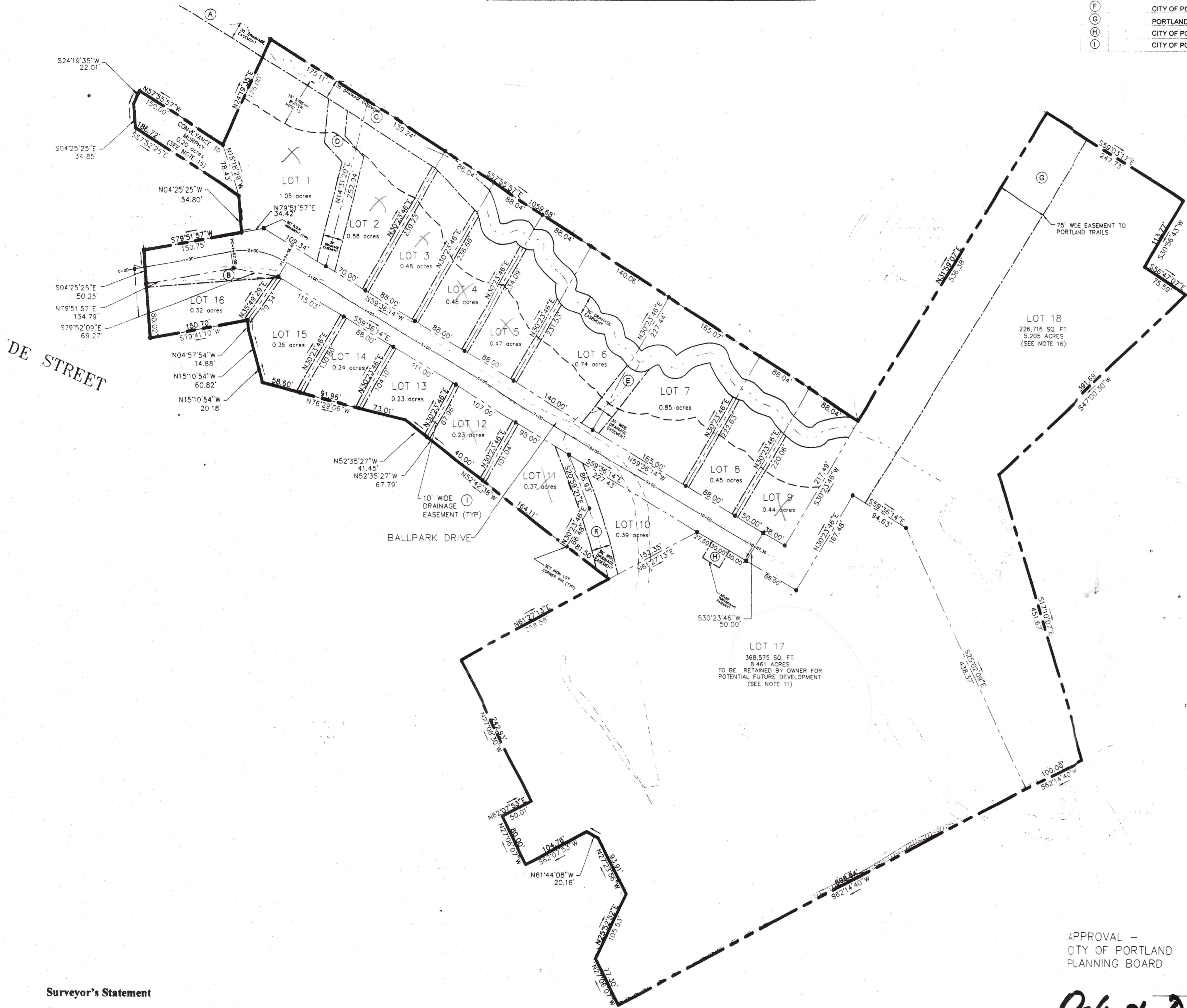
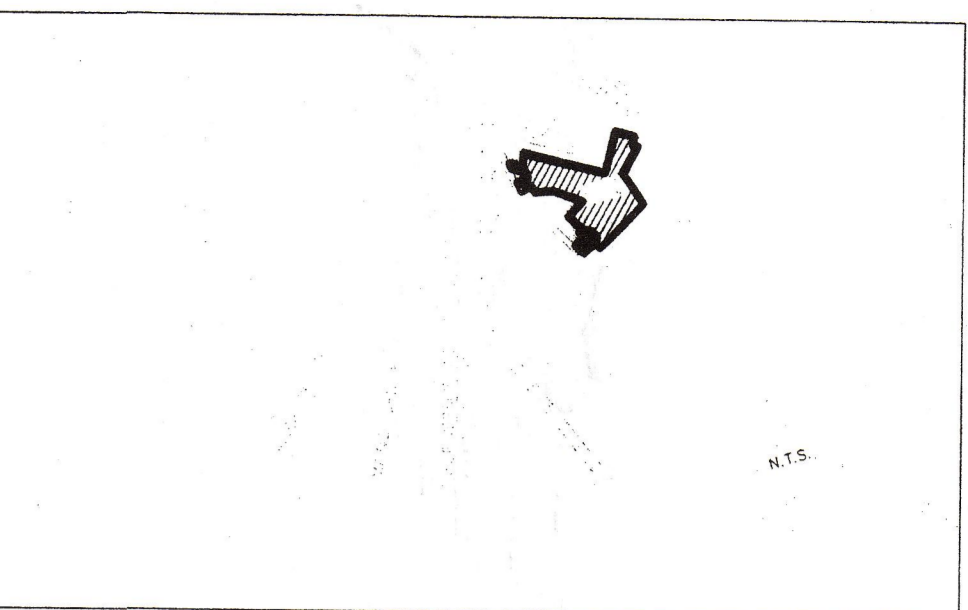


HORIZONTAL CENTERLINE GEOMETRY

PI	DIRECTION	RADIUS	LENGTH	DELTA
PI = 0+00			167.98'	
PC = 1+467.98	N 79° 51' 57" E	125'	88.42'	40° 31' 49"
PT = 2+56.40	S 59° 36' 14" E		830.96'	
PI = 0+87.36				

EASEMENT/ROW SCHEDULE

AREA	GRANTEE	PURPOSE
(A)	CITY OF PORTLAND, MARGARET HAVERTY	CULVERT AND DRAINAGE EASEMENT
(B)	CITY OF PORTLAND	SEWER AND DRAINAGE EASEMENT
(C)	CITY OF PORTLAND	DRAINAGE EASEMENT
(D)	CITY OF PORTLAND	CULVERT AND DRAINAGE EASEMENT
(E)	CITY OF PORTLAND	CULVERT AND DRAINAGE EASEMENT
(F)	CITY OF PORTLAND	CULVERT AND DRAINAGE EASEMENT
(G)	PORTLAND TRAILS	RECREATIONAL TRAIL EASEMENT AREA
(H)	CITY OF PORTLAND	TURNAROUND EASEMENT
(I)	CITY OF PORTLAND	CULVERT AND DRAINAGE EASEMENT



- GENERAL NOTES**
- THE RECORD OWNER OF THE PROPERTY IS MARY MARGARET I. HAVERTY AS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 15682 PAGE 230. CONVEYANCE FROM BOSWELL TO HAVERTY FOR THE BALLPARK DRIVE RIGHT-OF-WAY RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 21190 PAGE 232.
 - THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND'S TAX MAP 371 BLOCK A LOT 2, MAP 384 BLOCK A LOT 1 AND MAP 385A BLOCK B LOT 1.
 - PLAN REFERENCES:
 - A) STANDARD BOUNDARY SURVEY OF THE HAVERTY ESTATE PROPERTY FOR MARGARET HAVERTY DATED DECEMBER 23, 1999 BY SEBAGO TECHNIQUES, INC. AND RECORDED AT THE CUMBERLAND COUNTY SS REGISTRY OF DEEDS IN PLAN BOOK 203 PAGE 558 ON OCTOBER 6, 2003.
 - B) PLAN OF DIVISION OF LAND OF THE HAVERTY ESTATE PROPERTY FOR MARGARET HAVERTY DATED FEBRUARY 8, 2000 BY SEBAGO TECHNIQUES, INC. AND RECORDED AT THE CUMBERLAND COUNTY SS REGISTRY OF DEEDS IN PLAN BOOK 200 PAGE 187 ON APRIL 21, 2000.
 - C) PLAN OF PROPERTY IN PORTLAND MADE FOR RIGHT OF WAY LOCATION PRESUMPTOT NORTH FORCE MAIN DATED MARCH 13, 1989 BY H.I. & C.O. JORDAN.
 - D) AERIAL MAPPING PLAN SHEET 2917-3200 FOR CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS, ENGINEERING SECTION DATED JUNE 30, 2002.
 - E) PLAN RECEIVED FROM PORTLAND WATER DISTRICT.
 - F) PLAN RECEIVED FROM NORTHERN UTILITIES, INC. DATED OCT 1974.
 - G) TAX MAPS CITY OF PORTLAND.
 - STREET REFERENCES: WASHINGTON AVENUE IS A 66 FOOT WIDE ROADWAY AS SHOWN ON THE CITY OF PORTLAND'S ENGINEERING DEPT. BLUE SHEETS 28, 29, & 30, AND WAS FORMERLY THE ORIGINAL COUNTY ROAD RUNNING FROM PORTLAND TO GRAY.
 - SUBJECT TO:
 - A) AN EASEMENT FOR THE PURPOSES OF CONSTRUCTING A SEWER FORCE MAIN AS DEPICTED HEREON AND SHOWN ON PLAN REFERENCED IN NOTE 3C AND RECORDED IN BOOK 2764 PAGE 362.
 - THE 20' WIDE RIGHT OF WAY AND 30' WIDE DRAINAGE EASEMENTS WITHIN LESTER DRIVE SUBDIVISION ARE BASED UPON THE LESTER DRIVE SUBDIVISION PLANS APPROVED BY THE CITY OF PORTLAND. NO CONVEYANCE TO OR FROM THE LOCUS PROPERTY CHAIN OF OWNERSHIP WAS FOUND WHEREBY THE RIGHT TO DRAIN INTO THE PROPERTY WAS CONVEYED NOR THE RIGHT OF WAY GRANTED TO THE LOCUS PROPERTY.
 - BENCHMARK IS A BOLT IN A J' OFFSET MONUMENT UNDER A MANHOLE COVER IN THE SIDEWALK AT THE SOUTHEAST CORNER OF JACKSON AND AUBURN STREETS AS PROVIDED BY THE CITY OF PORTLAND'S DEPARTMENT OF PUBLIC WORKS, ELEVATION 140.443.
 - HORIZONTAL COORDINATES AND BEARINGS ARE BASED ON AERIAL TARGETS C103 AND C104 ON THE EAST SIDE OF DAVIS FARM ROAD AS TAKEN FROM AERIAL MAPS OBTAINED FROM THE CITY OF PORTLAND'S DEPARTMENT OF PUBLIC WORKS.
 - WETLANDS SHOWN HEREON WERE DELINEATED BY WOODLOT ALTERNATIVES USING THE ARMY CORPS METHODOLOGY. WETLANDS NORTH OF THE INTERMITTENT BROOK WERE NOT DELINEATED.
 - SIX LOTS WERE CREATED IN APRIL 2000 FROM THE MARGARET HAVERTY ESTATE PARCEL AS DEPICTED ON PLAN REFERENCE 3B, VIA A FAMILY DIVISION OF LAND THAT WAS EXEMPT FROM SUBDIVISION REVIEW PURSUANT TO 30-A M.R.S.A. SECTION 4401(4)(D).
 - LOT 17 ON WHICH THERE IS A BALLFIELD WILL BE RETAINED BY THE OWNER FOR POSSIBLE FUTURE DEVELOPMENT BY THE OWNER OR SUBSEQUENT OWNERS THEREOF. PURCHASERS OF LOTS 1 THROUGH 16 SHALL HAVE NO ACTUAL OR IMPLIED RIGHTS IN AND TO THE USE OF LOT 17 BY DEED OR OTHERWISE. USE OF LOT 17 OR OF THE BALLFIELD THEREON SHALL ONLY BE BY SPECIFIC PERMISSION OF THE OWNER. ACCESS TO LOT 17 SHALL BE OVER BALLPARK DRIVE.
 - AN EASEMENT TO THE CITY ON LOT 16 WILL BE REQUIRED TO PROVIDE THE CITY WITH A 15-FOOT WIDTH ACCESS TO THE FOREMAIN.
 - THE 75-FOOT UNDISTURBED BUFFER ON THE SOUTHERN SIDE OF THE INTERMITTENT BROOK TO THE NORTHERN PROPERTY BOUNDARIES OF LOTS 1-9 IS SUBJECT TO REGULATION UNDER THE CITY OF PORTLAND SHORELAND REGULATIONS AND THE STATE OF MAINE NATURAL RESOURCES PROTECTION ACT, AS AMENDED. REFERENCE TO THE RESTRICTIONS SHALL BE NOTED IN EACH DEED FOR LOTS 1 THROUGH 9. REFER TO SHEET 2 FOR STREAM BUFFER MONUMENT LOCATIONS.
 - EASEMENT LOCATIONS FOR PRIVATE UTILITIES WILL BE DETERMINED BASED ON TRANSFORMER LOCATIONS DETERMINED BY CENTRAL MAINE POWER CO.
 - PARCEL CONVEYED BY OWNER TO MURPHY IN EXCHANGE FOR A 30-FOOT DRAINAGE EASEMENT FROM MURPHY TO THE CITY OF PORTLAND ON MURPHY PROPERTY, MAP 385, BLOCK A, LOT 800B, RECORDED IN BOOK 22025, PAGE 7. DRAINAGE EASEMENT RECORDED IN BOOK 22025, PAGE 5.
 - LOT 18 IS SUBJECT TO A DECLARATION OF COVENANTS AND RESTRICTIONS EXECUTED BY THE OWNER, OR A LIMITED LIABILITY COMPANY FORMED BY THE OWNER TO DEVELOP THE PROJECT, AND ENFORCEABLE BY THE CITY OF PORTLAND AND THE OWNERS OF LOTS 1 THROUGH 17 AS A CONDITION OF APPROVAL HEREOF, WHICH DECLARATION IS TO BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
 - THE FEE INTEREST IN BALLPARK DRIVE SHALL BE RESERVED BY THE OWNER, OR A LIMITED LIABILITY COMPANY FORMED BY THE OWNER TO DEVELOP THE PROJECT, UNLESS AND UNTIL THE CITY OF PORTLAND ACCEPTS BALLPARK DRIVE.
 - DEVELOPER IS RESPONSIBLE TO PROVIDE TWO TREES PER LOT IN THE FRONT YARD OF EACH LOT IN ACCORDANCE WITH THE CITY OF PORTLAND ARBORICULTURAL STANDARDS.
 - REFERENCE IS MADE TO THE NOVEMBER 2004 BALLPARK DRIVE SUBDIVISION DESIGN PLANS ON FILE WITH THE CITY OF PORTLAND PLANNING DEPARTMENT WHICH CONTAIN LOT GRADING AND DRAINAGE REQUIREMENTS APPLICABLE TO INDIVIDUAL LOTS.

STATE OF MAINE
 CUMBERLAND COUNTY SS REGISTRY OF DEEDS
 RECEIVED NOVEMBER 24 2004
 AT 11h 31m A.M. AND RECORDED IN
 PLAN BOOK 204 PAGE 855
 ATTEST John B. O'Brien REGISTER

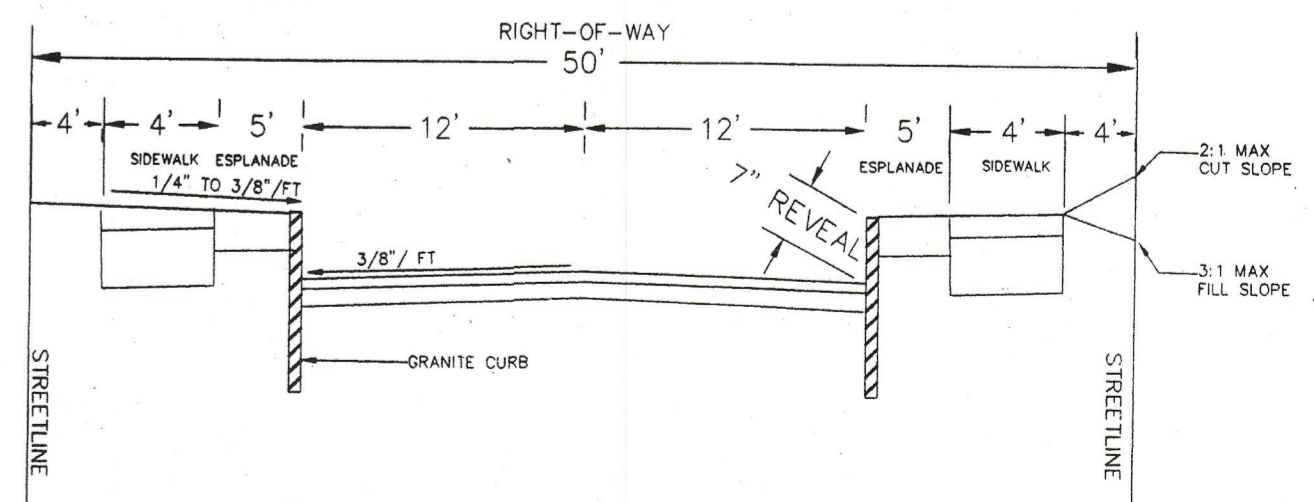
APPROVAL -
 CITY OF PORTLAND
 PLANNING BOARD

John B. O'Brien DATE
John B. O'Brien REGISTER

LEGEND

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION
---	PROPERTY/ROW	---	---	WETLANDS
---	HAVERTY PROPERTY	---	---	EDGE WETLAND
---	EASEMENT	---	---	INTERMITTENT BROOK
---	SETBACK	---	---	BUILDING
---	5/8" IRON REBAR	---	---	CHAIN LINK FENCE
---	MONUMENT	---	---	BARB WIRE FENCE
---	IRON PIPE/ROD	---	---	STOCKADE FENCE
---	CENTERLINE W/STATION	---	---	STONE WALL
---	GRANITE CURB	---	---	DRED CALL
---	EDGE PAVEMENT	---	---	WEAS/RED
---	EDGE GRAVEL	---	---	TAX MAP BLOCK LOT
---	STORM DRAIN	---	---	WETLAND FILL
---	WATER	---	---	STREAM BUFFER
---	UNDERGROUND ELECTRICAL	---	---	MONUMENT
---	SEWER	---	---	SEWER FORCEMAIN
---	OVERHEAD ELEC. & TEL.	---	---	
---	CULVERT	---	---	
---	UNDERGROUND ELEC. & TELEPHONE	---	---	
---	EDGE OF VEGETATION/CLEARING	---	---	
---	DITCH/SWALE	---	---	

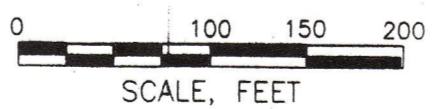
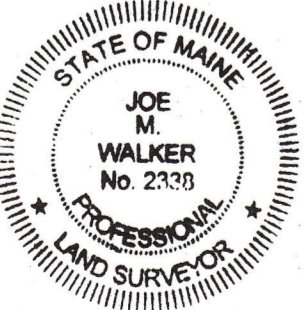
MINOR RESIDENTIAL STREET SECTION
 NOT TO SCALE



Surveyor's Statement

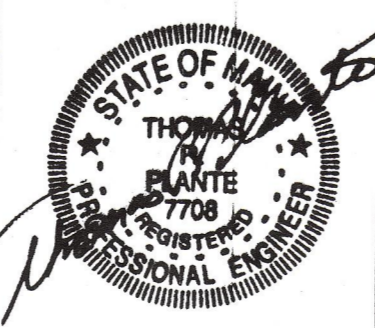
This plan and its perimeter boundary lines are based on plan reference 3A and do not represent an "on-the-ground" Boundary Survey by Owen Haskell, Inc. The interior lot lines and road computations have been checked and are correct to the best of our knowledge and belief.

Owen Haskell, Inc.
 16 Casco Street
 Portland, Maine 04102979
 207-729-7744
 Joe M. Walker
 PLSR
 Date: 11/17/04



REV	DATE	DESCRIPTION
5	11/17/04	REVISED NOTES PER CITY COMMENTS DATED NOVEMBER 9, 2004.
4	11/01/04	LOT 17 & 18 AND EASEMENT REVISIONS PER PLANNING BOARD APPROVAL CONDITIONS DATED SEPTEMBER 21, 2004
3	9/03/04	REVISED LOT AND ROAD LAYOUT PER CITY COMMENTS AND PLANNING WORKSHOP JULY 27, 2004.
2	6/02/04	REVISED TO INCLUDE COMPLETED BOSWELL PURCHASE, WETLANDS UPDATE, AND BALLFIELD PARKING AREA.
1	4/19/04	CORRECTIONS TO NOTES, LEGENDS, PLAN FORMAT, AND BOSWELL PURCHASE.
	2/23/04	SUBMITTED FOR PLANNING BOARD WORKSHOP & CITY REVIEW

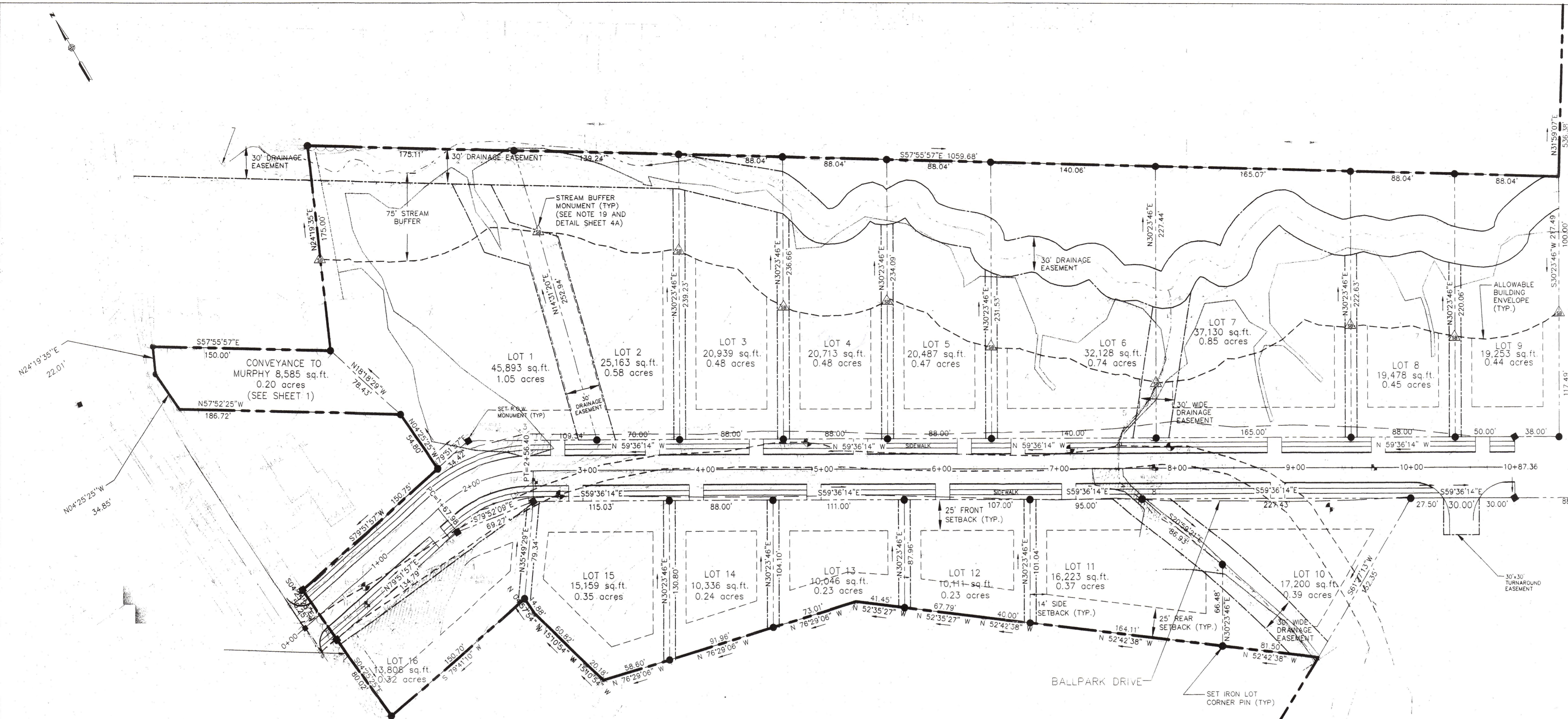
ISSUED FOR:	DATE:	DESIGN:	RIZZO	STAMP:
PRELIMINARY	10/8/03	DRAWN:	RIZZO	
APPROVAL	2/23/04	CHECKED:	PLANTE	
CONSTRUCTION				



URS
 URS Corporation
 477 Congress Street, 9th Floor
 Portland, ME 04101-3453
 Tel: 207.879.7686
 Fax: 207.879.7685
 www.urscorp.com

PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:	PLAN OF DIVISION OF LAND THE HAVERTY ESTATE PROPERTY BALLPARK DRIVE SUBDIVISION	SHEET 1 OF 10
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE	CLIENT/LAND OWNER:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103	DRAWING NO.:
PROJECT NO.:	53359 / 39459287	SCALE:	1" = 100'	DATE:
				NOVEMBER 22, 2004

Ballpark Drive



AREA SUMMARY

TOTAL LAND AREA	981,976 SQFT	22.55 AC
RESIDENTIAL LOTS 1-16	334,067 SQFT	7.67 AC
BALLPARK DRIVE R.O.W.	52,618 SQFT	1.21 AC
LOT 17 PRIVATE BALLFIELD	368,575 SQFT	8.46 AC
LOT 18 CONSERVATION LAND	226,716 SQFT	5.21 AC

HORIZONTAL CENTERLINE GEOMETRY

PI =	DIRECTION	RADIUS	LENGTH	DELTA
0+00			167.98'	
1+67.98	N 79° 51' 57" E			
2+56.40	S 59° 36' 14" E	125'	88.42'	40° 31' 49"
10+87.36			830.96'	

WETLAND FILL SUMMARY

HAVERTY WAY (PRIOR) 2000	2,693 SQFT
BALLPARK DRIVE	6,017 SQFT
TOTAL CUMULATIVE PROJECT FILL	8,710 SQFT

APPROVAL -
CITY OF PORTLAND
PLANNING BOARD

John B. O'Brien
Chairperson

Paul P. [Signature]
[Title]

Michael [Signature]
[Title]

