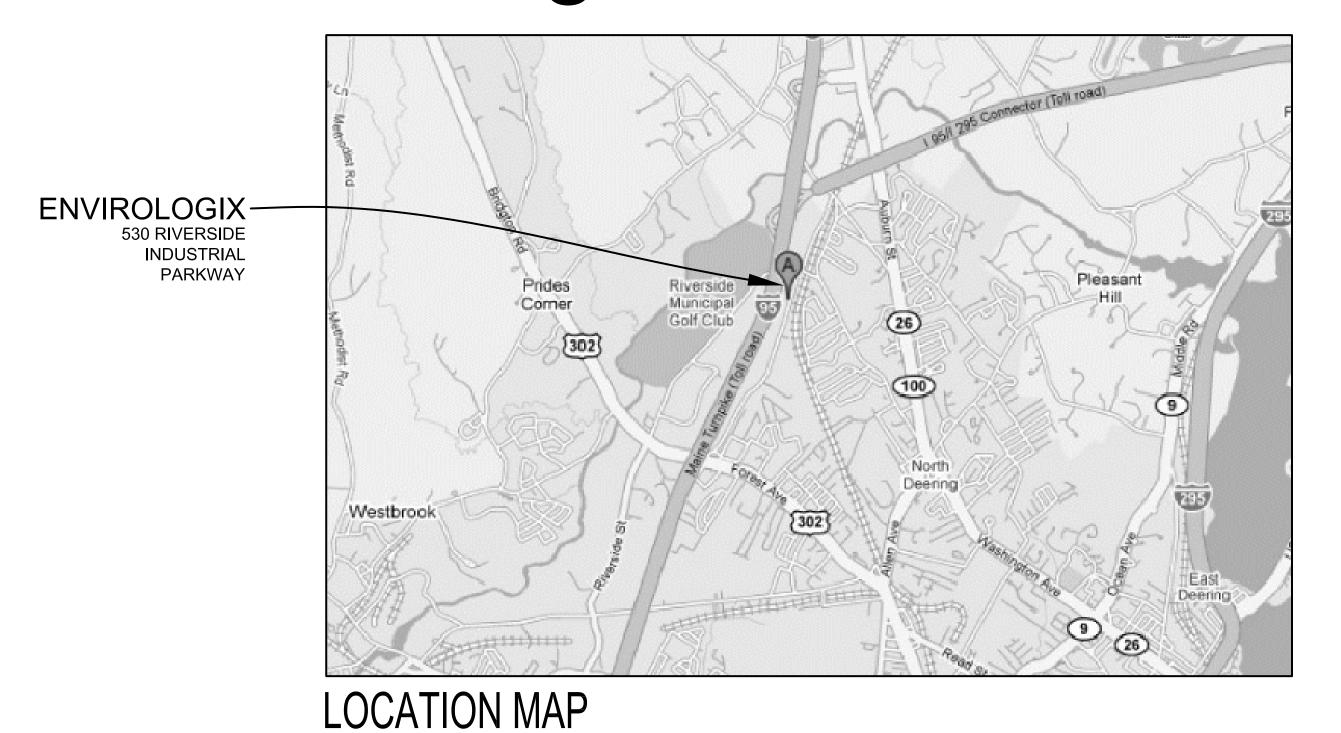


## EnviroLogix 500 Riverside Parkway Portland, Maine 04103 207-797-0300 Contact: Peter Johnson **ARCHITECT** TFH Architects 80 Middle Street Portland, Maine 04101 207-775-6141 Contact: Scott Teas 207-879-1838 Contact: David Macolini MECHANICAL ENGINEER Integrated Energy Systems, PLLC 301 Middle Road Falmouth, ME 04105-1229 207-781-4263 Contact: Richard Grondin **ELECTRICAL ENGINEER** Bennett Engineering 7 Bennett Road Freeport, ME 04032 207-865-9475 Contact: Will Bennett GENERAL CONTRACTOR Warren Construction Group, LLC POB 362 Freeport, ME 04078 207-865-3522 Contact: Peter Warren

