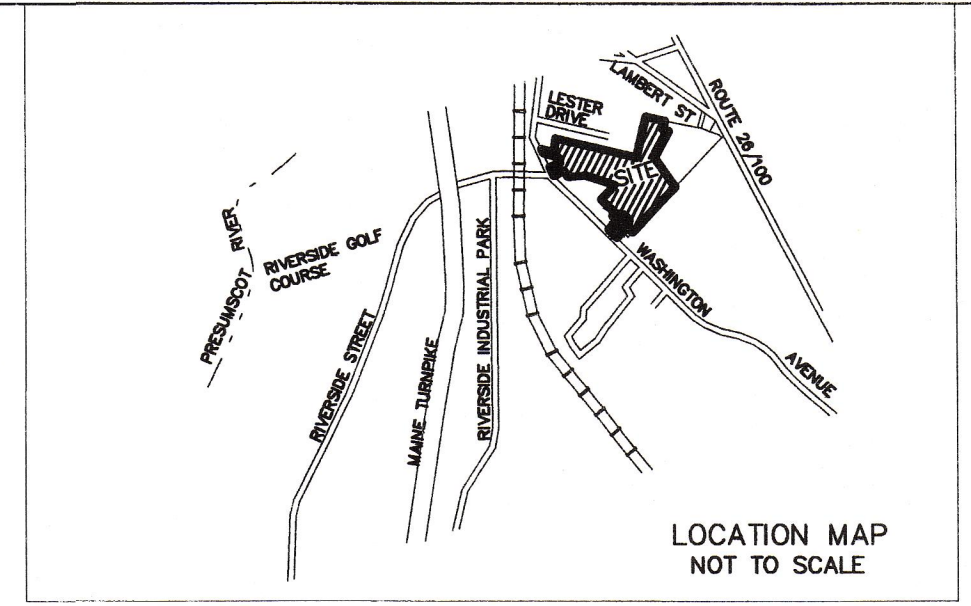
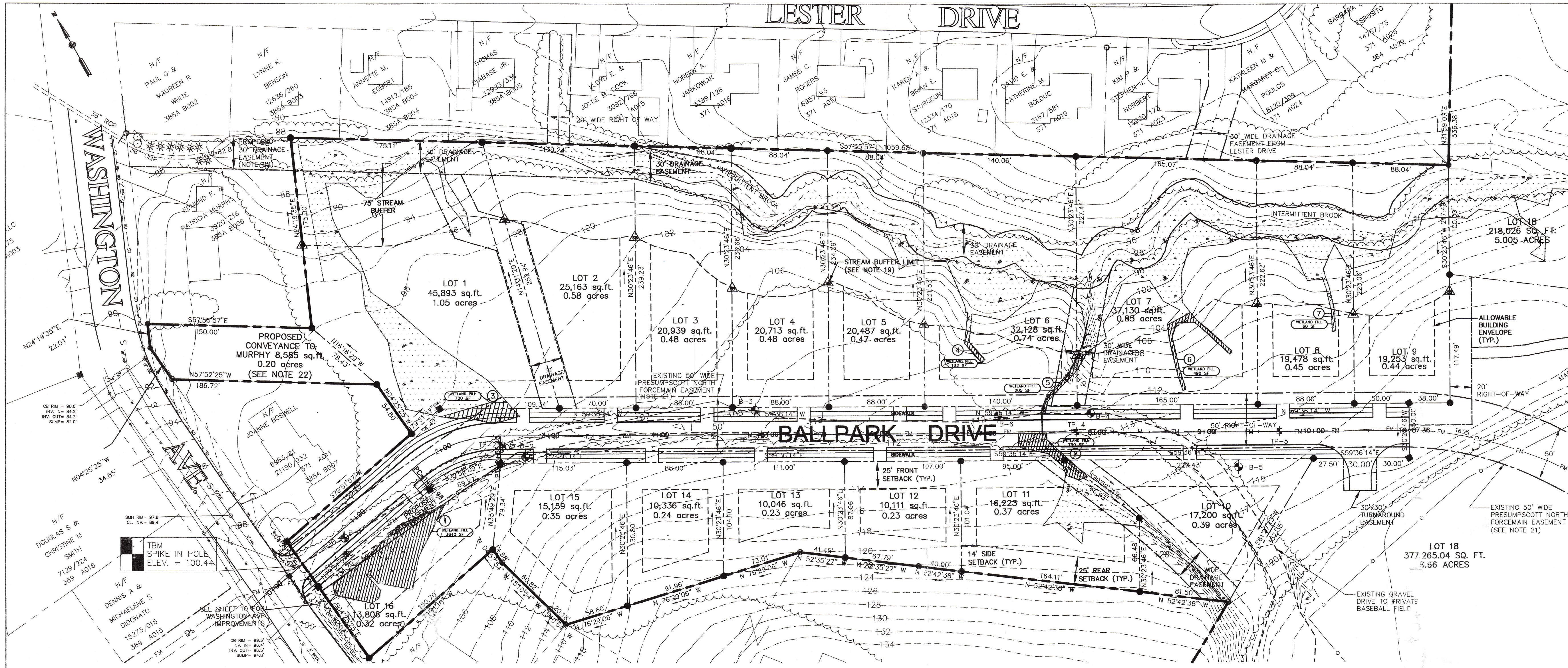
URS Corporation  
 477 Congress Street, 9th Floor  
 Portland, ME 04101-3453  
 Tel: 207.879.7686  
 Fax: 207.879.7685  
 www.urscorp.com

PROJECT NAME:	BALLPARK DRIVE SUBDIVISION
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE
CLIENT/LAND OWNER:	MARGARET HAVERTY 67 HAVERTY WAY PORTLAND, MAINE 04103
PROJECT NO.:	53359 / 39459287

SHEET TITLE:	PLAN OF DIVISION OF LAND THE HAVERTY ESTATE PROPERTY BALLPARK DRIVE SUBDIVISION	SHEET 1 OF 10
SCALE:	1" = 100'	DATE: SEPTEMBER 3, 2004
		DRAWING NO.: 1

*Ballpark Drive*





**AREA SUMMARY**

TOTAL LAND AREA	991,105.76 SQFT	22.75 AC
RESIDENTIAL LOTS 1-16	334,067 SQFT	7.68 AC
BALLPARK DRIVE R.O.W.	52,618 SQFT	1.21 AC
LOT 17 PRIVATE BALLFIELD	377,265.04 SQFT	8.66 AC
LOT 18 CONSERVATION LAND	218,026 SQFT	5.005 AC

**HORIZONTAL CENTERLINE GEOMETRY**

PI = 0+00	DIRECTION	RADIUS	LENGTH	DELTA
PC = 1+67.98	N 79 51' 57" E	167.98'		
PT =		125'	88.42'	40° 31'49"
PI = 2+56.40	S 59 36' 14" E			
PT = 10+87.36			830.96'	