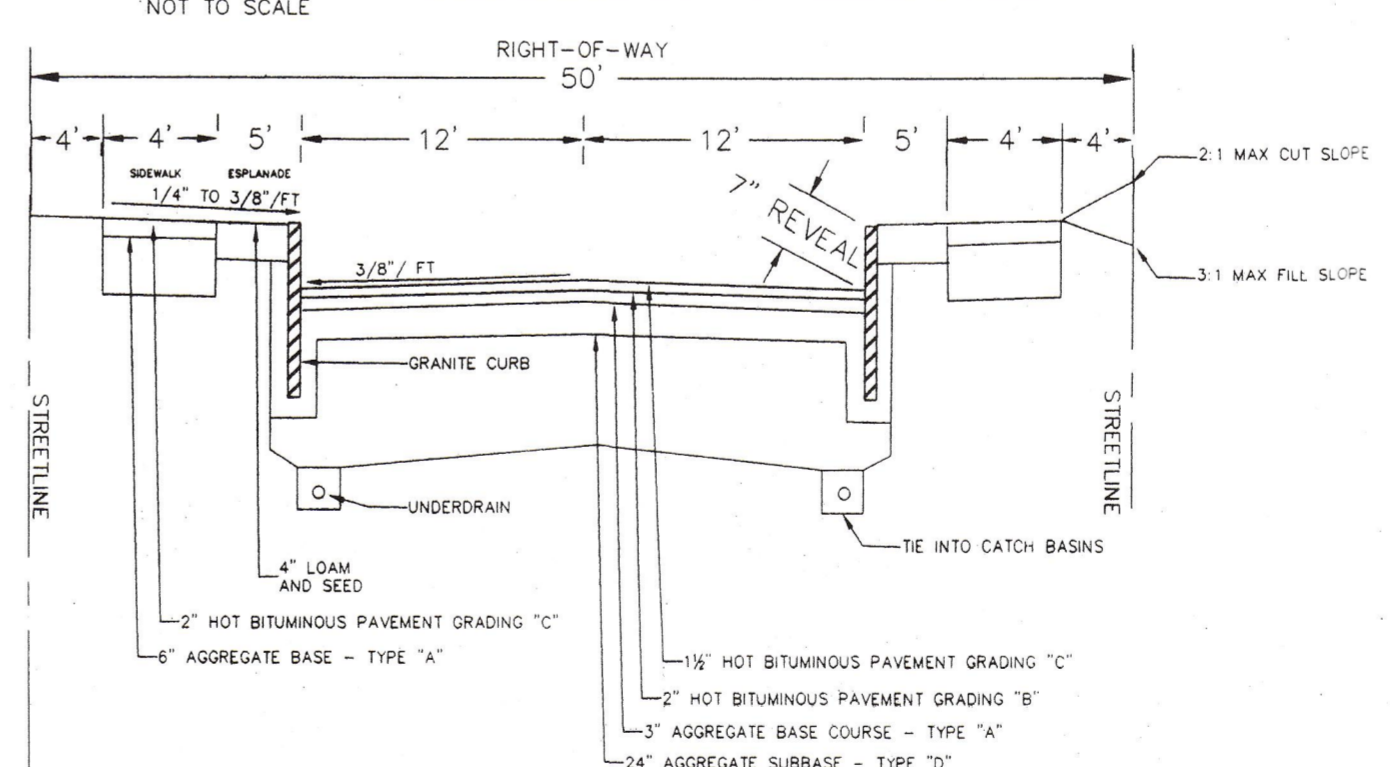
GENERAL NOTES

- THE RECORD OWNER OF THE PROPERTY IS MARY MARGARET I. HAVERTY AS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 15682 PAGE 290. CONVEYANCE FROM BOSWELL TO HAVERTY FOR THE BALLPARK DRIVE RIGHT-OF-WAY RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 21180 PAGE 232.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND'S TAX MAP 371 BLOCK A LOT 2, MAP 384 BLOCK A LOT 11, AND MAP 385A BLOCK B LOT 1.
- REFERENCE IS HEREBY MADE TO THE STANDARD BOUNDARY SURVEY PERFORMED BY SEBAGO TECHNICS, INC. AS SHOWN ON A PLAN OF LAND ENTITLED, "STANDARD BOUNDARY SURVEY OF THE HAVERTY ESTATE PROPERTY, WASHINGTON AVE. EXTENSION, PORTLAND, ME. FOR MARGARET HAVERTY" DATED DECEMBER 23, 1999 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 203 PAGE 558.
- ONLY A PORTION OF THE HAVERTY PARCEL IS PROPOSED TO BE DIVIDED INTO RESIDENTIAL LOTS, AS SHOWN ON THIS PLAN. THE REMAINING LAND IS TO BE RETAINED BY THE OWNER (SEE SHEET 1).
- PROPERTY TO BE DIVIDED INTO RESIDENTIAL LOTS IS LOCATED IN THE CITY OF PORTLAND'S R-2 RESIDENTIAL ZONE. ALL LOT DEVELOPMENT SHALL BE SUBJECT TO THE APPLICABLE SPACE AND BULK CRITERIA.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UTILITY LOCATIONS AND/OR ELEVATIONS SHOWN ON WASHINGTON AVENUE ARE APPROXIMATE BASED ON INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL EXISTING SUBSURFACE LINES AND STRUCTURES MAY NOT BE SHOWN. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. CONTRACTOR SHALL CONTACT THE CITY OF PORTLAND AT LEAST 30 DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR INSTALLATION TO VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 M.R.S. § 1117. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE STANDARDS OF THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PAVED AREAS (INCLUDING SIDEWALKS) SHALL BE SAWCUT IN ORDER TO ACCOMMODATE NECESSARY EXCAVATION WORK. TRENCH BACKFILL, PAVEMENT BUILDUP AND PAVEMENT JOINTS SHALL BE COMPLETED IN ACCORDANCE WITH MUNICIPAL STANDARDS. GRANITE CURBING (IF ANY) WHICH IS REMOVED AS PART OF THE CONSTRUCTION SHALL BE RETURNED TO THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE PORTLAND PUBLIC WORKS DEPT. TO EXCAVATE TEST PITS TO VERIFY SIZE, LOCATION AND DEPTH OF EXISTING UTILITY LINES AT THE PROPOSED TIE IN POINT ON WASHINGTON AVENUE. ALL RESULTS SHALL BE PROVIDED TO THE OWNER FOR EVALUATION.
- THE CONTRACTOR SHALL COORDINATE WITH AND ARRANGE FOR APPROPRIATE INSPECTION AND TESTING SERVICES BY THE PORTLAND WATER DISTRICT AS PART OF THE CONSTRUCTION OF THE WATER MAIN EXTENSION OFF OF WASHINGTON AVENUE.
- THE CONTRACTOR SHALL COORDINATE WITH REPRESENTATIVES OF CENTRAL MAINE POWER CO., BELL ATLANTIC AND TIME WARNER CABLE REGARDING LOCATION AND INSTALLATION OF UNDERGROUND UTILITY SERVICES.
- EACH LOT SHALL REQUIRE THE SUBMISSION OF A MINOR SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND SUBJECT TO REVIEW PURSUANT TO ARTICLE V (SITE PLAN) OF CHAPTER 14 OF THE PORTLAND CITY CODE. EACH LOT OWNER SHALL CONSULT WITH THE CITY ARBORIST TO DEVELOP A TREE SAVE PLAN AS PART OF THE MINOR SITE PLAN SUBMISSION.
- NO PUBLIC SERVICE (I.E. SNOW PLOWING, TRASH REMOVAL, LIGHTING) WILL BE PROVIDED UNLESS AND UNTIL THE PROPOSED STREET IS ACCEPTED BY THE CITY COUNCIL. THE DEVELOPER SHALL PROVIDE A PERFORMANCE GUARANTEE FOR A TIME PERIOD OF UP TO TWO YEARS TO THE CITY, WHICH SHALL INCLUDE THE COST OF CURBSIDE TRASH REMOVAL, SNOW PLOWING, STREET MAINTENANCE, AND LIGHTING. THE CITY WILL NOT RELEASE THE PERFORMANCE GUARANTEE UNLESS THE ROAD IS ACCEPTED BY THE CITY COUNCIL. IN THE INTERIM, THE DEVELOPER SHALL BE RESPONSIBLE FOR SNOW PLOWING, STREET MAINTENANCE, LIGHTING AND CURBSIDE TRASH REMOVAL.
- PARKING IS TO BE LIMITED TO ONE SIDE OF THE STREET ON BALLPARK DRIVE. PARKING WILL BE PERMITTED ONLY ON THE NORTHERLY SIDE OF THE STREET. THE DEVELOPER WILL INSTALL SIGNS DENOTING THIS PER THE CITY'S REQUIREMENTS PRIOR TO ACCEPTANCE OF THE STREET BY THE CITY.
- STREET NAME SIGNS AND STOP SIGNS ARE TO BE ERRECTED PER THE CITY REQUIREMENTS BY THE DEVELOPER PRIOR TO THE ACCEPTANCE OF THE STREET BY THE CITY.

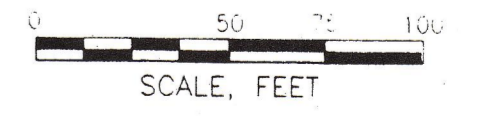
GENERAL NOTES

- A MINIMUM OF TWO (2) TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES.
- BENCHMARK IS A BOLT IN A 3' OFFSET MONUMENT UNDER A MANHOLE COVER IN THE SIDEWALK AT THE SOUTHEAST CORNER OF JACKSON AND AUBURN STREETS AS PROVIDED BY THE CITY OF PORTLAND'S DEPARTMENT OF PUBLIC WORKS. ELEVATION IS 140.443'. TOPOGRAPHIC SURVEY IS BASED ON CITY OF PORTLAND AERIAL MAPPING WITH SUPPLEMENTAL GROUND SURVEY OF THE ROADWAY AREA BY OWEN HASKELL, INC. 2003. ELEVATION CONTOURS OUTSIDE THE ROADWAY LIMITS ARE APPROXIMATE.
- HORIZONTAL COORDINATES AND BEARINGS ARE BASED ON AERIAL TARGETS C103 AND C104 ON THE EAST SIDE OF DAVIS FARM ROAD AS TAKEN FROM AERIAL MAPS OBTAINED FROM THE CITY OF PORTLAND'S DEPARTMENT OF PUBLIC WORKS.
- SOIL DISTURBANCE LANDSCAPING BETWEEN 25 FEET AND 75 FEET FROM THE INTERMITTENT BROOK REQUIRES A NRPA PERMIT-BY-RULE APPROVED THROUGH THE MAINE DEP. A NRPA PERMIT-BY-RULE NOTICE OF INTENT FOR LOT 6 AND 7 WAS FILED WITH THE MAINE DEP ON JUNE 4, 2004. THE CONSTRUCTION ACTIVITY WAS AUTHORIZED BY THE DEP IN ACCORDANCE WITH CHAPTER 305 AS OF JUNE 18, 2004. THE PERMIT IS VALID FOR TWO YEARS. ALL CONSTRUCTION ON THESE TWO LOTS MUST COMPLY WITH CHAPTER 305, SECTION 2 OF THE NATIONAL RESOURCES PROTECTION ACT (NRPA). SEE SHEET 7 FOR LOT GRADING SCHEMATIC FOR THESE LOTS.
- THE 75-FOOT UNDISTURBED BUFFER ON THE SOUTHERN SIDE OF THE INTERMITTENT BROOK TO THE NORTHERN PROPERTY BOUNDARIES OF LOTS 1-9 IS SUBJECT TO REGULATION UNDER THE CITY OF PORTLAND SHORELAND REGULATIONS AND THE STATE OF MAINE NATURAL RESOURCES PROTECTION ACT, AS AMENDED. REFERENCE TO THE RESTRICTIONS SHALL BE NOTED IN EACH DEED FOR LOTS 1 THROUGH 9.
- MISCELLANEOUS SOLID WASTE AND DEBRIS LITTERING PORTIONS OF THE SITE WILL BE REMOVED AND DISPOSED IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS DURING THE CONSTRUCTION OF THE ROADWAY. ANY HAZARDOUS MATERIALS ENCOUNTERED SHALL BE MANAGED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- THE EXISTING SEWER FORCEMAIN EASEMENT ALONG THE LENGTH OF BALLPARK DRIVE WILL BE ABANDONED BY THE CITY ONCE THE STREET IS ACCEPTED BY THE CITY. THE BALLPARK DRIVE RIGHT-OF-WAY WILL THEN SERVE AS CITY ACCESS TO THE FOREMAN. AN EASEMENT TO THE CITY ON LOT 18 WILL BE REQUIRED TO PROVIDE THE CITY WITH A 15-FOOT WIDTH ACCESS TO THE FOREMAN.
- SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIMESHARE UNITS AND APARTMENTS.

MINOR RESIDENTIAL STREET SECTION

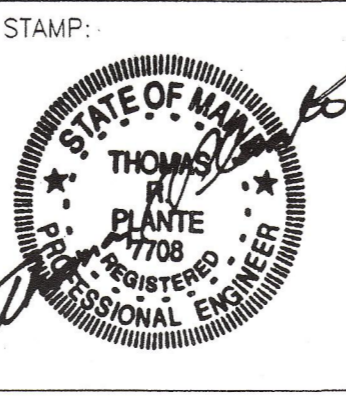


State of Maine, Cumberland SS.
Registry of Deeds
Received NOVEMBER 24 2004
at 11 h 22 m 9 A M and recorded in
Plan Book 204 Page 856
Attest John B. O'Brien



REV	DATE	DESCRIPTION
5	11/17/04	NOTES REVISIONS PER CITY COMMENTS DATED NOVEMBER 9, 2004.
4	11/01/04	REVISIONS PER PLANNING BOARD APPROVAL CONDITIONS DATED SEPTEMBER 21, 2004
3	9/03/04	REVISED ROAD AND LOT LAYOUT PER PLANNING WORKSHOP JULY 27, 2004.
2	6/02/04	UPDATED WETLANDS DELINEATION AND REVISED LOT LINES FOR LOTS 7-15, AND 17.
1	4/19/04	ADDED SETBACKS AND BUILDING ENVELOPES, REVISED WETLAND FILL AREAS, AND ROAD HORIZONTAL GEOMETRY.
	2/23/04	SUBMITTED FOR PLANNING BOARD WORKSHOP & CITY REVIEW

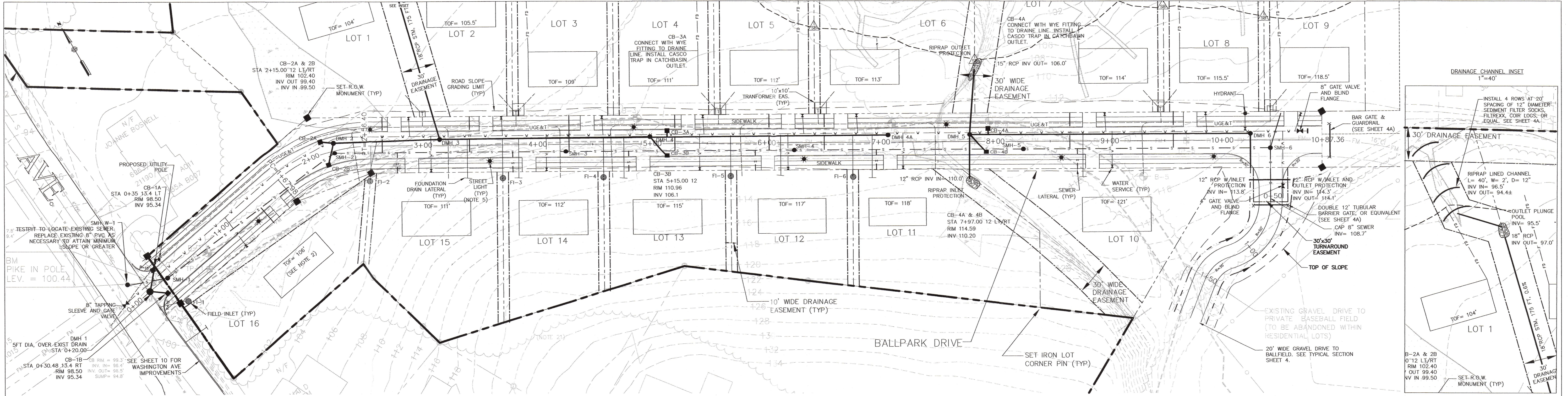
ISSUED FOR:	DATE:	DESIGN:	RIZZO
PRELIMINARY	10/8/03	DRAWN:	RIZZO
APPROVAL	2/23/04	CHECKED:	PLANTE
CONSTRUCTION			



URS Corporation
477 Congress Street, 9th Floor
Portland, ME 04101-3453
Tel: 207.879.7686
Fax: 207.879.7685
www.urscorp.com

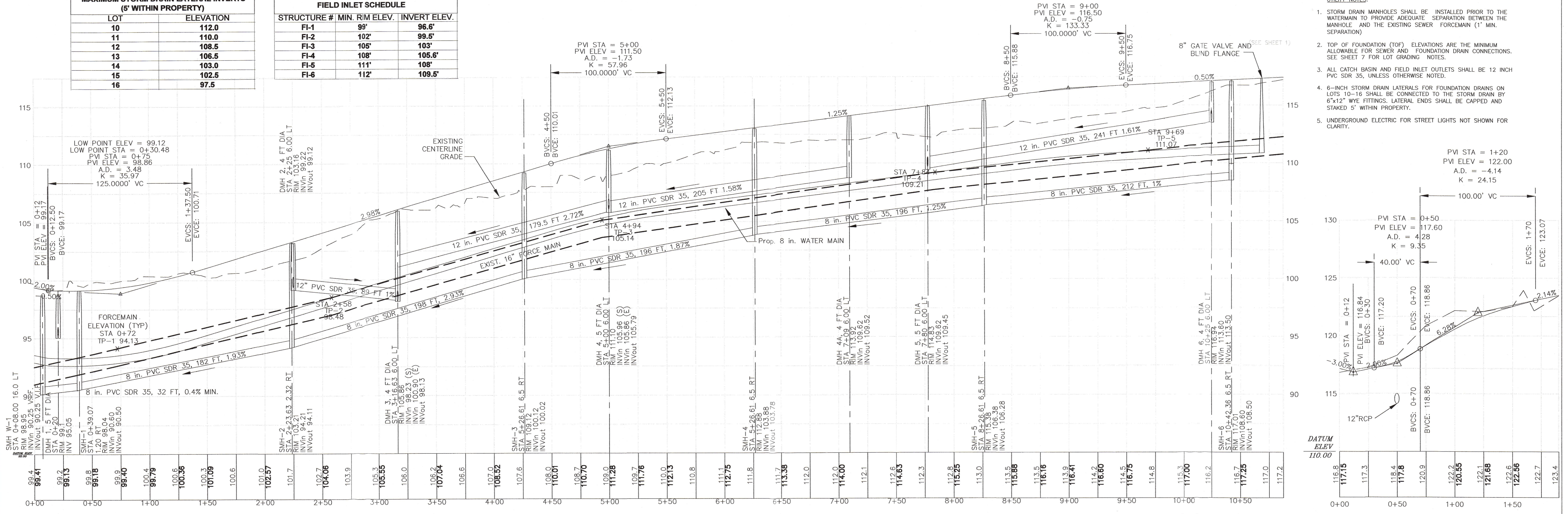
PROJECT NAME:	BALLPARK DRIVE SUBDIVISION
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE
CLIENT/LAND OWNER:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103
PROJECT NO.:	53359 / 39459287

SHEET TITLE:	RESIDENTIAL LOT SUBDIVISION PLAT BALLPARK DRIVE SUBDIVISION
SHEET:	2 OF 10
DRAWING NO.:	2
SCALE:	1" = 50'
DATE:	NOVEMBER 22, 2004



LOT	ELEVATION
10	112.0
11	110.0
12	108.5
13	106.5
14	103.0
15	102.5
16	97.5

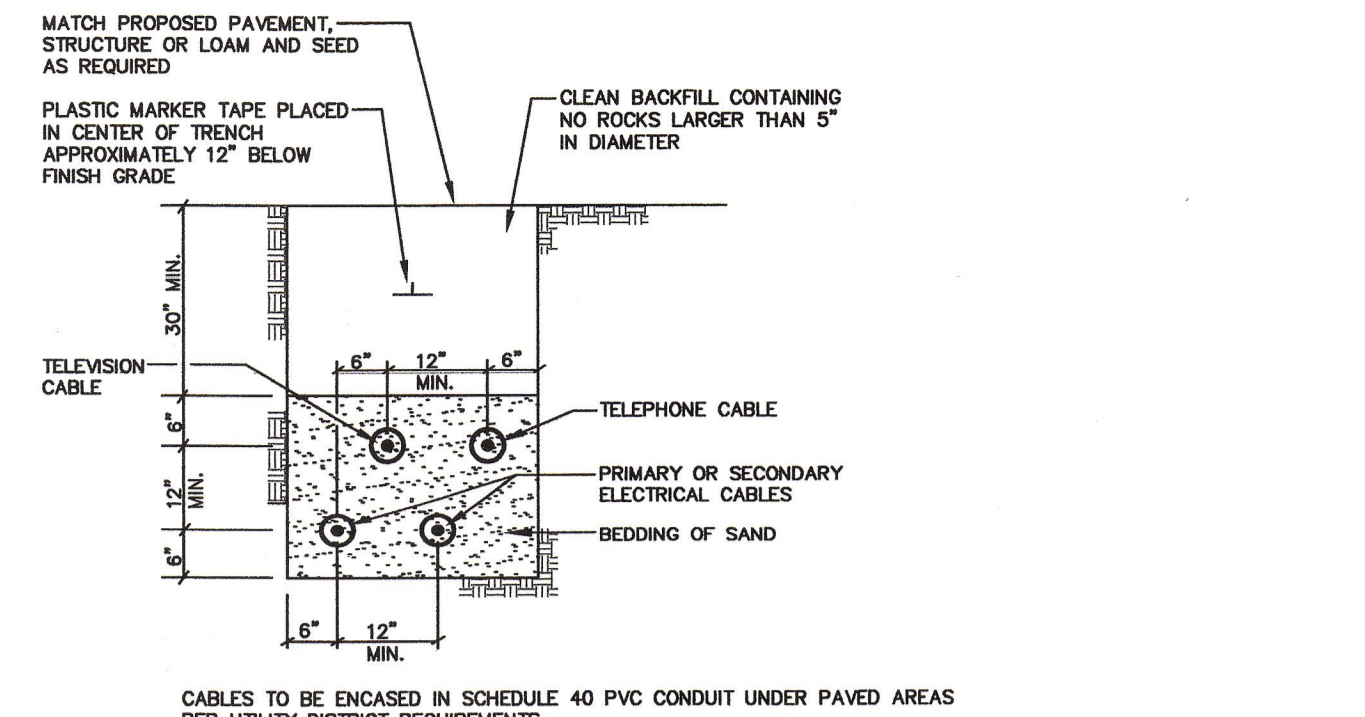
STRUCTURE #	MIN. RIM ELEV.	INVERT ELEV.
FI-1	99'	96.6'
FI-2	102'	99.5'
FI-3	105'	103'
FI-4	108'	105.6'
FI-5	111'	108'
FI-6	112'	109.5'



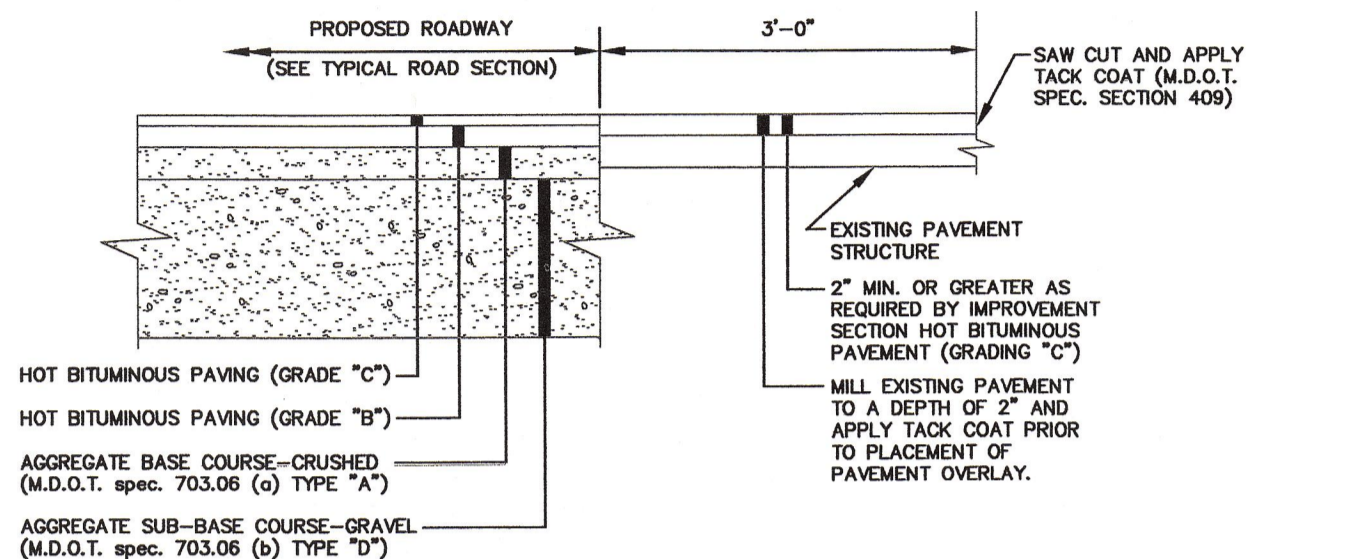
- UTILITY NOTES:
- STORM DRAIN MANHOLES SHALL BE INSTALLED PRIOR TO THE WATERMAIN TO PROVIDE ADEQUATE SEPARATION BETWEEN THE MANHOLE AND THE EXISTING SEWER FORCEMAIN (1' MIN. SEPARATION)
 - TOP OF FOUNDATION (TOF) ELEVATIONS ARE THE MINIMUM ALLOWABLE FOR SEWER AND FOUNDATION DRAIN CONNECTIONS. SEE SHEET 7 FOR LOT GRADING NOTES.
 - ALL CATCH BASIN AND FIELD INLET OUTLETS SHALL BE 12 INCH PVC SDR 35, UNLESS OTHERWISE NOTED.
 - 6-INCH STORM DRAIN LATERALS FOR FOUNDATION DRAINS ON LOTS 10-16 SHALL BE CONNECTED TO THE STORM DRAIN BY 6"x12" WYE FITTINGS. LATERAL ENDS SHALL BE CAPPED AND STAKED 5' WITHIN PROPERTY.
 - UNDERGROUND ELECTRIC FOR STREET LIGHTS NOT SHOWN FOR CLARITY.

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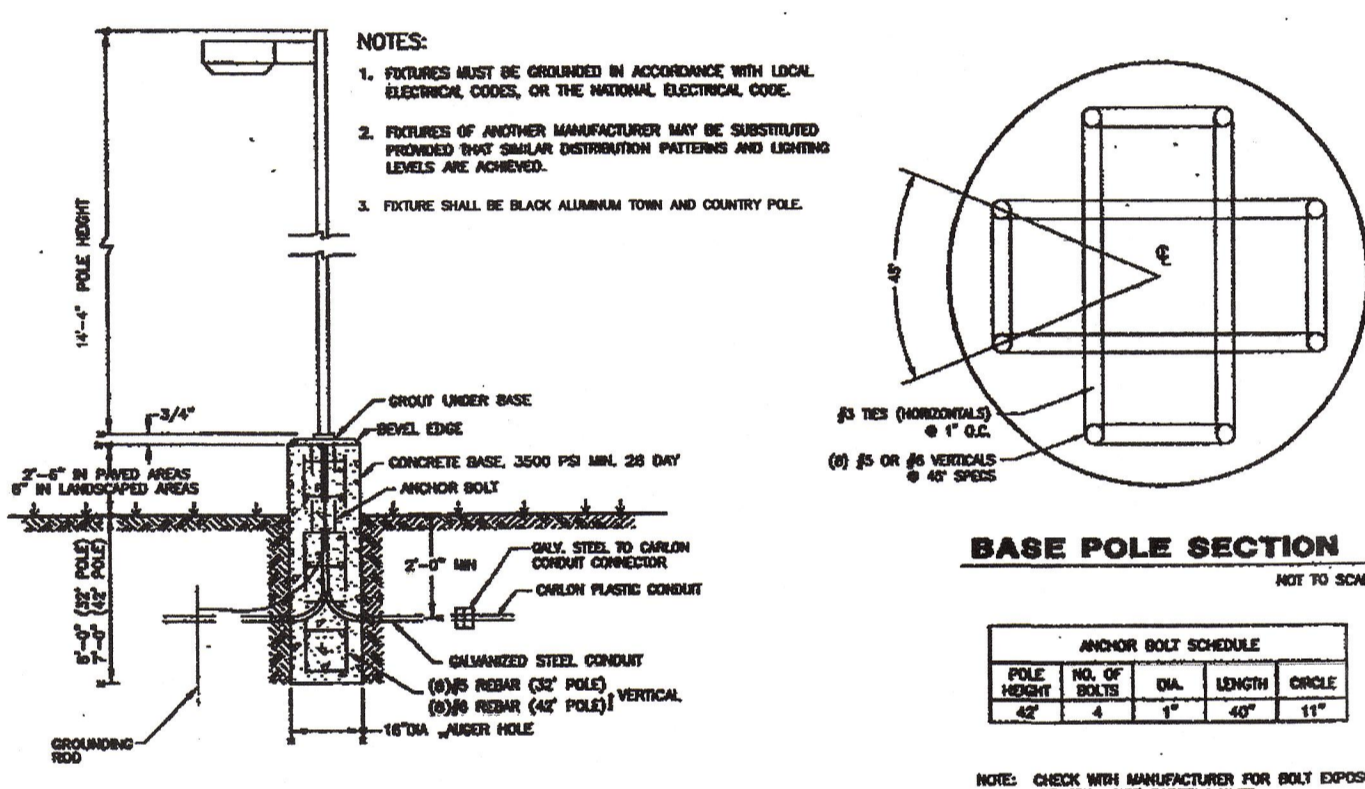
<table border="1"> <tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>4</td><td>11/02/04</td><td>EASEMENT, SEWER, AND DRAINAGE REVISIONS PER PLANNING BOARD CONDITIONAL APPROVAL DATED SEPTEMBER 21, 2004</td></tr> <tr><td>3</td><td>9/03/04</td><td>ROAD SHIFTED SOUTH 10', UTILITY LAYOUT REVISED PER CITY COMMENTS AND PLANNING WORKSHOP JULY 27, 2004</td></tr> <tr><td>2</td><td>7/13/04</td><td>REVISED DRAINAGE AND LOT LINES PER CITY COMMENTS</td></tr> <tr><td>1</td><td>4/16/04</td><td>SUBMITTED FOR CITY ENGINEERING REVIEW</td></tr> </table>	REV	DATE	DESCRIPTION	4	11/02/04	EASEMENT, SEWER, AND DRAINAGE REVISIONS PER PLANNING BOARD CONDITIONAL APPROVAL DATED SEPTEMBER 21, 2004	3	9/03/04	ROAD SHIFTED SOUTH 10', UTILITY LAYOUT REVISED PER CITY COMMENTS AND PLANNING WORKSHOP JULY 27, 2004	2	7/13/04	REVISED DRAINAGE AND LOT LINES PER CITY COMMENTS	1	4/16/04	SUBMITTED FOR CITY ENGINEERING REVIEW	<p>ISSUED FOR: PRELIMINARY</p> <p>DATE: 4/16/04</p> <p>DESIGN: DRAWN:</p> <p>APPROVAL: CHECKED:</p> <p>CONSTRUCTION</p>	<p>STAMP: STATE OF MAINE PROFESSIONAL ENGINEER</p> <p>PLANTE 7088</p> <p>URS Corporation 477 Congress Street, 9th Floor Portland, ME 04101-3453 Tel: 207.879.7686 Fax: 207.879.7685 www.urscorp.com</p>	<p>PROJECT NAME: BALLPARK DRIVE SUBDIVISION</p> <p>PROJECT LOCATION: WASHINGTON AVE, PORTLAND, MAINE</p> <p>CLIENT: MARGARET HAVERTY 67 HAVERTY WAY PORTLAND, MAINE 04103</p> <p>PROJECT NO.: 53359/39459287</p>	<p>SHEET TITLE: ROAD AND UTILITIES PLAN & PROFILE</p> <p>THE HAVERTY ESTATE PROPERTY BALLPARK DRIVE SUBDIVISION</p> <p>SHEET 3 OF 10</p> <p>DRAWING NO.: 3</p> <p>SCALE: HORZ 1" = 40' VERT 1" = 4'</p> <p>DATE: NOVEMBER, 2004</p>
REV	DATE	DESCRIPTION																	
4	11/02/04	EASEMENT, SEWER, AND DRAINAGE REVISIONS PER PLANNING BOARD CONDITIONAL APPROVAL DATED SEPTEMBER 21, 2004																	
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1	4/16/04	SUBMITTED FOR CITY ENGINEERING REVIEW																	