#### **BUILDING DESIGN CODES** INTERNATIONAL BUILDING CODE IEBC 2009 INTERNATIONAL EXISTING BUILDING CODE IECC 2009 INTERNATIONAL ENERGY CONSERVATION CODE STANDARDS FOR ACCESSIBLE DESIGN ADA 2010 NFPA 101 2009 LIFE SAFETY CODE NEC 2007 **ELECTRICAL CODE** MAINE STATE INTERNATIONAL PLUMBING CODE UPC 2007 CITY OF PORTLAND AMENDMENTS OCCUPANCY CLASSIFICATION: **IBC SECTION 304** ACCESSORY USES - LABORATORY, STORAGE, MECHANICAL FIRE SUPPRESSION: BUILDING CURRENTLY IS AND WILL BE FULLY SPRINKLERED PER NFPA 13 EXISTING & PROPOSED AREAS: EXISTING BUILDING FOOTPRINT - 520 / 530 RIVERSIDE INDUSTRIAL. PARKWAY ±34,895 GSF **EXISTING FIRST FLOOR BUSINESS EXISTING SECOND FLOOR BUSINESS** @ EAVES - ±23'-2", EXISTING BUILDING HEIGHT @ RIDGE = $\pm 26'-4$ " PROPOSED ADDITIONAL FIRST FLOOR BUSINESS (MECHANICAL ONLY) PROPOSED ADDITIONAL SECOND FLOOR BUSINESS ±9880 GSF TOTAL OCCUPIED FIRST FLOOR ±7710 GSF TOTAL OCCUPIED SECOND FLOOR ±15,275 GSF TOTAL VACANT FIRST FLOOR ±26,750 GSF TYPE OF CONSTRUCTION / BUILDING LIMITS: ALLOWABLE BUILIDNG HEIGHTS AND AREAS EXISTING SIMILAR TO TYPE IIIB, PROPOSED TYPE IIIB ALOWABLE HEIGHT = 55' ALOWABLE STORIES = 3 ALOWABLE AREA = 19.000 GSF ALLOWABLE AREA FORMULA WITH SPRINKLER & FRONTAGE ALLOWANCE ALLOWABLE AREA = [Area allowed x 2 (sprinkler system)] + [area allowed x .49 (frontage increase)] ALLOWABLE AREA = $[19,000 \times 2] + [19,000 \times .49] = \pm 47,405$ GSF BUILDING SEPARATION = ± 70'-9" EXISTING PER TABLE 601 FIRE RESITANCE RATING OF EXTERIOR BEARING WALLS, TYPE IIIB = 2 HRS PER TABLE 602 FIRE RESITANCE RATING OF EXTERIOR WALLS >30' = 0 HRS EGRESS: Occupant load First floor 3170 GSF / 100 sf per occup. = 32 occupants Business areas: Accessory storage, mechanical equipment; 4660 GSF / 300 sf per occup. = 16 occupants Second floor 15060 GSF / 100 sf per occup. = 151 occupants Business areas; Exit capacity Stairs .3" x 199 occupants = 59.7" total, minimum stair width= 44", 154" provided Other .2" x 199 occupants = 39.8" total, minimum stair width= 44", Minimum number of exits for occupant load per IBC table 1021.1 = 2Remoteness minimum per IBC 1015.2.1 with sprinkler = Max diagonal (200') x 1/3 = 66' Remote distance provided = 119'