**WETLAND FILL SUMMARY**

HAVERTY WAY (PRIOR) 2000	2,693 SQFT
BALLPARK DRIVE	6,017 SQFT
<b>TOTAL CUMULATIVE PROJECT FILL</b>	<b>8,710 SQFT</b>

APPROVAL -  
CITY OF PORTLAND  
PLANNING BOARD

DATE \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_

**GENERAL NOTES**

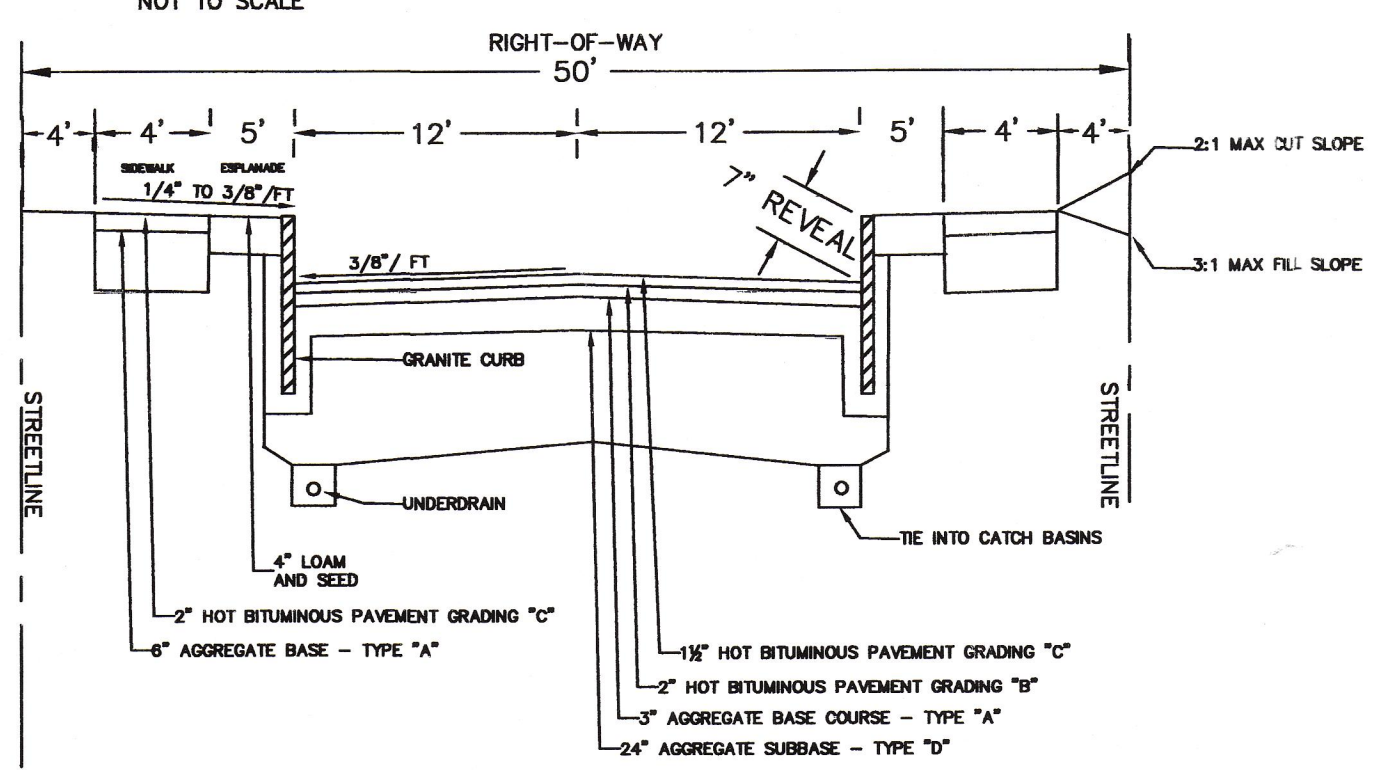
- THE RECORD OWNER OF THE PROPERTY IS MARY MARGARET I. HAVERTY AS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 14638 PAGE 179.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND'S TAX MAP 371 BLOCK A LOT 2, MAP 384 BLOCK A LOT 11, AND MAP 385A BLOCK B LOT 1.
- REFERENCE IS HEREBY MADE TO THE STANDARD BOUNDARY SURVEY PERFORMED BY SEBAGO TECHNIQS, INC. AS SHOWN ON A PLAN OF LAND ENTITLED, "STANDARD BOUNDARY SURVEY OF THE HAVERTY ESTATE PROPERTY, WASHINGTON AVE. EXTENSION, PORTLAND, ME. FOR MARGARET HAVERTY" DATED DECEMBER 23, 1999 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 203 PAGE 558.
- ONLY A PORTION OF THE HAVERTY PARCEL IS PROPOSED TO BE DIVIDED INTO RESIDENTIAL LOTS, AS SHOWN ON THIS PLAN. THE REMAINING LAND IS TO BE RETAINED BY THE OWNER (SEE SHEET 1).
- PROPERTY TO BE DIVIDED INTO RESIDENTIAL LOTS IS LOCATED IN THE CITY OF PORTLAND'S R-2 RESIDENTIAL ZONE.
 

SPACE & BULK CRITERIA :	R-2 ZONE
MINIMUM LOT FRONTS	50 FT
MINIMUM RESIDENTIAL LOT SIZE	10,000 SF
MINIMUM FRONT YARD	25 FT
MINIMUM REAR YARD	5 FT
-PRINCIPAL OR ACCESSORY STRUCTURE (+100 SF)	25 FT
-DETACHED ACCESSORY STRUCTURE (-100 SF)	5 FT
MINIMUM SIDE YARD	(PRINCIPAL OR ACCESSORY STRUCTURE (+100 FT))
1 STORY	12 FT
1 1/2 STORIES	12 FT
2 STORIES	14 FT
2 1/2 STORIES	16 FT
-ACCESSORY DETACHED STRUCTURE (-100 SF)	5 FT
* THE WIDTH OF ONE SIDE YARD MAY BE REDUCED ONE FOOT FOR EVERY ONE FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED. NO SIDE YARD SHALL BE LESS THAN :	
-MINIMUM SIDE YARD ON SIDE STREETS	20 FT
-MINIMUM LOT WIDTH	80 FT
-MAXIMUM LOT COVERAGE	20% OF LOT
-MAXIMUM STRUCTURE HEIGHT:	35 FT
(PRINCIPAL OR ACCESSORY ATTACHED STRUCTURE)	18 FT
ACCESSORY DETACHED	18 FT
** LOT WIDTH IS DEFINED AS "THE DISTANCE PARALLEL TO THE FRONT OF THE BUILDING MEASURED BETWEEN SIDE LOT LINES THROUGH THAT PART OF THE PRINCIPAL BUILDING WHERE THE LOT IS NARROWEST"	
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UTILITY LOCATIONS AND/OR ELEVATIONS SHOWN ON WASHINGTON AVENUE ARE APPROXIMATE BASED ON INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL EXISTING SUBSURFACE LINES AND STRUCTURES MAY NOT BE SHOWN. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 25 MRS. 3360-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.