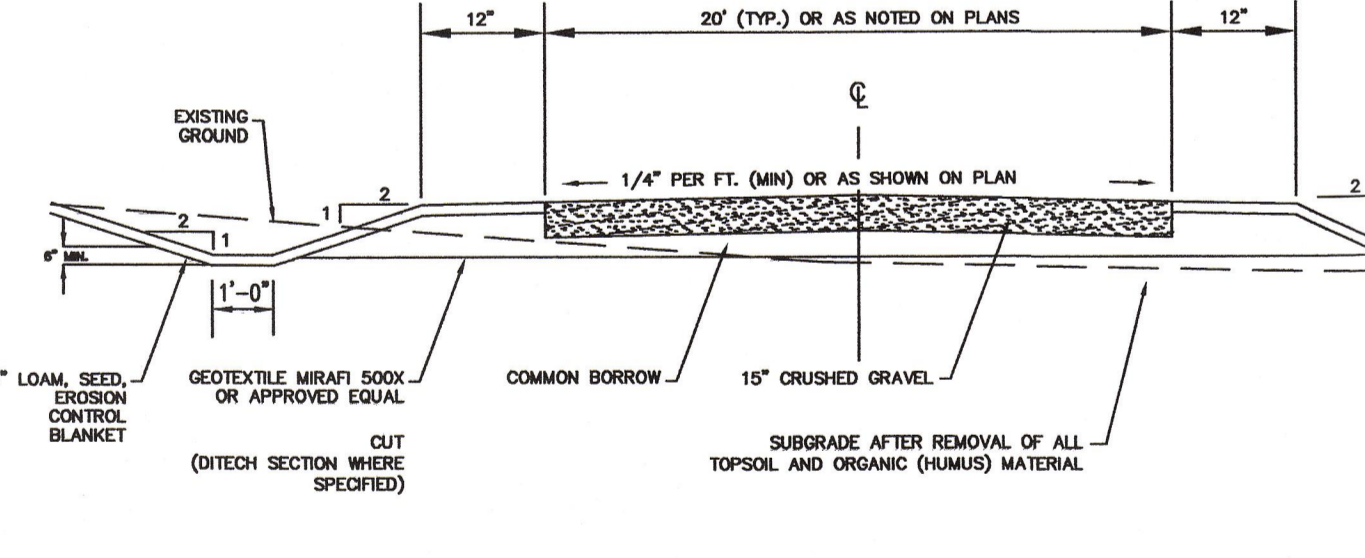
TYP. UNDERGROUND CABLE INSTALLATION
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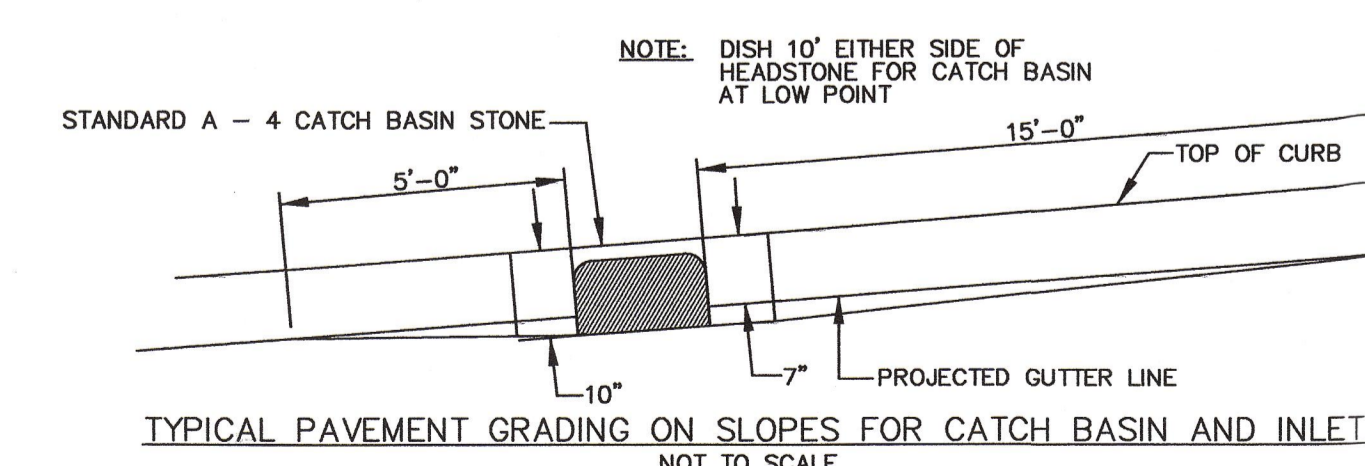
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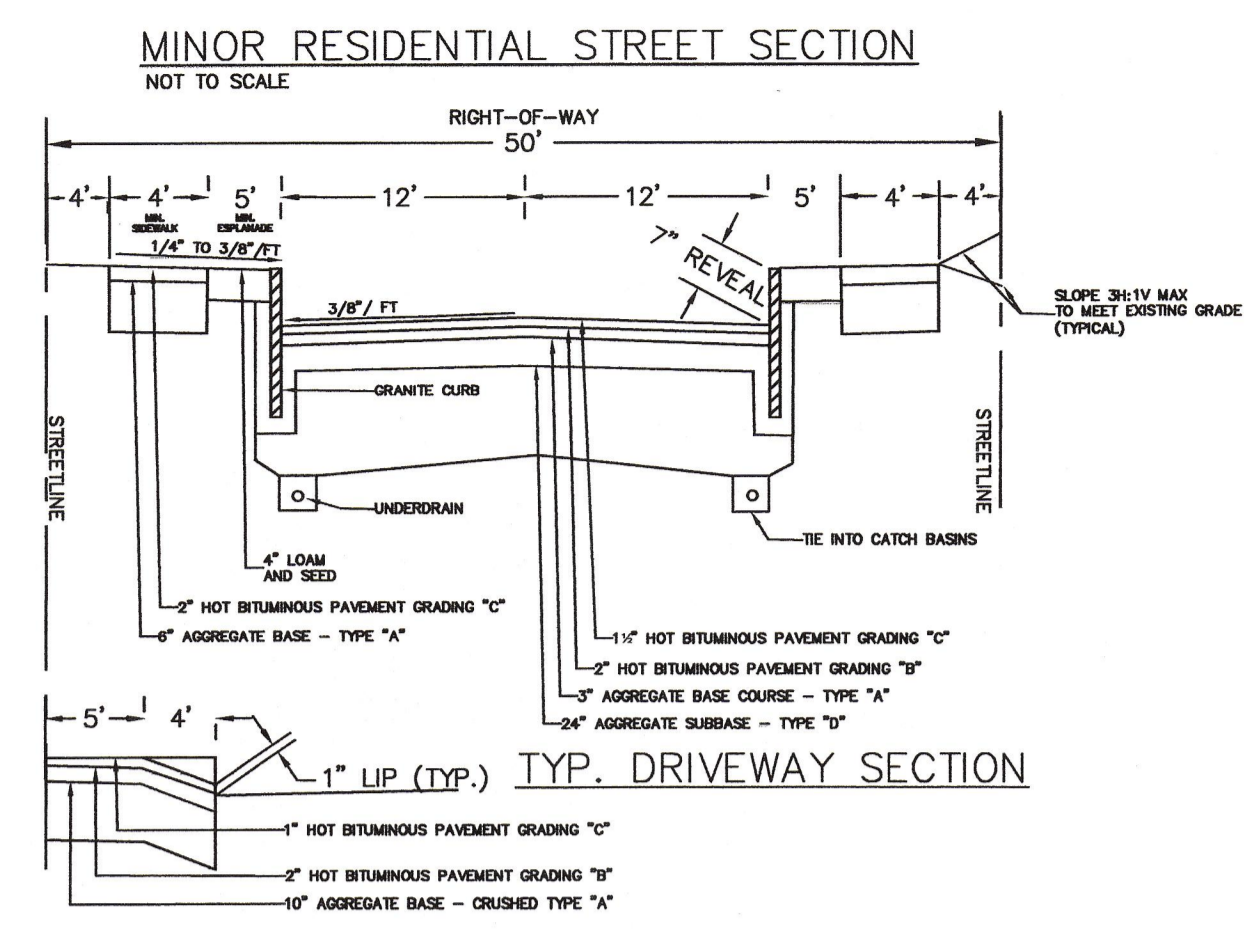
LIGHTING DETAIL
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GRAVEL DRIVE DETAIL
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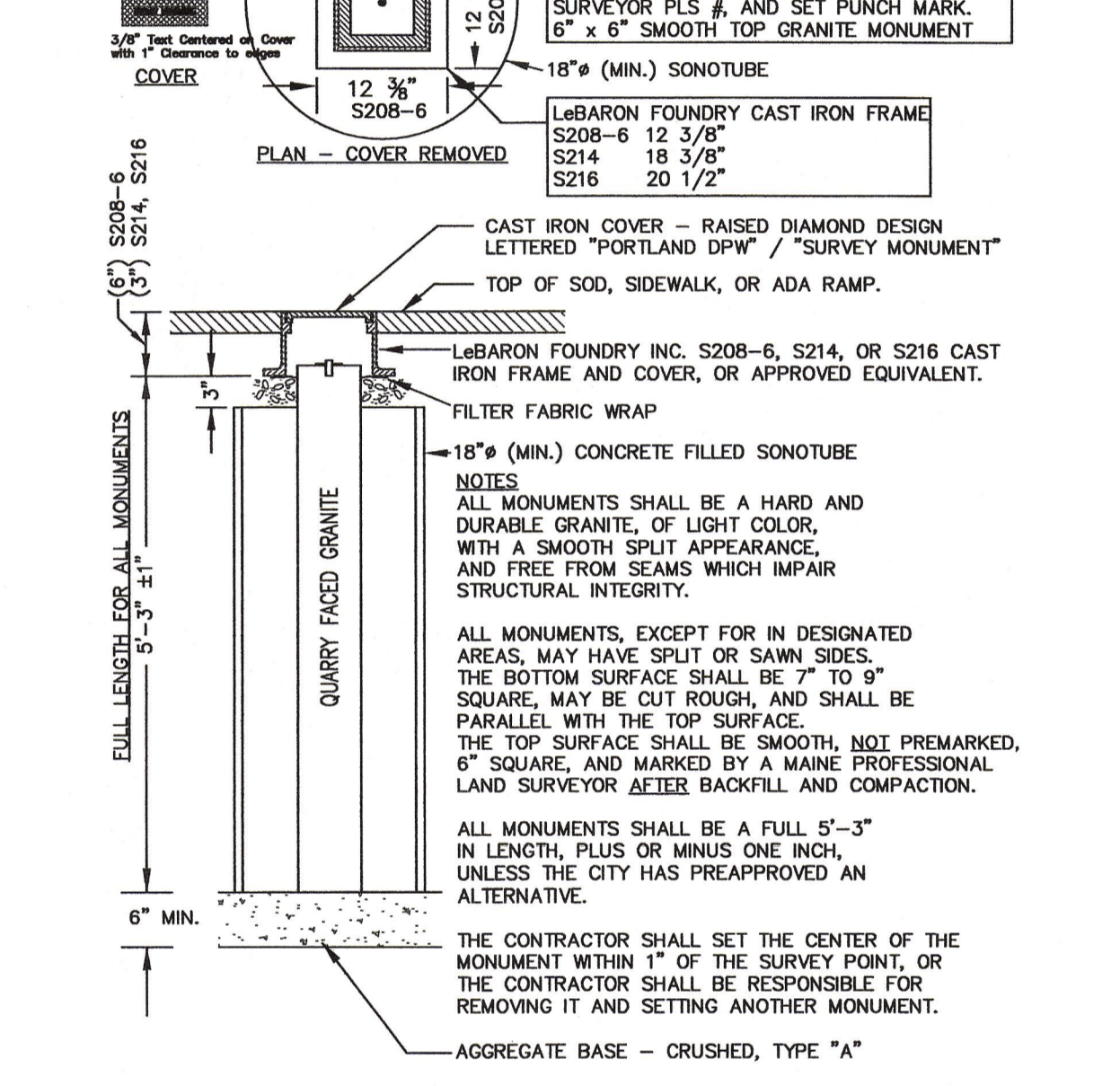


TYPICAL PAVEMENT GRADING ON SLOPES FOR CATCH BASIN AND INLET
NOT TO SCALE

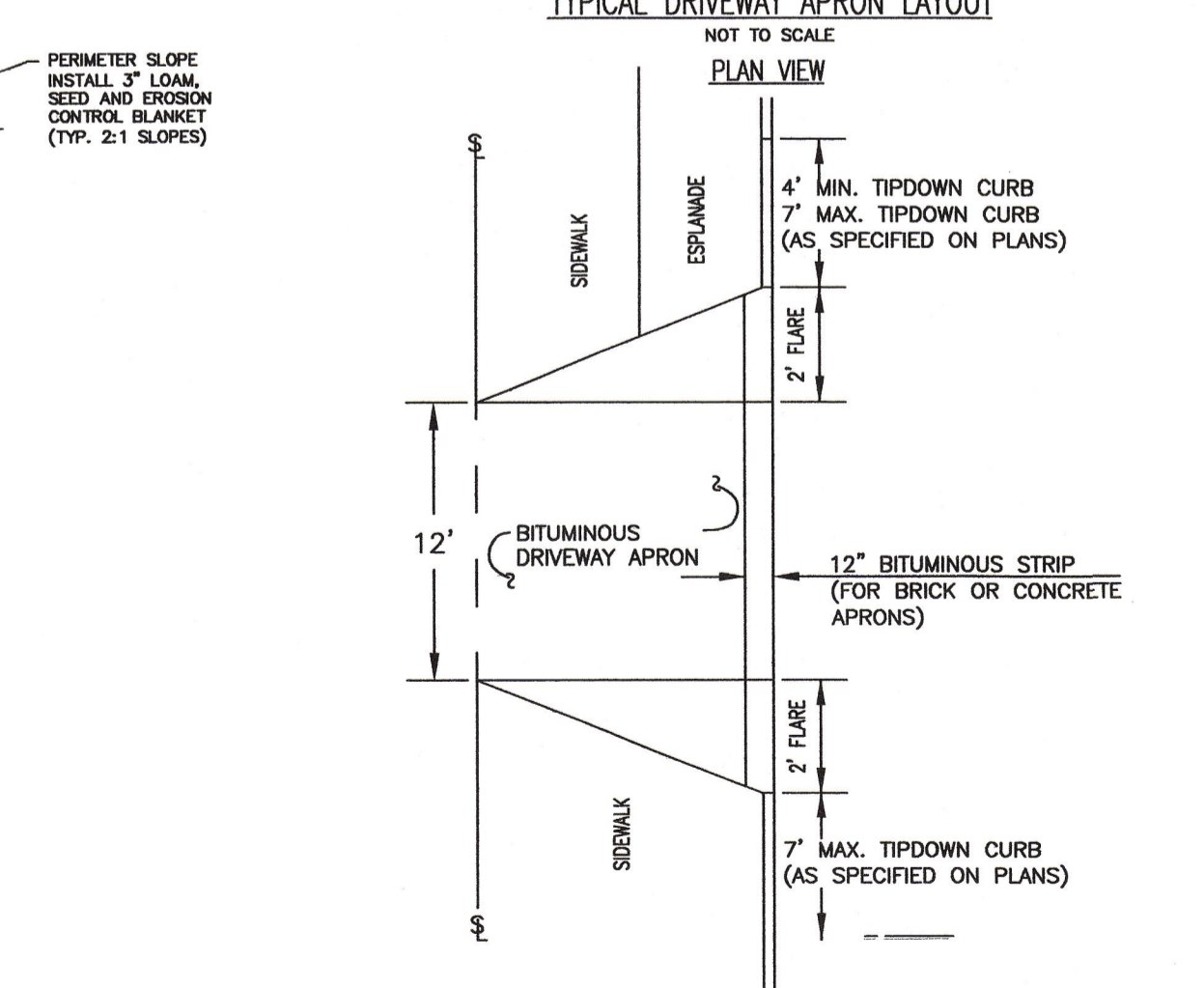


MINOR RESIDENTIAL STREET SECTION
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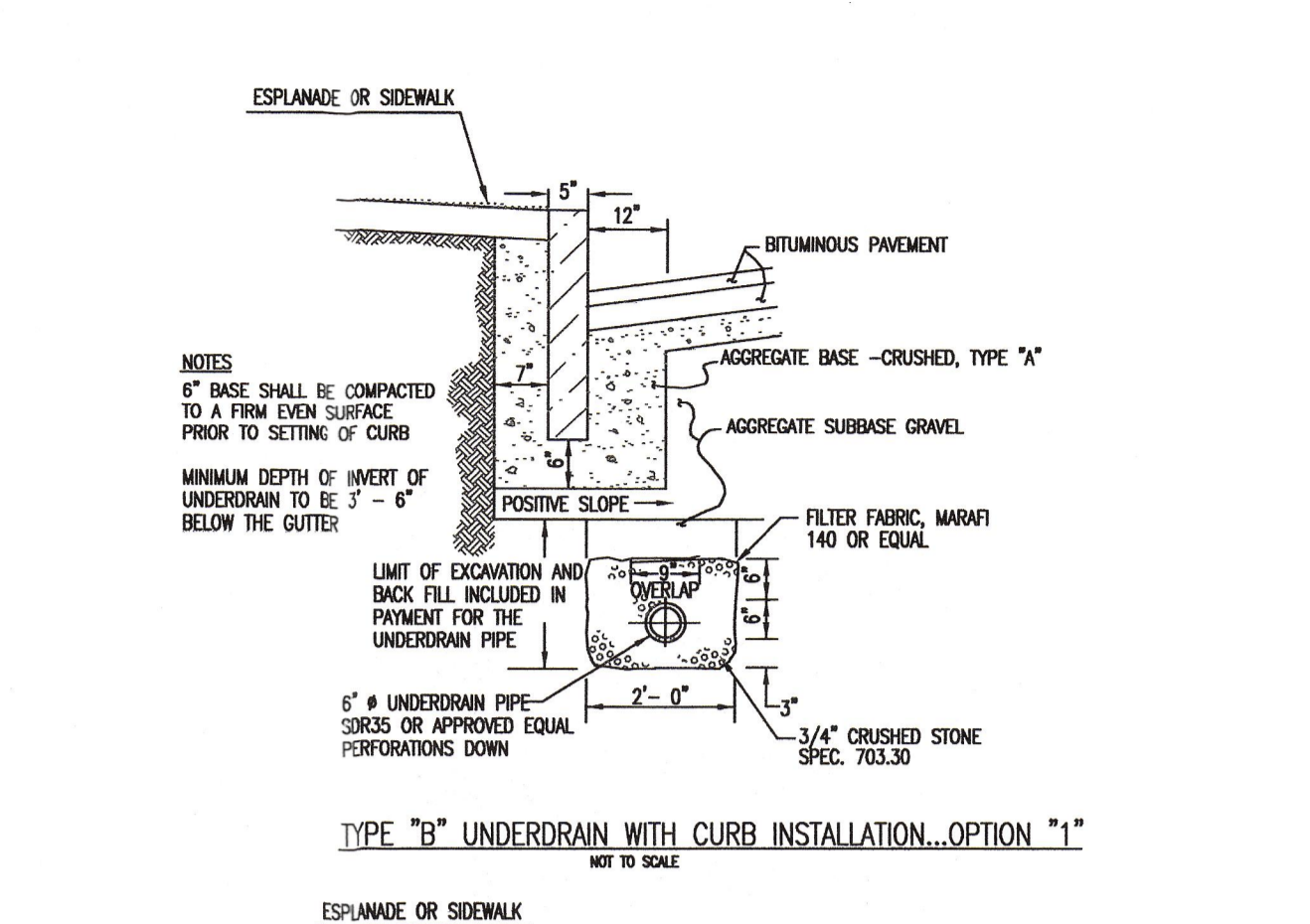
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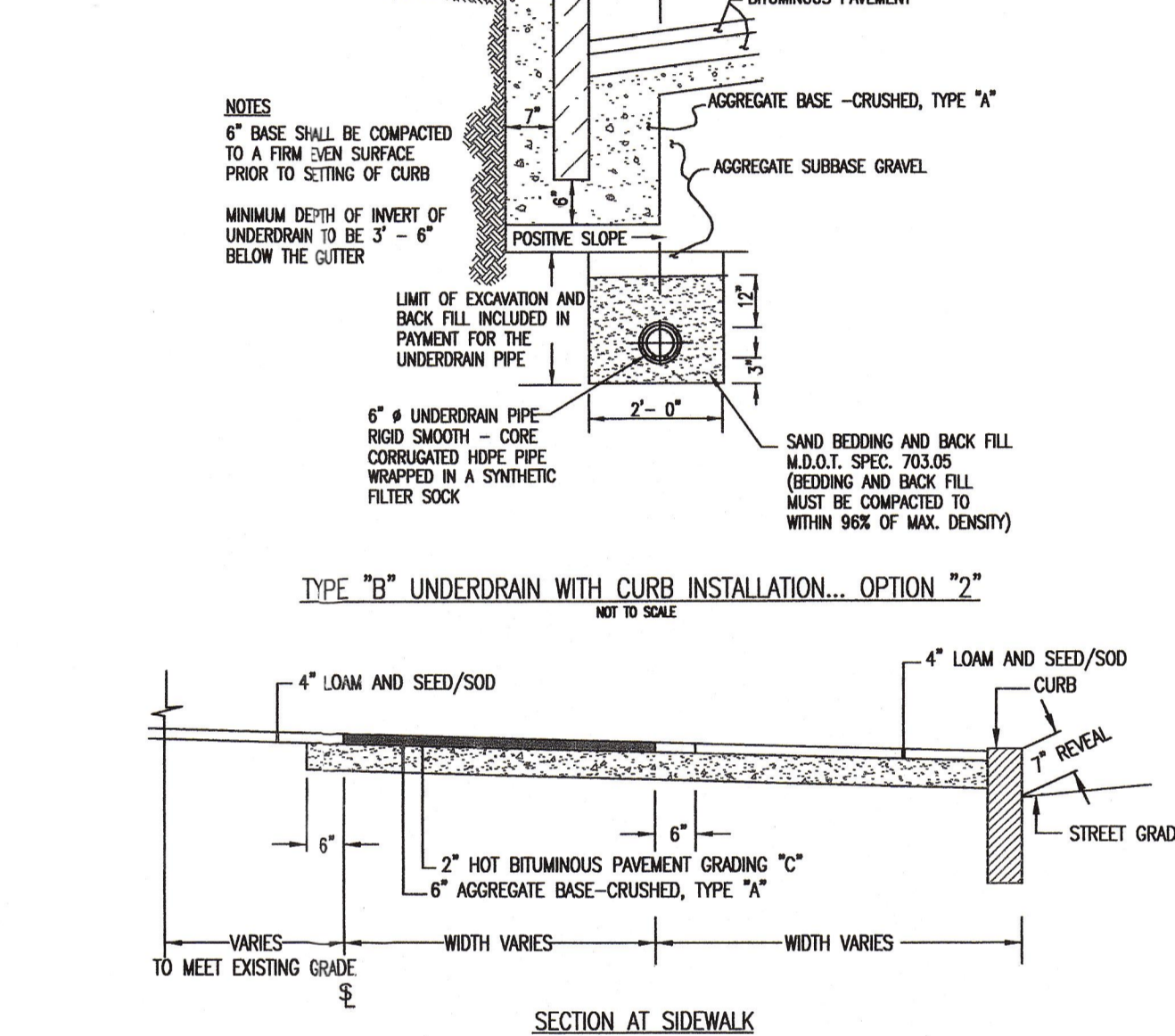
GRANITE STREET MONUMENT
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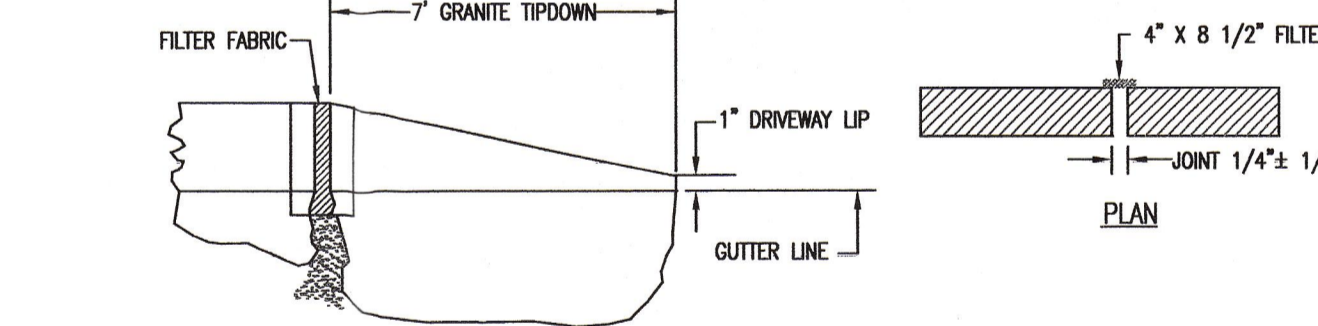
TYPICAL DRIVEWAY APRON LAYOUT
NOT TO SCALE