# Renovations to 530 Riverside Parkway DNA Lab & Office Facilities Expansion Portland, Maine

# Permitting Documents August 17, 2011



# DRAWING LIST

C1-1 SITE LAYOUT, ZONING DATA

A1.4B SECOND FLOOR REFLECTED CEILING PLAN - PART B

A1.5A NOT USED

A1.5B NOT USED

A1.6A SECOND FLOOR PLAN - PART A - FURNITURE, FIXTURES, & EQUIPMENT PLAN

A1.6B SECOND FLOOR PLAN - PART B - FURNITURE, FIXTURES, & EQUIPMENT PLAN A1.7A SECOND FLOOR PLAN - PART A - CASEWORK

A1.7B SECOND FLOOR PLAN - PART B - CASEWORK

A2.0 EXTERIOR ELEVATIONS

A3.0 BUILDING SECTIONS

A4.0 INTERIOR ELEVATIONS

A4.1 INTERIOR ELEVATIONS A4.2 INTERIOR ELEVATIONS

A4.3 INTERIOR ELEVATIONS A4.4 INTERIOR DETAILS

A5.0 STAIR DETAILS

A5.1 DETAILS

A5.2 DETAILS CANOPY DETAILS

A6.0 FINISH, DOOR, LIGHT FIXTURE SCHEDULES

A6.1 EQUIPMENT SCHEDULE

# STRUCTURAL

S1.1 PROPOSED SECOND FLOOR FRAMING PLAN AREA A

S1.2 SECOND FLOOR CEILING FRAMING S2.1 SECTIONS AND DETAILS

S3.1 FOUNDATION AND STEEL SECTIONS AND TYPICAL DETAILS

# MECHANICAL<sup>\*</sup>

LEGEND, ABBREVIATIONS, SCHEDULES, DETAILS AND SPECIFICATIONS

FIRST FLOOR PLAN PART A PLUMBING FIRST FLOOR PLAN PART B PLUMBING

SECOND FLOOR PLAN PART A PLUMBING

SECOND FLOOR PLAN PART B PLUMBING

LEGENDS, NOTES, ABBREVIATIONS, SCHEDULES AND SPECIFICATIONS SCHEDULES

PIPING SCHEMATIC

FIRST FLOOR PLAN PART A MECHANICAL FIRST FLOOR PLAN PART B MECHANICAL

SECOND FLOOR PLAN PART A MECHANICA SECOND FLOOR PLAN PART B MECHANICAL

DETAILS

MD-1 FIRST FLOOR PLAN PART A MECHANICAL DEMOLITION

MD-2 FIRST FLOOR PLAN PART B MECHANICAL DEMOLITION MD-3 SECOND FLOOR PLAN PART B MECHANICAL DEMOLITION

# ELECTRICAL

E1.0 SITE ELECTRICAL PLAN

E2.0 FIRST FLOOR PLAN PART A LIGHTING

FIRST FLOOR PLAN PART B LIGHTING E2.2 SECOND FLOOR PLAN PART A LIGHTING

E2.3 SECOND FLOOR PLAN PART B LIGHTING

E3.0 FIRST FLOOR PLAN PART A POWER

E3.1 FIRST FLOOR PLAN PART B POWER

E3.2 SECOND FLOOR PLAN PART A POWER E3.3 SECOND FLOOR PLAN PART B POWER

E4.0 LEGEND, DETAILS AND SCHEDULES

### **GENERAL NOTES**

CONTRACTOR TO FURNISH AND INSTALL ALL NOTED LABOR AND MATERIALS UNLESS OTHERWISE NOTED. 2: CODE COMPLIANCE:

ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS

#### PROJECT OR HAVE JURISDICTION. 3: COORDINATION:

1: DRAWING NOTES:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT THE CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT, OR MAY PROHIBIT, SUCH ASSEMBLY, THE CONTRACTOR SHALL BRING TO THE ARCHITECTS ATTENTION, IN WRITING AND IN A TIMELY FASHION, SUCH CONDITION. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION CLARIFICATION FROM THE ARCHITECT.

4: DISCREPANCIES & CLARIFICATIONS: THIS PROJECT INVOLVES THE FIT-UP OF AN EXISTING BUILDING. EXISTING DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. MEASURE AND VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ARCHITECTS ATTENTION, IN WRITING, ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION OR CLARIFICATION

FROM THE ARCHITECT.

UNLESS INDICATED OTHERWISE, CENTER WALL FRAMING AND PARTITION FRAMING ON COLUMN LINES. FLOOR PLAN DIMENSIONS ARE TO CENTER OF FRAMING, FACE OF CONCRETE, FACE OF CMU, OR FROM COLUMN CENTERLINES, UNLESS INDICATED OTHERWISE. DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINES UNLESS INDICATED OTHERWISE.