**GENERAL NOTES**

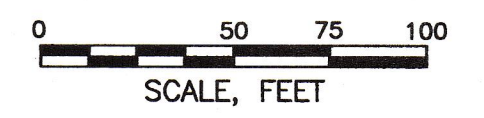
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE STANDARDS OF THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT. PAVED AREAS (INCLUDING SIDEWALKS) SHALL BE SAWCUT IN ORDER TO ACCOMMODATE NECESSARY EXCAVATION WORK. TRENCH BACKFILL, PAVEMENT BUILDUP AND PAVEMENT JOINTS SHALL BE COMPLETED IN ACCORDANCE WITH MUNICIPAL STANDARDS. GRANITE CURBING WHICH MUST BE DISTURBED SHALL BE CAREFULLY REMOVED AND REPLACED AS PART OF THE WORK. GRANITE CURBING (IF ANY) WHICH IS REMOVED AS PART OF THE CONSTRUCTION SHALL BE RETURNED TO THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE PORTLAND PUBLIC WORKS DEPT. TO EXCAVATE TEST PITS TO VERIFY SIZE, LOCATION AND DEPTH OF EXISTING UTILITY LINES AT THE PROPOSED TIE IN POINT ON WASHINGTON AVENUE. ALL RESULTS SHALL BE PROVIDED TO THE OWNER FOR EVALUATION.
- THE CONTRACTOR SHALL COORDINATE WITH AND ARRANGE FOR APPROPRIATE INSPECTION AND TESTING SERVICES BY THE PORTLAND WATER DISTRICT AS PART OF THE CONSTRUCTION OF THE WATER MAIN EXTENSION OFF OF WASHINGTON AVENUE.
- THE CONTRACTOR SHALL COORDINATE WITH REPRESENTATIVES OF CENTRAL MAINE POWER CO., BELL ATLANTIC AND TIME WARNER CABLE REGARDING LOCATION AND INSTALLATION OF UNDERGROUND UTILITY SERVICES.
- EACH LOT SHALL REQUIRE THE SUBMISSION OF A MINOR SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND SUBJECT TO REVIEW PURSUANT TO ARTICLE V (SITE PLAN) OF CHAPTER 14 OF THE PORTLAND CITY CODE. EACH LOT OWNER SHALL CONSULT WITH THE CITY ARBORIST TO DEVELOP A TREE SAVE PLAN AS PART OF THE MINOR SITE PLAN SUBMISSION.
- NO CITY OF PORTLAND PUBLIC SERVICES SHALL BE PROVIDED TO THE DEVELOPMENT UNTIL THE STREET HAS BEEN ACCEPTED BY THE CITY. THE OWNER AND CONTRACTOR SHALL COORDINATE FOR THE PROVISION OF THE PLOWING AND ROADWAY AND UTILITY MAINTENANCE SERVICES UNTIL CITY ACCEPTANCE OF THE STREET.
- PARKING IS TO BE LIMITED TO ONE SIDE OF THE STREET ON BALLPARK DRIVE. PARKING WILL BE PERMITTED ONLY ON THE NORTHERLY SIDE OF THE STREET. THE DEVELOPER WILL INSTALL SIGNS DENOTING THIS PER THE CITY'S REQUIREMENTS PRIOR TO ACCEPTANCE OF THE STREET BY THE CITY.
- STREET NAME SIGNS AND STOP SIGNS ARE TO BE ERRECTED PER THE CITY REQUIREMENTS BY THE DEVELOPER PRIOR TO THE ACCEPTANCE OF THE STREET BY THE CITY.
- A MINIMUM OF TWO (2) TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. ESPANOLE TREES MAY BE COUNTED AS FRONTRAGE TREES.
- BENCHMARK IS A BOLT IN A 3" OFFSET MONUMENT UNDER A MANHOLE COVER IN THE SIDEWALK AT THE SOUTHEAST CORNER OF JACKSON AND AUBURN STREETS AS PROVIDED BY THE CITY OF PORTLAND'S DEPARTMENT OF PUBLIC WORKS. ELEVATION IS 140.445'. TOPOGRAHIC SURVEY IS BASED ON CITY OF PORTLAND AERIAL MAPPING WITH SUPPLEMENTAL GROUND SURVEY OF THE ROADWAY AREA BY OWEN HASKELL, INC. 2005. ELEVATION CONTOURS OUTSIDE THE ROADWAY LIMITS ARE APPROXIMATE.
- HORIZONTAL COORDINATES AND BEARINGS ARE BASED ON AERIAL TARGETS C103 AND C104 ON THE EAST SIDE OF DAVIS FARM ROAD AS TAKEN FROM AERIAL MAPS OBTAINED FROM THE CITY OF PORTLAND'S DEPARTMENT OF PUBLIC WORKS.
- SOIL DISTURBANCE LANDSCAPING BETWEEN 25 FEET AND 75 FEET FROM THE INTERMITTENT BROOK REQUIRES A NHPA PERMIT-BY-RULE APPROVED THROUGH THE MAINE DEP. A NHPA PERMIT-BY-RULE NOTICE OF INTENT FOR LOT 8 AND 7 WAS FILED WITH THE MAINE DEP. ON JUNE 4, 2004. THE CONSTRUCTION ACTIVITY WAS AUTHORIZED BY THE DEP IN ACCORDANCE WITH CHAPTER 305 AS OF JUNE 18, 2004. THE PERMIT IS VALID FOR TWO YEARS. ALL CONSTRUCTION ON THESE LOTS MUST COMPLY WITH CHAPTER 305, SECTION 2 OF THE NATIONAL RESOURCES PROTECTION ACT (NRPA). SEE SHEET 7 FOR LOT GRADING SCHEMATIC FOR THESE LOTS.
- THE 75-FOOT UNDISTURBED BUFFER ON THE SOUTHERN SIDE OF THE INTERMITTENT BROOK TO THE NORTHERN PROPERTY BOUNDARIES OF LOTS 1-9 WILL BE PRESERVED BY DEED RESTRICTION ON INDIVIDUAL LOTS.
- MISCELLANEOUS SOLID WASTE AND DEBRIS LITTERING PORTIONS OF THE SITE WILL BE REMOVED AND DISPOSED IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS DURING THE CONSTRUCTION OF THE ROADWAY. ANY HAZARDOUS MATERIALS ENCOUNTERED SHALL BE MANAGED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- THE EXISTING SEWER FORCEMAIN EASEMENT ALONG THE LENGTH OF BALLPARK DRIVE WILL BE ABANDONED BY THE CITY ONCE THE STREET IS ACCEPTED BY THE CITY. THE BALLPARK DRIVE RIGHT-OF-WAY WILL THEN SERVE AS CITY ACCESS TO THE FORCEMAIN. AN EASEMENT TO THE CITY ON LOT 18 WILL BE REQUIRED TO PROVIDE THE CITY WITH A 15-FOOT WIDTH ACCESS TO THE FORCEMAIN.
- CONTINGENT UPON SUBDIVISION APPROVAL, 0.2 ACRES WILL BE CONVEYED TO MURPHY IN EXCHANGE FOR A DRAINAGE EASEMENT TO BE PROVIDED TO THE CITY OF PORTLAND.

**MINOR RESIDENTIAL STREET SECTION**



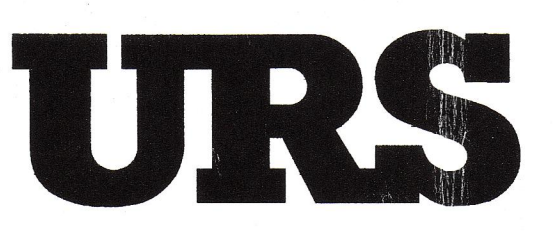
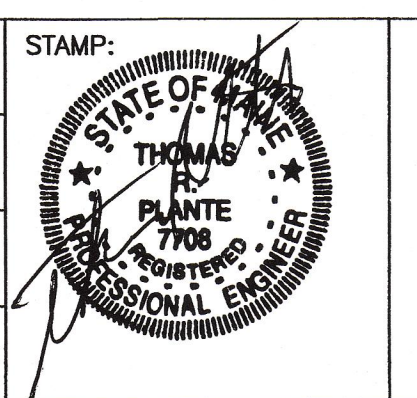
**LEGEND**

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION
---	PROPERTY/ROW	---	---	WETLANDS
---	HAVERTY PROPERTY EASEMENT	---	---	EDGE WETLAND
---	SETBACK	---	---	INTERMITTENT BROOK
---	5/8" IRON REBAR	---	---	BUILDING
---	MONUMENT	---	---	CHAIN LINK FENCE
---	IRON PIPE/ROD	---	---	BARB WIRE FENCE
---	CENTERLINE W/STATION	---	---	STOCKADE FENCE
---	GRANITE CURB	---	---	STONE WALL
---	EDGE PAVEMENT	---	---	DEED CALL MEASURED
---	EDGE GRAVEL	---	---	TAX MAP BLOCK LOT
---	SD STORM DRAIN	---	---	384 A045
---	W WATER	---	---	WETLAND FILL
---	UNDERGROUND ELECTRICAL	---	---	SEWER FORCEMAIN
---	8" SEWER	---	---	TELEPHONE
---	ONE OVERHEAD ELEC. & TEL CULVERT	---	---	STREAM BUFFER MONUMENT
---	UNDERGROUND ELEC. & TELEPHONE	---	---	FM SEWER FORCEMAIN
---	EDGE OF VEGETATION/CLEARING	---	---	DITCH/SWALE



REV	DATE	DESCRIPTION
3	9/03/04	REVISED ROAD AND LOT LAYOUT PER PLANNING WORKSHOP JULY 27, 2004.
2	6/02/04	UPDATED WETLANDS DELINEATION AND REVISED LOT LINES FOR LOTS 7-15, AND 17.
1	4/19/04	ADDED SETBACKS AND BUILDING ENVELOPES, REVISED WETLAND FILL AREAS, AND ROAD HORIZONTAL GEOMETRY
	2/23/04	SUBMITTED FOR PLANNING BOARD WORKSHOP & CITY REVIEW