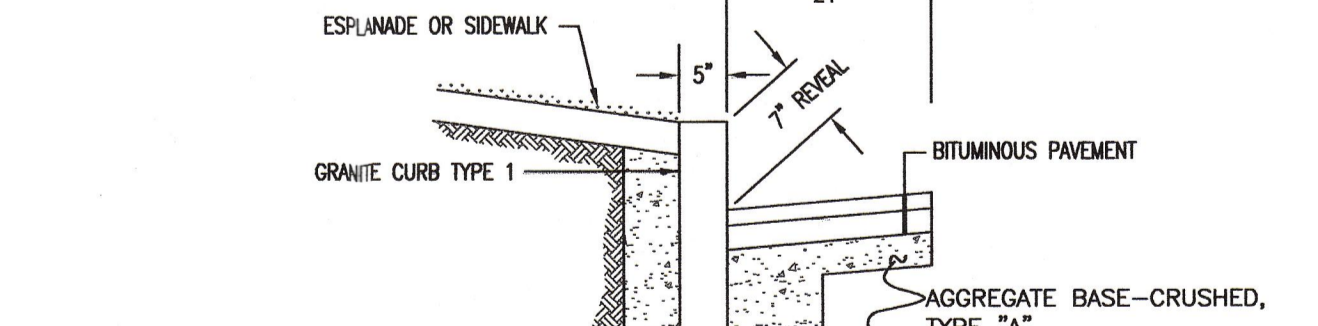
TYPE "B" UNDERDRAIN WITH CURB INSTALLATION... OPTION "1"
NOT TO SCALE



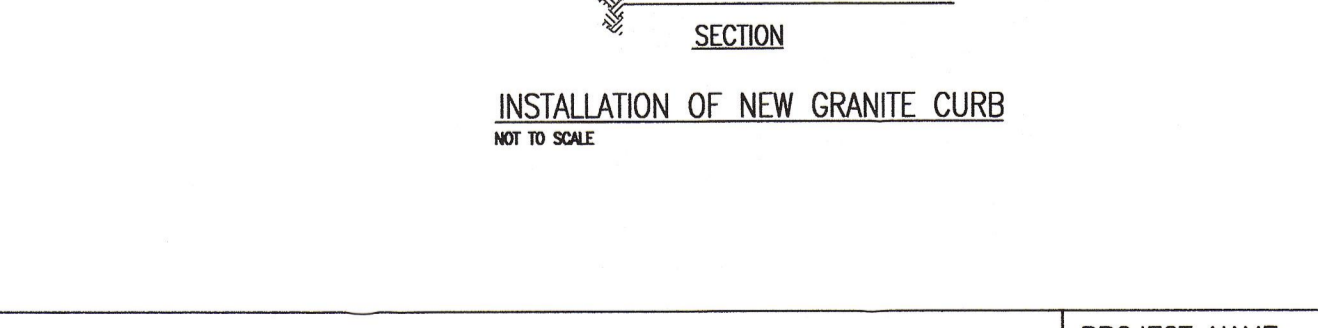
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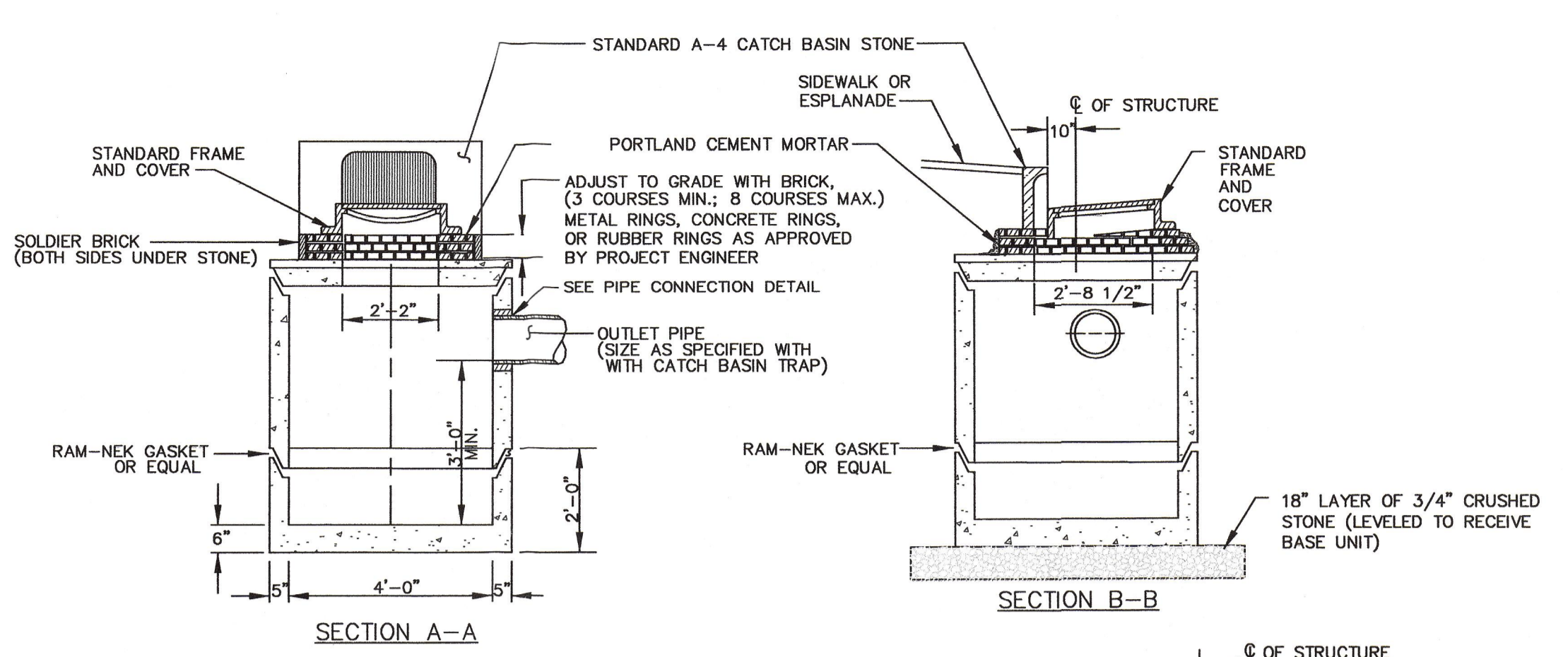
BITUMINOUS SIDEWALK WITH ESPLANADE
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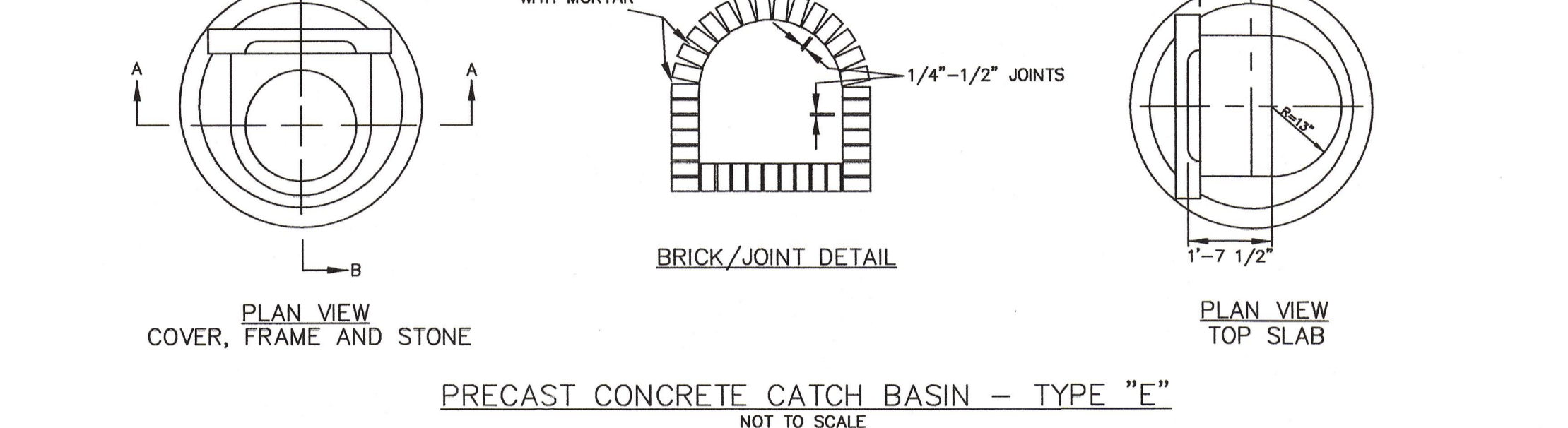
TYPICAL TIPDOWN CURB INSTALLATION
NOT TO SCALE



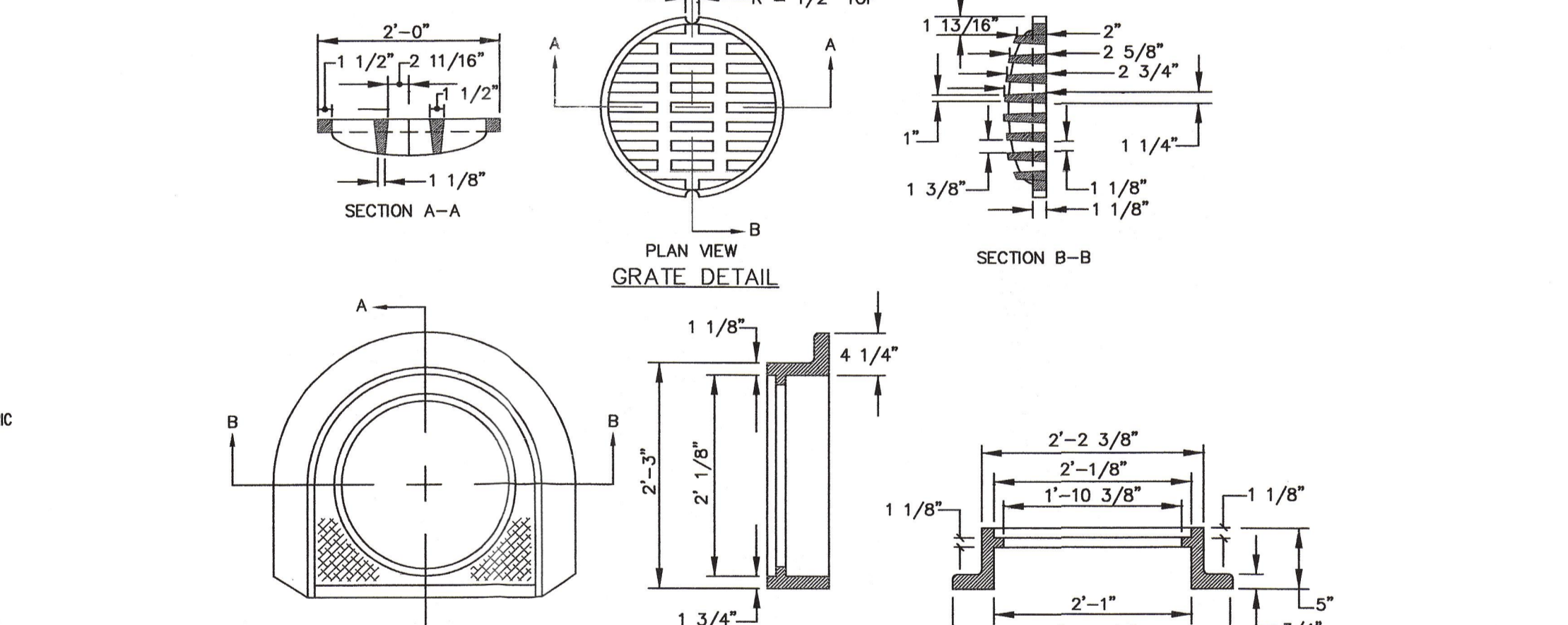
INSTALLATION OF NEW GRANITE CURB
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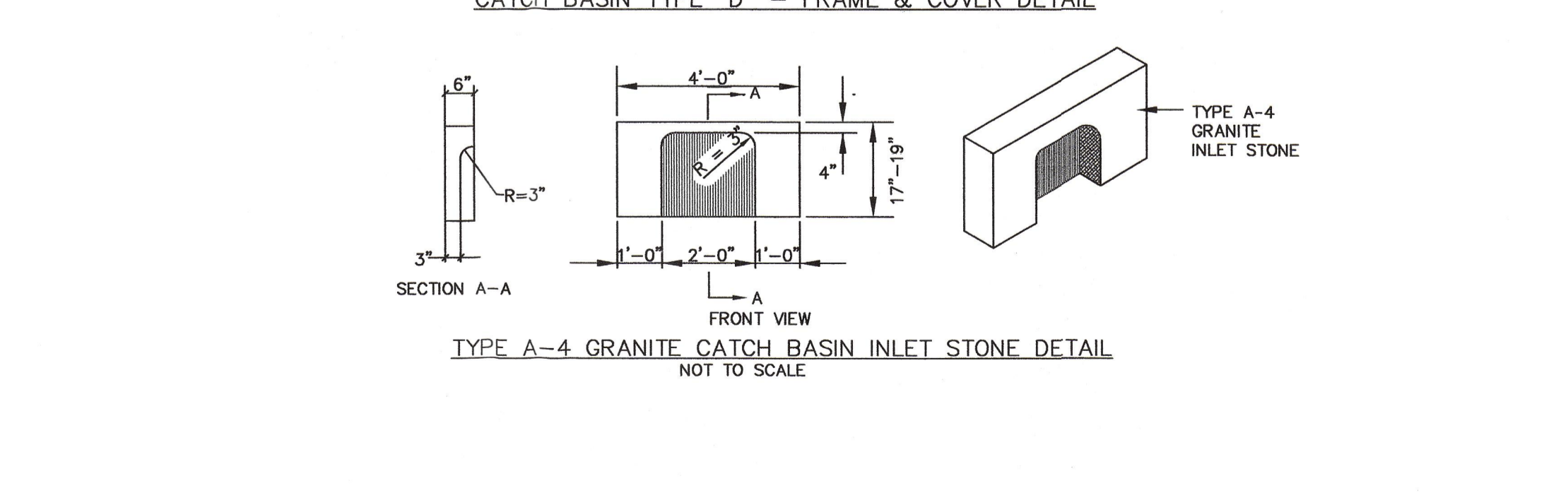
PRECAST CONCRETE CATCH BASIN - TYPE "E"
NOT TO SCALE



CATCH BASIN TYPE "D" - FRAME & COVER DETAIL
NOT TO SCALE



CATCH BASIN TYPE "D" - FRAME & COVER DETAIL
NOT TO SCALE



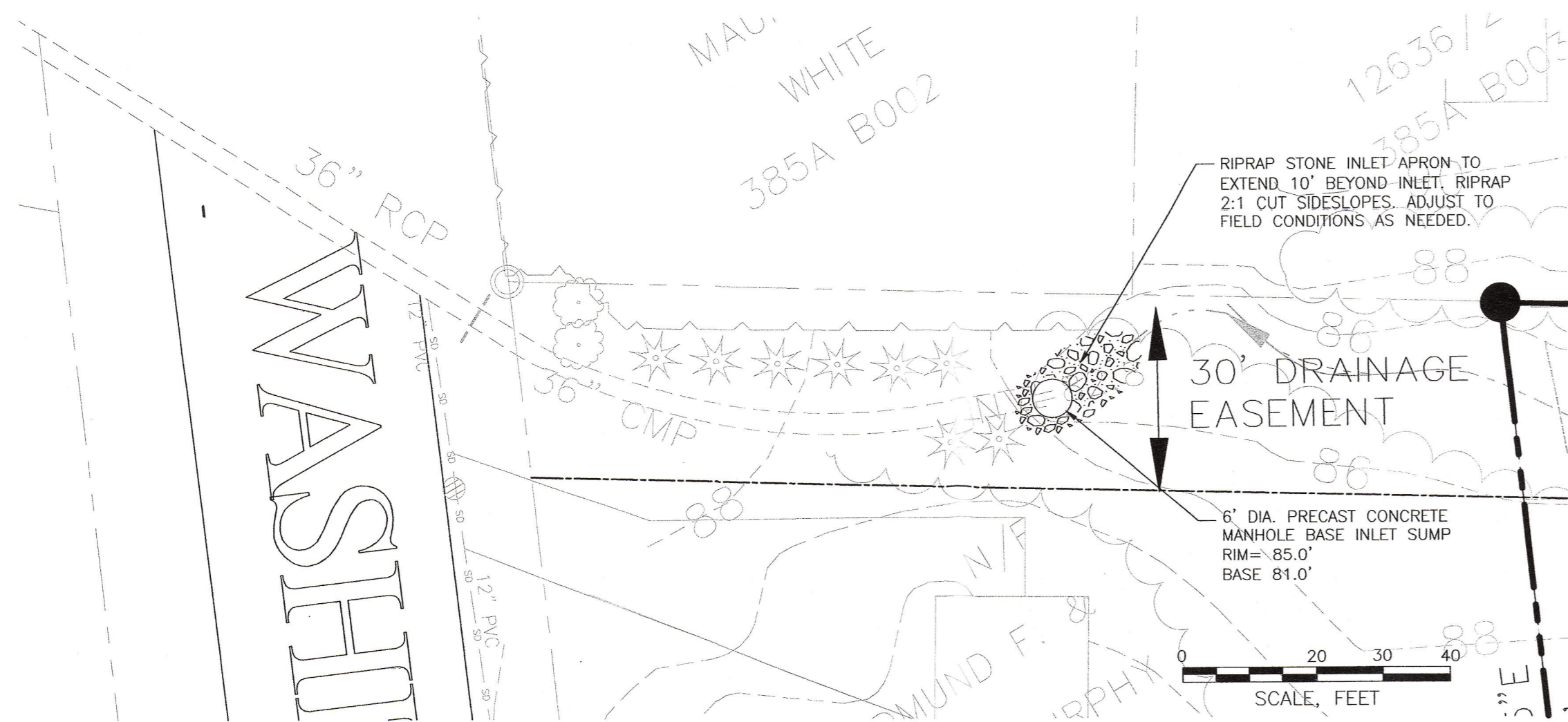
TYPE A-4 GRANITE CATCH BASIN INLET STONE DETAIL
NOT TO SCALE

3	9/03/04	ADDED LIGHTING DETAILS PER CITY COMMENTS AND PLANNING WORKSHOP JULY 27, 2004	ISSUED FOR:	DATE:	DESIGN:	TRP	
2	7/13/04	ADDED GRAVEL DRIVE AND TRENCH DRAIN DETAILS	PRELIMINARY		DRAWN:	SCP	
1	4/19/04	ISSUED FOR PLANNING BOARD WORKSHOP & CITY REVIEW	APPROVAL	4/19/04	CHECKED:	TRP	
REV	DATE	DESCRIPTION	CONSTRUCTION				

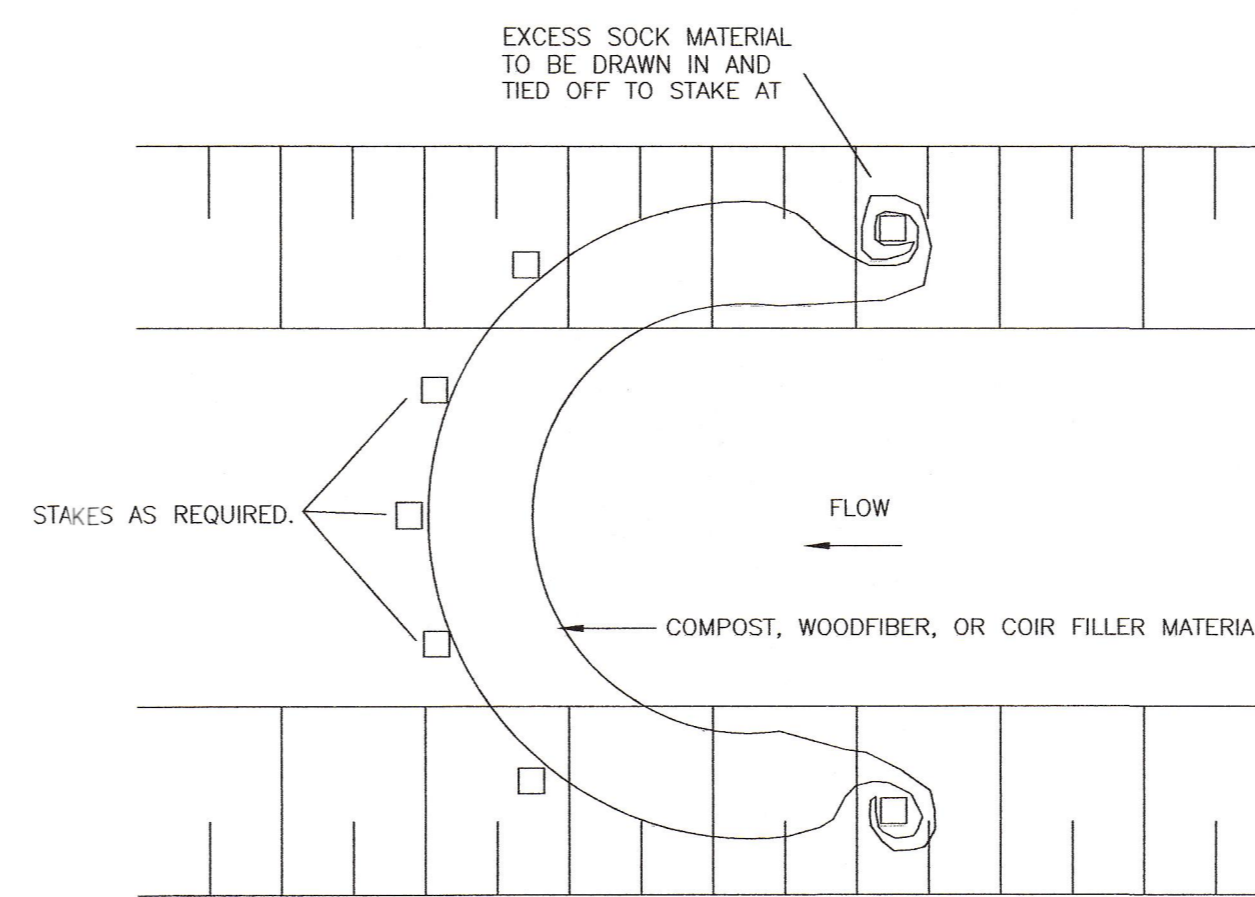
URS Corporation
477 Congress Street, 9th Floor
Portland, ME 04101-3453
Tel: 207.879.7686
Fax: 207.879.7685
www.urscorp.com

PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:	CONSTRUCTION DETAILS ROADWAY & DRAINAGE	SHEET 4 OF 10
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE	CLIENT:	MARGARET HAVERTY 87 HAVERTYS WAY PORTLAND, MAINE 04103	DRAWING NO.:
PROJECT NO.:	53359/39459287	SCALE:	AS SHOWN	DATE:
				SEPTEMBER 3, 2004

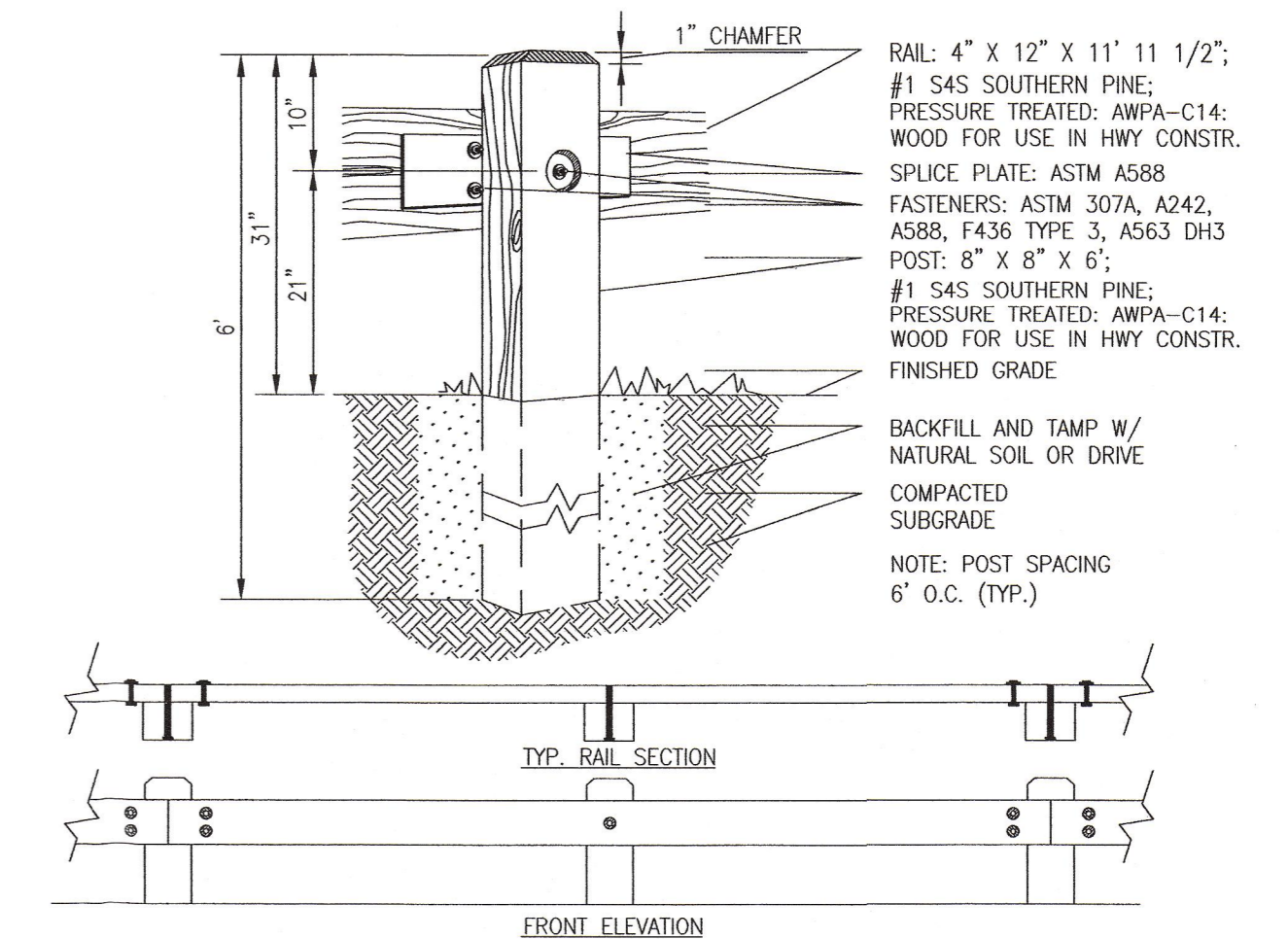
City Conditional Approval 9-21-04



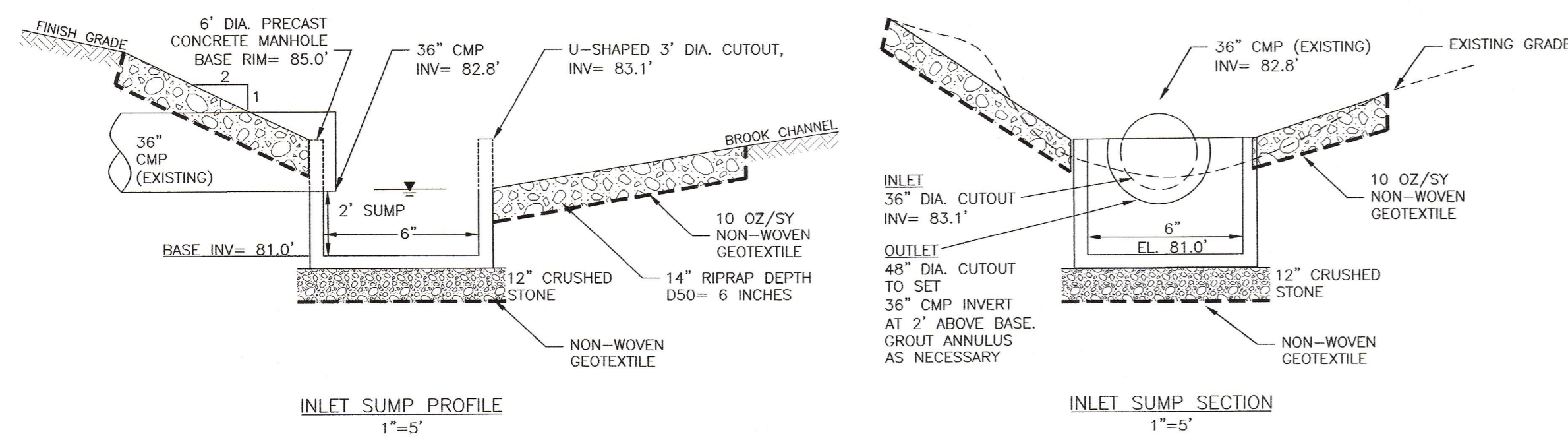
- CONSTRUCTION NOTES:**
1. RIPRAP STONE SHALL BE PROCESSED, ANGULAR ROCK, D50= 6 INCHES. DEPTH OF RIPRAP SHALL BE 2.25 TIMES D50, OR 14 INCHES.
 2. RIPRAP SHALL BE UNDERLAIN BY A 10 OZ/SY NON-WOVEN GEOTEXTILE FABRIC, OR A 6\"/>



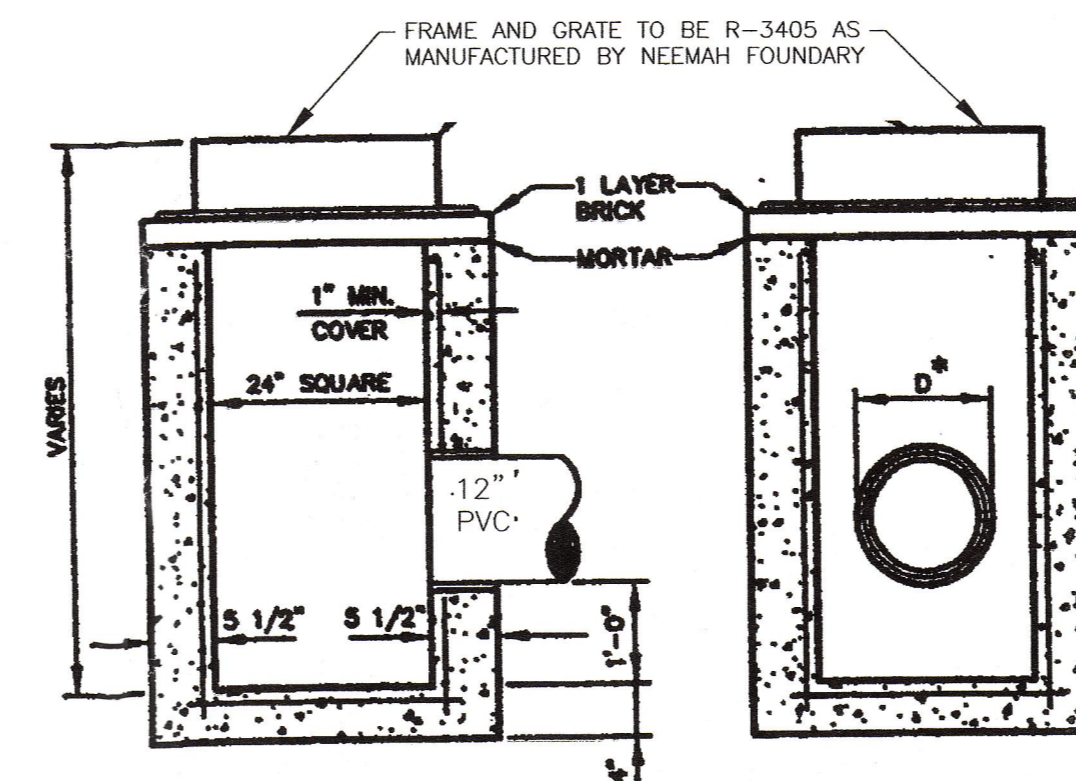
FILTER SOCK CHECK DAMS
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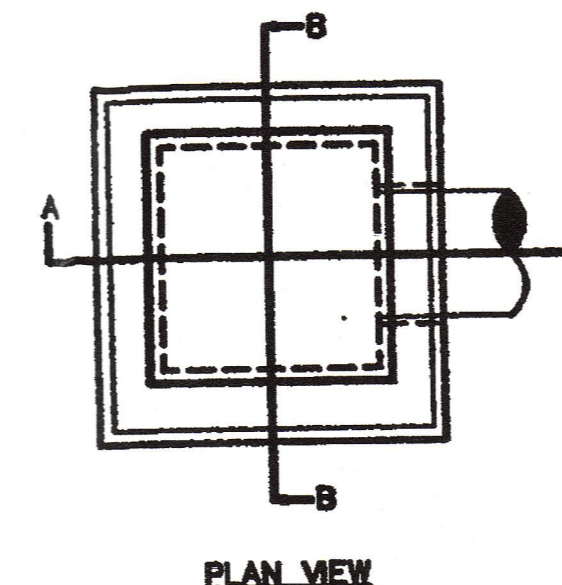
TIMBER GUARDRAIL DETAIL
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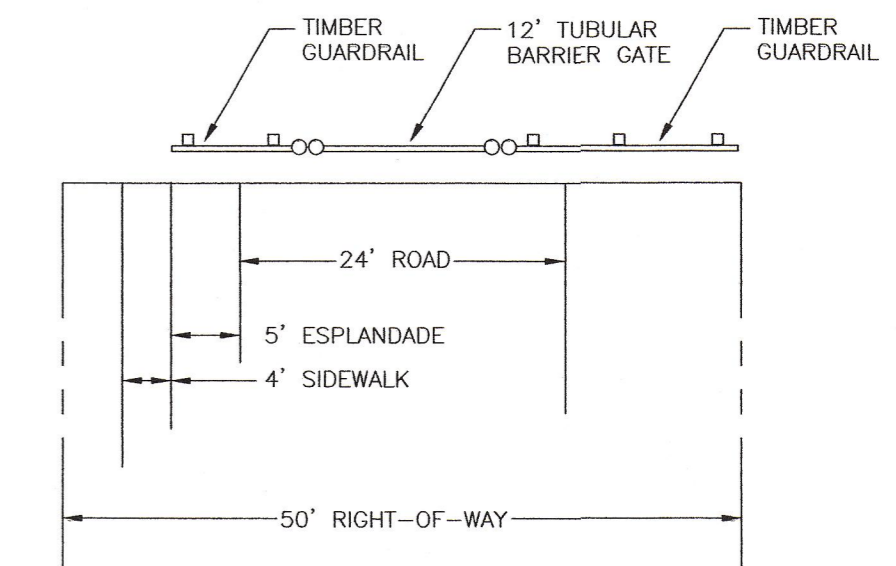
36\"/>