6: CENTERING: UNLESS INDICATED OTHERWISE, CENTER BUILDING ELEMENTS WITHIN OR BETWEEN OTHER BUILDING ELEMENTS WHEN CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SUCH IS THE INTENT, WHETHER OR NOT DIMENSIONS ARE INCLUDED

#### 7: SYMMETRY: WHERE CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY

THAT SYMMETRY IS INTENDED, INFORMATION PROVIDED AT ONE SIDE APPLIES EQUALLY TO BOTH SIDES, UNLESS CONDITIONS CLEARLY PRECLUDE SUCH APPLICATION. 8: ACCESSIBILITY:

#### ALL HANDICAPPED ACCESSIBLE BATHROOMS, GRAB BARS, AND DOOR OPENINGS SHALL MEET THE REQUIREMENTS OF

TITLE 94-348, CHAPTER 5 OF THE MAINE HUMAN RIGHTS COMMISION TITLE LATEST EDITION & THE DEPARTMENT OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN. 9: DRAWING SCALES: WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS

NOT INTENDED THAT INFORMATION BE DETERMINED BY

INDICATED ON THE DRAWINGS FOR CONVENIENCE ONLY. IT IS

SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO

#### SCALE. 10: WATER-RESISTANT GWB:

INSTALL WATER-RESISTANT GYPSUM WALL BOARD IN ALL REST ROOMS & TOILET ROOMS OR AT ANY WALL WITH PLUMBING FIXTURES.

#### 11: INTERIOR ELEVATIONS: INTERIOR ELEVATIONS MAY BE REVERSED FROM AND/OR

12: BUILDING INSULATION:

SIMILAR TO ACTUAL CONDITIONS. SEE FLOOR PLANS FOR WINDOW AND DOOR QUANTITIES AND LOCATIONS, FOR CASEWORK LAYOUTS, AND FOR MONITOR LOCATIONS.

ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT

SHOWN IN DETAILS AND OTHER DRAWINGS. FOR CLARITY,

PROVIDE AS INDICATED IN WALL SECTIONS AND IN

#### INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS TO BE PROVIDED.

13: BLOCKING: INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES TRIM, CASEWORK, SHELVES, BRACKETS, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, BASE MOLDINGS, AND AS OTHERWISE REQUIRED, WHEN SUCH

# 14: PENETRATIONS AT STRUCTURAL MEMBERS:

ITEMS ARE APPLIED ON STUD WALLS.

BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT.

# 15: DAMAGED WORK:

BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION, OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUB-CONTRACTOR SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.

# 16: UTILITIES:

VERIFY THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING. DO NOT PROCEED WITH WORK UNTIL THE DISCREPANCY HAS BEEN RESOLVED TO THE SATISFACTION OF THE ARCHITECT.

# 17: RATED CONSTRUCTION:

PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT CHASES AND AT FLOORS, TO MAINTAIN COMPLETE SEPARATIONS, EVEN IF NOT SPECIFICALLY INDICATED.

# 18: SHOP DRAWINGS:

SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATIONS. SUBMITTALS REQUIRED INCLUDE, BUT ARE NOT LIMITED TO, SHOP DRAWINGS FOR ALL PREFABRICATED CONCRETE, STEEL, MILLWORK & SIGNAGE SAMPLES OF ALL PROPOSED PAINTS, METALS, WALL COVERINGS, LAMINATES, SOLID SURFACE MATERIALS CERAMIC TILE, AND HARDWARE. SUBMIT MANUFACTURERS' DATA FOR ALL LIGHTING SYSTEMS, AND HARDWARE.

19: PERMITS: THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ANY BUILDING PERMITS REQUIRED AND CARRY ANY INSURANCE COVERAGES REQUIRED.

20: INTERIOR FINISHES: ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE-RATED AND ARE TO COMPLY WITH SECTION 920.0 BOCA (INTERIOR FLAME SPREAD).

#### 21: ELECTRICAL DESIGN: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY.

#### 22: WASTE REMOVAL: THE GENERAL CONTRACTOR SHALL DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES.

# 23: LANDLORD COORDINATION:

THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING OWNER ALL ACTIVITIES INCLUDING BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS. ALARMS OR BUILDING SYSTEM MANAGEMENT.

