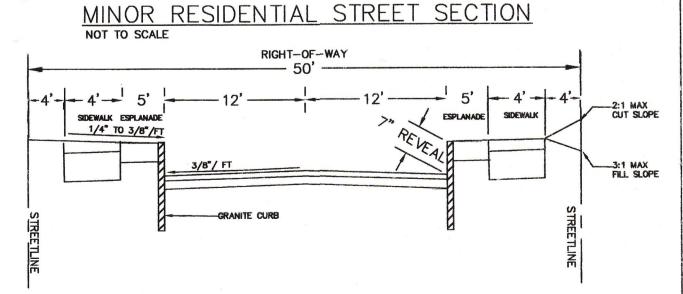


LOCATION MAP NOT TO SCALE

GENERAL NOTES

- 1. THE RECORD OWNER OF THE PROPERTY IS MARY MARGARET I. HAVERTY AS RECORDED . AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 14636 PAGE 179.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND'S TAX MAP 371 BLOCK A LOT 2, MAP 384 BLOCK A LOT 11 AND MAP 385A BLOCK B LOT 1.
- A) STANDARD BOUNDARY SURVEY OF THE HAVERTY ESTATE PROPERTY FOR MARGARET HAVERTY DATED DECEMBER 23, 1999 BY SEBAGO TECHNICS, INC. AND RECORDED AT THE CUMBERLAND COUNTY SS REGISTRY OF DEEDS IN PLAN BOOK 203 PAGE 558 ON OCTOBER 6, 2003.
- B) PLAN OF DIVISION OF LAND OF THE HAVERTY ESTATE PROPERTY FOR MARGARET HAVERTY DATED FEBRUARY 8, 2000 BY SEBAGO TECHINCS, INC. AND RECORDED AT THE CUMBERLAND COUNTY SS REGISTRY OF DEEDS IN PLAN BOOK 200 PAGE 187 ON APRIL 21, 2000.
- C) PLAN OF PROPERTY IN PORTLAND MADE FOR RIGHT OF WAY LOCATION PRESUMPSCOT NORTH FORCE MAIN DATED MARCH 13, 1969 BY H.I. & E.C. JORDAN.
- D) AERIAL MAPPING PLAN SHEET 2917-3200 FOR CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS, ENGINEERING SECTION DATED JUNE 30, 2002.
- E) PLAN RECEIVED FROM PORTLAND WATER DISTRICT.
- F) PLAN RECEIVED FROM NORTHERN UTILITIES, INC. DATED OCT 1974. G) TAX MAPS CITY OF PORTLAND.
- WASHINGTON AVENUE IS A 66 FOOT WIDE ROADWAY AS SHOWN ON THE CITY OF PORTLAND'S ENGINEERING DEPT. BLUE SHEETS 28, 29, & 30, AND WAS FORMERLY THE ORIGINAL COUNTY BOAD BUILDING FROM BORTLAND TO CRAY ROAD RUNNING FROM PORTLAND TO GRAY.
- A) AN EASEMENT FOR THE PURPOSES OF CONSTRUCTING A SEWER FORCE MAIN AS DEPICTED HEREON AND SHOWN ON PLAN REFERENCED IN NOTE 3C AND RECORDED IN BOOK 2764
- 6. THE 20' WIDE RIGHT OF WAY AND 30' WIDE DRAINAGE EASEMENTS WITHIN LESTER DRIVE SUBDIVISION ARE BASED UPON THE LESTER DRIVE SUBDIVISION PLANS APPROVED BY THE CITY OF PORTLAND. NO CONVEYANCE TO OR FROM THE LOCUS PROPERTY CHAIN OF OWNERSHIP WAS FOUND WHEREBY THE RIGHT TO DRAIN ONTO THE PROPERTY WAS CONVEYED NOR THE RIGHT OF WAY GRANTED TO THE LOCUS PROPERTY.
- 7. BENCHMARK IS A BOLT IN A 3' OFFSET MONUMENT UNDER A MANHOLE COVER IN THE SIDEWALK AT THE SOUTHEAST CORNER OF JACKSON AND AUBURN STREETS AS PROVIDED BY THE CITY OF PORTLAND'S DEPARTMENT OF PUBLIC WORKS, ELEVATION 140.443'.
- 8. HORIZONTAL COORDINATES AND BEARINGS ARE BASED ON AERIAL TARGETS C103 AND C104
 ON THE EAST SIDE OF DAVIS FARM ROAD AS TAKEN FROM AERIAL MAPS OBTAINED FROM THE
 CITY OF PORTLAND'S DEPARTMENT OF PUBLIC WORKS.
- 9. WETLANDS SHOWN HEREON WERE DELINEATED BY WOODLOT ALTERNATIVES USING THE ARMY CORPS METHODOLOGY. WETLANDS NORTH OF THE INTERMITTENT BROOK WERE NOT DELINEATED.
- 10. SIX LOTS WERE CREATED IN APRIL 2000 FROM THE MARGARET HAVERTY ESTATE PARCEL AS DEPICTED ON PLAN REFERENCE 3B, VIA A FAMILY DIVISION OF LAND THAT WAS EXEMPT FROM SUBDIVISION REVIEW PURSUANT TO 30—A MRSA SECTION 4401(4)(D).
- THE LENGTH OF THE PROPOSED BALLPARK DRIVE. THE BALLPARK DRIVE 50-FOOT RIGHT-OF-WAY
- WILL PROVIDE THE CITY ACCESS TO THE FORCEMAIN ALONG THE LENGTH OF THE ROAD. 12. LOT 17, THE EXISTING BALLFIELD, WILL BE RETAINED BY THE OWNER. PURCHASERS OF LOTS 1 THROUGH LOT 16 SHALL HAVE NO IMPLIED RIGHTS BY DEED. USE OF THE BALLFIELD SHALL ONLY BE SPECIFIC PERMISSION OF THE OWNER.
- 13. THE EXISTING SEWER FORCEMAIN EASEMENT ALONG THE LENGTH OF BALLPARK DRIVE
- WILL BE ABANDONED BY THE CITY ONCE THE STREET IS ACCEPTED BY THE CITY. THE BALLPARK DRIVE RIGHT-OF-WAY WILL THEN SERVE AS CITY ACCESS TO THE FORCEMAIN. AN EASEMENT TO THE CITY ON LOT 16 WILL BE REQUIRED TO PROVIDE THE CITY WITH A 15-FOOT WIDTH ACCESS TO THE FORCEMAIN.
- 14. THE 75-FOOT UNDISTURBED BUFFER ON THE SOUTHERN SIDE OF THE INTERMITTENT BROOK TO THE NORTHERN PROPERTY BOUNDARYS OF LOTS 1-9 WILL BE PRESERVED BY DEED RESTRICTION ON INDIVIDUAL LOTS.
- 15. 10' WIDE EASEMENT TO THE CITY OF PORTLAND FOR THE DEVELOPMENT OF A
- RECREATIONAL TRAIL WHICH CONNECTS TO THE CITY'S EXISTING PRESUMPCOST NORTH-FORCEMAIN EASEMENT FOLLOWS AN EXISTING TRAIL CLEARED AND MAINTAINED BY THE CITY FOR FORCEMAIN ACCESS.

CITY OF PORTLAND **APPROVED SITE PLAN** Subject to Dept. Conditions Date of Approval: __ APPROVED_SEP 2 1 200



1						
3	9/03/04	REVISED LOT AND ROAD LAYOUT PER CITY COMMENTS AND PLANNING WORKSHOP JULY 27, 2004.	ISSUED FOR	DATE:	DESIGN:	RIZZO
2	6/02/04	REVISED TO INCLUDE COMPLETED BOSWELL PURCHASE, WETLANDS UPDATE, AND BALLFIELD PARKING AREA.	PRELIMINARY	10/8/03	DRAWN:	RIZZO
1	4/19/04	CORRECTIONS TO NOTES, LEGENDS, PLAN FORMAT, AND BOSWELL PURCHASE.		10/8/03	DRAWN.	
	2/23/04	SUBMITTED FOR PLANNING BOARD WORKSHOP & CITY REVIEW	APPROVAL	2/23/04	CHÈCKED:	PLANTE
PE/	DATE	DESCRIPTION	CONSTRUCTION	н		



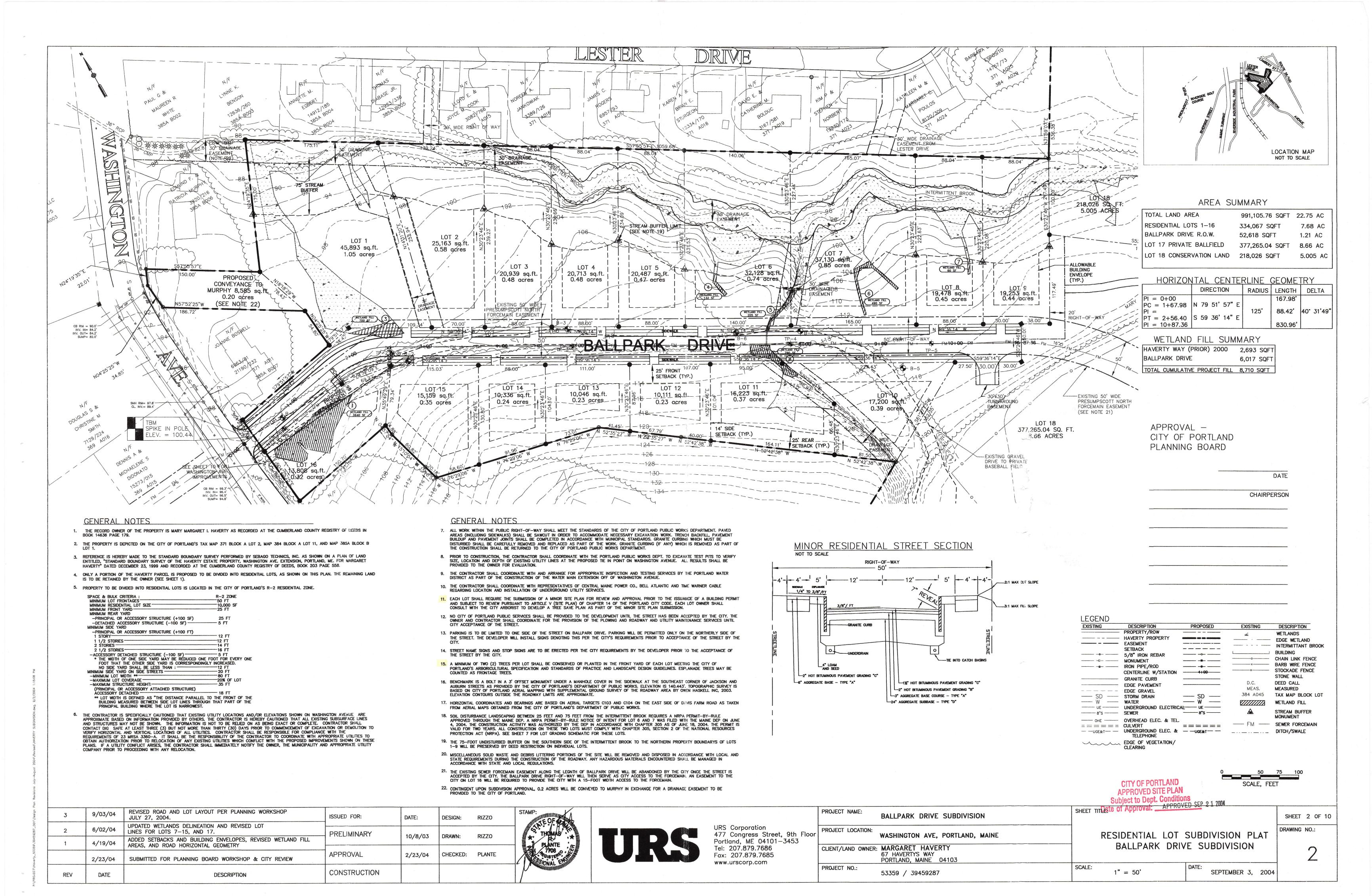
URS Corporation 477 Congress Street, 9th Floo Portland, ME 04101—3453 Tel: 207.879.7686 Fax: 207.879.7685