SECTION A-A

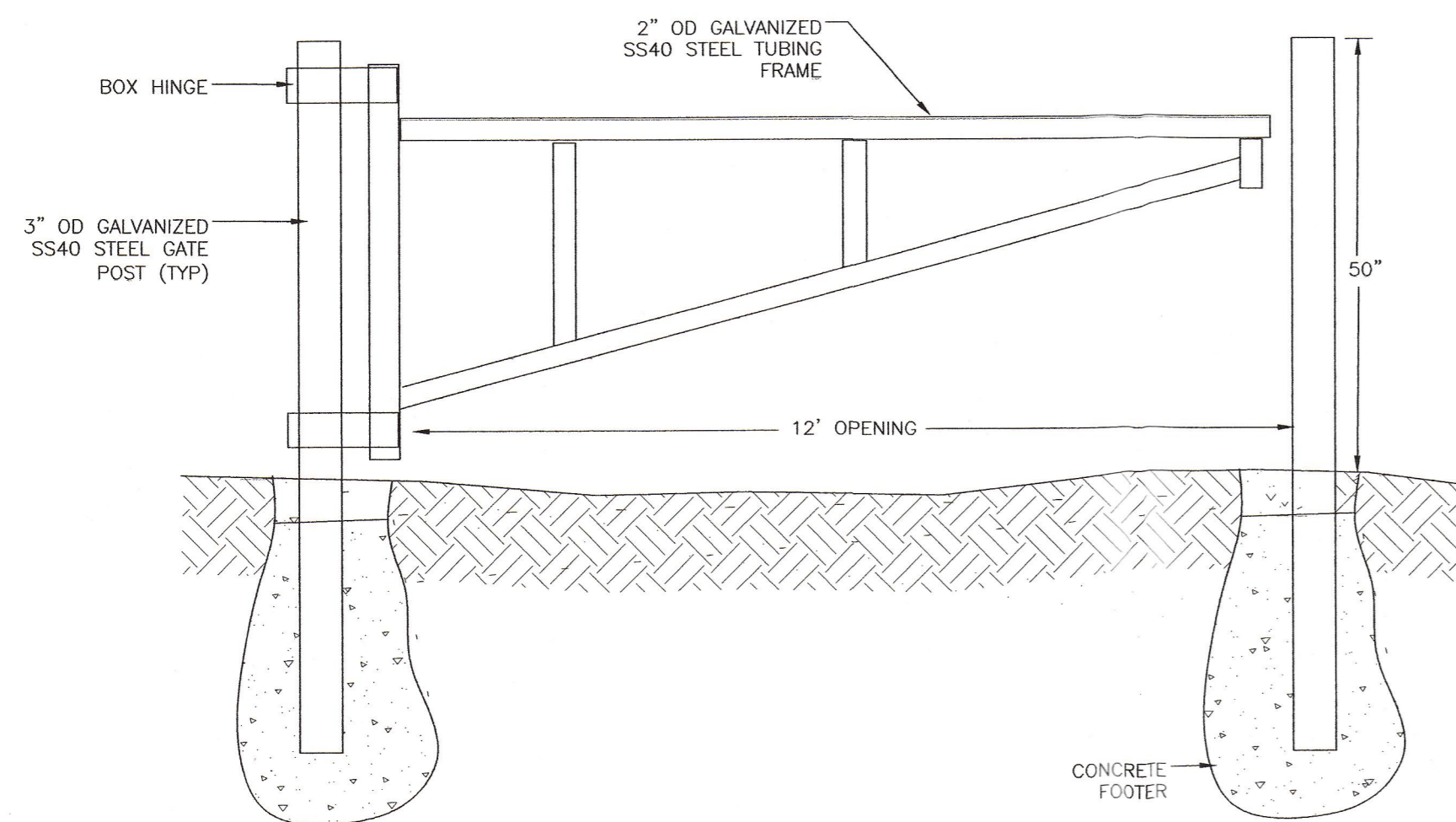


FIELD INLET DETAIL
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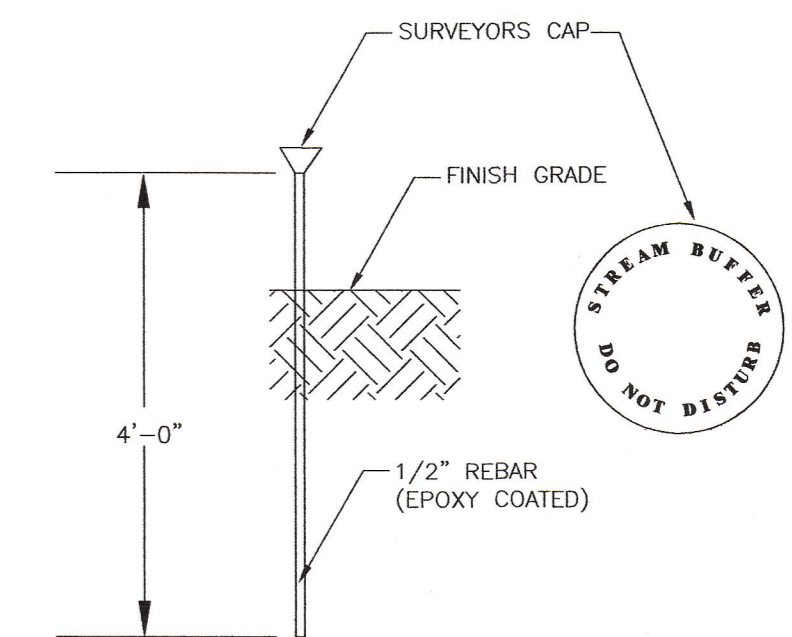


- NOTES:**
1. AFFIX THE FOLLOWING SIGNS TO THE ROAD TERMINUS GATE:
(1) DEAD END W14-1
(2) END OF ROADWAY MARKERS DM4-2
 2. AFFIX 3-INCH RED RETRO REFLECTORS ON FACE OF TIMBER GUARDRAIL AT 2-FOOT SPACING.

ROAD TERMINUS BARRIER PLAN
NOT TO SCALE



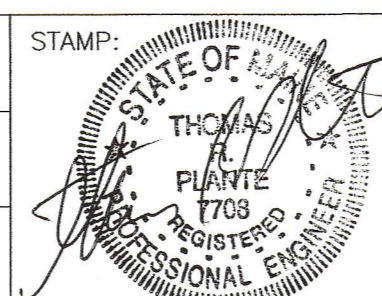
TYPICAL TUBULAR BARRIER GATE
NOT TO SCALE



STREAM BUFFER MONUMENT DETAIL
NOT TO SCALE

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ISSUED FOR:	DATE:	DESIGN:	TRP
PRELIMINARY		DRAWN:	SCP
APPROVAL	11/02/04	CHECKED:	TRP
CONSTRUCTION			

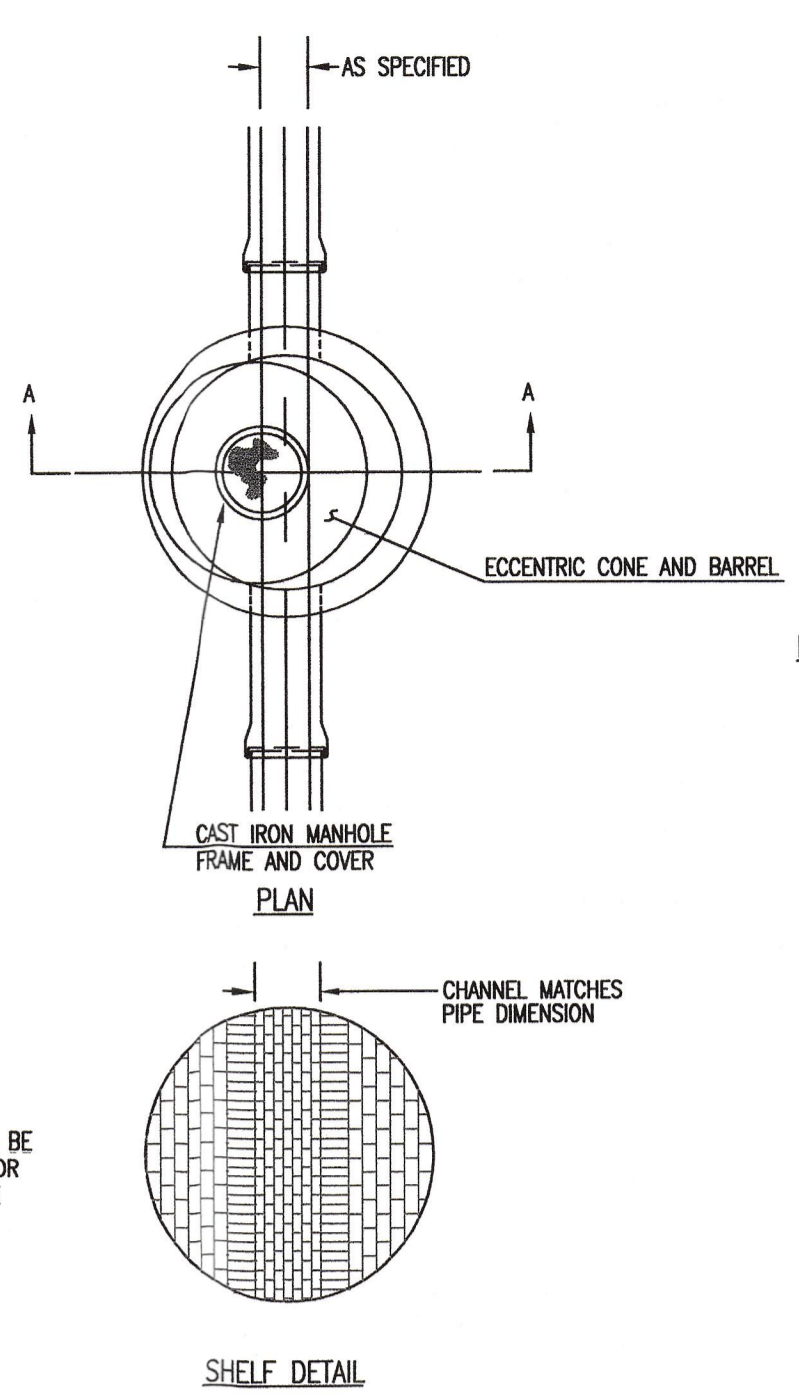
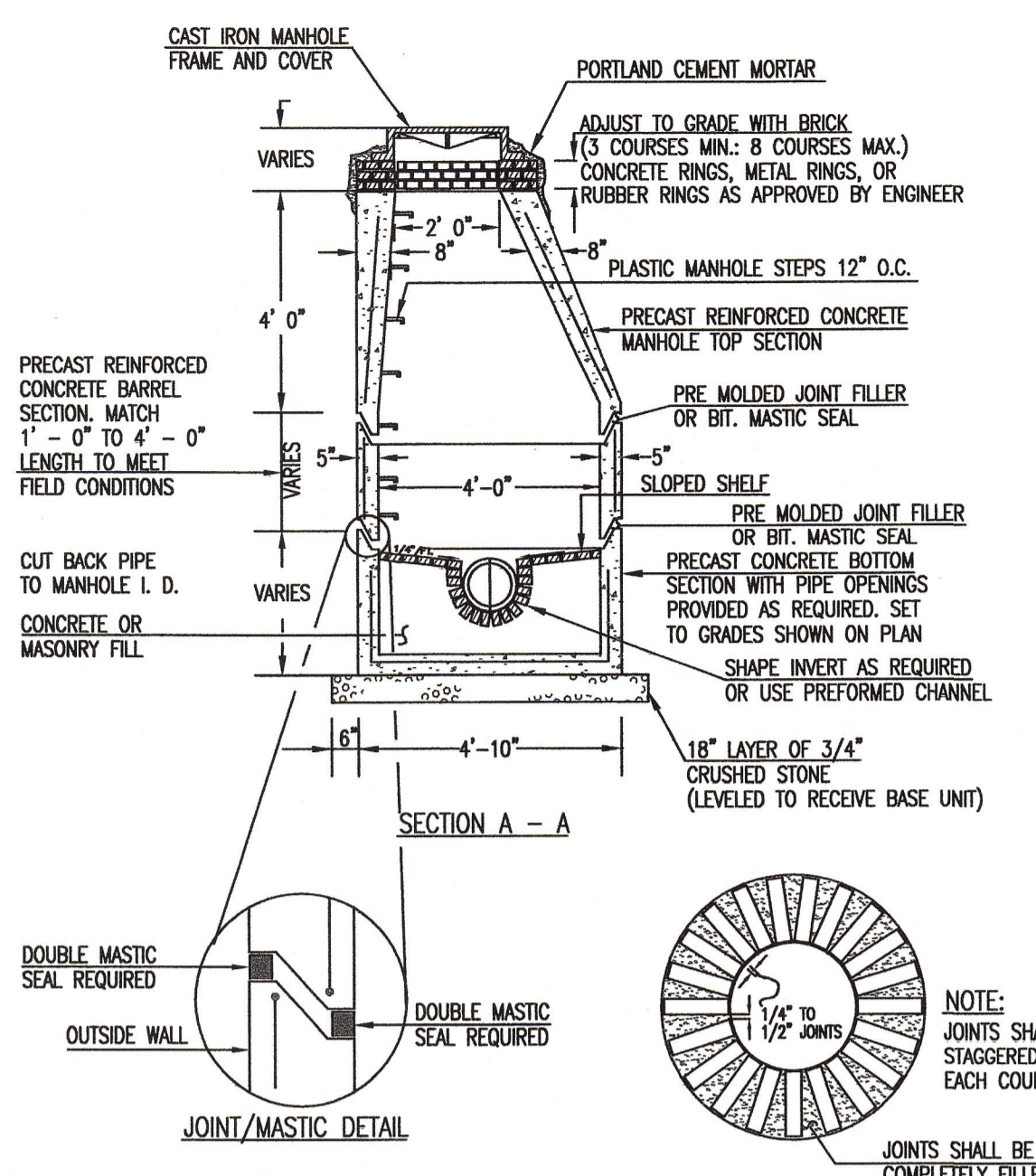


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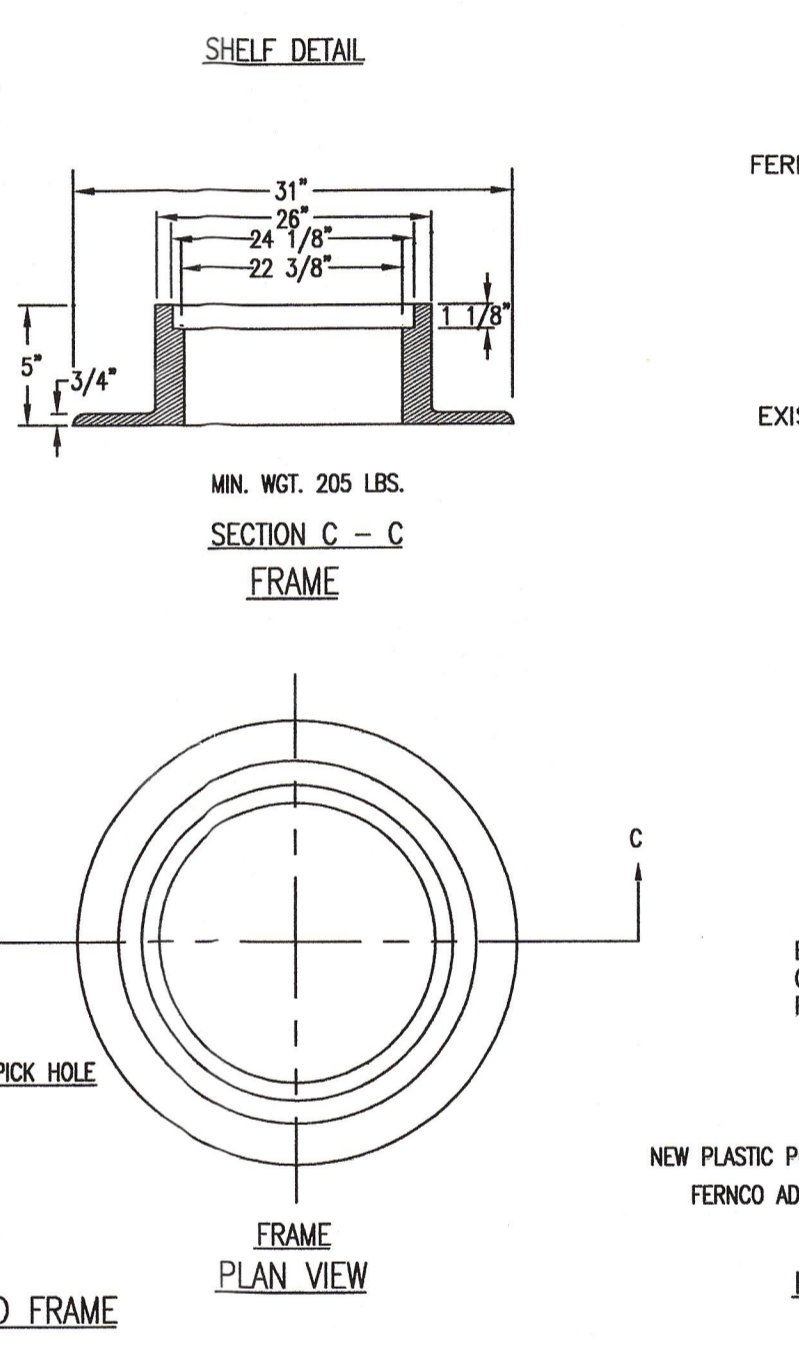
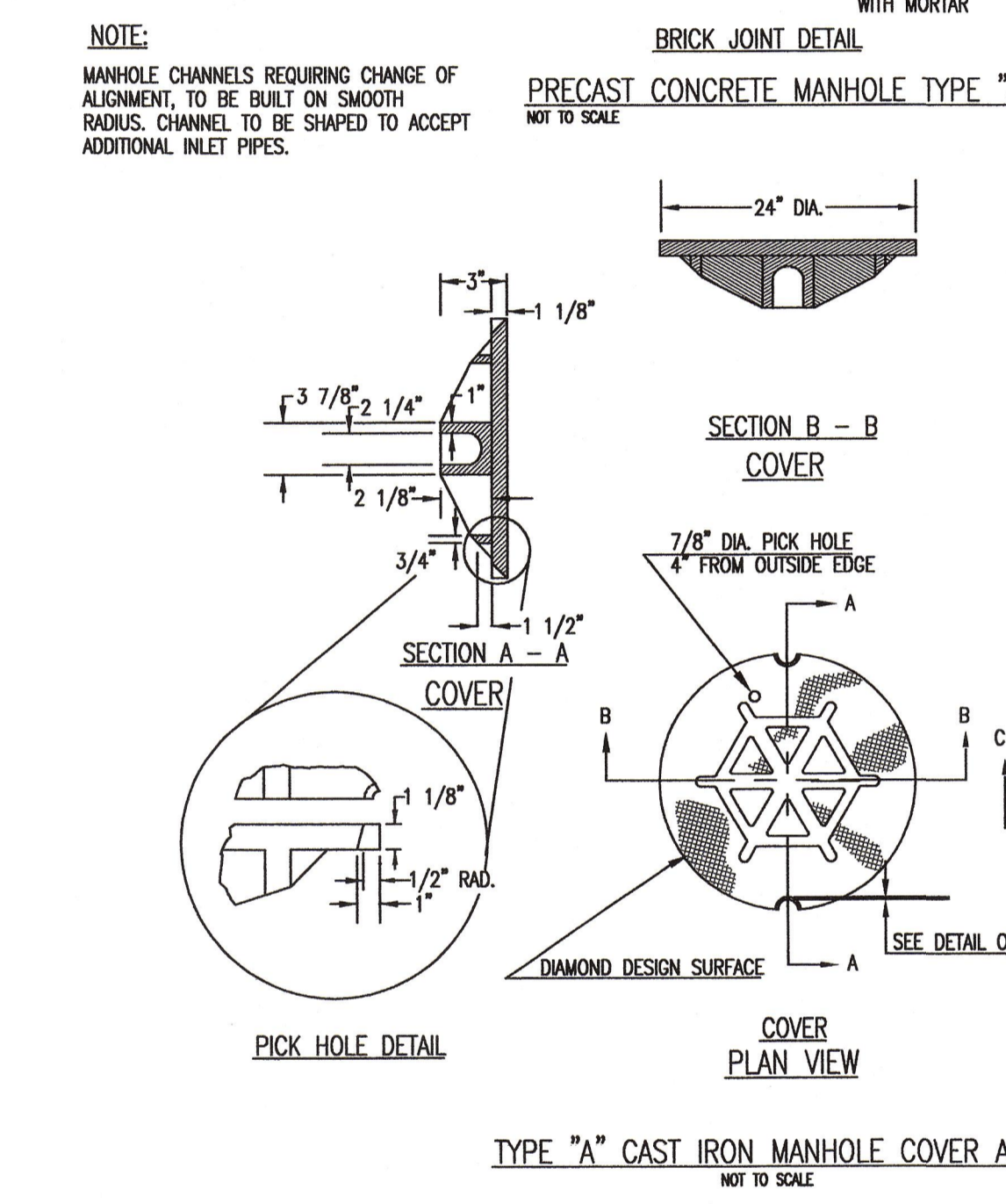
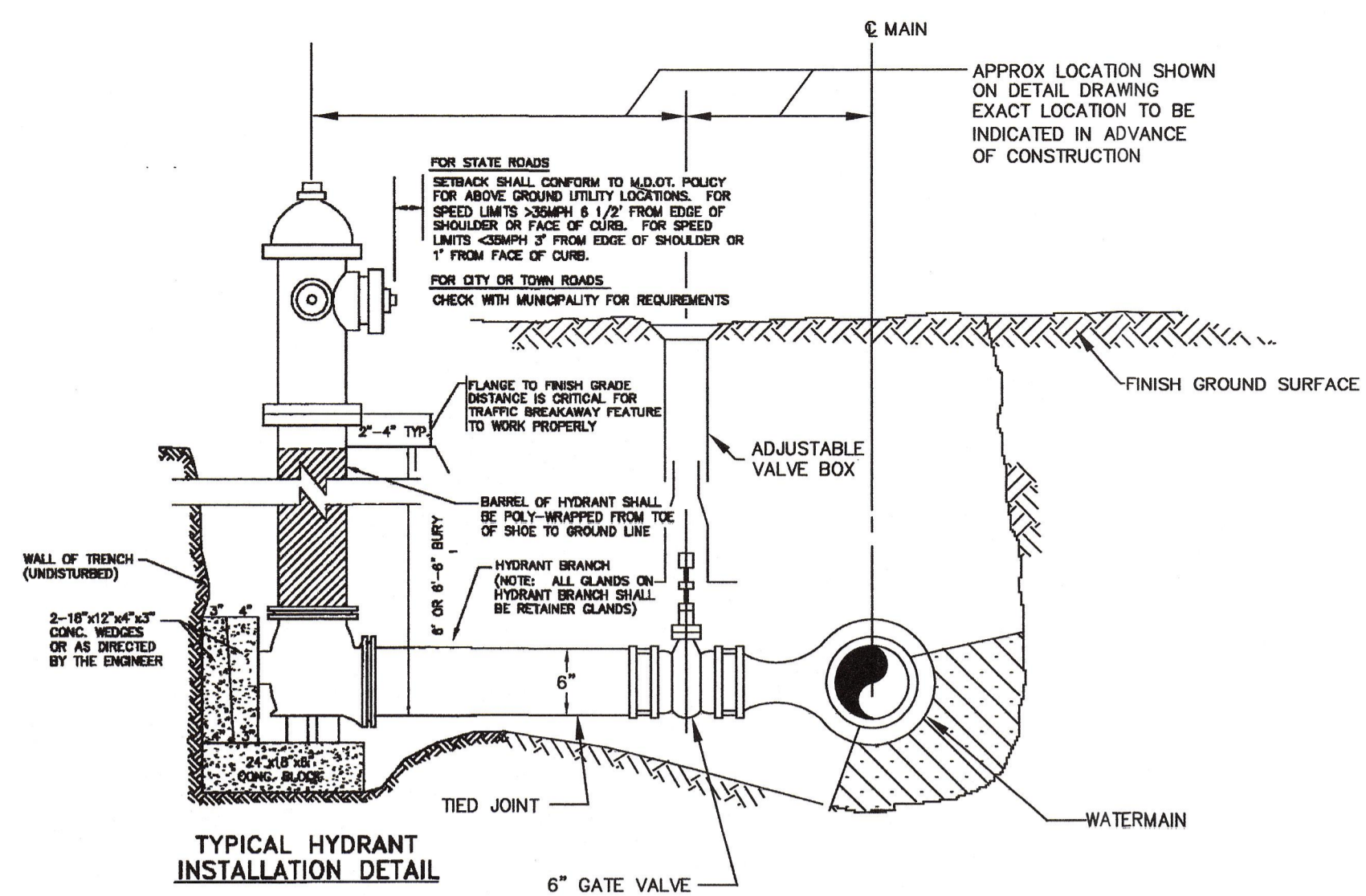
PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:	MISCELLANEOUS CONSTRUCTION DETAILS	SHEET 4A OF 10
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE			DRAWING NO.:
CLIENT:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103			4A
PROJECT NO.:	53359/39459287	SCALE:	AS SHOWN	DATE:
				NOVEMBER, 2004

CONSTRUCTION DETAILS — GENERAL NOTES

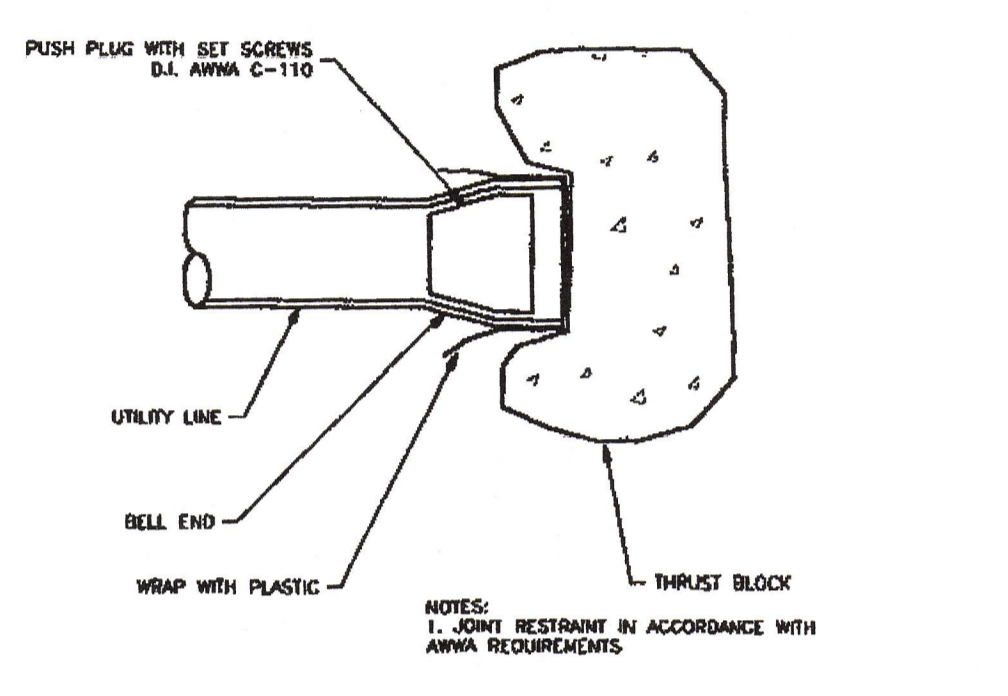
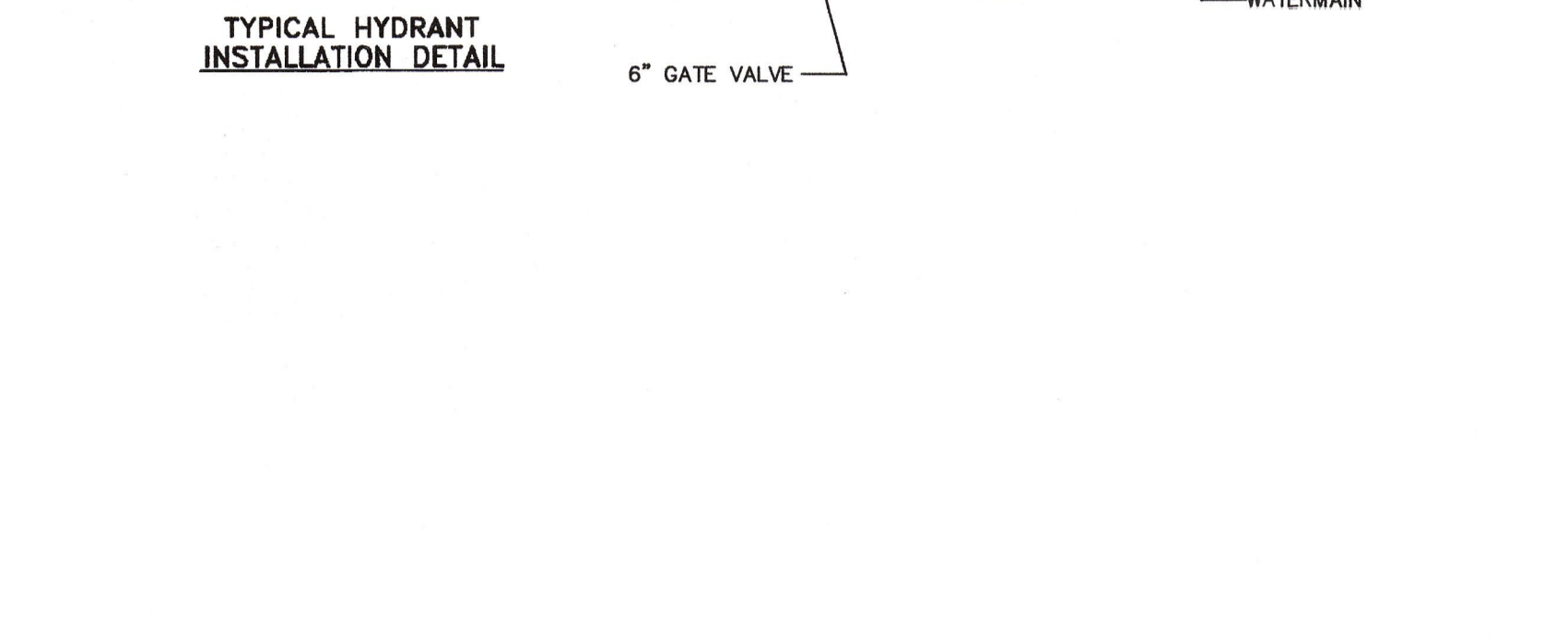
1. ALL CONSTRUCTION SHALL CONFORM WITH THE CITY OF PORTLAND, MAINE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. WATER LINE AND SERVICES CONSTRUCTION SHALL CONFORM WITH PORTLAND WATER DISTRICT STANDARDS AND SPECIFICATIONS.
3. PAVEMENT CUTS AND EXCAVATION WITHIN WASHINGTON AVENUE SHALL CONFORM TO THE CITY OF PORTLAND, MAINE RULES AND REGULATIONS FOR EXCAVATION ACTIVITY WITHIN THE PUBLIC RIGHT OF WAY, LATEST VERSION.
4. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE ABOVE REFERENCED STANDARDS AND COORDINATE INSPECTIONS AND APPROVALS WITH THE CITY AND THE APPROPRIATE UTILITY MANAGERS.