ISSUED FOR:	DATE:	DESIGN:	STAMP:
PRELIMINARY	10/8/03	RIZZO	THOMAS PLANTE
APPROVAL	2/23/04	CHECKED: PLANTE	
CONSTRUCTION			



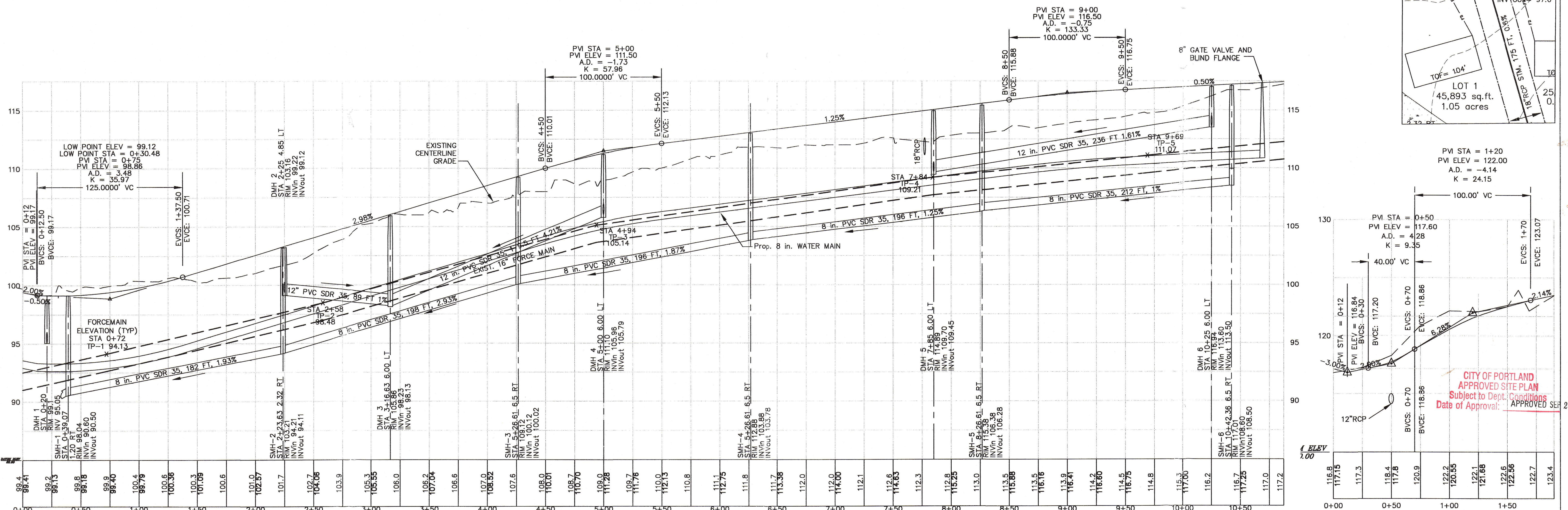
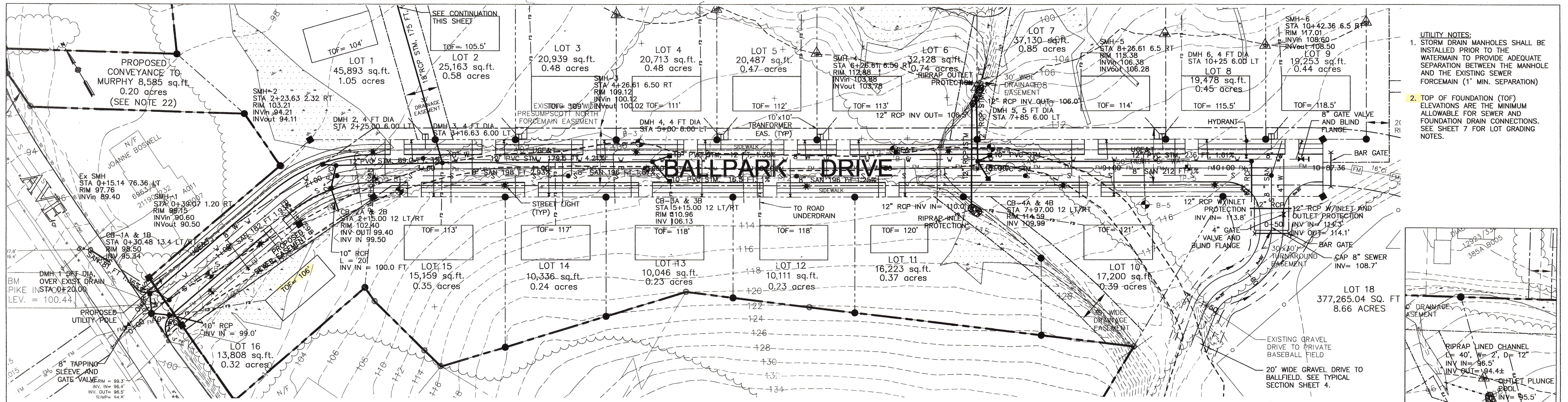
URS Corporation  
477 Congress Street, 9th Floor  
Portland, ME 04101-3453  
Tel: 207.879.7686  
Fax: 207.879.7685  
www.urscorp.com

PROJECT NAME:	BALLPARK DRIVE SUBDIVISION
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE
CLIENT/LAND OWNER:	MARGARET HAVERTY 67 HAVERTY WAY PORTLAND, MAINE 04103
PROJECT NO.:	53359 / 39459287

SHEET TITLE:	RESIDENTIAL LOT SUBDIVISION PLAT BALLPARK DRIVE SUBDIVISION	SHEET 2 OF 10
DATE OF APPROVAL:	APPROVED SEP 2 1 2004	DRAWING NO.:
SCALE:	1" = 50'	DATE:
		SEPTEMBER 3, 2004

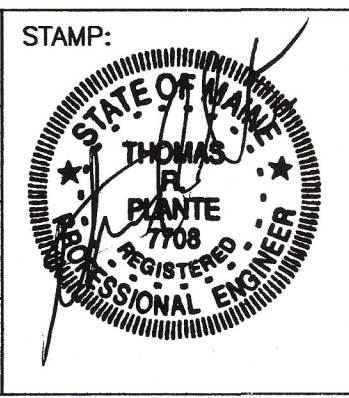
2





REV	DATE	DESCRIPTION
3	9/03/04	ROAD SHIFTED SOUTH 10', UTILITY LAYOUT REVISED PER CITY COMMENTS AND PLANNING WORKSHOP JULY 27, 2004
2	7/13/04	REVISED DRAINAGE AND LOT LINES PER CITY COMMENTS
1	4/16/04	SUBMITTED FOR CITY ENGINEERING REVIEW

ISSUED FOR:	DATE:	DESIGN:
PRELIMINARY	4/16/04	DRAWN:
APPROVAL	7/13/04	CHECKED:
CONSTRUCTION		



URS Corporation  
477 Congress Street, 9th Floor  
Portland, ME 04101-3453  
Tel: 207.879.7686  
Fax: 207.879.7685  
www.urscorp.com

PROJECT NAME:	BALLPARK DRIVE SUBDIVISION
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE
CLIENT:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103
PROJECT NO.:	53359/39459287

SHEET TITLE:	PLAN & PROFILE THE HAVERTY ESTATE PROPERTY BALLPARK DRIVE SUBDIVISION	SHEET 3 OF 10
SCALE:	HORIZ 1" = 40' VERT 1" = 4'	DATE:
		SEPTEMBER 3, 2004