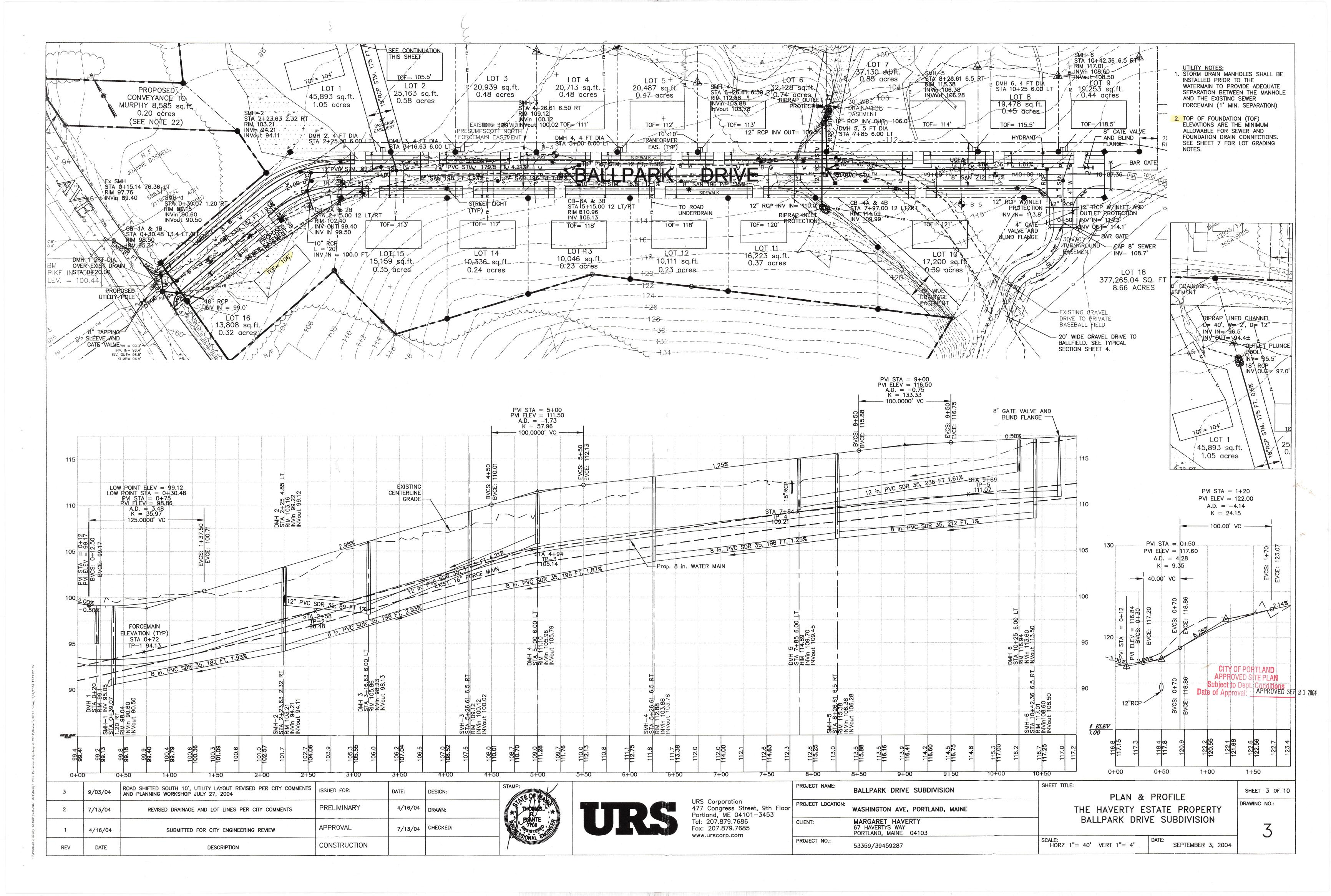
	PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEE
oor	PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE	
	CLIENT/LAND OWNER:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103	
	PROJECT NO.:	53359 / 39459287	SCALI