NOTE: EXISTING MANHOLE OR CATCH BASIN SHALL BE CORE DRILLED FOR PIPE INSTALLATION. IF PIPE DIAMETER IS SO LARGE THAT CORE DRILLING IS PROHIBITED, THE CONTRACTOR MAY USE ANY COMBINATION OF JACK HAMMERING AND SAW CUTTING THE STRUCTURE TO CREATE PIPE OPENING. THE NEW OPENING MUST THEN BE SEALED AND WATERTIGHT BOTH INSIDE AND OUTSIDE THE STRUCTURE.



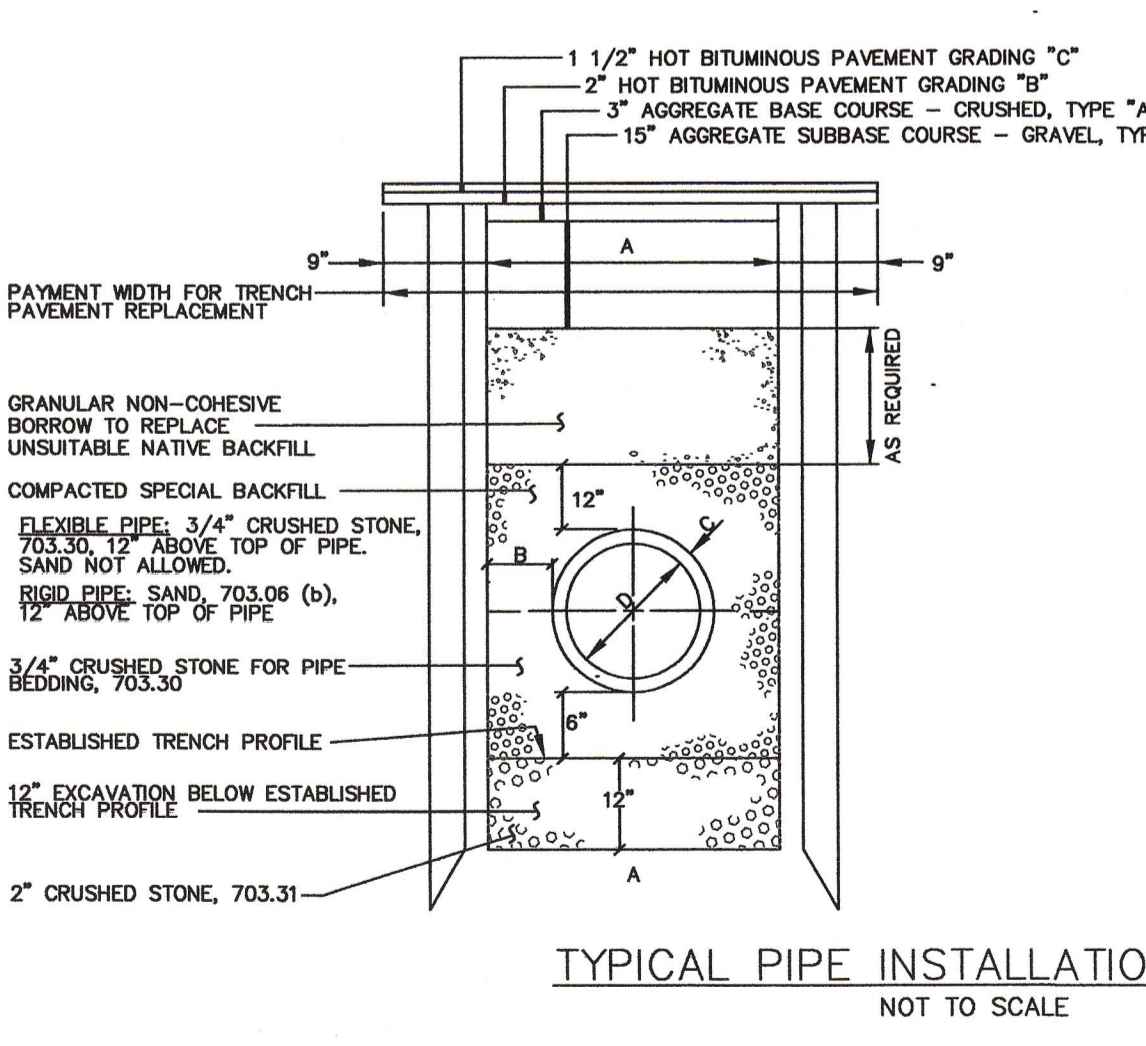
NOTE: REMOVE WATERPROOFING FROM STRUCTURE BEFORE APPLYING MORTAR. WATERPROOF AGAIN AFTER MORTAR HAS SET.



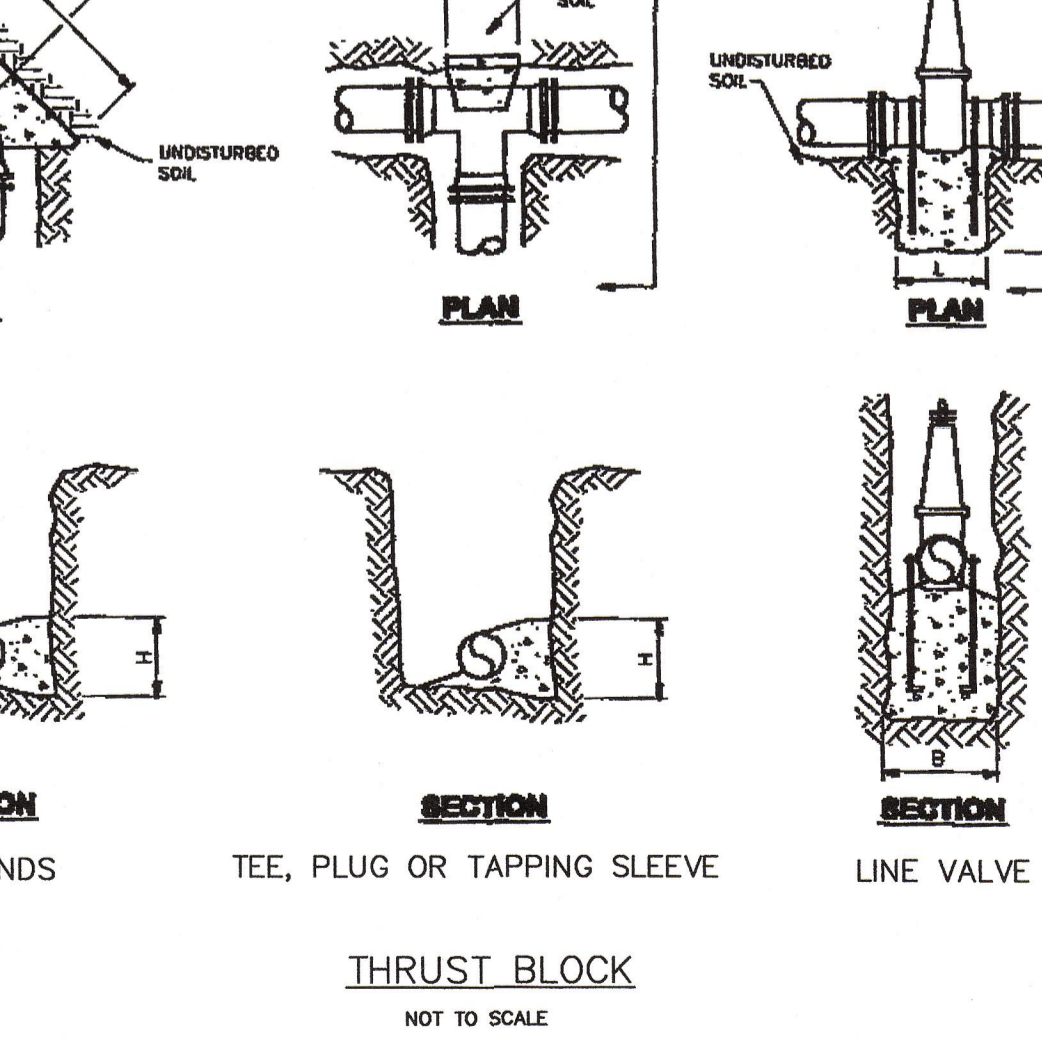
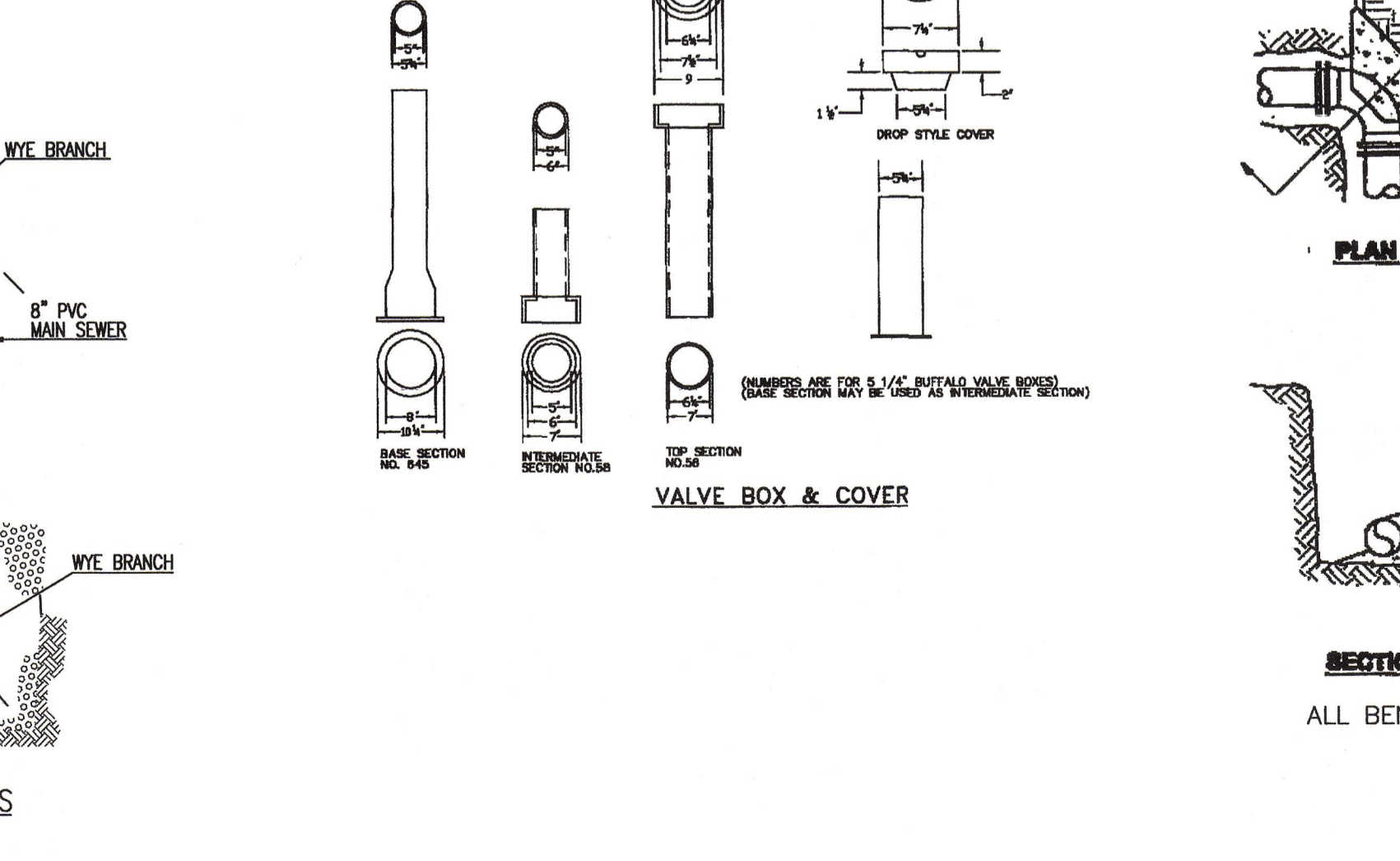
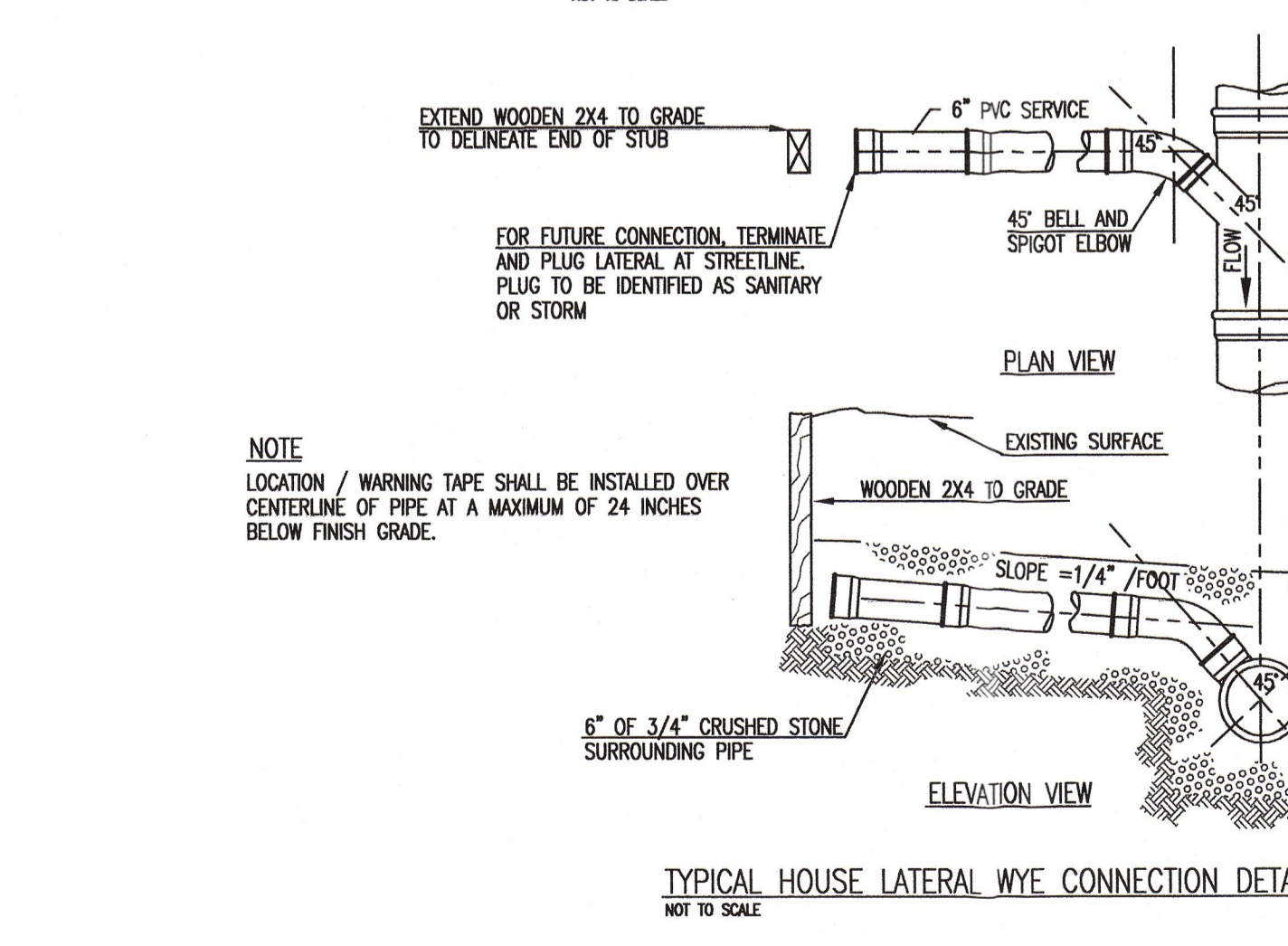
TYPICAL CAP AND PLUG NOT TO SCALE

PIPE SIZE INCHES	TEE OR PLUG FT.		ALL BENDS FT.		ALL LINE VALVES FT.		PIPE SIZE INCHES	
	H	L	H	L	H	L		
6	1.5	3.0	2.0	3.5	1.5	3.0	2.5	6
8	2.0	4.0	2.5	5.0	2.0	4.0	3.0	8
10	2.5	5.0	3.0	6.0	3.0	4.0	3.0	10
12	3.0	6.0	3.0	8.0	3.0	3.0	4.0	12
16	3.0	6.5	3.0	10.0	3.0	4.5	4.0	16

NOTE: BASIS: SOIL BEARING CAPACITY OF 2000 PSF AND 3 FEET COVER IN GRANULAR SOIL. HEIGHT OF BLOCK MUST BE LESS THAN 1/2 DEPTH OF TRENCH. 6 MIL THICK POLYETHYLENE SHALL BE PLACED AROUND FITTINGS PRIOR TO CONCRETE PLACEMENT. USE FOR HORIZONTAL OR DOWNWARD THRUST ONLY.

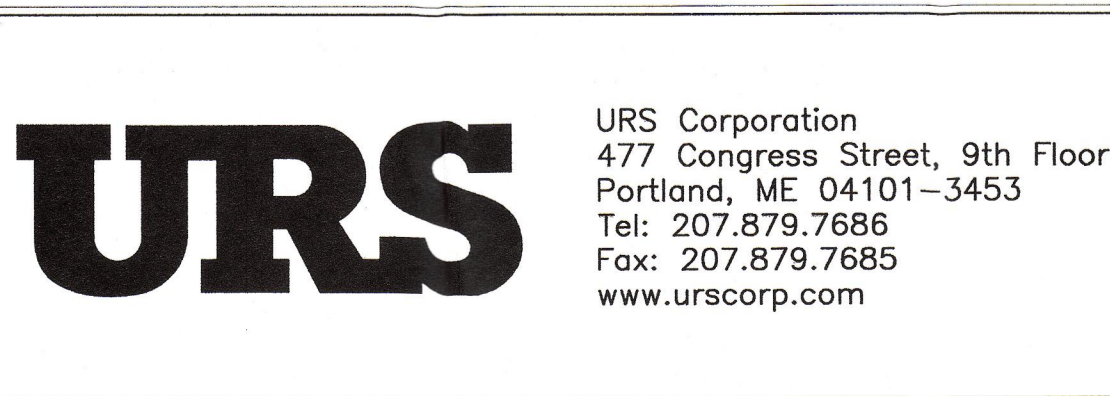
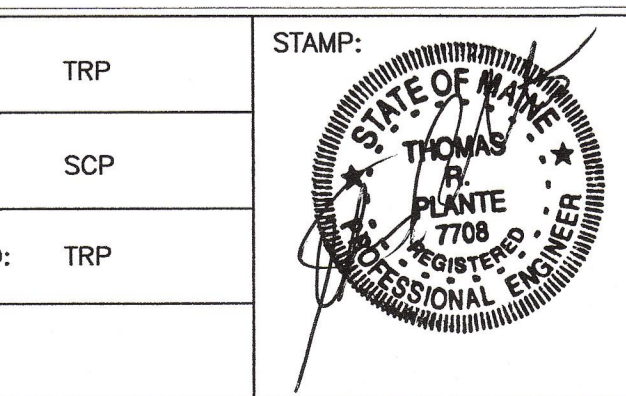


PIPE SIZE (IN)	MIN. COVER (FT)	MIN. TRENCH WIDTH (IN)	MIN. TRENCH DEPTH (IN)	MIN. TRENCH LENGTH (IN)	MIN. TRENCH WIDTH (IN)	MIN. TRENCH DEPTH (IN)	MIN. TRENCH LENGTH (IN)
6	1.5	30	30	30	30	30	30
8	2.0	40	40	40	40	40	40
10	2.5	50	50	50	50	50	50
12	3.0	60	60	60	60	60	60
16	3.0	65	65	65	65	65	65



REV	DATE	DESCRIPTION
3	9/03/04	ADDED DETAIL CLARIFICATIONS PER CITY COMMENTS
2	7/13/04	ADDED THRUST BLOCK DETAILS
1	4/19/04	ISSUED FOR PLANNING BOARD WORKSHOP & CITY REVIEW

ISSUED FOR:	DATE:	DESIGN:	TRP
PRELIMINARY		DRAWN:	SCP
APPROVAL	4/19/04	CHECKED:	TRP
CONSTRUCTION			

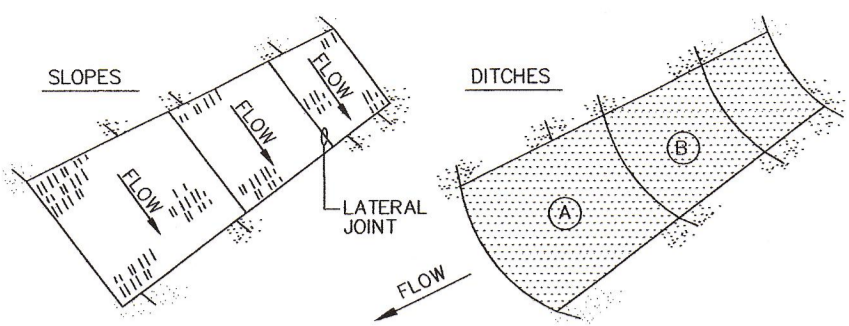


PROJECT NAME:	BALLPARK DRIVE SUBDIVISION
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE
CLIENT:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103
PROJECT NO.:	53359/39459287

SHEET TITLE:	CONSTRUCTION DETAILS WATER & SEWER
SHEET 5 OF 10	DRAWING NO. 5
SCALE:	AS SHOWN
DATE:	SEPTEMBER 3, 2004

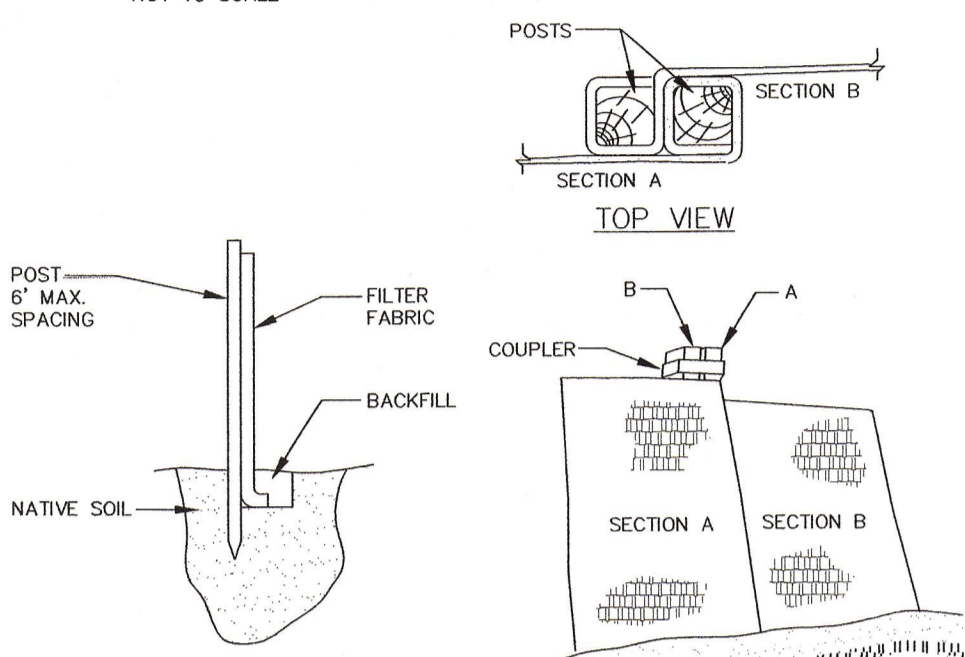
City Conditional Approval 9-21-04

EROSION AND SEDIMENTATION CONTROL PLAN



- NOTES:**
- BURY THE TOP END OF THE MESH MATERIAL IN A 6" TRENCH AND BACKFILL AND TAMP TRENCHING SECURE END WITH STAPLES AT 6" SPACING, 4" DOWN FROM EXPOSED END.
 - FLOW DIRECTION JOINTS TO HAVE UPPER END OF LOWER STRIP BURIED WITH UPPER LAYERS OVERLAPPED 4" AND STAPLED. OVERLAP TO OVER A.
 - LATERAL JOINTS TO HAVE 4" OVERLAP OF STRIPS. STAPLE 18" ON CENTER.
 - STAPLE OUTSIDE LATERAL EDGE 2" ON CENTER.
 - WIRE STAPLES TO BE MIN. OF # 11 WIRE 6" LONG AND 1-1/2" WIDE.
 - USE NORTH AMERICAN GREEN DS 150 OR APPROVED EQUAL.