#### 24: TEMPORARY FACILITIES: PROVIDE ALL TEMPORARY FACILITIES AND SERVICES.

CONSTRUCTION AND SUPPORT FACILITIES, AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF A COMPLETE INSTALLATION.

25: FINAL CLEANING: EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING. CLEAN EACH SURFACE TO THE CONDITION EXPECTED IN A COMMERCIAL BUILDING CLEANING PROGRAM.

26: MANUFACTURERS INSTRUCTIONS: ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

# 27: GUARANTEE

GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME ON A CERTAIN ITEM.

# 28: ASBESTOS:

ALL MATERIAL USED FOR THE CONSTRUCTION OF THIS PROJECT, WHETHER BUILDING MATERIALS OR APPURTENANCES, SHALL BE NON-ASBESTOS CONTAINING

# 29: HAZARDOUS FUMES:

THE GENERAL CONTRACTOR SHALL CONFIRM THAT ALL MATERIAL AND FINISHES SPECIFIED AND THEIR FARRICATION OR INSTALLATION WILL NOT RELEASE FUMES OR AROMAS DURING CONSTRUCTION WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL.

30: PEST CONTROL: SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.

# 31. EXPOSED UTILITIES:

ALL EXPOSED UTILITY WIRES AND PIPES (ELECTRICAL PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS, AND CEILING AREAS. THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF FLOORS AND 1" OFF WALLS, CEILINGS AND ADJACENT PIPES.

32. OWNER SUPPLIED EQUIPMENT: EQUIPMENT SUPPLIED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR:I EQUIPMENT INFORMATION AND SPECIFICATIONS ARE TO BE THE MOST CURRENT AVAILABLE AT THE TIME OF DOCUMENTATION PREPARATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE OWNER THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS (INCLUDING ELECTRICAL CIRCUIT REQUIREMENTS) OF EQUIPMENT TO BE SUPPLIED THE GENERAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS NOTED ON THE DRAWINGS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOT VOID WARRANTIES. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL OWNER SUPPLIED EQUIPMENT. THE GENERAL CONTRACTOR SHALL STORE EQUIPMENT IF REQUESTED BY THE OWNER UNTIL INSTALLATION. SEE DRAWINGS FOR OTHER OWNER SUPPLIED/GENERAL CONTRACTOR INSTALLED ITEMS.

# 33: FIRE PROTECTION NOTE:

ASSOCIATION

EXISTING SPRINKLERHEADS, ALARM SYSTEM AND DETECTORS ARE TO BE MODIFIED TO CONFORM. WITH THE PROPOSED PLAN. COORDINATE WITH THE ARCHITECT, ANY MODIFICATION OR LOCATIONS WHERE EXISTING SYSTEMS ARE AFFECTED BY THE NEW DESIGN. 34: INDUSTRY STANDARDS:

#### ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH INDUSTRY STANDARDS. STANDARDS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

**AAMA** AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCATION AMERICAN CONCRETE INSTITUTE AMERICAN NATIONAL STANDARDS INSTITUTE AMERICAN SOCIETY FOR TESTS AND MATERIALS

#### ASTM ARCHITECTURAL WOODWORK INSTITUTE "CUSTOM GRADE" AMERICAN WELDING SOCIETY INSULATING GLASS MANUFACTURERS ALLIANCE

NAAMM NATIONAL ASSOCIATION OF ARCHITECTURAL METAL **MANUFACTURERS** NATIONAL ROOFING CONTRACTORS ASSOCIATION NATIONAL TILE CONTRACTORS ASSOCIATION SMACNA SHEET METAL AND AIR CONDITIONING NATIONAL

# **ABBREVIATIONS**

CONST

CONT

CORR

CT CU

DIA

DIFF

DIM

DN

DR

DSP

EΑ

ELEC

ENTR

EQUIP

EXPB

EPDM

EWC

FC

FEC

FF&E

FOB

FOS

FOW

FTG

FRG

GALV

GLAM

GWB

HORIZ

HR

HW

HVAC

INSUL

JST

KD

FTWD

ELEV

EQ

EXP

DWG

CORRIDOR

DOUBLE

DIAMETER

DIFFUSER

DOWN

DOOR

FACH

DRAWING

ELEVATION

ELECTRICAL

**ELEVATOR** 

ENTRANCE

**EQUIPMENT** 

EXPANSION

EXTERIOR

FAHRENHEI'