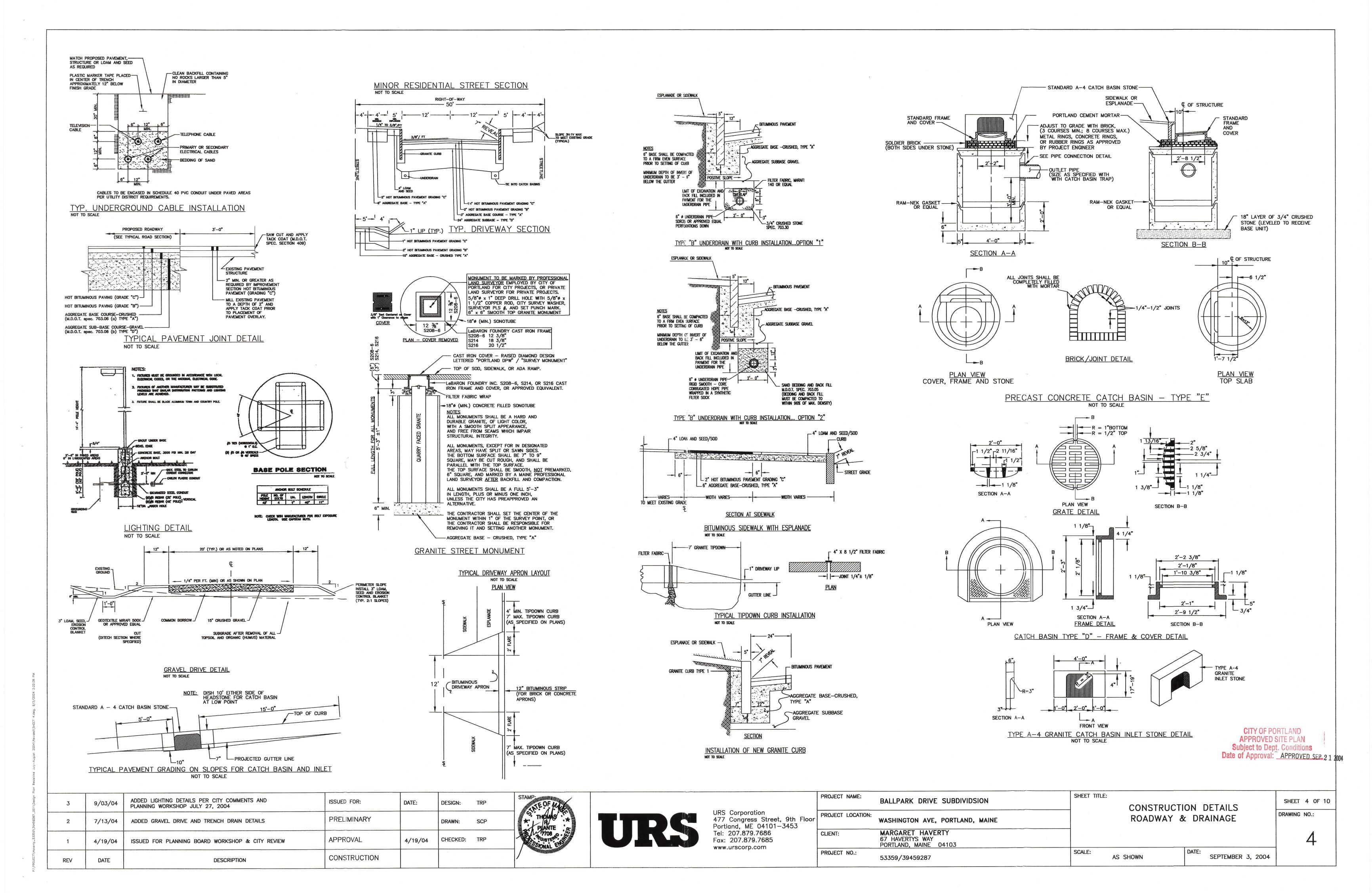
PLAN OF DIVISION OF LAND THE HAVERTY ESTATE PROPERTY BALLPARK DRIVE SUBDIVISION

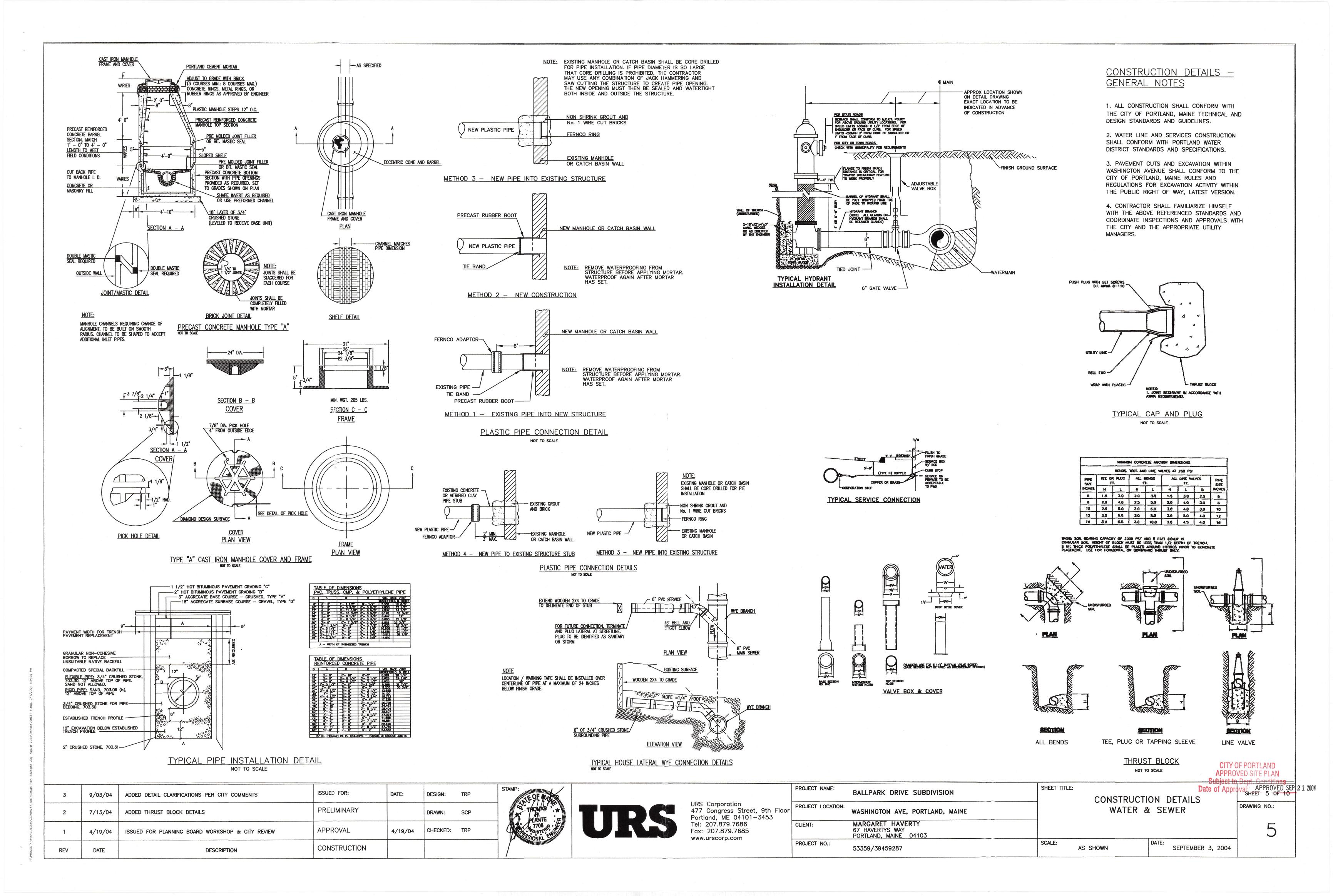
1" = 100'

SHEET 1 OF 10 DRAWING NO .: SEPTEMBER 3, 2004



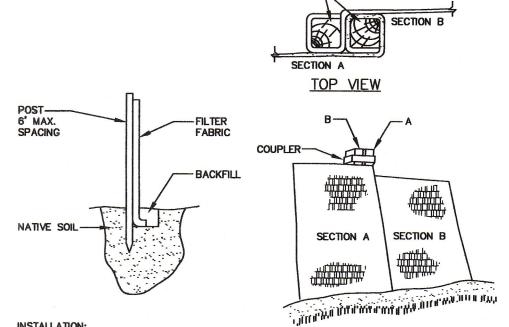






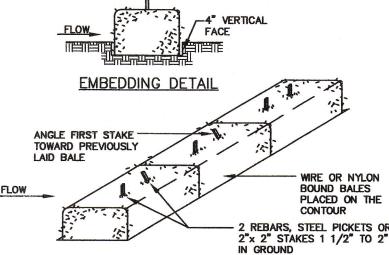
BURY THE TOP END OF THE MESH MATERIAL IN A 6" TRENCH AND BACKFILL AND TAMP TRENCHING SECURE END WITH STAPLES AT 6" SPACING, 4" DOWN FROM EXPOSED END.

- 2. FLOW DIRECTION JOINTS TO HAVE UPPER END OF LOWER STRIP BURIED WITH UPPER LAYERS OVERLAPPED 4" AND STAPLED.
- LATERAL JOINTS TO HAVE 4" OVERLAP OF STRIPS. STAPLE 18" ON CENTER.
- 4. STAPLE OUTSIDE LATERAL EDGE 2' ON CENTER.
- 5. WIRE STAPLES TO BE MIN. OF # 11 WIRE 6" LONG AND 1-1/2" WIDE.
- 6. USE NORTH AMERICAN GREEN DS 150 OR APPROVED EQUAL. EROSION CONTROL BLANKET NOT TO SCALE



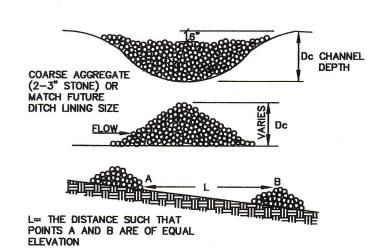
INSTALLATION:

- 1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
- 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM)
- 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE
- 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
- 5. JOIN SECTION AS SHOWN ABOVE.
- 6. BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.



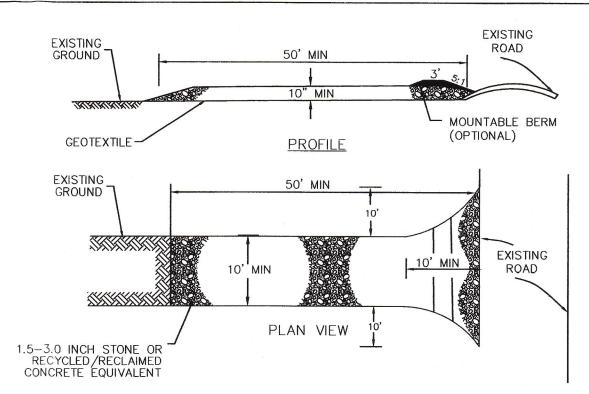
ANCHORING DETAIL

- 1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE
- 2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4"
- 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- 5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS



STONE CHECK DAM

NOT TO SCALE

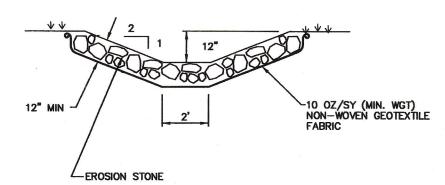


STABILIZED CONSTRUCTION ENTRANCE 1 NOT TO SCALE

- 1. CONSTRUCTION ENTRANCE MUST EXTEND THE FULL WIDTH OF THE VEHICULAR ENTRANCE AND EXIT AREA.
- 2. AREA OF ENTRANCE SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
- 3. ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT EXCESSIVE TRACKING OR FLOW OF MUD INTO EXISTING GRAVEL ROADS WITHIN THE SITE (WHICH ARE TO REMAIN IN SERVICE POST-CONSTRUCTION), AND ONTO PUBLIC ROADS. THIS MAY REQUIRE PERIODIC TOP DRESSING OR AGGREGATE REPLACEMENT.
- 4. INSTALLATION OF A TEMPORARY CULVERT BENEATH THE ENTRANCE SHALL BE PROVIDED AS NECESSARY.
- 5. WOVEN OR NON-WOVEN GEOTEXTILE PROPERTIES SHALL CONFORM TO THE FOLLOWING: GRAB TENSILE ASTM D1682 **ELONGATION FAILURE** 50% ASTM D1682 PUNCTURE STRENGTH ASTM D751 MODIFIED 125lbs

US STD SIEVE

EQUIVALENT OPENING SIZE 40-100

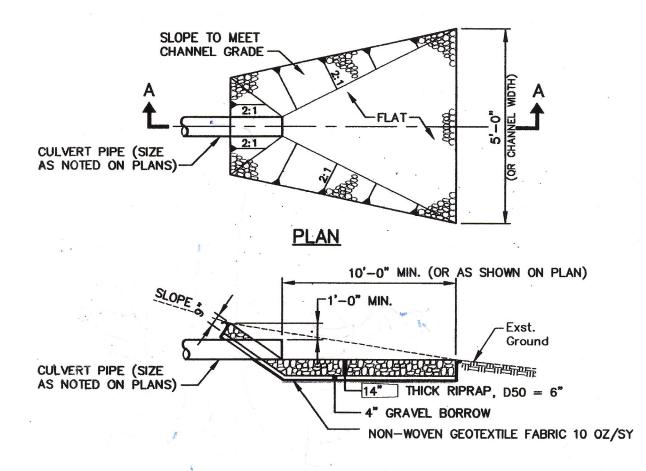


CW-02215

- 1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIPRAP SHALL BE PREPARED TO LINES AND GRADES SHOWN ON THE PLANS.
- 2. EROSION STONE USED FOR THE STABILIZED OUTLET SHALL CONFORM TO MDOT ITEM 703.29 AND MEET THE FOLLOWING GRADATION: PERCENT PASSING BY WEIGHT
- 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ERUSION STONE. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY LACING A PEICE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC, ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 18 INCHES.
- 4. THE EROSION STONE MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE

RIP-RAP CHANNEL

GRASS TREATMENT SWALE



EROSION AND SEDIMENTATION CONTROL PLAN

- CONSTRUCTION GENERAL PERMIT THE OWNER IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS) NEEDS TO COMPLY WITH THE MAINE DEP GENERAL PERMIT FOR CONSTRUCTION ACTIVITY (CGP). AS PART OF THE CGP, A STORM WATER NOTICE OF INTENT (NOI) WILL NEED TO BE SUBMITTED TO THE DEP AT LEAST 14 DAYS PRIOR TO COMMENCING CONSTRUCTION.
- 2. THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE MAINE POLLUTION DISCHARGE ELIMINATION SYSTEM (MEPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, IMPLÉMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE
- THE SITE IS A WOODED AREA ON A DIRT ROAD. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE SITE INTO 17 HOUSE LOTS.
- THE TOTAL SITE AREA: TOTAL AREA OF DISTURBANCE: 5.1AC±

STONE BERM.