EROSION CONTROL BLANKET
NOT TO SCALE

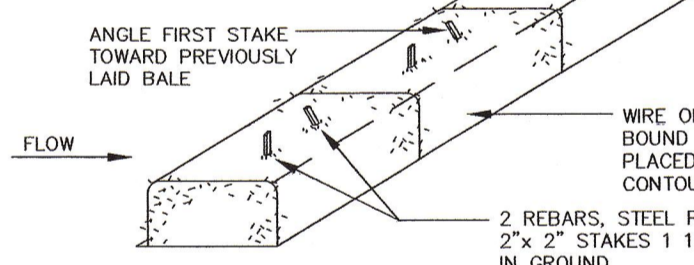


- INSTALLATION:**
- EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 - JOIN SECTION AS SHOWN ABOVE.
 - BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

FILTER BARRIER
NOT TO SCALE



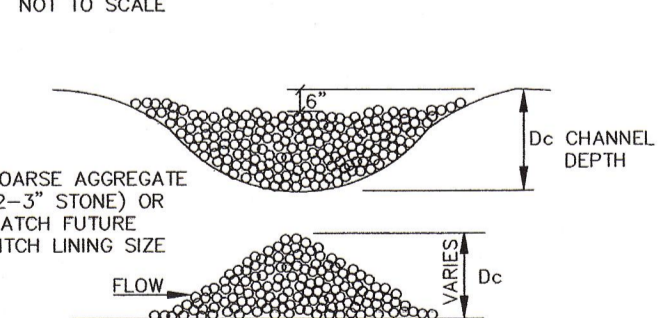
EMBEDDING DETAIL



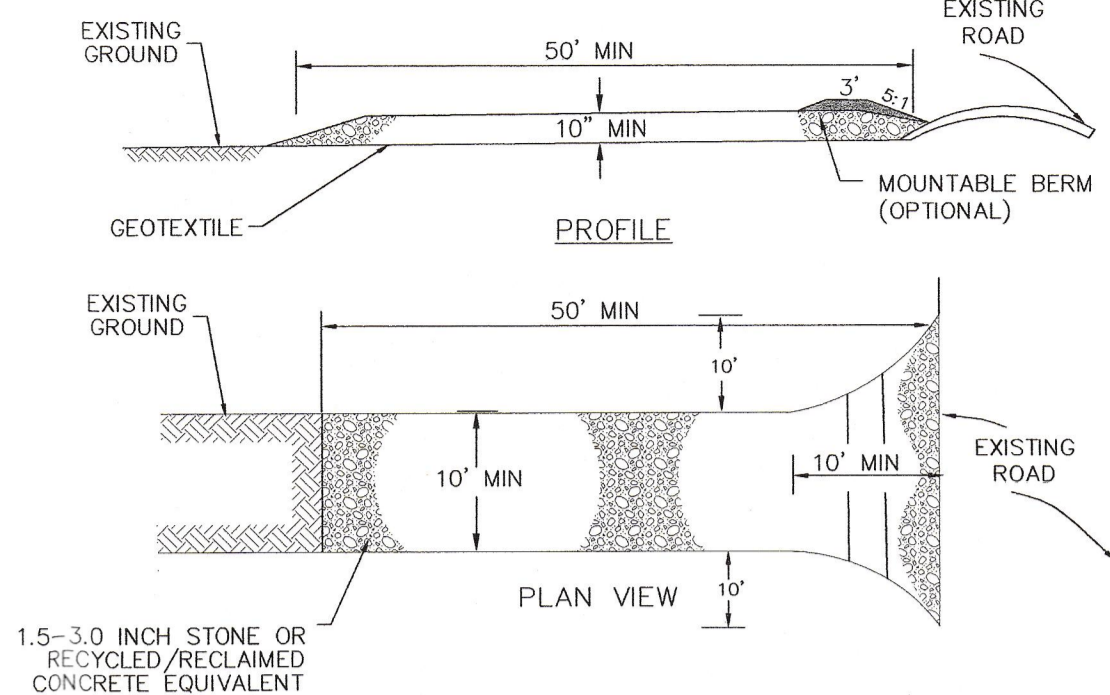
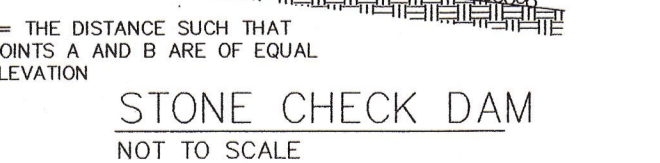
ANCHORING DETAIL

- NOTES:**
- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
 - INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

HAY BALE BARRIER
NOT TO SCALE



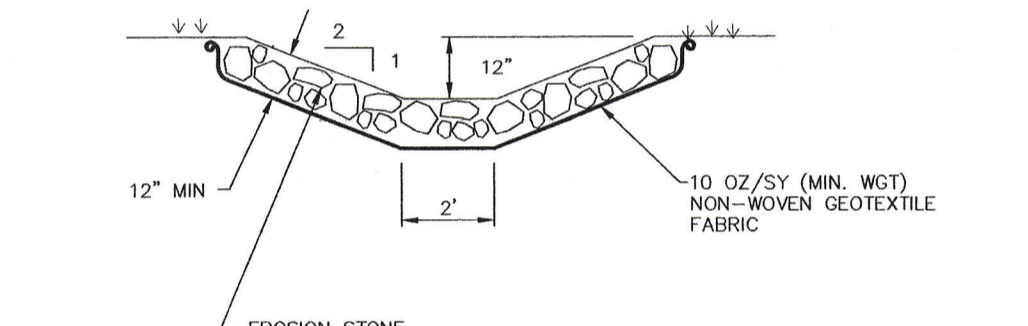
STONE CHECK DAM
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

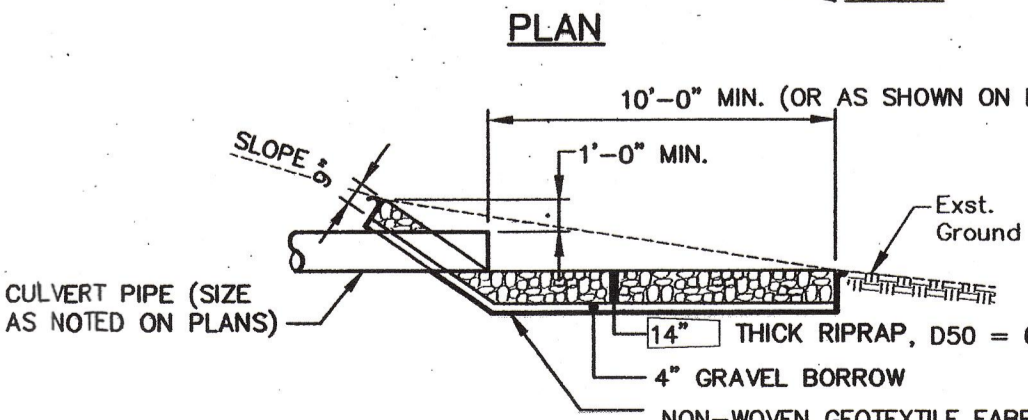
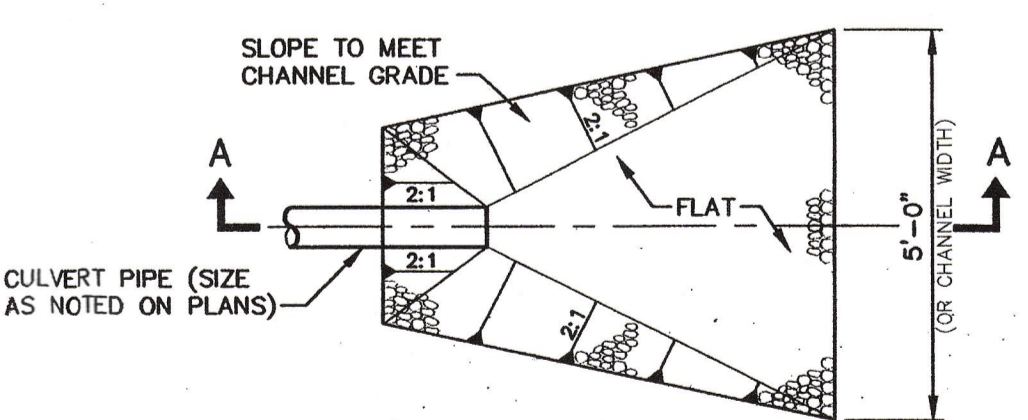
- NOTES:**
- CONSTRUCTION ENTRANCE MUST EXTEND THE FULL WIDTH OF THE VEHICULAR ENTRANCE AND EXIT AREA.
 - AREA OF ENTRANCE SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
 - ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT EXCESSIVE TRACKING OR FLOW OF MUD INTO EXISTING GRAVEL ROADS WITHIN THE SITE (WHICH ARE TO REMAIN IN SERVICE POST-CONSTRUCTION), AND ONTO PUBLIC ROADS. THIS MAY REQUIRE PERIODIC TOP DRESSING OR AGGREGATE REPLACEMENT.
 - INSTALLATION OF A TEMPORARY CULVERT BENEATH THE ENTRANCE SHALL BE PROVIDED AS NECESSARY.
 - WOVEN OR NON-WOVEN GEOTEXTILE PROPERTIES SHALL CONFORM TO THE FOLLOWING:

GRAB TENSILE	220lbs	ASTM D1682
ELONGATION FAILURE	50%	ASTM D1682
PUNCTURE STRENGTH	125lbs	ASTM D751 MODIFIED
EQUIVALENT OPENING SIZE	40-100	US STD SIEVE
CW-02215		



RIP-RAP CHANNEL
NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS:**
- THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIPRAP SHALL BE PREPARED TO LINES AND GRADINGS SHOWN ON THE PLANS.
 - EROSION STONE USED FOR THE STABILIZED OUTLET SHALL CONFORM TO MDT ITEM 703.29 AND MEET THE FOLLOWING GRADATION:
- | SIZE | PERCENT PASSING BY WEIGHT |
|------|---------------------------|
| 18" | 100 |
| 12" | 90-100 |
| 4" | 0-15 |
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE EROSION STONE. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY LACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 18 INCHES.
 - THE EROSION STONE MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.



- CONSTRUCTION GENERAL PERMIT**
- THE OWNER IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), NEEDS TO COMPLY WITH THE MAINE DEP GENERAL PERMIT FOR CONSTRUCTION ACTIVITY (GCP) AS PART OF THE GCP. A STORM WATER NOTICE OF INTENT (NOI) WILL NEED TO BE SUBMITTED TO THE DEP AT LEAST 14 DAYS PRIOR TO COMMENCING CONSTRUCTION.
 - THE GCP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE MAINE POLLUTION DISCHARGE ELIMINATION SYSTEM (MPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC.

- GENERAL NOTES**
- THE SITE IS A WOODED AREA ON A DIRT ROAD. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE SITE INTO 17 HOUSE LOTS.
 - THE TOTAL SITE AREA: TOTAL AREA OF DISTURBANCE: 5.1AC±

- A. PRE-CONSTRUCTION PHASE**
- PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, FILTER FABRIC FENCING SHALL BE STAKED ACROSS THE SLOPE(S) ON THE CONTOUR, AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SILT FENCES SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES. THIS NETWORK IS TO BE PROVIDED, INSTALLED AND MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION. ALONG THE STREAM BUFFER AT THE LIMITS OF CONSTRUCTION, THE SILT FENCE SHALL BE SUPPLEMENTED WITH A SECONDARY FILTER BARRIER SUCH AS MULCH, WOODCHIP, OR CRUSHED STONE BERM.
- B. CONSTRUCTION AND POST-CONSTRUCTION PHASE**
- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE FOLLOWED BY THE SITE CONTRACTOR(S) THROUGHOUT CONSTRUCTION OF THIS PROJECT.

- SEDIMENT BARRIERS SHALL BE INSTALLED AT THE DOWNGRADIENT EDGE OF ANY DISTURBED AREA. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.**
- AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT SITE CONSTRUCTION AND SHALL NOT EXCEED 14 DAYS. AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN FOURTEEN (14) DAYS OF DISTURBANCE SHALL BE PROTECTED WITH TEMPORARY EROSION CONTROL WITHIN FOURTEEN (14) DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL MESH, NETTING, OR MULCH AND AS DIRECTED BY THE INSPECTING ENGINEER. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15TH OF THE YEAR OF CONSTRUCTION, THEN ALL DISTURBED AREAS SHALL BE HAY MULCHED AT A RATE OF 150 LBS. PER 1000 SQUARE FEET AND SEEDED WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS./1,000 SF. TO PROVIDE WINTER PROTECTION. THE HAY MULCH SHALL BE ANCHORED WITH A SUITABLE BINDER, SUCH AS RMB PLUS AND/OR SECURED WITH NETTING FOR WIND PROTECTION. CONSULT ENGINEER FOR DORMANT SEEDING APPLICATIONS.
 - ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDED WITH RYE AT 3 LBS./1,000 SF., AND MULCHED AND RE-USED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER. DESIGNATED LOCATIONS SHALL BE DETERMINED PRIOR TO OR AT THE PRE-CONSTRUCTION MEETING.
 - STORMWATER MANAGEMENT: ALL STORMWATER CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO ACHIEVE LONG-TERM EROSION CONTROL. LITTER, DEBRIS AND CHEMICALS USED FOR CONSTRUCTION MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL SILT FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER OF GRASSES.
 - A CONSTRUCTION ENTRANCE SHALL BE BUILT AT THE INTERSECTION OF WASHINGTON AVE AND BALLPARK DRIVE. WASHINGTON AVE SHALL BE PERIODICALLY SWEEP OR WASHED TO AVOID TRACKING OF MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS.
 - ALL AREAS SHALL BE SEED IN ACCORDANCE WITH THE FOLLOWING VEGETATION PLAN.

- C. VEGETATION PLAN**
- REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. DISTURBED AREAS SHALL BE MULCHED AND ANCHORED PRIOR TO ANY STORM EVENT. IF SEEDING CANNOT BE ACCOMPLISHED BY SEPTEMBER 15TH, THEN ALL DISTURBED AREAS SHALL BE HAY MULCHED AT A RATE OF 150 LBS PER 1,000 S. F. AND SEEDED WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS./1,000 SF. TO PROVIDE WINTER PROTECTION. HAY MULCH SHALL BE SECURED WITH A SUITABLE BINDER TO INCLUDE RMB PLUS AND/OR EROSION CONTROL NETTING AS DIRECTED BY THE OWNER/INSPECTION ENGINEER.
- REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:

- FOUR INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1" IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AGRICULTURAL LIMESTONE SHALL BE SPREAD AT THE RATE OF 3 TONS PER ACRE. 10-20-20 FERTILIZER SHALL BE APPLIED AT A RATE OF 800 LBS./ACRE. THESE SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING.
- FOLLOWING SEED BED PREPARATION, SWALE AREAS, FILL AREAS AND BACK SLOPES SHALL BE SEED AT A RATE OF 4 LBS./1,000 SF. TO A MIXTURE OF 35% CREEPING RED FESCUE, 6% RED TOP, 24% KENTUCKY BLUEGRASS, 10% PERENNIAL RYEGRASS, 20% ANNUAL RYEGRASS AND 5% WHITE DUTCH CLOVER.
- HAY MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT THE RATE OF 150 LBS. PER 1,000 SQUARE FEET, OR A HYDRO-APPLICATION OF WOOD OR PAPER FIBER WILL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER, SUCH AS RMB PLUS AND/OR EROSION CONTROL NETTING WILL BE USED ON HAY MULCH FOR WIND CONTROL.
- ALL HAY BALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85%-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.

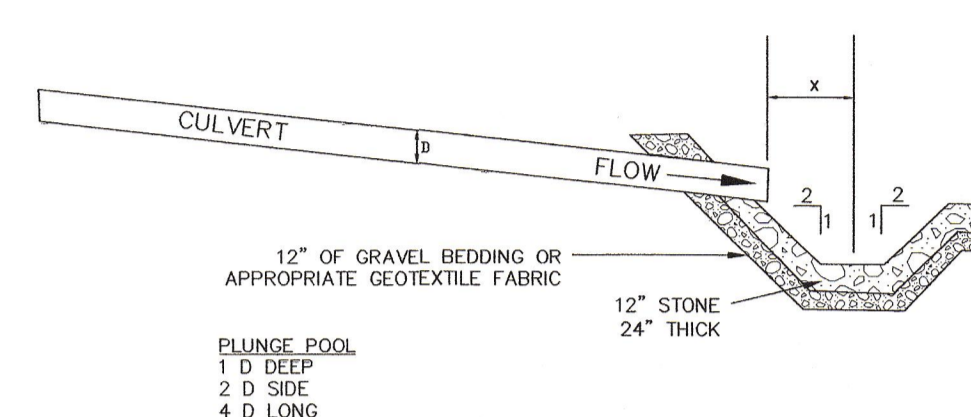
- D. GOOD HOUSEKEEPING:**
- THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.
- AN EFFORT WILL BE MADE TO STORE ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - ALL MATERIAL STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURERS LABEL.
 - SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 - MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
 - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIAL ONSITE.
- E. HAZARDOUS PRODUCTS:**
- THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.
- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
 - IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.
- PRODUCT SPECIFIC PRACTICES:**
- THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE.
- PETROLEUM PRODUCTS:**
- ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.

- FERTILIZERS:**
- FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. NO FERTILIZER WILL BE STORED ONSITE.
- SPILL CONTROL PRACTICES:**
- IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
 - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, AS REQUIRED BY LAW.
 - THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

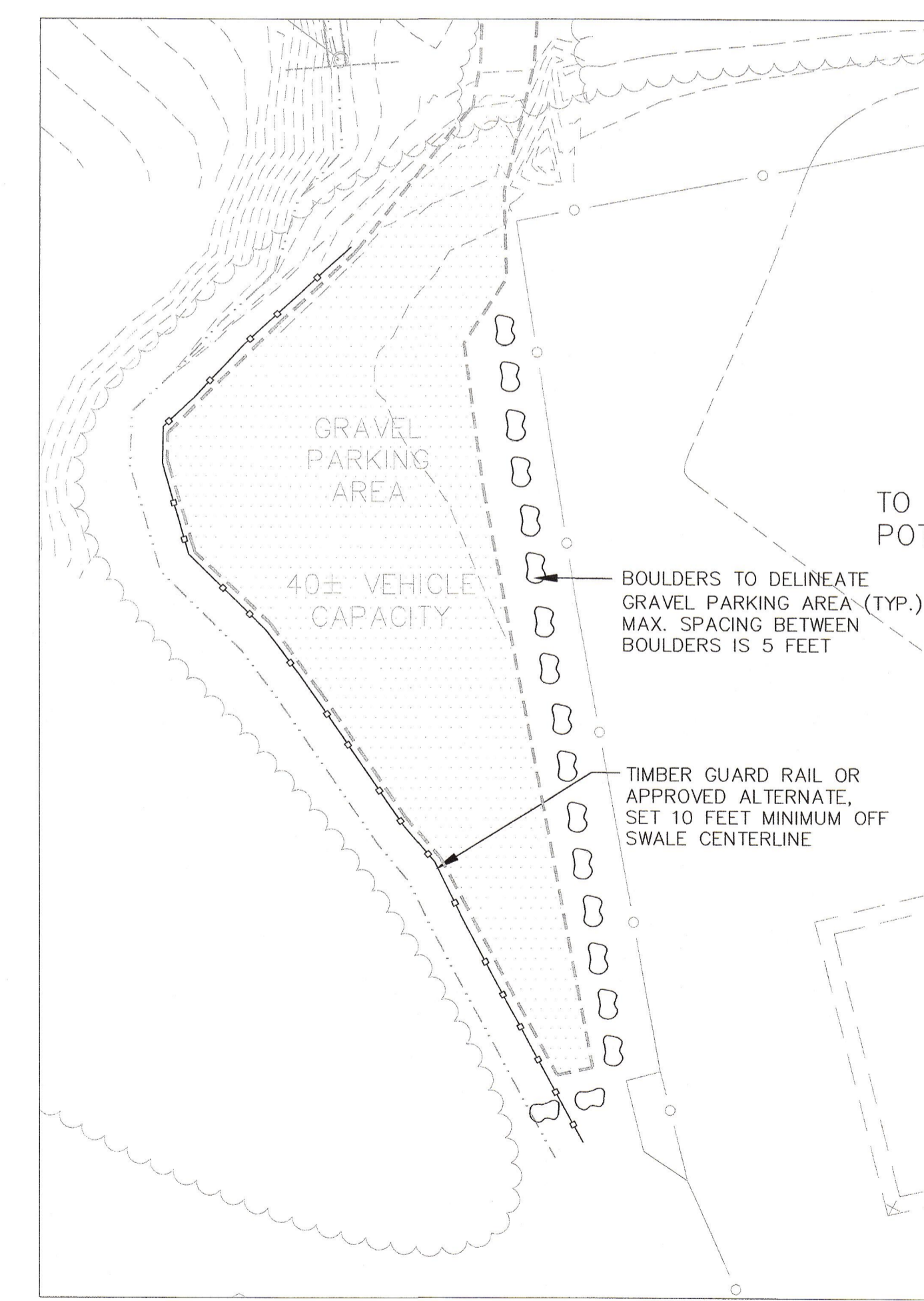
- G. CONSTRUCTION SCHEDULE**
- SITE IMPROVEMENTS WILL MOST LIKELY BEGIN IN THE FALL OF 2004 DEPENDING UPON FINAL PROJECT APPROVAL. BASED UPON A FALL CONSTRUCTION START, THE FOLLOWING SCHEDULE IS ANTICIPATED FOR THE CONSTRUCTION OF THE ROADWAY IMPROVEMENTS:
- | SCHEDULE | ESTIMATED CONSTRUCTION TIME: | 3 MONTHS |
|---|--|----------|
| 1. ESTIMATED CONSTRUCTION TIME: | 3 MONTHS | |
| 2. EROSION CONTROL MEASURES PLACED: | WEEK 1 | |
| 3. SITE CLEARING AND GRUBBING: | WEEK 2 - WEEK 3 | |
| 4. CONSTRUCTION OF ROAD SUBBASE FOR ACCESS: | WEEK 2 - WEEK 12 | |
| 5. UTILITY IMPROVEMENTS AND ROADWAY CONSTRUCTION: | WEEK 3 - WEEK 12 | |
| 6. MULCH SPREAD FOR WINTER EROSION CONTROL: | AT COMPLETION OF GRADING AS NECESSARY | |
| 7. START FINAL SEEDINGS ON PREPARED AREAS. (DURING GROWING SEASON.) | UNTIL SATISFACTORY GROWTH VEGETATIVE GROWTH. | |
| 8. BIWEEKLY MONITORING OF VEGETATIVE GROWTH. | UNTIL SATISFACTORY GROWTH VEGETATIVE GROWTH. | |
| 9. RE-SEEDING OF AREAS, IF NEEDED. | WITHIN 30 DAYS OF PERMANENT STABILIZATION DEVICES. | |
| 10. REMOVAL OF EROSION CONTROL DEVICES. | WITHIN 30 DAYS OF PERMANENT STABILIZATION DEVICES. | |

- H. INSPECTIONS/MONITORING**
- MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. BEFORE AND AFTER EACH RAINFALL, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AND MODIFICATIONS OR ADDITIONS TO BEST MANAGEMENT PRACTICES AS NEEDED.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.
- INSPECTION REPORTS SHALL BE KEPT SUMMARIZING THE SCOPE OF THE INSPECTION, NAMES(S), DATE AND MAJOR OBSERVATIONS. FOLLOW-UP TO CORRECTIONS OR ENHANCEMENTS SHALL BE RECORDED.
- FOLLOWING THE TEMPORARY AND/OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE SITE SEMIMONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 85%-90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

- I. CONSTRUCTION DEWATERING**
- COLLECTED WATER FROM TRENCH DEWATERING SHALL BE DISCHARGED TO NATURAL WELL VEGETATED OR WOODED BUFFER AREAS OR REMOVED TO AREAS DESIGNED TO COLLECT THE MAXIMUM SEDIMENT AMOUNT POSSIBLE, SUCH AS A TEMPORARY SEDIMENT BASIN, INFILTRATION BASIN, OR STRAW SEDIMENT REMOVAL STRUCTURE OR FILTER (I.E., SILT SAK). DEWATERING WATER SHALL NOT BE DISCHARGED TO DRAIN SYSTEMS, WETLANDS, OR WATERWAYS WITHOUT TREATMENT FOR SEDIMENT REMOVAL. DISCHARGE SHALL NOT BE ALLOWED TO BARE SOIL AREAS.



CULVERT OUTLET PLUNGE POOL
NOT TO SCALE



BALLFIELD PARKING IMPROVEMENTS
SCALE: 1" = 40'

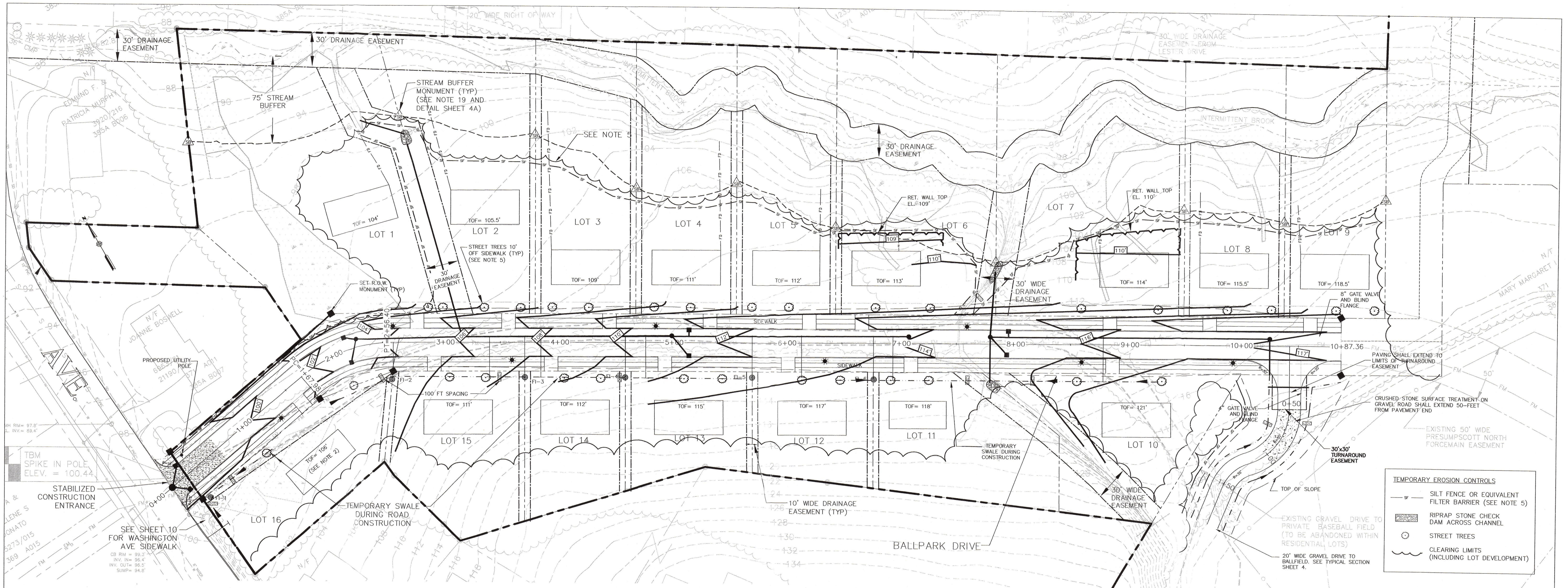
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3	9/03/04	ADDRESSED CITY COMMENTS ON STORMWATER EROSION CONTROLS	ISSUED FOR:	DATE:	DESIGN:	TRP	STAMP:
2	7/13/04	ADDED EROSION CONTROL DETAILS AND MODIFIED ESC PLAN	PRELIMINARY		DRAWN:	SCP	
1	4/19/04	ISSUED FOR PLANNING BOARD WORKSHOP & CITY REVIEW	APPROVAL	4/19/04	CHECKED:	TRP	
REV	DATE	DESCRIPTION	CONSTRUCTION				

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THOMAS R. PLANTE
7708
REGISTERED PROFESSIONAL ENGINEER

PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:	EROSION AND SEDIMENTATION CONTROL DETAILS	SHEET 6 OF 10
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE	CLIENT:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103	DRAWING NO.:
PROJECT NO.:	53359/3945287	SCALE:	AS SHOWN	DATE:
				NOVEMBER 2004



LOT GRADING AND LANDSCAPING NOTES

1. THERE SHALL BE NO CLEARING OR SOIL DISTURBANCE WITHIN 75 FEET OF THE BROOK, EXCEPT FOR LIMITED VEGETATION REMOVAL ACTIVITIES SPECIFICALLY EXEMPTED UNDER THE PERMIT BY RULE STANDARDS (NRPA CHAPTER 305), AND THE CITY'S SHORELAND REGULATIONS.
2. TOP OF FOUNDATION (T.O.F.) ELEVATIONS ARE THE MINIMUM ALLOWABLE FOR FOUNDATION DRAINAGE AND SEWER CONNECTION AND SUBJECT TO CHANGE WITH INDIVIDUAL LOT SITE PLAN APPLICATIONS REQUIRED FOR INDIVIDUAL LOT DEVELOPMENT, AND REQUIRE CITY APPROVAL.
3. LOT GRADING TYPES AND DETAILS BASED ON MAINE DEP BEST MANAGEMENT PRACTICES. FOR LOTS ON THE SOUTH SIDE OF BALLPARK DRIVE, OVERLAND SHEET FLOW DURING STORM EVENTS WILL FLOW TO THE STREET GUTTER LINE. FOR LOTS ON THE NORTH SIDE OF BALLPARK DRIVE, OVERLAND SHEET FLOW WILL DISCHARGE TO THE WOODED BUFFER TO THE REAR OF THE LOTS.
4. SIDE LOT LINE SWALES SHOWN ON THE TYPICAL LOT GRADING DETAILS ARE INTENDED TO BE SHALLOW DEPRESSIONS IN LOT GRADING ALLOWING FOR SHALLOW CONCENTRATED FLOWS DURING HEAVY STORM EVENTS. FIELD INLETS ON THE SOUTHERN LOTS WILL COLLECT SIDE SWALE RUNOFF.
5. A MINIMUM OF TWO TREES PER LOT SHALL BE PLANTED IN THE FRONT YARD OF EACH LOT 10 FEET BACK FROM SIDEWALK, MEETING THE CITY'S ARBORCULTURAL SPECIFICATIONS AND STANDARDS. LOT OWNERS SHALL CONSULT WITH THE CITY ARBORIST FOR RECOMMENDED TREE SPECIES.
6. CLEARING LIMITS SHOWN ARE APPROXIMATE AND ARE BASED ON MINIMUM CITY AND DEP REQUIRED SETBACKS AND ANTICIPATED LOT DEVELOPMENT SCHEMES. ACTUAL LOT CLEARING MAY VARY AS LONG AS BUFFER LIMITS ARE MAINTAINED, SUBJECT TO SITE PLAN APPROVAL.
7. THIS PLAN IS INTENDED TO SHOW LOT GRADING SURFACE DRAINAGE CONCEPTS ONLY AS A GENERAL GUIDE TO THE DEVELOPMENT OF THE LOTS. EACH INDIVIDUAL LOT OWNER SHALL BE RESPONSIBLE FOR INDIVIDUAL LOT SURVEY AND SITE PLAN DEVELOPMENT AS NECESSARY AND REQUIRED BY THE CITY.

8. IT IS THE INTENT OF THIS PROJECT TO MINIMIZE THE AMOUNT OF TREE CLEARING TO THE MINIMUM NECESSARY TO CONSTRUCT THE ROADWAY, UTILITIES, AND DEVELOP INDIVIDUAL LOTS.