FLOOR DRAIN

FACE OF BRICK

FACE OF FINISH

FACE OF STUDS

FACE OF WALL

FOOTING

GAUGE

FUME HOOD

**GALVANIZED** 

GRAB BAR

GROUND

HOSE BIB

HANDICAP

HOUR

**HOLLOW METAL** 

HORIZONTAL

HOT WATER

INFORMATION

INSULATION

KILN-DRIED

1000 POUNDS

INCHES

JOINT

FACE OF CONCRETE

FIN TUBE RADIATION

GENERAL CONTRACTOR

GLASS/GLAZING/GLAZED

GLUE-LAMINATED WOOD

GYPSUM WALL BOARD

GROUND-FAULT INTERRUPTER

HORSE POWER/HIGH POINT/HEAT PUMP

INSIDE DIMENSION/INSIDE DIAMETER

HEATING VENTILATION AIR CONDITIONING VCT

FIRE EXTINGUISHER

FIRE TREATED WOOD

FIRE EXTINGUISHER CABINET

FIRE SUPPRESSION SYSTEM

FIBER REINFORCED GYPSUM

FLAT BAR

FLOOR

EXPANSION BOLT

EXPANSION JOINT

FQUAL

DIMENSION

DRY STAND PIPE

CERAMIC TILE

CONNECT/CONNECTION

CABINET UNIT HEATER

DRINKING FOUNTAIN

AIR CONDITIONING LABORATORY ACT ACOUSTICAL CEILING TILE LAMINATED POUND AREA DRAIN LEFT-HAND LEAD AMERICANS WITH DISABILITIES ACT ADAAG COATED COPPER ACCESSIBILITY'S GUIDELINES LCC ADD ADDENDUM AFF ABOVE FINISHED FLOOR MACHINE AHU AIR-HANDLING UNIT MAS MASONRY ALUMINUM MATL MATERIAL ARCH ARCHITECT/ARCHITECTURAL MAXIMUM MAX MEDIUM-DENSITY OVERLAY ACOUSTIC WALL PANEL MDO MECH MECHANICAL BACK-TO-BACK ANGLES BASE BUILDING B TO BLS MEMB MEMBRANE B.B.G.C. GENERAL CONTRACTOR MET METAL BUILDING LINE MEZZ MEZZANINE BLDG BUII DING MFR MANUFACTURER BLKG BLOCKING MINIMUM BSMT **BASEMENT** MISC MISCELLANEOUS BTWN BETWEEN MASONRY OPENING BY OTHERS ВО MTD MOUNTED COURSE (MASONRY) MARKER BOARD CER CERAMIC **CORNER GUARD** NORTH CH COAT HOOK NUMBER **CONTROL JOINT** CENTER LINE CLG CEILING NTS NOT TO SCALE CMU CLEAN OUT ON/OVER COLUMN. OC ON CENTER CONCRETE OD CONC CONDITION OFF OFFICE COND CONSTRUCTION OPNG OPENING CONN CONTINUOUS

#### NOT IN CONTRACT NOMINAL DIMENSION OUTSIDE DIAMETER/OUTSIDE DIMENSION OPP OPPOSITE OPPOSITE HAND OPPH ORIENTED STRAND BOARD OSB CONCRETE MASONRY UNIT ΟZ

PURCHASED BY OWNER INSTALLED BY CONTRACTOR PRECAST PLATE PLAM PLASTIC LAMINATE PRE FAB PREFABRICATE PRIV PRIVACY

> PRIM PRIMED PSF POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PTD PAINTED PTN PARTITION PVC POLYVINYL CHLORIDE PLYWOOD

#### PRESSURE TREATED PERFORATED QUARRY TILE QTR QUARTER

RISER/RADIUS RADIUS RUBBER BASE ETHYLENE PROPYLENE DIENE MONOMER REFLECTED CEILING PLAN ELECTRIC WATER COOLER ROOF DRAIN REINFORCING BAF FIRE EXTINGUISHER AND CABINET