A. PRE-CONSTRUCTION PHASE PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, FILTER FABRIC FENCING SHALL BE STAKED ACROSS THE SLOPE(S), ON THE CONTOUR, AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING. AND /OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SILT FENCES SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES. THIS NETWORK IS TO BE PROVIDED, INSTALLED AND MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE

AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION. ALONG THE STREAM BUFFER AT THE LIMITS OF

CONSTRUCTION, THE SILT FENCE SHALL BE SUPPLEMENTED WITH A

SECONDARY FILTER BARRIER SUCH AS MULCH, WOODCHIP, OR CRUSHED

- CONSTRUCTION AND POST-CONSTRUCTION PHASE JHE FOLLOWING EROSION CONTROL MEASURES SHALL BE FOLLOWED BY THE SITE CONTRACTOR(S) THROUGHOUT CONSTRUCTION OF THIS
 - PROJECT. SEDIMENT BARRIERS SHALL BE INSTALLED AT THE DOWNGRADIENT EDGE OF ANY DISTURBED AREA. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL THE DISTURBED AREA IS PERMANANTLY
 - STABILIZED. 2. AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT SITE CONSTRUCTION AND SHALL NOT EXCEED 14 DAYS. AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN FOURTEEN (14) DAYS OF DISTURBANCE SHALL BE PROTECTED WITH TEMPORARY EROSION CONTROL WITHIN FOURTEEN (14) DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL MESH, NETTING, OR MULCH AND AS DIRECTED BY THE INSPECTING ENGINEER. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15TH OF THE YEAR OF CONSTRUCTION, THEN ALL DISTURBED AREAS SHALL BE HAY MULCHED AT A RATE OF 150 LBS. PER 1000 SQUARE FEET AND SEEDED WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS. /1.000 S.F. TO PROVIDE WINTER PROTECTION. THE HAY MULCH SHALL BE ANCHORED WITH A SUITABLE BINDER, SUCH AS RMB PLUS AND/OR SECURED WITH NETTING FOR WIND PROTECTION. CONSULT ENGINEER FOR DORMANT SEEDING APPLICATIONS.
 - ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDED WITH RYE AT 3 LBS/1,000 S.F., AND MULCHED ON-SITE AND RE-USED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER. DESIGNATED LOCATIONS SHALL BE DETERMINED PRIOR TO OR AT THE PRE-CONSTRUCTION MEETING.
 - 4. STORMWATER MANAGEMENT: ALL STORMWATER CHANNELS SHALL BE DESIGNED. CONSTRUCTED AND STABILIZED TO ACHIEVE LONG-TERM EROSION CONTROL. LITTER, DEBRIS AND CHEMICALS USED FOR CONSTRUCTION MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
 - 5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE SILT FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER OF GRASSES.
 - 6. A CONSTRUCTION ENTRANCE SHALL BE BUILT AT THE INTERSECTION OF WASHINGTON AVE AND BALLPARK DRIVE. WASHINGTON AVE SHALL BE PERIODICALLY SWEPT OR WASHED TO AVOID TRACKING OF MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS.
 - 7. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH THE FOLLOWING VEGETATION PLAN.
- C. <u>VEGETATION PLAN</u> REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. DISTURBED AREAS SHALL BE MULCHED AND ANCHORED PRIOR TO ANY STORM EVENT. IF FINAL SEEDING CANNOT BE ACCOMPLISHED BY SEPTEMBER 15TH, THEN ALL DISTURBED AREAS SHALL BE HAY MULCHED AT A RATE OF 150 LBS PER 1,000 S. F. AND SEEDED WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS/1,000 S.F. TO PROVIDE WINTER PROTECTION. HAY MULCH SHALL BE SECURED WITH A SUITABLE BINDER TO INCLUDE RMB PLUS OR EROSION CONTROL NETTING AS DIRECTED BY THE OWNER/INSPECTION ENGINEER. REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:
 - 1. FOUR INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1" IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER
 - OBJECTIONABLE MATERIAL. AGRICULTURAL LIMESTONE SHALL BE SPREAD AT THE RATE OF 3 TONS PER ACRE. 10-20-20 FERTILIZER SHALL BE APPLIED AT A RATE OF 800 LBS/ACRE. THESE SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING.
 - FOLLOWING SEED BED PREPARATION, SWALE AREAS, FILL AREAS AND BACK SLOPES SHALL BE SEEDED AT A RATE OF 4 LBS/1,000 S.F. TO A MIXTURE OF 35% CREEPING RED FESCUE, 6% RED TOP, 24% KENTUCKY BLUEGRASS, 10% PERENNIAL RYEGRASS, 20% ANNUAL RYEGRASS AND 5% WHITE DUTCH
 - 4. HAY MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT THE RATE OF 150 LBS. PER 1,000 SQUARE FEET, OR A HYDRO-APPLICATION OF WOOD OR PAPER FIBER WILL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER, SUCH AS RMB PLUS AND/OR EROSION CONTROL NETTING WILL BE USED ON HAY MULCH FOR WIND CONTROL.
 - 5. ALL HAY BALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85%-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.

- D. GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.
- AN EFFORT WILL BE MADE TO STORE ENOUGH PRODUCT REQUIRED TO DO THE JOB; - ALL MATERIAL STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A
- ROOF OR OTHER ENCLOSURE; - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURERS LABEL;

- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS

USE AND DISPOSAL OF MATERIAL ONSITE.

CONTAIN IMPORTANT PRODUCT INFORMATION;

RECOMMENDED BY THE MANUFACTURER; - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER; MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED:

THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER

- HAZARDOUS PRODUCTS: THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.
- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE; - ORIGINAL LABELS AND MATERIAL SAFELY DATA WILL BE RETAINED; THEY
- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.
- PRODUCT SPECIFIC PRACTICES: THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON
- PETROLEUM PRODUCTS: ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
- FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. NO FERTILIZER WILL BE STORED ONSITE.
- SPILL CONTROL PRACTICES: IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP: - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL
- BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS
- PURPOSE. - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. - THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, AS REQUIRED -- THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP
- F. CONSTRUCTION SCHEDULE

SITE IMPROVEMENTS WILL MOST LIKELY BEGIN IN THE FALL OF 2004 DEPENDING UPON FINAL PROJECT APPROVAL. BASED UPON A FALL CONSTRUCTION START, THE FOLLOWING SCHEDULE IS ANTICIPATED FOR THE CONSTRUCTION OF THE ROADWAY IMPROVEMENTS: SCHEDULE

1. ESTIMATED CONSTRUCTION TIME: EROSION CONTROL MEASURES PLACED.

SITE CLEARING AND GRUBBING. WEEK 2 - WEEK 3

4. CONSTRUCTION OF ROAD SUBBASE WEEK 2 - WEEK 12

UTILITY IMPROVEMENTS WEEK 3 - WEEK 12 AND ROADWAY CONSTRUCTION. 6. MULCH SPREAD FOR WINTER AT COMPLETION OF GRADING EROSION CONTROL. AS NECESSARY

3 MONTHS

WEEK 1

7. START FINAL SEEDINGS ON PREPARED AREAS. (DURING GROWING SEASON.)

8. BIWEEKLY MONITORING OF UNTIL SATISFACTORY GROWTH VEGETATIVE GROWTH. RE-SEEDING OF AREAS, IF NEEDED.

10. REMOVAL OF EROSION CONTROL WITHIN 30 DAYS OF PERMANENT STABILIZATION DEVICES. INSPECTIONS/MONITORING

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE

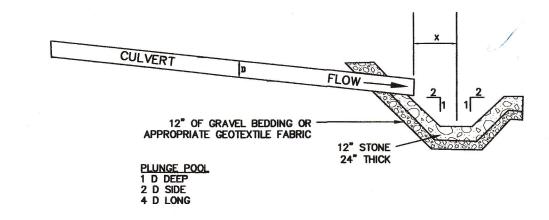
CONSTRUCTION CYCLE. BEFORE AND AFTER EACH RAINFALL, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AND MODIFICATIONS OR ADDITIONS TO BEST MANAGEMENT PRACTICES AS NEEDED. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF

CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.

INSPECTION REPORTS SHALL BE KEPT SUMMARIZING THE SCOPE OF THE INSPECTION, NAMES(S), DATE AND MAJOR OBSERVATIONS. FOLLOW-UP TO CORRECTIONS OR ENHANCEMENTS SHALL BE RECORDED.

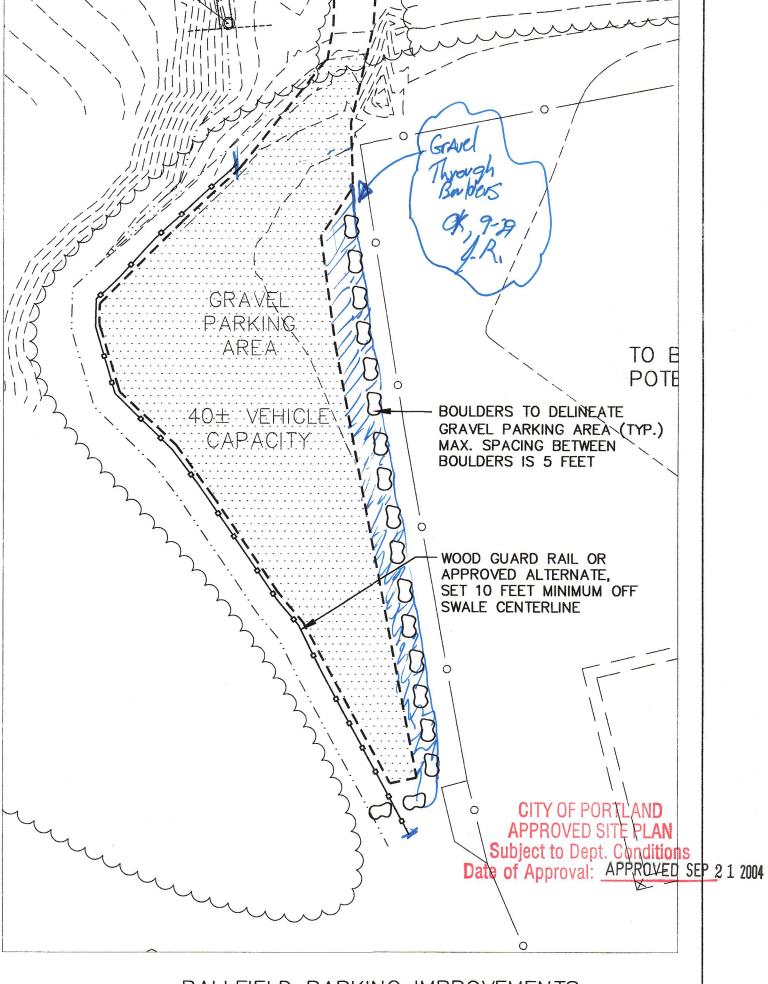
FOLLOWING THE TEMPORARY AND/OR FINAL SEEDINGS, CONTRACTOR SHALL INSPECT THE SITE SEMIMONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 85%-90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

CONSTRUCTION DEWATERING COLLECTED WATER FROM TRENCH DEWATERING SHALL BE DISCHARGED TO NATURAL WELL VEGETATED OR WOODED BUFFER AREAS OR REMOVED TO AREAS DESIGNED TO COLLECT THE MAXIMUM SEDIMENT AMOUNT POSSIBLE, SUCH AS A TEMPORARY SEDIMENT BASIN, INFILTRATION BASIN, OR STRAW SEDIMENT REMOVAL STRUCTURE OR FILTER (I.E., SILT SAK). DEWATERING WATER SHALL NOT BE DISCHARGED TO DRAIN SYSTEMS, WETLANDS, OR WATERWAYS WITHOUT TREATMENT FOR SEDIMENT REMOVAL. DISCHARGE SHALL NOT BE



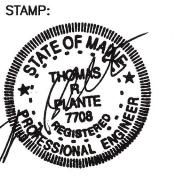
CULVERT OUTLET PLUNGE POOL

PIPE SIZE (IN.)