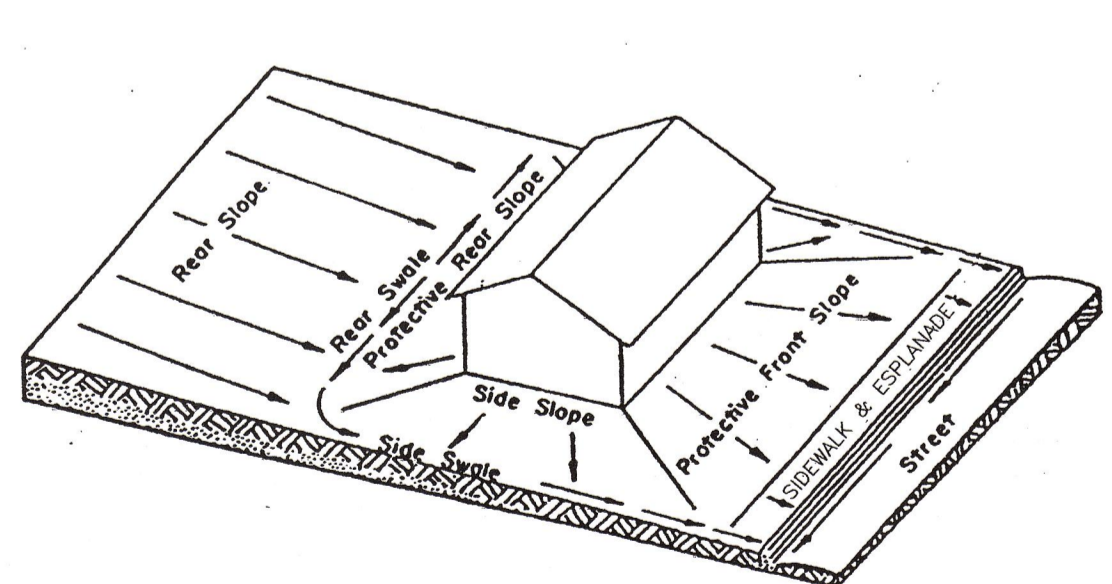
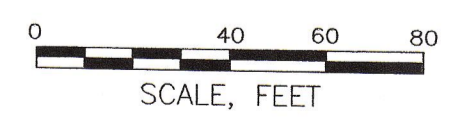
9. DURING CONSTRUCTION OF THE ROAD, TEMPORARY SWALES WITH CHECKDAMS AND THE FIELD INLETS ON THE SOUTHERN LOTS SHALL BE UTILIZED TO CONTROL STORMWATER AND PROTECT THE ROAD CUT FROM CONCENTRATED RUNOFF. ADEQUATE BASIN INLET PROTECTIONS SHALL BE EMPLOYED.

TEMPORARY EROSION CONTROL NOTES:

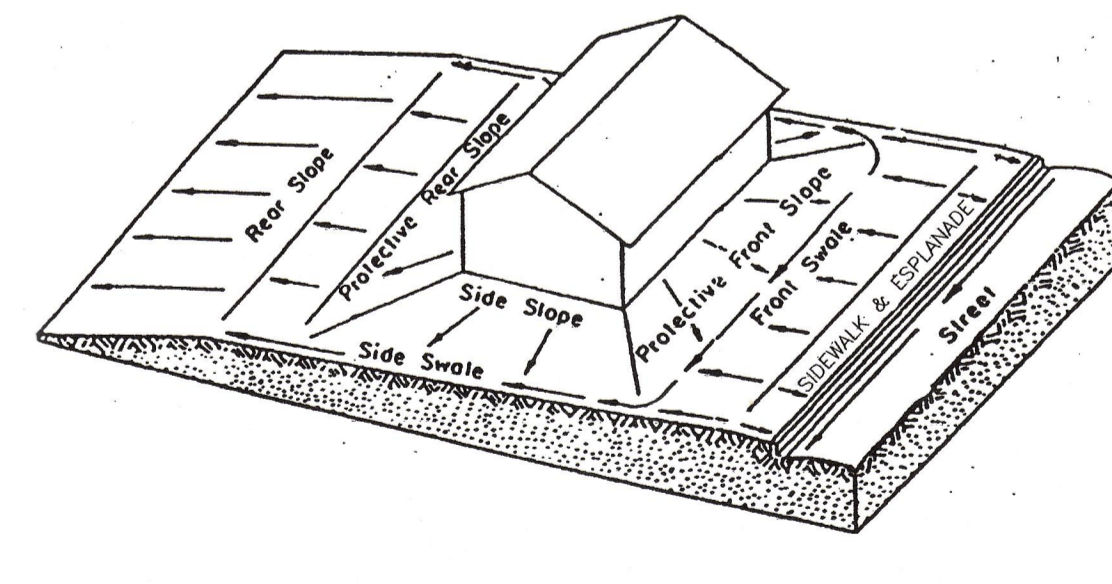
1. THE LOCATIONS SHOWN FOR TEMPORARY EROSION CONTROLS ARE INTENDED TO ILLUSTRATE THE TYPES OF PROTECTIONS TO BE INSTALLED TO PREVENT SEDIMENTATION OF WETLANDS, DRAINAGE DITCHES, AND WATERWAYS. LOCATIONS MAY VARY DURING CONSTRUCTION ACTIVITIES BASED ON THE LIMITS OF CLEARING FOR THE ROAD CONSTRUCTION AND FOR THE OVERALL SUBDIVISION DEVELOPMENT.
2. ADDITIONAL SILT FENCE OR OTHER EROSION CONTROLS WILL BE INSTALLED AS NECESSARY AS INDIVIDUAL LOTS ARE DEVELOPED. INDIVIDUAL LOT BUYERS WILL BE REQUIRED TO FILE A SEPARATE NOTICE OF INTENT FOR MEDES - CONSTRUCTION ACTIVITY GENERAL PERMIT COVERAGE.
3. THE CONTRACTOR SHALL PROTECT ALL CATCH BASINS EXISTING AND CONSTRUCTED AS PART OF THIS PROJECT, FROM SEDIMENTATION RESULTING FROM CONSTRUCTION ACTIVITY. STONE FILTERS OR GEOTEXTILE FILTERS ARE CONSIDERED APPROPRIATE.
4. SEE SHEET 8 FOR ADDITIONAL SEDIMENTATION AND EROSION CONTROL NOTES AND DETAILS.
5. SILT FENCE ALONG THE STREAM BUFFER IN LOTS 1-9 SHALL BE SUPPLEMENTED WITH A SECONDARY SEDIMENT FILTER SUCH AS WOODCHIP/BARK MULCH FILTER BERMS OR COIR FIBER SEDIMENT LOGS.

LEGEND

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION
---	PROPERTY/ROW	---	---	WETLANDS
---	HAVERTY PROPERTY EASEMENT	---	---	EDGE WETLAND
---	SETBACK	---	---	INTERMITTENT BROOK
---	5/8" IRON REBAR MONUMENT	---	---	BUILDING
---	IRON PIPE/ROD	---	---	CHAIN LINK FENCE
---	CENTERLINE W/STATION	---	---	BARB WIRE FENCE
---	GRANITE CURB	---	---	STOCKADE FENCE
---	EDGE PAVEMENT	---	---	STONE WALL
---	EDGE GRAVEL	---	---	D.C. MEAS. 384 A045
---	STORM DRAIN	---	---	TAX MAP BLOCK LOT
---	WATER	---	---	WETLAND FILL
---	UNDERGROUND ELECTRICAL	---	---	STREAM BUFFER MONUMENT
---	SEWER	---	---	SEWER FORCEMAIN
---	OVERHEAD ELEC. & TEL. CULVERT	---	---	
---	UNDERGROUND ELEC. & TELEPHONE	---	---	
---	EDGE OF VEGETATION/CLEARING	---	---	
---	DITCH/SWALE	---	---	
---	ELEVATION CONTOUR	---	---	



LOT GRADING - TYPE A
(ALL DRAINAGE TO STREET GUTTER OR SIDELINE FIELD INLETS)



LOT GRADING - TYPE C
(ALL DRAINAGE TO REAR OF LOT)

TYPICAL LOT GRADING - LOTS 10-16
NOT TO SCALE

TYPICAL LOT GRADING - LOTS 1-9
NOT TO SCALE

REV	DATE	DESCRIPTION	CONSTRUCTION
2	11/02/04	REVISED GRADING AND EROSION CONTROLS PER PLANNING BOARD APPROVAL CONDITIONS DATED SEPTEMBER 21, 2004	ISSUED FOR:
1	9/03/04	REVISED PER CITY COMMENTS AND PLANNING WORKSHOP JULY 27, 2004	PRELIMINARY
	7/13/04	SUBMITTED FOR PLANNING BOARD WORKSHOP	APPROVAL

STAMP: THOMAS PLANTE 708 Registered Professional Engineer

URS URS Corporation
477 Congress Street, 9th Floor
Portland, ME 04101-3453
Tel: 207.879.7686
Fax: 207.879.7685
www.urscorp.com

PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:	TEMPORARY EROSION CONTROLS & LOT GRADING AND LANDSCAPING CONCEPT PLAN
PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE	SCALE:	1" = 40'
CLIENT:	MARGARET HAVERTY 67 HAVERTY WAY PORTLAND, MAINE 04103	DATE:	NOVEMBER, 2004
PROJECT NO.:	53359 / 39459287	SHEET 7 OF 10	DRAWING NO.:

URS		SOIL BORING LOG				Boring No.: B-1	
477 Congress Street Suite 3A, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		Project: Haverty Subdivision Location: Portland, Maine				Sheet: 1 of 1 Project Number: 53359-001 Checked By: David Andrews	
Driller: Northeast Diamond Drilling Drilling Foreman: Chris Palmer D&M Eng./Geol. Kate McDonald		Boring Location: Along gravel access road Ground Surface Elevation: Datum: na est: 100 ft Date Started: 12/30/2003 Date Completed: 12/30/2003				ESTIMATED GROUND WATER DEPTH	
VEHICLE: Truck MODEL: Mobile Drill METHOD: 1/4" Hollow Stem Auger		SAMPLER TYPE: 2 ft split spoon HAMMER: 140 lbs. FALL: 30 inches		DATE 12/30/2003		DEPTH (feet) -6 REFERENCE BGS STABILIZATION none	
SAMPLE		SAMPLER		ESTIMATED GROUND WATER DEPTH		FIELD SCREENING	
DEPTH (ft.)	PEN./REC. INTERVAL (ft.)	NO.	BLOW COUNT	DATE	DEPTH (feet)	REFERENCE	STABILIZATION
0							
1							
2							
3	S1	24/22	3-5	8			
4				13			
5				20			
6				27			
7							
8	S2	24/20	8-10	12			
9				16			
10				8			
11				14			
12							
13							
14							
15							
16							
17							
18							
19							
20							

URS		SOIL BORING LOG				Boring No.: B-2	
477 Congress Street Suite 3A, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		Project: Haverty Subdivision Location: Portland, Maine				Sheet: 1 of 1 Project Number: 53359-001 Checked By: David Andrews	
Driller: Northeast Diamond Drilling Drilling Foreman: Chris Palmer D&M Eng./Geol. Kate McDonald		Boring Location: Along gravel access road Ground Surface Elevation: Datum: na est: 104 ft Date Started: 12/30/2003 Date Completed: 12/30/2003				ESTIMATED GROUND WATER DEPTH	
VEHICLE: Truck MODEL: Mobile Drill METHOD: 1/4" Hollow Stem Auger		SAMPLER TYPE: 2 ft split spoon HAMMER: 140 lbs. FALL: 30 inches		DATE 12/30/2003		DEPTH (feet) 0* REFERENCE BGS STABILIZATION 30 minutes	
SAMPLE		SAMPLER		ESTIMATED GROUND WATER DEPTH		FIELD SCREENING	
DEPTH (ft.)	PEN./REC. INTERVAL (ft.)	NO.	BLOW COUNT	DATE	DEPTH (feet)	REFERENCE	STABILIZATION
0							
1							
2							
3	S1	24-24	3-5	10			
4				10			
5				17			
6							
7							
8	S2	24/24	8-10	8			
9				23			
10				39			
11							
12							
13							
14							
15							
16							
17							
18							
19							
20							

URS		SOIL BORING LOG				Boring No.: B-3	
477 Congress Street Suite 3A, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		Project: Haverty Subdivision Location: Portland, Maine				Sheet: 1 of 1 Project Number: 53359-001 Checked By: David Andrews	
Driller: Northeast Diamond Drilling Drilling Foreman: Chris Palmer D&M Eng./Geol. Kate McDonald		Boring Location: Along gravel access road Ground Surface Elevation: Datum: na est: 108 ft Date Started: 12/30/2003 Date Completed: 12/30/2003				ESTIMATED GROUND WATER DEPTH	
VEHICLE: Truck MODEL: Mobile Drill METHOD: 1/4" Hollow Stem Auger		SAMPLER TYPE: 2 ft split spoon HAMMER: 140 lbs. FALL: 30 inches		DATE 12/30/2003		DEPTH (feet) 5.2 REFERENCE BGS STABILIZATION 30 minutes	
SAMPLE		SAMPLER		ESTIMATED GROUND WATER DEPTH		FIELD SCREENING	
DEPTH (ft.)	PEN./REC. INTERVAL (ft.)	NO.	BLOW COUNT	DATE	DEPTH (feet)	REFERENCE	STABILIZATION
0							
1							
2							
3	S1	24/24	3-5	6			
4				5			
5				4			
6				7			
7							
8	S2	24/24	8-10	4			
9				6			
10				4			
11				2			
12							
13							
14							
15							
16							
17							
18							
19							
20							

URS		SOIL BORING LOG				Boring No.: B-4	
477 Congress Street Suite 3A, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		Project: Haverty Subdivision Location: Portland, Maine				Sheet: 1 of 1 Project Number: 53359-001 Checked By: David Andrews	
Driller: Northeast Diamond Drilling Drilling Foreman: Chris Palmer D&M Eng./Geol. Kate McDonald		Boring Location: Along gravel access road Ground Surface Elevation: Datum: na est: 112 ft Date Started: 12/30/2003 Date Completed: 12/30/2003				ESTIMATED GROUND WATER DEPTH	
VEHICLE: Truck MODEL: Mobile Drill METHOD: 1/4" Hollow Stem Auger		SAMPLER TYPE: 2 ft split spoon HAMMER: 140 lbs. FALL: 30 inches		DATE 12/30/2003		DEPTH (feet) 5.4 REFERENCE BGS STABILIZATION 30 minutes	
SAMPLE		SAMPLER		ESTIMATED GROUND WATER DEPTH		FIELD SCREENING	
DEPTH (ft.)	PEN./REC. INTERVAL (ft.)	NO.	BLOW COUNT	DATE	DEPTH (feet)	REFERENCE	STABILIZATION
0							
1							
2							
3	S1	24/24	3-5	6			
4				5			
5				4			
6				7			
7							
8	S2	24/24	8-10	4			
9				6			
10				4			
11				2			
12							
13							
14							
15							
16							
17							
18							
19							
20							

URS		SOIL BORING LOG				Boring No.: B-5	
477 Congress Street Suite 3A, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		Project: Haverty Subdivision Location: Portland, Maine				Sheet: 1 of 1 Project Number: 53359-001 Checked By: David Andrews	
Driller: Northeast Diamond Drilling Drilling Foreman: Chris Palmer D&M Eng./Geol. Kate McDonald		Boring Location: Along gravel access road Ground Surface Elevation: Datum: na est: 115 ft Date Started: 12/30/2003 Date Completed: 12/30/2003				ESTIMATED GROUND WATER DEPTH	
VEHICLE: Truck MODEL: Mobile Drill METHOD: 1/4" Hollow Stem Auger		SAMPLER TYPE: 2 ft split spoon HAMMER: 140 lbs. FALL: 30 inches		DATE 12/30/2003		DEPTH (feet) -6 REFERENCE BGS STABILIZATION none	
SAMPLE		SAMPLER		ESTIMATED GROUND WATER DEPTH		FIELD SCREENING	
DEPTH (ft.)	PEN./REC. INTERVAL (ft.)	NO.	BLOW COUNT	DATE	DEPTH (feet)	REFERENCE	STABILIZATION
0							
1							
2							
3	S1	24/24	3-5	5			
4				10			
5				18			
6				13			
7							
8	S2	24/18	8-10	7			
9				12			
10				13			
11				12			
12							
13							
14							
15							
16							
17							
18							
19							
20							

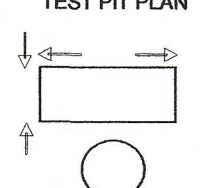
URS		SOIL BORING LOG				Boring No.: B-6	
477 Congress Street Suite 3A, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		Project: Haverty Subdivision Location: Portland, Maine				Sheet: 1 of 1 Project Number: 53359-001 Checked By: David Andrews	
Driller: Northeast Diamond Drilling Drilling Foreman: Chris Palmer D&M Eng./Geol. Kate McDonald		Boring Location: Along gravel access road Ground Surface Elevation: Datum: na est: 112 ft Date Started: 12/30/2003 Date Completed: 12/30/2003				ESTIMATED GROUND WATER DEPTH	
VEHICLE: Truck MODEL: Mobile Drill METHOD: 1/4" Hollow Stem Auger		SAMPLER TYPE: 2 ft split spoon HAMMER: 140 lbs. FALL: 30 inches		DATE 12/30/2003		DEPTH (feet) -6 REFERENCE BGS STABILIZATION none	
SAMPLE		SAMPLER		ESTIMATED GROUND WATER DEPTH		FIELD SCREENING	
DEPTH (ft.)	PEN./REC. INTERVAL (ft.)	NO.	BLOW COUNT	DATE	DEPTH (feet)	REFERENCE	STABILIZATION
0							
1							
2							
3	S1	24/24	3-5	5			
4				6			
5				8			
6				9			
7							
8	S2	24/24	8-10	4			
9				5			
10				3			
11							
12							
13	S3	24/24	13-15	2			
14				1			
15	S4	24/24	15-17	4			
16				5			
17				16			
18							
19							
20							

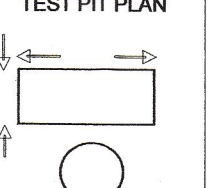
Notes:
in or " = inches
ft = feet
bgs = below ground surface
GS = ground surface
ID = inside diameter

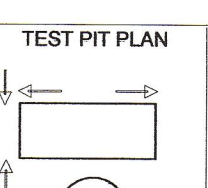
ISSUED FOR:	DATE:	DESIGN:	TRP		PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE: SOIL BORING LOGS	SHEET 8 OF 10	
PRELIMINARY		DRAWN:	MLS		PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE		DRAWING NO.:	8
APPROVAL	9/03/04	CHECKED:	TRP		CLIENT:	MARGARET HAVERTY 67 HAVERTYS WAY PORTLAND, MAINE 04103		SCALE:	NTS
REV	DATE	DESCRIPTION	CONSTRUCTION	PROJECT NO.:	53359 / 39459287	DATE:	SEPTEMBER 3, 2004		

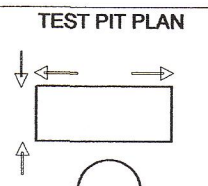


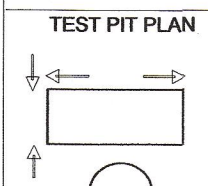
City and Town Approval 7-21-04

URS 477 Congress Street 9th Floor, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		TEST PIT FIELD LOG		Test Pit No.: TP-1	
Project: Ballpark Drive Subdivision		Location: Portland, ME		Sheet: 1 of 1	
Date: 8/3/2004		Checked By: T. Plante		Project Number: 39459287	
URS Engineer/Geologist: K. McDonald/S. Perkins Time Started: 7:45 AM		Contractor: Les Wilson & Sons Operator: Equipment Make & Model: Rubber tire backhoe		Ground Elev.: 101.60 Groundwater Depth: 5.5' Weather: Sunny, 80's	
Time Completed: 10:15 AM		Capacity: cu.yd. Reach: 16ft			
DEPTH bgs (ft.)	STRATUM DESCRIPTION	SYMBOL	FIELD SCREENING (PPM)	EXCAV. EFFORT	REMARK NO.
0.0					
1.0	0'-2' Road base- M-F gravel with C-M sand MOIST			E	
2.0					
3.0	2'-4' FILL: C-F gravel, C-F sand and silt. Occasional cobbles MOIST			E	
4.0					
5.0	4'-6' Gray to olive-gray SILT, trace sand and clay. MOIST, STIFF/VERYSTIFF			E	
6.0					
7.0	6' Becomes sandy, water bubbling into hole. WT up to 5.5 ft			M	
8.0	7.5 feet: 16" cast iron pipe observed; Bottom of Excavation				
9.0					
10.0					
11.0					
12.0					
13.0					
14.0					
15.0					
REMARKS: Purpose of test pit was to locate an existing 16" cast iron sewer force main.					
TEST PIT PLAN		BOULDER CLASSIFICATION	PROPORTIONS USED	ABBREVIATIONS	EXCAVATION EFFORT
		SIZE RANGE CLASS TRACE(L) 6"-18" A LITTLE (L) 1-10% 18"-36" B SOME(S) 20-35% >36" C AND 35-50%	1-10% F = FINE 10-20% M = MEDIUM 20-35% C = COARSE 35-50% F-M = FINE TO MEDIUM F-C = FINE TO COARSE	E = EASY M = MEDIUM D = DIFFICULT	E = EASY M = MEDIUM D = DIFFICULT

URS 477 Congress Street 9th Floor, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		TEST PIT FIELD LOG		Test Pit No.: TP-2	
Project: Ballpark Drive Subdivision		Location: Portland, ME		Sheet: 1 of 1	
Date: 8/3/2004		Checked By: T. Plante		Project Number: 39459287	
URS Engineer/Geologist: K. McDonald/S. Perkins Time Started: 10:25 AM		Contractor: Les Wilson & Sons Operator: Equipment Make & Model: Rubber tire backhoe		Ground Elev.: 103.50 Groundwater Depth: not observed Weather: Sunny, 80's	
Time Completed: 11:15 AM		Capacity: cu.yd. Reach: 16ft			
DEPTH bgs (ft.)	STRATUM DESCRIPTION	SYMBOL	FIELD SCREENING (PPM)	EXCAV. EFFORT	REMARK NO.
0.0					
1.0	0'-2' TOPSOIL- C-F sand and silt with organics			E	
2.0					
3.0	2'-5' C-F sand with C-F gravel, trace silt, occasional cobbles. FILL, moist			E	
4.0					
5.0	5 ft: 16" cast iron pipe observed; Bottom of Excavation				
6.0					
7.0					
8.0					
9.0					
10.0					
11.0					
12.0					
13.0					
14.0					
15.0					
REMARKS: Purpose of test pit was to locate an existing 16" cast iron sewer force main.					
TEST PIT PLAN		BOULDER CLASSIFICATION	PROPORTIONS USED	ABBREVIATIONS	EXCAVATION EFFORT
		SIZE RANGE CLASS TRACE(L) 6"-18" A LITTLE (L) 1-10% 18"-36" B SOME(S) 20-35% >36" C AND 35-50%	1-10% F = FINE 10-20% M = MEDIUM 20-35% C = COARSE 35-50% F-M = FINE TO MEDIUM F-C = FINE TO COARSE	E = EASY M = MEDIUM D = DIFFICULT	E = EASY M = MEDIUM D = DIFFICULT

URS 477 Congress Street 9th Floor, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		TEST PIT FIELD LOG		Test Pit No.: TP-3	
Project: Ballpark Drive Subdivision		Location: Portland, ME		Sheet: 1 of 1	
Date: 8/3/2004		Checked By: T. Plante		Project Number: 39459287	
URS Engineer/Geologist: K. McDonald/S. Perkins Time Started: 11:20 AM		Contractor: Les Wilson & Sons Operator: Equipment Make & Model: Rubber tire excavator		Ground Elev.: 108.57 Groundwater Depth: not observed Weather: Sunny, 80's	
Time Completed: 11:40 AM		Capacity: cu.yd. Reach: 16ft			
DEPTH bgs (ft.)	STRATUM DESCRIPTION	SYMBOL	FIELD SCREENING (PPM)	EXCAV. EFFORT	REMARK NO.
0.0					
1.0					
2.0	0'-3.5' Silt and Sand, occasional gravel			E	
3.0					
4.0	3.5 feet: Cast iron pipe observed; Bottom of Excavation				
5.0					
6.0					
7.0					
8.0					
9.0					
10.0					
11.0					
12.0					
13.0					
14.0					
15.0					
REMARKS: Purpose of test pit was to locate an existing 16" cast iron sewer force main.					
TEST PIT PLAN		BOULDER CLASSIFICATION	PROPORTIONS USED	ABBREVIATIONS	EXCAVATION EFFORT
		SIZE RANGE CLASS TRACE(L) 6"-18" A LITTLE (L) 1-10% 18"-36" B SOME(S) 20-35% >36" C AND 35-50%	1-10% F = FINE 10-20% M = MEDIUM 20-35% C = COARSE 35-50% F-M = FINE TO MEDIUM F-C = FINE TO COARSE	E = EASY M = MEDIUM D = DIFFICULT	E = EASY M = MEDIUM D = DIFFICULT

URS 477 Congress Street 9th Floor, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		TEST PIT FIELD LOG		Test Pit No.: TP-4	
Project: Ballpark Drive Subdivision		Location: Portland, ME		Sheet: 1 of 1	
Date: 8/3/2004		Checked By: T. Plante		Project Number: 39459287	
URS Engineer/Geologist: K. McDonald/S. Perkins Time Started: 12:30 PM		Contractor: Les Wilson & Sons Operator: Equipment Make & Model: Rubber tire excavator		Ground Elev.: 112.15 Groundwater Depth: not observed Weather: Sunny, 80's	
Time Completed: 12:40 PM		Capacity: cu.yd. Reach: 16ft			
DEPTH bgs (ft.)	STRATUM DESCRIPTION	SYMBOL	FIELD SCREENING (PPM)	EXCAV. EFFORT	REMARK NO.
0.0					
1.0					
2.0	0'-3.5' Silt and Sand, occasional gravel			E	
3.0					
4.0	3.5 feet: Cast iron pipe observed; Bottom of Excavation				
5.0					
6.0					
7.0					
8.0					
9.0					
10.0					
11.0					
12.0					
13.0					
14.0					
15.0					
REMARKS: Purpose of test pit was to locate an existing 16" cast iron sewer force main.					
TEST PIT PLAN		BOULDER CLASSIFICATION	PROPORTIONS USED	ABBREVIATIONS	EXCAVATION EFFORT
		SIZE RANGE CLASS TRACE(L) 6"-18" A LITTLE (L) 1-10% 18"-36" B SOME(S) 20-35% >36" C AND 35-50%	1-10% F = FINE 10-20% M = MEDIUM 20-35% C = COARSE 35-50% F-M = FINE TO MEDIUM F-C = FINE TO COARSE	E = EASY M = MEDIUM D = DIFFICULT	E = EASY M = MEDIUM D = DIFFICULT

URS 477 Congress Street 9th Floor, Portland, Maine 04101 Tel: (207) 879-7686 Fax: (207) 879-7685		TEST PIT FIELD LOG		Test Pit No.: TP-5	
Project: Ballpark Drive Subdivision		Location: Portland, ME		Sheet: 1 of 1	
Date: 8/3/2004		Checked By: T. Plante		Project Number: 39459287	
URS Engineer/Geologist: K. McDonald/S. Perkins Time Started: 12:45 PM		Contractor: Les Wilson & Sons Operator: Equipment Make & Model: Rubber tire excavator		Ground Elev.: 114.65 Groundwater Depth: not observed Weather: Sunny, 80's	
Time Completed: 1:00 PM		Capacity: cu.yd. Reach: 16ft			
DEPTH bgs (ft.)	STRATUM DESCRIPTION	SYMBOL	FIELD SCREENING (PPM)	EXCAV. EFFORT	REMARK NO.
0.0					
1.0					
2.0	0'-3.5' Silt and Sand, occasional gravel			E	
3.0					
4.0	3.5 feet: Cast iron pipe observed; Bottom of Excavation				
5.0					
6.0					
7.0					
8.0					
9.0					
10.0					
11.0					
12.0					
13.0					
14.0					
15.0					
REMARKS: Purpose of test pit was to locate an existing 16" cast iron sewer force main.					
TEST PIT PLAN		BOULDER CLASSIFICATION	PROPORTIONS USED	ABBREVIATIONS	EXCAVATION EFFORT
		SIZE RANGE CLASS TRACE(L) 6"-18" A LITTLE (L) 1-10% 18"-36" B SOME(S) 20-35% >36" C AND 35-50%	1-10% F = FINE 10-20% M = MEDIUM 20-35% C = COARSE 35-50% F-M = FINE TO MEDIUM F-C = FINE TO COARSE	E = EASY M = MEDIUM D = DIFFICULT	E = EASY M = MEDIUM D = DIFFICULT

ISSUED FOR:	DATE:	DESIGN:	TRP	STAMP:	PROJECT NAME:	BALLPARK DRIVE SUBDIVISION	SHEET TITLE:	TEST PIT LOGS	SHEET 9 OF 10			
PRELIMINARY		DRAWN:	MLS		PROJECT LOCATION:	WASHINGTON AVE, PORTLAND, MAINE		CLIENT: MARGARET HAVERTY 67 HAVERYS WAY PORTLAND, MAINE 04103	DRAWING NO.:	9		
APPROVAL	9/03/04	CHECKED:	TRP		PROJECT NO.:	53359 / 39459287			SCALE:	NTS	DATE:	SEPTEMBER 3, 2004
CONSTRUCTION												

City and State Approval 9-21-04