REFRIGERATOR REINFORCED REQ REQUIRED **RESILIENT** REV REVERSE ROOM FURNITURE, FIXTURES & EQUIPMENT ROUGH OPENING

ROW RIGHT OF WAY SOUTH

SCHEDULE SCHED SED SEE ELECTRICAL DRAWINGS SQUARE FEET SIMII AR SMD SEE MECHANICAL DRAWINGS

SPECIFICATION SQUARE SEE STRUCTURAL DRAWINGS SSD SST STAINLESS STEEL STC SOUND TRANSMISSION CLASS

STEEL STOR STORAGE STRUCTURE/STRUCTURAL STRUCT SUSP SUSPENSION T&G **TONGUE & GROOVE** TELEPHONE

STANDARD

THICK TOP OF DECK TOP OF STEEL **TYPICAL** TELEVISION TACK BOARD

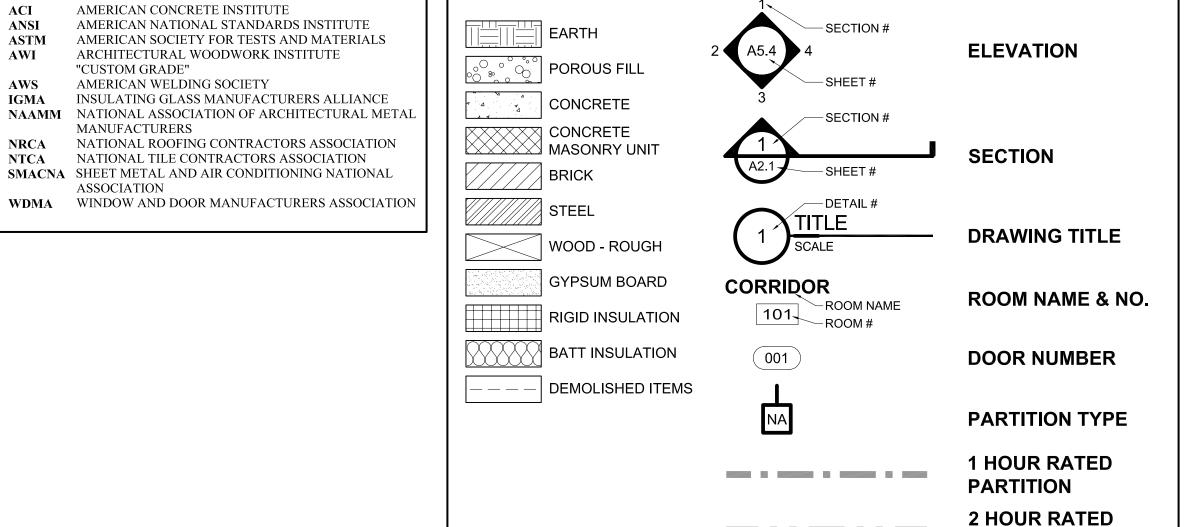
> TOP OF CONCRETE UNDERWRITERS LABORATORIES, INC. UNIT VENTILATOR VINYL COMPOSITION TILE VERTICAL