BALLFIELD PARKING IMPROVEMENTS SCALE: 1" = 40'

3	9/03/04	ADDRESSED CITY COMMENTS ON STORMWATER EROSION CONTROLS	ISSUED FOR:	DATE:	DESIGN:	TRP		ST
2	7/13/04	ADDED EROSION CONTROL DETAILS AND MODIFIED ESC PLAN	PRELIMINARY		DRAWN:	SCP		MILIAN
1	4/19/04	ISSUED FOR PLANNING BOARD WORKSHOP & CITY REVIEW	APPROVAL	4/19/04	CHECKED:	TRP		
REV	DATE	DESCRIPTION	CONSTRUCTION	9			4	//

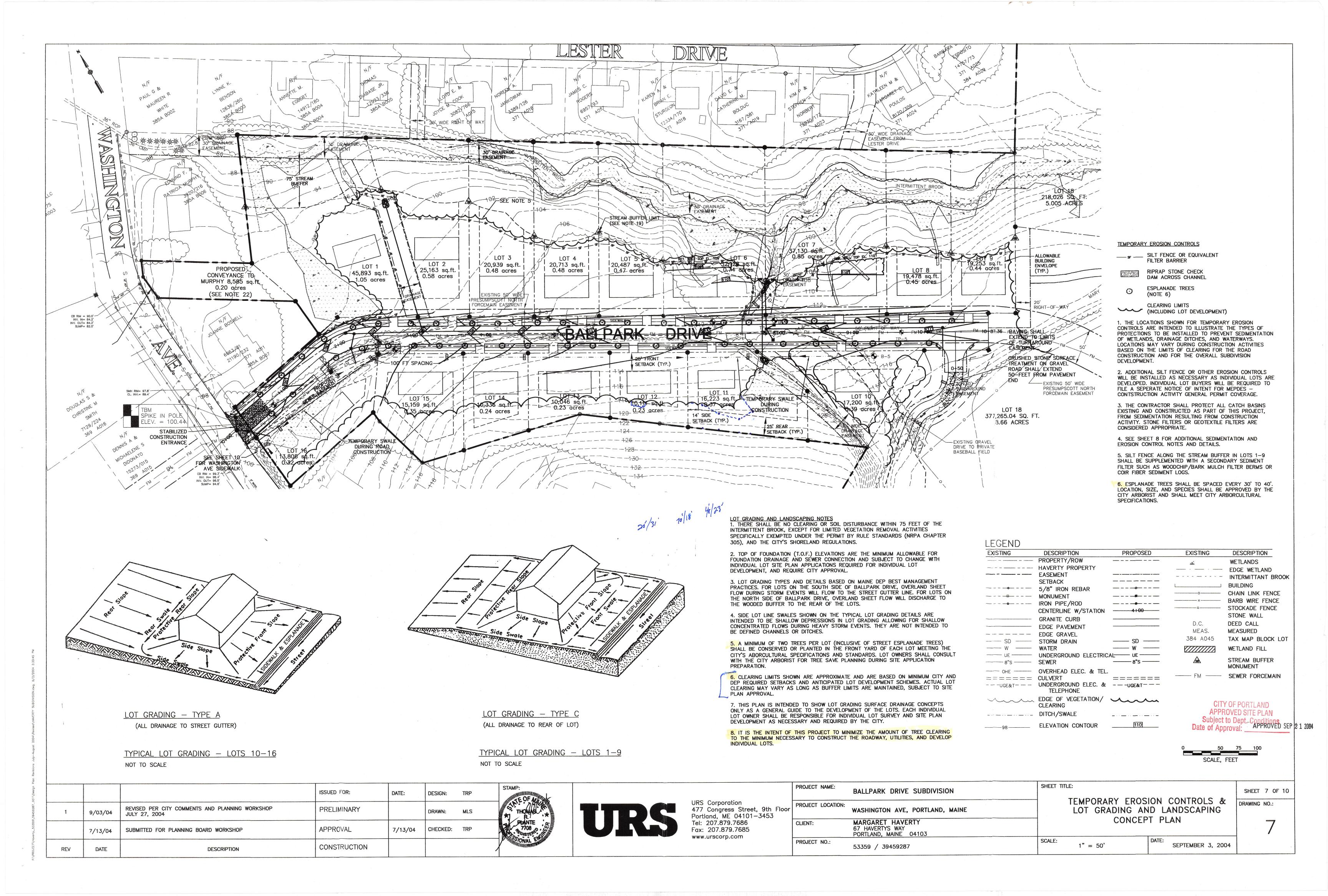




URS Corporation 477 Congress Street, Portland, ME 04101-Tel: 207.879.7686 Fax: 207.879.7685 www.urscorp.com

	PROJECT NAME
9th Floor 3453	PROJECT LOCAT
9	CLIENT:
	PROJECT NO.:

	ALLOWED TO	BARE SOIL AREAS.					
	PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:	EROSION AND	SEDII	MENTATION	SHEET 6 OF 10
Floor	PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE		CONTROL			DRAWING NO.:
	CLIENT:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103					6
	PROJECT NO.:	53359/39459287	SCALE:	AS SHOWN	DATE:	SEPTEMBER 3, 2004	



MODEL: METHOD: 1/4" Hollow Stem AugerHAMMER: 140 lbs. FALL: 30 inches12/30/2003 FALL: 30 inches-6BGS 		SOIL BORING	LOG Boring No.:	B-1		SOIL BORING LOG	Boring No.:	B-2		SOIL BORING LOG	Boring No.:	B-3
Control part March March	URS	Project: Haverty Subdivision	on Sheet: 1 of	1	URS	Project: Haverty Subdivision	Sheet: 1 of	1	URS	Project: Haverty Subdivision		
Column C	, 0-10-1-20-1-20-1-20-1-20-1-20-1-20-1-20			-	477 Congress Street Suite 3A, Portland, Maine 04101		Project Nur	nber:53359-001				
Part				1						,	1	
Public		Boring L			Driller: Northeast Diamond Drilling	Boring Location:	Along gravel	access road		Boring Locatio		
Math	Drilling Foreman:Chris Palmer	Ground S		l l	Drilling Foreman: Chris Palmer	Ground Surface Eleva			Drilling Foreman:Chris Palmer	0	88	
Section Sect	D&M Eng./Geol.Kate McDonald	Date Star	rted:12/30/2003 Date Comp	oleted:12/30/2003	D&M Eng./Geol.Kate McDonald	Date Started: 12/30/200	3 Date Com	pleted:12/30/2003	D&M Eng./Geol.Kate McDonald			
Monthe M		SAMPLER	ESTIMATED GI	ROUND WATER DEPTH			ESTIMATED G	ROUND WATER DEPTH				
Mile												
SAMPLE S			12/30/2003 ~6	BGS none			0*	BGS 30 minutes			12/30/2003 5.2	BGS 30 minute
FORT PARTICULAR PARTICULA	The state of the s	FALL: 30 inches		EIELD		FALL: 30 inches		FIELD		FALL: 30 inches	And the same and t	EIELD
A		SAMPLE DESCRIPTIO	N UNIFIED SOIL			SAMPLE DESCRIPTION	UNIFIED SOIL			W SAMPLE DESCRIPTION	UNIFIED SOIL	
1							GROUP SYMBOL	1 1	- STANDON DE WILLS AND			
1	0	0-6": Organics (leaves and roots)	observed.			0-6": Organics (leaves and roots) observed.			0			
No. 1				Measured				Measured				Measured
No. 1	1			B B	1				1			
1 1 2 2 2 2 2 3 4 2 2 2 2 2 2 4 2 2	2			8	2			0	2	-		
1	-			1	_				-			
4				0			SM	0	3 S1 24/24 3-5 6			
1				1				8	5		ivel,	
\$ \text{def mase in the general (section () denses)}\$ \$ \text{def mase in the general (section () denses)}\$ \$ \text{def mase in the general (section () denses)}\$ \$ \text{def mase in the general (section () denses)}\$ \$ \text{def mase in the general (section () denses)}\$ \$ \text{def mass in the general (section () denses)}\$ \$ def mass in th				0				1	4 4			
6 6 7 7 8 8 9 5 5 5 5 5 5 5 5 5	5		ace medium SP	0	5	(moist) (medium dense)		0	5		SP	0
S Player SAND, mean wat more medium S Player SAND, meaning (see (more)) S S S S S S S S S	3	said, tace sit (moist) (dense)		0					3	uace sit, (moist) (loose)		8
S Player SAND, mean wat more medium S Player SAND, meaning (see (more)) S S S S S S S S S	6			3 3	6		07	0	6			0
S Player SAND, mean wat more medium S Player SAND, meaning (see (more)) S S S S S S S S S				0				8				0
S 24/9 8-10 12 and trace all it (most) (period dames) S S 24/4 8-10 8 9-45/0 (per gray \$\text{LTY SAND}, coding to fine and with \$\text{The graved} trace all it (most) (period dames) S S 24/4 8-10 8 9-45/0 (per graved) (period dames) S S 24/4 8-10 8 9-45/0 (per graved) (period dames) S S 24/4 8-10 8 9-45/0 (per graved) (period dames) S S 24/4 8-10 8 9-45/0 (per graved) (per	7	9 Of Decition CAND, time and tree	no modium	0 0	7	Q O El Como os abour	GN 4	9	7		ith	8
15 9 9 9 9 0 0 0 0 0 0	8 S2 24/20 8-10 12			0	8 \$2 24/24 8-10 8	6-9.5° Same as above	SM	8	8 52 24/24 8-10 4		medium SP/SM	1
9 8 8 coarse seed and trace file general, trace sile, 10 11 (monitor, graded and draws) 10 10 10 10 10 10 10 10 10 10 10 10 10 1				0 0	52 2.021 0.10 0	The state of the s						
10 10 10 10 10 10 10 10			trace silt,	0	9 23		a a	1 1				
11								0	2			
12 *Porting located in a modeline ditch. Water level at surface due to penhod water and may not be representative of local groundwater table. 13 13 14 14 15 15 15 15 16 16 16 17 17 17 17 18 18 18 18	10	10': Bottom of Exploration		0	10	10 feet: Bottom of Exploration		8 B	10	10 feet: Bottom of Exploration		8 8
12 *Porting located in a modeline ditch. Water level at surface due to penhod water and may not be representative of local groundwater table. 13 13 14 14 15 15 15 15 16 16 16 17 17 17 17 18 18 18 18	11			0	11			0 U	11	+		
Surface due to perched water and may not be representative of local groundwater table. 13 14 14 14 15 15 15 15 16 17 17 17 18 18 18 19 19 19 19 19				0 0				0				
13 13 representative of local groundwater table. 13 14 14 15 15 15 15 16 16 17 17 17 17 18 18 18 18	12			0	12	*Boring located in a roadside ditch. Water level at		0	12			0 8
14 15 16 17 18 19 20				0				0				
14	13			1	13	representative of local groundwater table.		0	13			
15	14			0	14	-			14	-		0
16				0				0				0
17	15			9 9	15			0	15			9
17		_		0 0		· ·		9		_		0
18	16			0	16			0	16			8
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$\begin{array}{ c c c c c c c c c c c c c c c c c c c$				0	10			0 0				
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	20		,	V	20	- 		- T	20	_		\
		Management () A manage				9						