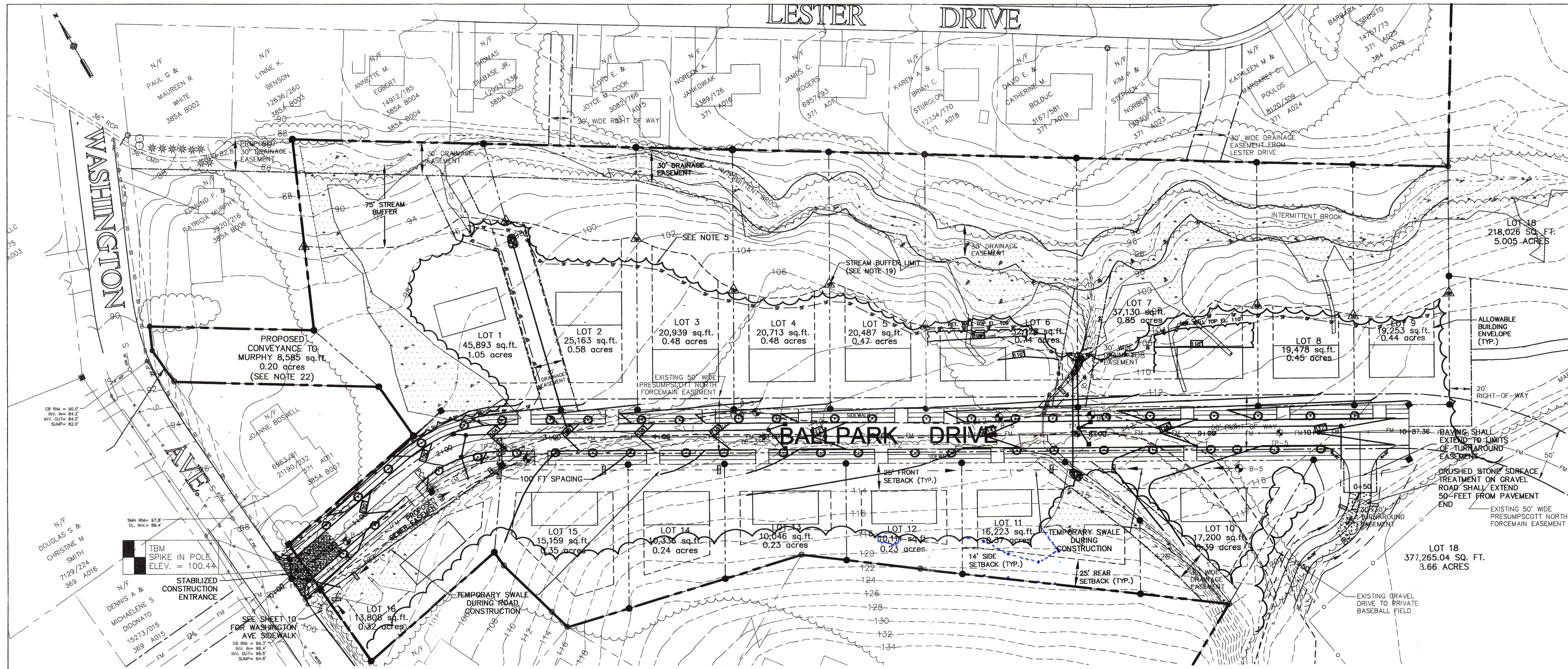










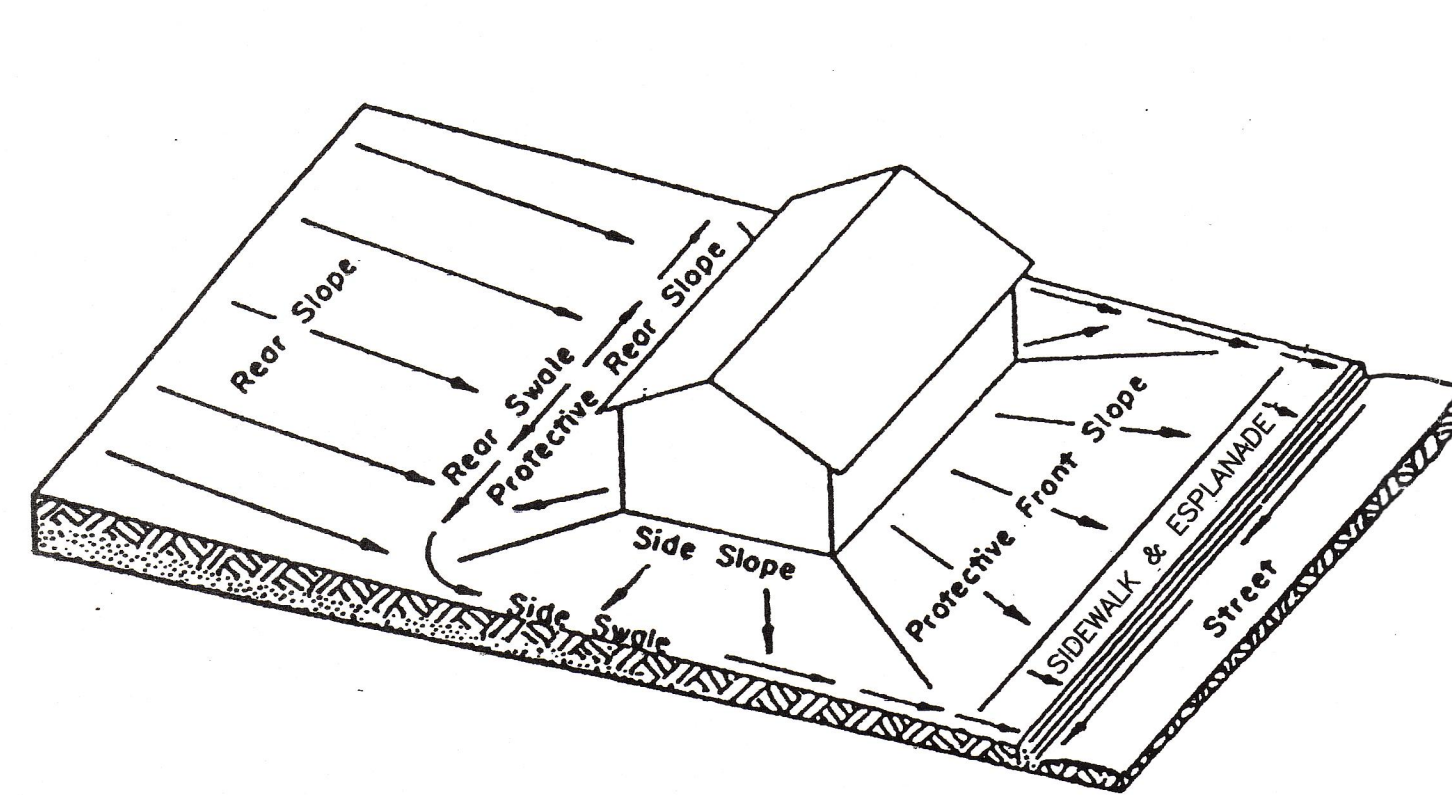


- TEMPORARY EROSION CONTROLS**
- SILT FENCE OR EQUIVALENT FILTER BARRIER
  - ▨ RIPRAP STONE CHECK DAM ACROSS CHANNEL
  - ESPLANADE TREES (NOTE 6)
  - CLEARING LIMITS (INCLUDING LOT DEVELOPMENT)
1. THE LOCATIONS SHOWN FOR TEMPORARY EROSION CONTROLS ARE INTENDED TO ILLUSTRATE THE TYPES OF PROTECTIONS TO BE INSTALLED TO PREVENT SEDIMENTATION OF WETLANDS, DRAINAGE DITCHES, AND WATERWAYS. LOCATIONS MAY VARY DURING CONSTRUCTION ACTIVITIES BASED ON THE LIMITS OF CLEARING FOR THE ROAD CONSTRUCTION AND FOR THE OVERALL SUBDIVISION DEVELOPMENT.
  2. ADDITIONAL SILT FENCE OR OTHER EROSION CONTROLS WILL BE INSTALLED AS NECESSARY AS INDIVIDUAL LOTS ARE DEVELOPED. INDIVIDUAL LOT BUYERS WILL BE REQUIRED TO FILE A SEPARATE NOTICE OF INTENT FOR MPEDES - CONSTRUCTION ACTIVITY GENERAL PERMIT COVERAGE.
  3. THE CONTRACTOR SHALL PROTECT ALL CATCH BASINS EXISTING AND CONSTRUCTED AS PART OF THIS PROJECT, FROM SEDIMENTATION RESULTING FROM CONSTRUCTION ACTIVITY. STONE FILTERS OR GEOTEXTILE FILTERS ARE CONSIDERED APPROPRIATE.
  4. SEE SHEET 8 FOR ADDITIONAL SEDIMENTATION AND EROSION CONTROL NOTES AND DETAILS.
  5. SILT FENCE ALONG THE STREAM BUFFER IN LOTS 1-9 SHALL BE SUPPLEMENTED WITH A SECONDARY SEDIMENT FILTER SUCH AS WOODCHIP/BARK MULCH FILTER BERMS OR COIR FIBER SEDIMENT LOGS.
  6. ESPLANADE TREES SHALL BE SPACED EVERY 30' TO 40'. LOCATION, SIZE, AND SPECIES SHALL BE APPROVED BY THE CITY ARBORIST AND SHALL MEET CITY ARBORICULTURAL SPECIFICATIONS.