	*****				SOIL BORING	LOG	Boring No.: I	3-4	
		URS et Suite 3A, Po 9-7686 Fax: (Project: Haverty Subdivis Location:Portland, Maine		Sheet: 1 of 1 Project Num Checked By:	ber:53359-0	
Driller: No					Boring	Location:	Along gravel	access road	
Drilling F			_				tionna Datum:		est: 112
_									
D&M Eng					The second secon		3 Date Comp		
		LING ME	THOD		SAMPLER	**** **********************************	ESTIMATED GR	1	
VEHICLE:					TYPE: 2 ft split spoon	DATE	DEPTH (feet)	REFERENCE	STABILIZATIO
MODEL: M					HAMMER: 140 lbs.	12/30/2003	5.4	BGS	30 minutes
METHOD2	2 1/4" H		Auger		FALL: 30 inches				
AL W. L. S.	1	SAMPLE		T DI ONI	CAN ON E DESCRIPTION	021	INTERED COR	FIELD	
DEPTH			INTERVA		SAMPLE DESCRIPTION	JN	UNIFIED SOIL GROUP SYMBOL	SCREENING	Mompa
(ft.)	NO.	(in.)	(ft.)	COUNT		-1	OKOUF STMBOL	(ppm)	NOTES
0					0-6": Organics (leaves and roots)	observed.		Not	
	-			-	+			Measured	
1	-							B 8	
1	-	-		-	-			0	
2	-			+	<u> </u>			8 8	
3	SI	24/24	3-5	6	3-4.5' Brown SAND, medium to	fine cand	SP	0	
<u> </u>	31	24/24	3-3	5	occasional roots, occasional mott		51	0	
4				4	(medium dense)	ing (moist)		8	
<u> </u>			+	7	4.5-5'Olive gray SANDY SILT,	silt with medium	ML	0	
5	+				to fine sand, (moist) (medium der		IVIL	8	
		200			to man bases (mouse) (mousem der			0	
6								D D	
					†			0	**************************************
7			 					0	
								D D	
8	S2	24/24	8-10	4	8-10' Gray to Brown SILTY SAN		SM	Ü	
				6	fine sand with silt (very moist) (le			0	
9				4	clayey silt observed in tip of SPT	spoon (@10')		0	
				2			ML	B	
10					10 feet: Bottom of Exploration	2		0	
	1			-	1			0	
11	-					v.		D D	
	-			-				0	
12	-		<u> </u>					0	
12		-			+			0	
13	-		-		+	140		B B	
14	-				+			B B	
14	-			-	+			0	11
15	-						*	U D	
- 	†				†			B B	
16					†			D 0	
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17					†			B 0	
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***************************************		AND THE PROPERTY OF THE PARTY OF THE PARTY.						0	
19								0	
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20		I							

			ortland, Maine 041		Project: Haverty Subdivision Location:Portland, Maine	1	Sheet: 1 of 1 Project Num Checked By:	ber:53359-0	1			URS et Suite 3A, Po 9-7686 Fax: (Project: Haverty Subdivision Location:Portland, Maine	1	Sheet: 1 of 1 Project Num Checked By	ber:5335	
Driller: N			(207) 879-7685		Boring Lo	cation.	Along gravel		7413	Driller: No					Boring Lo	cation.	Along gravel		
		an:Chris F	_				tionna Datum:		est: 115 ft	Drilling Fo			_	•			ntionna Datum:		est. 112 ft
DANIE		l.Kate Mo					3 Date Comp			D&M Eng						leu i i 2/30/200	3 Date Comp		
		LING ME	THOD		SAMPLER		ESTIMATED GR					LING ME	THOD		SAMPLER		ESTIMATED GR	1	
VEHICLE		- *II			YPE: 2 ft split spoon	DATE		REFERENCE	STABILIZATION	VEHICLE:		\!II			TYPE: 2 ft split spoon HAMMER: 140 lbs.	DATE 12/30/2003		REFEREN	
MODEL:		ollow Stem	Augus		IAMMER: 140 io. VALL: 30 inches	12/30/2003	~6	BGS	none	MODEL: M METHOD2			Auger		FALL: 30 inches	12/30/2003	~6	BGS	none
MEINOD	2 1/4 II	SAMPLE	Augei	ı.	ALL: 30 liches			FIELD		METHOD2		SAMPLE	rugei		FALL. 30 menes			FIELD	
DEPTH			INTERVAL BI	OW	SAMPLE DESCRIPTION		UNIFIED SOIL	SCREENING		DEPTH	1	PEN./REC	INTERVA	I. BLOW	SAMPLE DESCRIPTION	· ·	UNIFIED SOIL	SCREENI	
(ft.)	NO.	(in.)		UNT	Saud DE PESCHI TION		GROUP SYMBOL	(ppm)	NOTES	(ft.)	NO.	(in.)	(ft.)	COUNT			GROUP SYMBOL	(ppm)	
0	110.	(11.)	(11.)		-6": Organics (leaves and roots) ob	served.		Not	NOTES	0	1.0.	(223)	(2.0)		0-6": Organics (leaves and roots) of	oserved.		Not	
								Measured										Measure	d
1								B		1								0	
								0										0	
2								0		2								0	
								ı							_		y v	0	
3	S1	24/24	3-5	5 3-	-5' Brown SILTY CLAY,		CL	0		3	S1	24/24	3-5	5	3-5' Brown to light brown SILTY S.		SM	0	
				10 tra	race sand, (moist) (stiff)	75		0						6	medium to fine sand, trace to with si	lt, frequent		0	
4				18						4				8	mottling, (moist) (medium dense)			0	
A a				13		-								9	1		22	0	
5										5					+			0	
		-						0										0	
6								0		6				-				- B	-
						9		0 0 0			-				1		27	0	
7								0 0		7								D 0	
8	63	24/18	8-10	7 0	-10' Brown GRAVELLY SAND, co	to C	SP	0		8	S2	24/24	8-10	1	8-10' Gray SILTY CLAY, trace to s	ome cilt	CL	B	
	S2	24/10			and with fine gravel (wet) (medium		Sr	0		0	32	24/24	0-10	5	medium plasticity (moist) (stiff)	ome site,	CL	0 0	
9				13	and with fine graver (wet) (medium	delise)		0		9				4	moduli plasticity (mods) (suri			0	
				12		20		0						3	†			8	
10					0 feet: Bottom of Exploration			0		10					†			0	The state of the s
					- Leave - Company			0										0	
11								0		11								0	
								0							1	2		8	
12										12					1		2	0	
								0								a		D 0	
13								9		13	S3	24/24	13-15		13-14.5'Olive gray SILTY SANDY		CL	0 0	
										4.4			-		silt and coarse to fine sand (wt) (so		GD C	0	
14								0		14				3	14.5-15'Olive gray SILTY SAND,		SM	0 8 n	
15		ļ				-				15	S4	24/24	15-17	4	sand with silt, trace clay (mois) (loc 15-17'Olive gray SILTY SAND, co		SM	B 0	
15		-								13	34	24/24	1.7-1/	5	sand with silt, trace clay (moit) (mo		SIAI	0 0 n	
16	_							0		16				14	Sand Willi Sin, udoc clay (mole) (iii	didin delise)		0	
10			 					0		10	1			16	1			8	
17								0 0		17	1			10	17 feet: Bottom of Exploration			U O	
								0 0										0	
18								0		18					Ī			0	
						la .	8	8										0	
19								0		19								0	
								<u> </u>							4			0	
20										20								V	

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval:

APPROVED SEP 2 1 2004

Notes:
in or " = inches
ft = feet

bgs = below ground surface

GS = ground surface ID = inside diameter

SEPTEMBER 3, 2004

ISSUED FOR: DATE: DESIGN: TRP

PRELIMINARY

DRAWN: MLS

APPROVAL

PREV

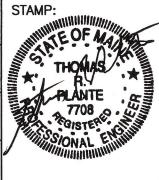
DATE

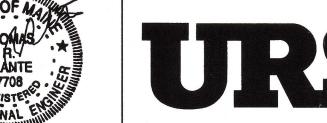
DESIGN: TRP

DRAWN: MLS

CONSTRUCTION

CONSTRUCTION





URS Corporation 477 Congress Street, 9th Floor Portland, ME 04101—3453 Tel: 207.879.7686 Fax: 207.879.7685 www.urscorp.com

	PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:			-
Floor	PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE			SOIL	BC
	CLIENT:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103				
	PROJECT NO.:	53359 / 39459287	SCALE:	NTS		

BORING LOGS

SHEET 8 OF 10

DRAWING NO.:

8

		TEST	PIT FIELD	LOG	Tes	t Pit No.:	TP-1	
	URS	Project:	Ballpark Driv	e Subdivision	She	et: 1 of 1		
477 Congress Str	reet 9th Floor, Portland, Maine 04101	Location:	Portla	nd, ME	Pro	ject Number:	39459287	
Tel: (207) 8	379-7686 Fax: (207) 879-7685	Date:	8/3/2	2004	Che	ecked By:	T. Plante	
URS Enginee	r/Geologist:	Contractor:	Les Wilso	n & Sons	Gro	und Elev:	101.60	
K. McDonald/S	S. Perkins	Operator:			Gro	undwater De	pth:	5.5'
Time Started:	7:45 AM	Equipment M	ake & Model:					
		Rubber tire ba	ckhoe		Wea	ather:	Sunny, 80's	3
Time Complet	ed: 10:15 AM	Capacity:	cu.yd. Re	ach: 16ft				
DEPTH					SYMBOL	FIELD	EVOAV	DEMARK
bgs (ft.)	STRATI	JM DESCRIP	TION		SYM	SCREENING (PPM)	EXCAV. EFFORT	REMARK NO.
0.0								
1.0	0'-2' Road base	- M-F gravel with	C-M sand				E	
1.0	MOIST	, in a graver with	O III Gana					TO REPORT OF THE PARTY OF THE P
2.0								
3.0	2'-4' FILL: C-F	gravel C-F sand	and silt			·	E	
0.0	Occasional cobbl		and sin.				-	
4.0								
5.0	4'-6' Grav to ol	ive-gray SILT, tra	ce sand and				E	
0.0	clay. MOIST, ST		oc sand and				L	
6.0						77004		
7.0	6' Becomes sa WT up to 5.5 ft	ndy, water bubbli	ng into hole.				M	
7.5	VV 1 up to 5.5 k					THE RESERVE OF A SECOND		***
8.0		st iron pipe obser	ved; Bottom					
9.0	of Excavation							
3.0				ii.				
10.0								
11.0								
11.0								
12.0								
12.0				8	ŀ			
13.0				е	ŀ			
14.0								25.00
15.0				22	-	THE SECOND SECON		- Audio
	pose of test pit was to locate ar	existing 16" cast	iron sewer forc	e main.				-
TEST PIT PL	AN BOULDER CLASSIFICATION	PROPORTI	ONS USED	ABBF	REVIA	TIONS	EXCAVATION	ON EFFOR

SIZE RANGE CLASS 6"-18" A LITTLE (I.) 18"-36" B SOME(s.) >36" C AND

Pro Che ns Gro Gro	piect: 1 of 1 piect Number: ecked By: pund Elev: pundwater Del not observed eather:	T. Plante 103.50 pth:	
Chens Gro	ecked By: bund Elev: bundwater Del not observed eather:	T. Plante 103.50 pth:	
ns Gro Gro We	ound Elev: oundwater Deport observed eather:	103.50 pth:	
Gro We	oundwater Dep not observed ather:	pth:	
VVe 6ft	not observed ather:		3
6ft	ather:		3
6ft	FIELD	Sunny, 80's	•
	200 1001112-00000		
SYMBO	200 1001112-00000		
≿	SCREENING	EXCAV.	REMAR
- 07	(PPM)	EFFORT	NO.
		E	
		-	
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	A control of the second	-	
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	DEPT STORE OF THE ST.		
*			
1			
			E

		TEST	PIT FIELI	DLOG	Tes	t Pit No.:	TP-4	
URS	3	Project:	Ballpark Driv	e Subdivision	She	et: 1 of 1		
477 Congress Street 9th Floor,	Portland, Maine 04101	Location:		nd, ME		ject Number:	39459287	
Tel: (207) 879-7686 Fax		Date:		2004	1 '	cked By:	T.Plante	
URS Engineer/Geologic		Contractor:	Les Wilso			und Elev:	112.15	
K. McDonald/S. Perkins		Operator:				undwater De		
Time Started: 12:30 F			lake & Model:		0.0	not observed		
rine otariou. 12.001		Rubber tire ex			\\/o	ather:	Sunny, 80'	•
Time Completed: 12	2:40 PM	Capacity:		ach: 16ft	****	ati ioi .	Outliny, 00	3
DEPTH		- присту.			占	FIELD		
bgs (ft.)	STRA	TUM DESCRIP	PTION		SYMBOL	SCREENING (PPM)	EXCAV. EFFORT	REMARK N
0.0								
1.0								
2.0	0'-3.5' Silt an	Sand, occasional	l gravel					
2.0	U-U.U UIII AII	o ound, vocasicildi	giardi				E	
3.0								
4.0	3.5 feet: Cast i	ion pipe observed;	Bottom of					
5.0	LACGVEROTI							
6.0				er se				
7.0				,				
8.0				a.				2
9.0				¥				
10.0								
11.0								
12.0								
13.0								
14.0								
15.0 REMARKS: Purpose of tes			0					

E = EASY
M = MEDIUM
D = DIFFICULT

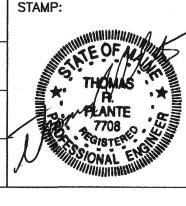
URS 477 Congress Street 9th Floor, Portland, Maine 04101		Project: Ballpark Drive Subdivision Location: Portland, ME		Test Pit No.: Sheet: 1 of 1 Project Number:				
	Fax: (207) 879-7685			+	cked By:	T. Plante		
JRS Engineer/Geo K. McDonald/S. Perl	kins	Contractor: Operator:		son & Sons	Gro	und Elev: undwater De		
Fime Started: 12:		Equipment M Rubber tire e	excavator			not observed ather:	Sunny, 80's	;
Fime Completed:	1:00 PM	Capacity:	cu.yd. F	Reach: 16ft			I I	
bgs (ft.)	STRATU	JM DESCRIP	PTION		SYMBOL	FIELD SCREENING (PPM)	EXCAV. EFFORT	REMARK NO.
1.0	01.0 51 0.74 1.4							
2.0	0'-3.5' Silt and	Sand, occasiona	ıı gravei				E	
3.0								
4.0	3.5 feet: Cast iro Excavation	n pipe observed	; Bottom of					
5.0								
6.0								
7.0				* = a			<i>^</i>	
8.0								
9.0								
10.0				l u				
11.0				-				
12.0								
13.0								
14.0				-	-			
15.0								
REMARKS: Purpose o	f test pit was to locate an	existing 16" cas	st iron sewer fo	rce main.				
TEST PIT PLAN	BOULDER CLASSIFICATION	PROPORT	TIONS USED	ABBR	REVIA	TIONS	EXCAVA	TION EFFORT
† — — — — — — — — — — — — — — — — — — —	SIZE RANGE CLASS 6"-18" A 18"-36" B >36" C	TRACE(t.) LITTLE (I.) SOME(s.) AND	1-10% 10-20% 20-35% 35-50%	F = FINE M = MEDIUM C = COARSE F-M = FINE TO) MED	NUM	E = EASY M = MEDIUM D = DIFFICUL	т

	URS	***************************************	PIT FIEL		t	t Pit No.:	TP-3		
477 Congress Street 9th Floor, Portland, Maine 04101		Project: Ballpark Drive Subdivision Location: Portland, ME				20450207			
	,				1	ject Number:	T. Plante		
	207) 879-7686 Fax: (207) 879-7685	Date:	NAME OF THE OWNER OWNER OF THE OWNER	3/2004		ecked By:			
	neer/Geologist:	Contractor: Les Wilson & Sons			und Elev:	108.57			
	ald/S. Perkins	Operator:			Gro	undwater De	pth:		
Time Start	ed: 11:20 AM	Equipment N	Make & Mode	el:		not observed			
		Rubber tire e	excavator		Wea	ather:	Sunny, 80's	S	
Time Com	pleted: 11:40 AM	Capacity:	cu.yd. f	Reach: 16ft	,				
DEPTH bgs					SYMBOL	FIELD SCREENING	EXCAV.	REMARK	
(ft.)	SIRAII	JM DESCRIF	PTION		SYN	(PPM)	EFFORT	NO.	
0.0									
1.0									
2.0	0'-3.5' Silt and	Sand, occasiona	il gravel				E		
3.0									
3.0									
4.0	3.5 feet: Cast iro	n pipe observed	; Bottom of						
	Excavation								
5.0									
6.0									
7.0									
8.0	7 - 1 -								
9.0									
10.0									
10.0									
11.0									
12.0									
13.0									
				16					
14.0									
15.0					-				
- 1	Purpose of test pit was to locate ar	existing 16" ca	st iron sewer fo	rce main					
	, p to look u	g .0 00						=	
								8	
TEST PI	T PLAN BOULDER	DDODOD	TIONS USED	ADDI	DEL/IA	TIONS	EVCALIATI	ON EFFORT	
₩-	CLASSIFICATION	FROPURI	IONO USED	ADDI	\⊏VIA	CHOIN	EVCAAAIK	JN EFFUKI	
V 7	SIZE RANGE CLASS		1-10%	F = FINE					
	6"-18" A 18"-36" B	LITTLE (I.) 10-20% M = MEDIUM		M = MEDIUM			E = EASY		
1	>36" C	SOME(s.) AND	20-35% 35-50%	C = COARSE F-M = FINE TO	MED	IUM	M = MEDIUM D = DIFFICUL	т	
				F-C = FINE TO					
NOR	(IH								

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval:

APPROVED SEP 2 1 2004

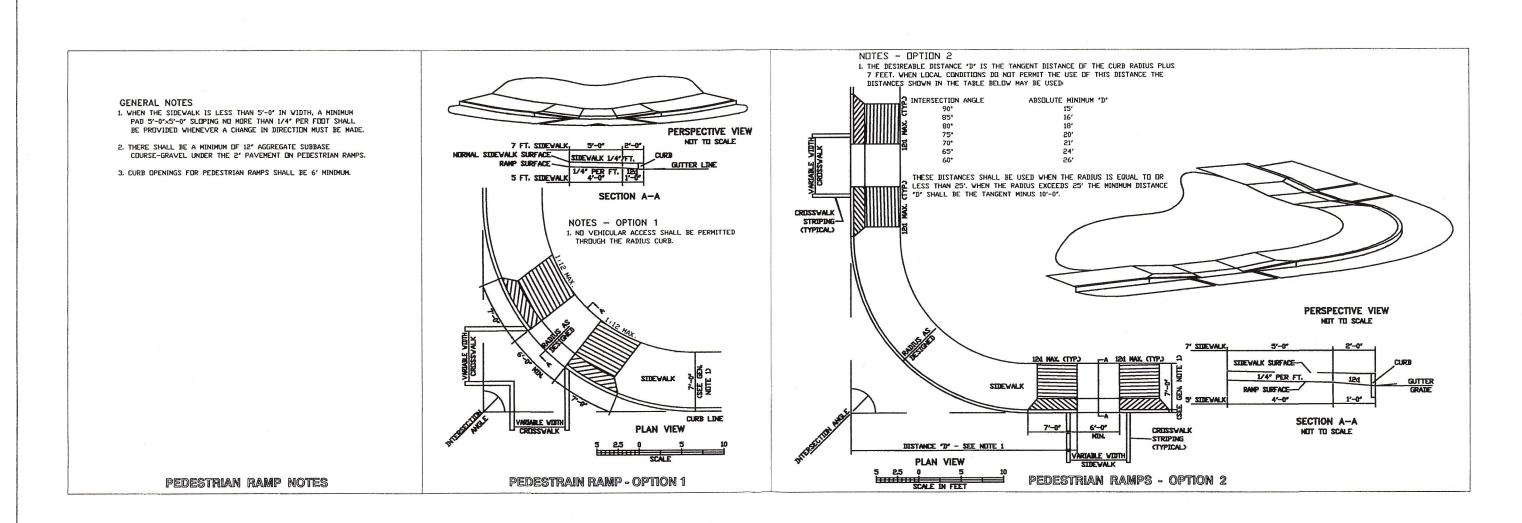
			ISSUED FOR:	DATE:	DESIGN:	TRP
	9		PRELIMINARY		DRAWN:	MLS
			APPROVAL	9/03/04	CHECKED:	TRP
REV	DATE	DESCRIPTION	CONSTRUCTION			