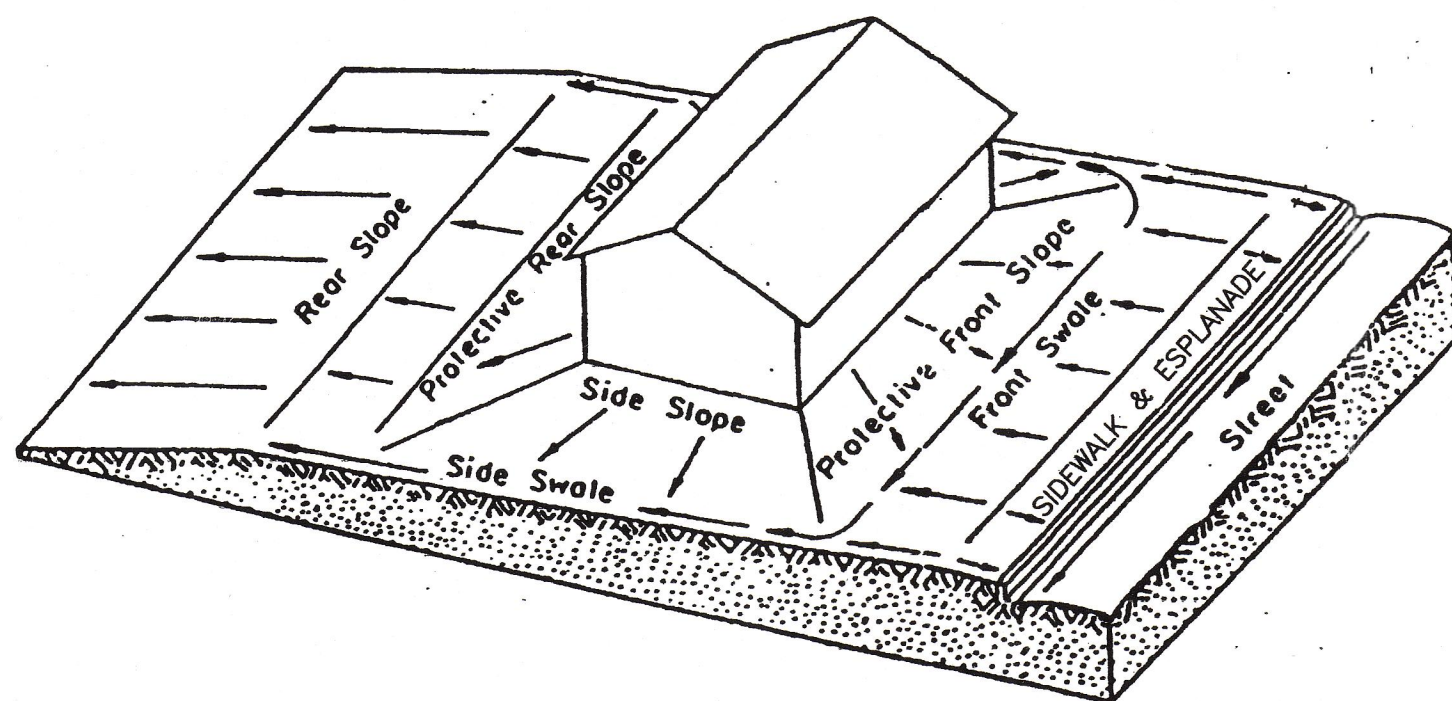
- LOT GRADING AND LANDSCAPING NOTES**
1. THERE SHALL BE NO CLEARING OR SOIL DISTURBANCE WITHIN 75 FEET OF THE INTERMITTENT BROOK, EXCEPT FOR LIMITED VEGETATION REMOVAL ACTIVITIES SPECIFICALLY EXEMPTED UNDER THE PERMIT BY RULE STANDARDS (NRPA CHAPTER 305), AND THE CITY'S SHORELAND REGULATIONS.
  2. TOP OF FOUNDATION (T.O.F.) ELEVATIONS ARE THE MINIMUM ALLOWABLE FOR FOUNDATION DRAINAGE AND SEWER CONNECTION AND SUBJECT TO CHANGE WITH INDIVIDUAL LOT SITE PLAN APPLICATIONS REQUIRED FOR INDIVIDUAL LOT DEVELOPMENT, AND REQUIRE CITY APPROVAL.
  3. LOT GRADING TYPES AND DETAILS BASED ON MAINE DEP BEST MANAGEMENT PRACTICES. FOR LOTS ON THE SOUTH SIDE OF BALLPARK DRIVE, OVERLAND SHEET FLOW DURING STORM EVENTS WILL FLOW TO THE STREET GUTTER LINE. FOR LOTS ON THE NORTH SIDE OF BALLPARK DRIVE, OVERLAND SHEET FLOW WILL DISCHARGE TO THE WOODED BUFFER TO THE REAR OF THE LOTS.
  4. SIDE LOT LINE SWALES SHOWN ON THE TYPICAL LOT GRADING DETAILS ARE INTENDED TO BE SHALLOW DEPRESSIONS IN LOT GRADING ALLOWING FOR SHALLOW CONCENTRATED FLOWS DURING HEAVY STORM EVENTS. THEY ARE NOT INTENDED TO BE DEFINED CHANNELS OR DITCHES.
  5. A MINIMUM OF TWO TREES PER LOT (INCLUSIVE OF STREET ESPLANADE TREES) SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY'S ARBORICULTURAL SPECIFICATIONS AND STANDARDS. LOT OWNERS SHALL CONSULT WITH THE CITY ARBORIST FOR TREE SAVE PLANNING DURING SITE APPLICATION PREPARATION.
  6. CLEARING LIMITS SHOWN ARE APPROXIMATE AND ARE BASED ON MINIMUM CITY AND DEP REQUIRED SETBACKS AND ANTICIPATED LOT DEVELOPMENT SCHEMES. ACTUAL LOT CLEARING MAY VARY AS LONG AS BUFFER LIMITS ARE MAINTAINED, SUBJECT TO SITE PLAN APPROVAL.
  7. THIS PLAN IS INTENDED TO SHOW LOT GRADING SURFACE DRAINAGE CONCEPTS ONLY AS A GENERAL GUIDE TO THE DEVELOPMENT OF THE LOTS. EACH INDIVIDUAL LOT OWNER SHALL BE RESPONSIBLE FOR INDIVIDUAL LOT SURVEY AND SITE PLAN DEVELOPMENT AS NECESSARY AND REQUIRED BY THE CITY.
  8. IT IS THE INTENT OF THIS PROJECT TO MINIMIZE THE AMOUNT OF TREE CLEARING TO THE MINIMUM NECESSARY TO CONSTRUCT THE ROADWAY, UTILITIES, AND DEVELOP INDIVIDUAL LOTS.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION
---	PROPERTY/ROW	---	---	WETLANDS
---	HAVERTY PROPERTY	---	---	EDGE WETLAND
---	EASEMENT	---	---	INTERMITTENT BROOK
---	SETBACK	---	---	BUILDING
---	5/8" IRON REBAR	---	---	CHAIN LINK FENCE
---	MONUMENT	---	---	BARB WIRE FENCE
---	IRON PIPE/ROD	---	---	STOCKADE FENCE
---	CENTERLINE W/STATION	4+00	---	STONE WALL
---	GRANITE CURB	---	---	D.C. MEAS.
---	EDGE PAVEMENT	---	---	DEED CALL
---	EDGE GRAVEL	---	---	MEASURED
SD	STORM DRAIN	SD	---	TAX MAP BLOCK LOT
W	WATER	W	---	WETLAND FILL
UE	UNDERGROUND ELECTRICAL	UE	---	STREAM BUFFER MONUMENT
8"S	SEWER	8"S	---	SEWER FORCEMAIN
OHE	OVERHEAD ELEC. & TEL.	---	---	
---	CULVERT	---	---	
---	UNDERGROUND ELEC. & TELEPHONE	---	---	
---	EDGE OF VEGETATION/CLEARING	---	---	
---	DITCH/SWALE	---	---	
98	ELEVATION CONTOUR	---	---	



**LOT GRADING - TYPE A**  
(ALL DRAINAGE TO STREET GUTTER)

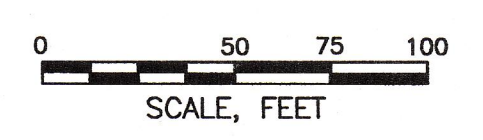


**LOT GRADING - TYPE C**  
(ALL DRAINAGE TO REAR OF LOT)

**TYPICAL LOT GRADING - LOTS 10-16**  
NOT TO SCALE

**TYPICAL LOT GRADING - LOTS 1-9**  
NOT TO SCALE

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: APPROVED SEP 21 2004



PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:	TEMPORARY EROSION CONTROLS & LOT GRADING AND LANDSCAPING CONCEPT PLAN	SHEET 7 OF 10
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE	DRAWING NO.:	7	
CLIENT:	MARGARET HAVERTY 67 HAVERTY'S WAY PORTLAND, MAINE 04103	SCALE:	1" = 50'	DATE:
PROJECT NO.:	53359 / 39459287	DATE:	SEPTEMBER 3, 2004	

REV	DATE	DESCRIPTION	ISSUED FOR:	DATE:	DESIGN:	TRP	STAMP:
1	9/03/04	REVISED PER CITY COMMENTS AND PLANNING WORKSHOP JULY 27, 2004	PRELIMINARY		DRAWN:	MLS	
	7/13/04	SUBMITTED FOR PLANNING BOARD WORKSHOP	APPROVAL	7/13/04	CHECKED:	TRP	
			CONSTRUCTION				



URS Corporation  
477 Congress Street, 9th Floor  
Portland, ME 04101-3453  
Tel: 207.879.7686  
Fax: 207.879.7685  
www.urscorp.com





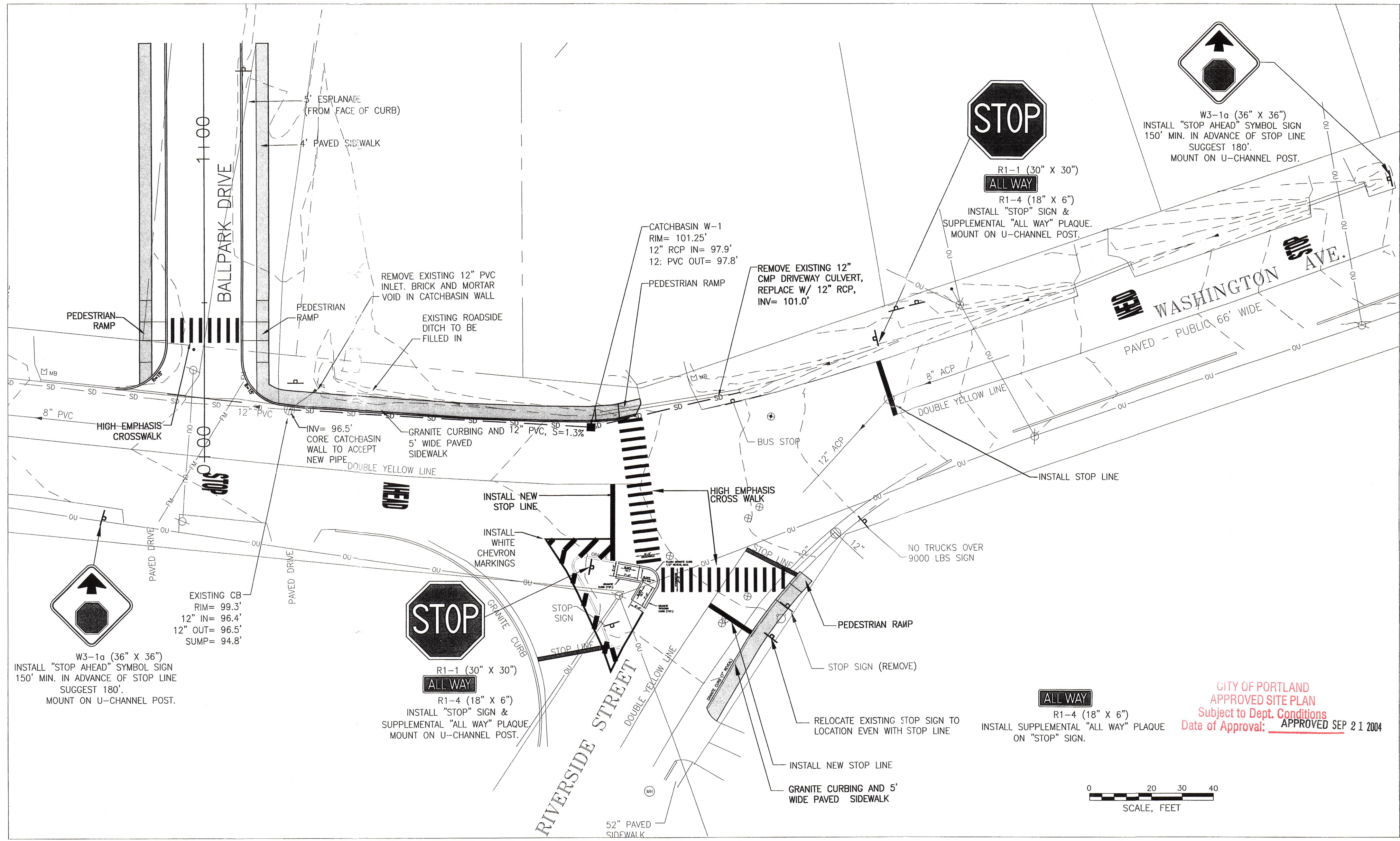
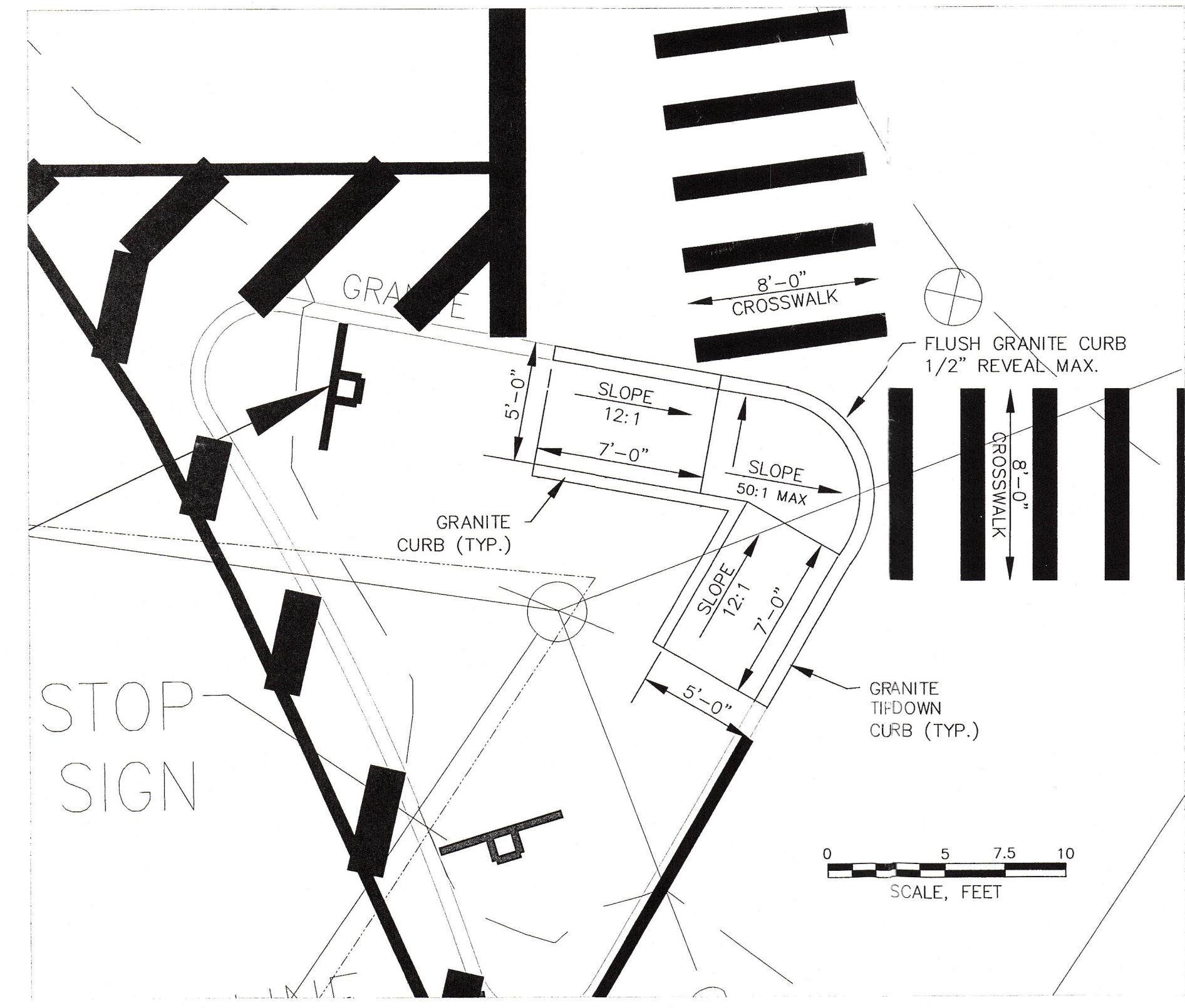
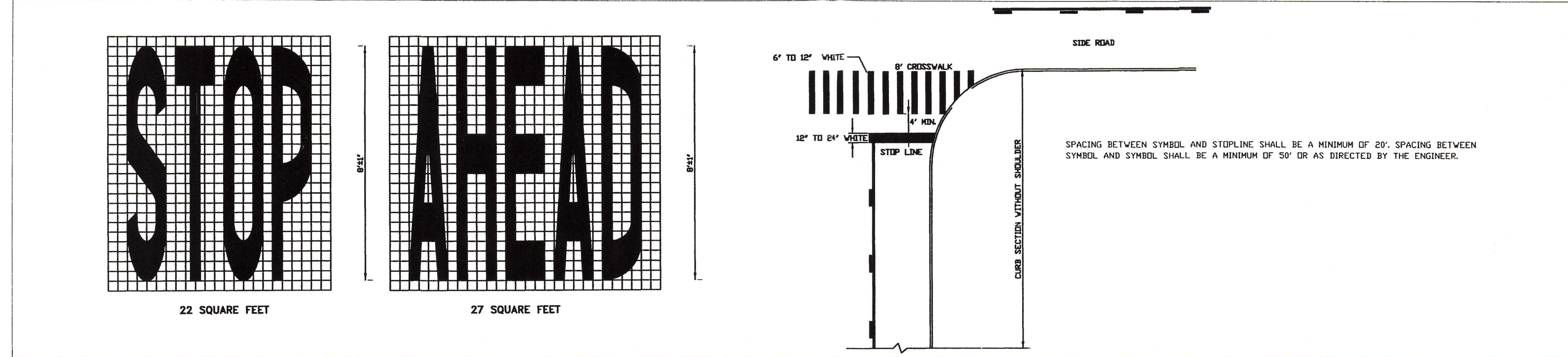
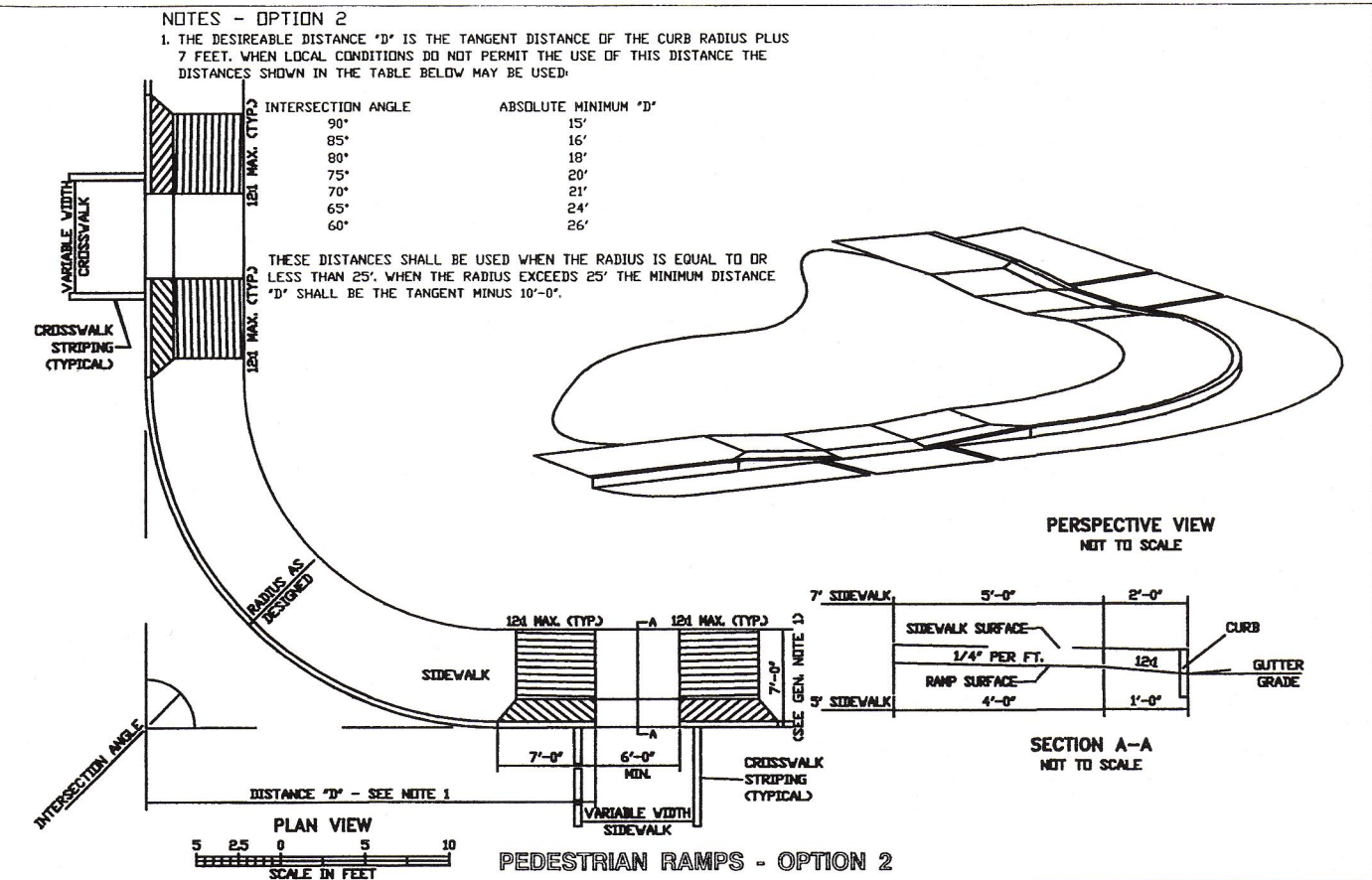
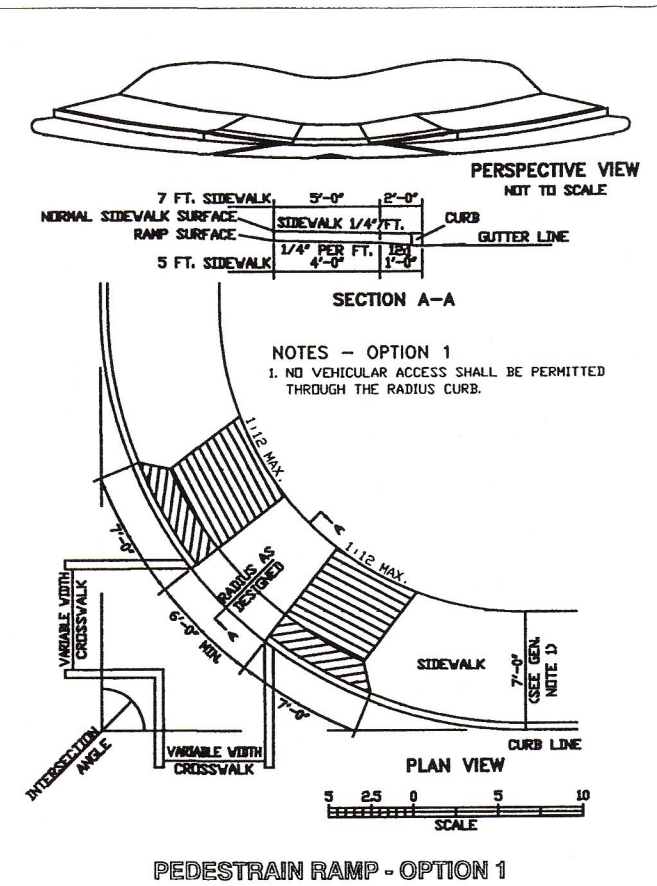