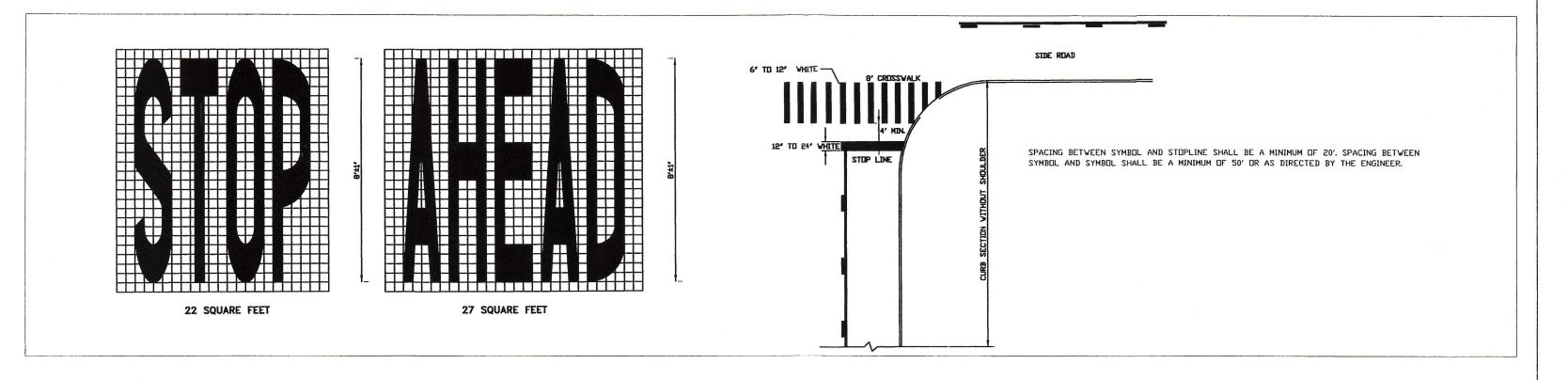


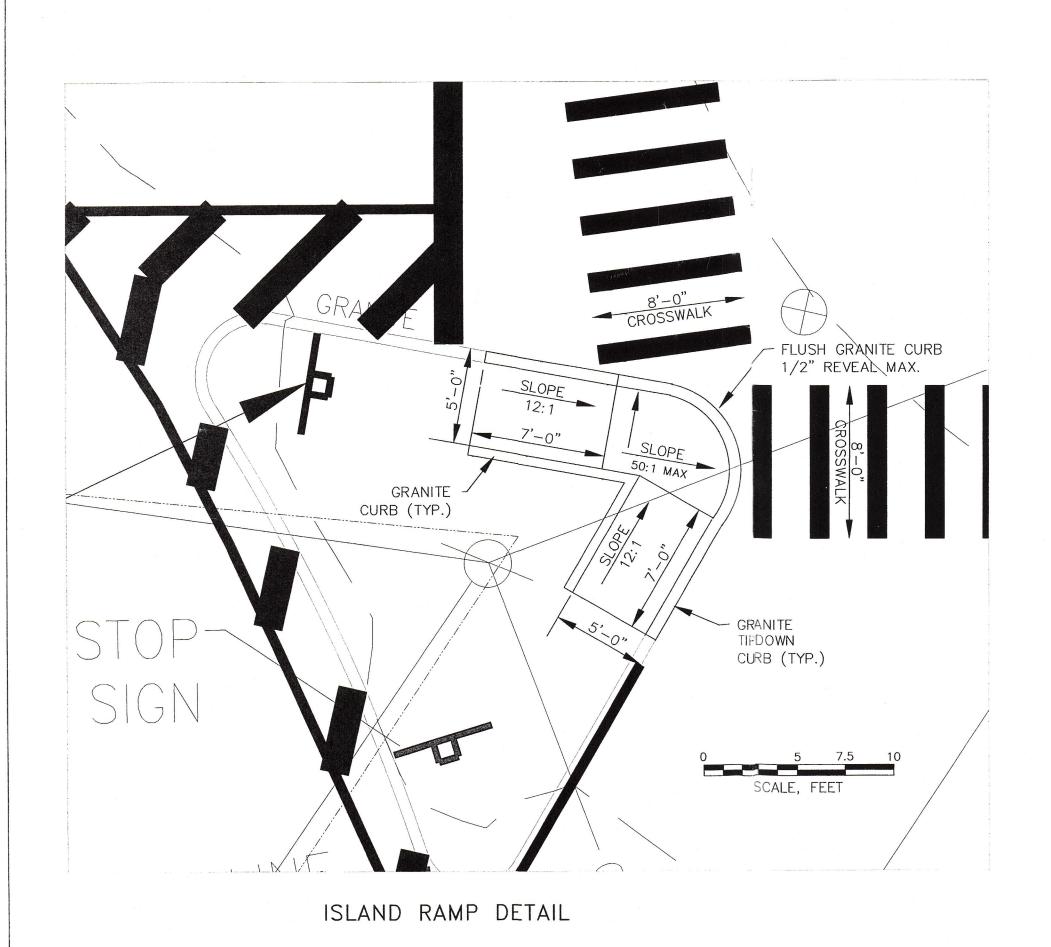
UR\$

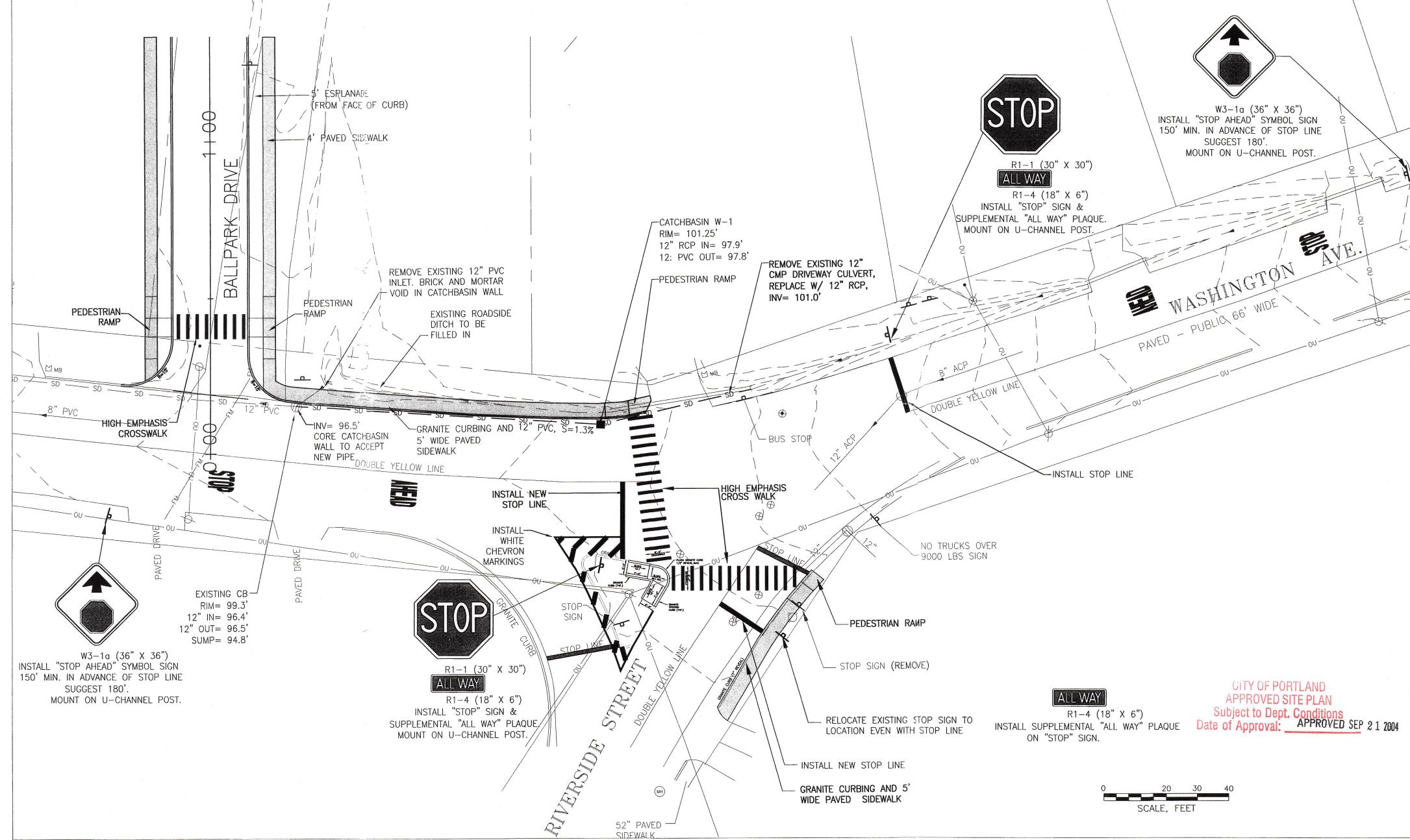
URS Corporation 477 Congress Street, 9th Floor Portland, ME 04101—3453 Tel: 207.879.7686 Fax: 207.879.7685 www.urscorp.com

	PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:				SHEET 9 OF 10
oor	PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE		IEST	PIT LO	OGS	DRAWING NO.:
	CLIENT:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103					9
	PROJECT NO.:	53359 / 39459287	SCALE:	NTS	DATE:	SEPTEMBER 3, 2004	

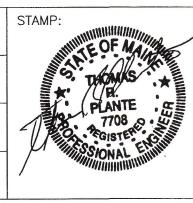








The second secon				ISSUED FOR:	DATE:	DESIGN:
-				PRELIMINARY		DRAWN:
				APPROVAL	9/03/04	CHECKED:
	REV	DATE	DESCRIPTION	CONSTRUCTION		



URS Corporation
477 Congress Street, 9th Floor
Portland, ME 04101-3453
Tel: 207.879.7686
Fax: 207.879.7685
www.urscorp.com

PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:	BALLPARK DRI	VF FNT	TRANCE	SHEET 10 O
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE		PEDESTRIAN II			DRAWING NO.:
CLIENT:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103					10
PROJECT NO.:	53359 / 39459287	SCALE:	AS SHOWN	DATE: SE	PTEMBER 3, 2004	