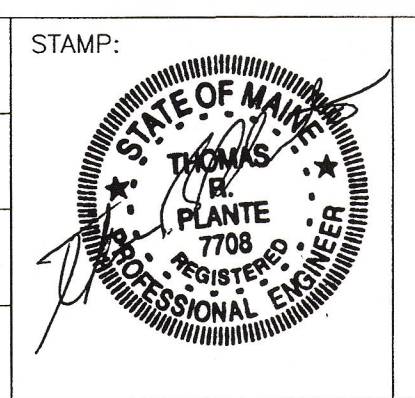
**GENERAL NOTES**

1. WHEN THE SIDEWALK IS LESS THAN 2'-0" IN WIDTH, A HOOKED END 2'-0" SLURF NO MORE THAN 1/4" PER FOOT SHALL BE PROVIDED WHENEVER A CHANGE IN DIRECTION MUST BE MADE.
2. THERE SHALL BE A MINIMUM OF 2" AGGREGATE THICKNESS COURSE-GRAVEL UNDER THE 2" PAVEMENT ON PEDESTRIAN RAMPS.
3. CURB OPENINGS FOR PEDESTRIAN RAMPS SHALL BE 6" NOMINAL.



REV	DATE	DESCRIPTION

ISSUED FOR:	DATE:	DESIGN:
PRELIMINARY		DRAWN:
APPROVAL	9/03/04	CHECKED:
CONSTRUCTION		



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PROJECT NAME:	BALLPARK DRIVE SUBDIVISION
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE
CLIENT:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103
PROJECT NO.:	53359 / 39459287

SHEET TITLE:	BALLPARK DRIVE ENTRANCE PEDESTRIAN IMPROVEMENTS	SHEET 10 OF 10
SCALE:	AS SHOWN	DRAWING NO.:
DATE:	SEPTEMBER 3, 2004	10

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