**VERIFY IN FIELD** VOLUME

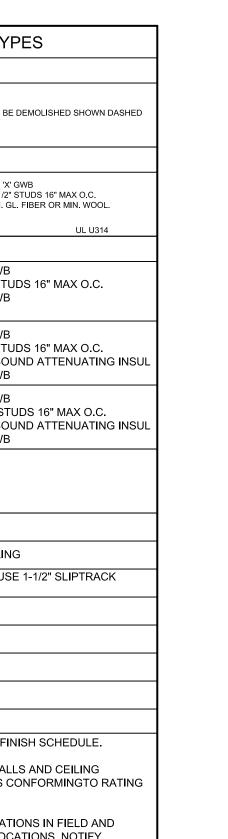
# WEST WITHOUT

WITH WOOD WIDE FLANGE WORK POINT WEIGHT

# DRAWING LEGEND



### WOOD FRAMED PARTITION TYPES DEMOLISHED PARTITIONS **+----**ITEMS TO BE DEMOLISHED SHOWN DASHED FIRE-RATED PARTITIONS 3 1/2" / 5 1/2" STUDS 16" MAX O.C 2 1/2" MIN. GL. FIBER OR MIN. WOOL. NON FIRE-RATED PARTITIONS 3 1/2" STUDS 16" MAX O.C. 5/8" GWB 5/8" GWB 3 1/2" STUDS 16" MAX O.C. 3 1/2" SOUND ATTENUATING INSUL 5/8" GWB 5/8" GWB 5 1/2" STUDS 16" MAX O.C. 5 1/2" SOUND ATTENUATING INSUL 5/8" GWB ND HEIGHT NOTES A WALL STOPS 4" MIN. ABOVE CEILING SEALED TO BOTTOM OF DECK - USE 1-1/2" SLIPTRACK DEFLECTION JOINT WALL STOPS AT 11'-0" AFF GENERAL NOTES 1. COORDINATE FINISHES WITH ROOM FINISH SCHEDULE. PENETRATIONS THROUGH RATED WALLS AND CEILING ASSEMBLIES SHALL HAVE SEALANTS CONFORMINGTO RATING



. CONTRACTOR TO VERIFY WALL LOCATIONS IN FIELD AND COORDINATE WITH EXISTING PIPE LOCATIONS, NOTIFY ARCHITECT OF ANY DISCREPANCIES.

HOUR FIRE - UL# U465

LIMITING HEIGHT 15'-7" LIMITING HEIGHT 15'-7" A2 7 1/4" (6" STUD)

NO FIRE RESISTANCE RATING

STC = 40 7 1/4" (6" STUD) LIMITING HEIGHT 22'-10" 1/4" (6" SIUU) 1 HOUR FIRE - UL# U465 LIMITING HEIGHT 22'-10" LIMITING HEIGHT 22'-10" UNDERSIDE OF STRUCTURE JOINT SEALANT AND BACKING —UNDERSIDE OF STRUCTURE ——JOINT SEALER AND BACKING EACH SIDE PROVIDE CASING BEAD PROVIDE CASING BEAD WHERE EXPOSED TO VIEW (09000) WHERE EXPOSED TO VIEW (09000) CEILING RUNNER (09110) CEILING RUNNER (09000) DEFLECTION ALLOWANCE (09000) DEFLECTION ALLOWANCE (09000) ===| SUSPENDED CEILING SUSPENDED CEILING WHERE SCHEDULED WHERE SCHEDULED SOUND ATTENUATION INSULATION AT E1 AND E3 PARTITIONS ONLY (07000) METAL STUDS (09000) METAL STUDS (09000) -5/8" GYPSUM BOARD -AT 1 HOUR PARTITION USE 5/8" TYPE X GYPSUM BOARD (09000) SCHEDULED BASE SCHEDULED BASE FLOOR RUNNER (09000) FLOOR RUNNER (09000) JOINT SEALER AND BACKING JOINT SEALANT AND BACKING EACH SIDE TOP OF SLAB TOP OF SLAB SHAFTWALL LIMITING HEIGHT 15'-0"

METAL AND CMU FRAMED PARTITIONS

EACH SIDE

===|

—UNDERSIDE OF STRUCTURE

JOINT SEALER AND BACKING

WHERE EXPOSED TO VIEW (09000)

DEFLECTION ALLOWANCE (09000)

PROVIDE CASING BEAD

CEILING RUNNER (09110)

SUSPENDED CEILING

WHERE SCHEDULED

■METAL STUDS (09000)

-5/8" GYPSUM BOARD -

FLOOR RUNNER (09000)

JOINT SEALER AND BACKING

SCHEDULED BASE

FACH SIDE

TOP OF SLAB

AT 1 HOUR PARTITION USE

5/8" TYPE X GYPSUM BOARD (09000)

LIMITING HEIGHT 15'-7"

LIMITING HEIGHT 15'-0"

LIMITING HEIGHT 23'-3"

LIMITING HEIGHT 23'-

UNDERSIDE OF STRUCTURE JOINT SEALER AND BACKING EACH SIDE PROVIDE CASING BEAD WHERE EXPOSED TO VIEW (09000) CEILING RUNNER (09110) DEFLECTION ALLOWANCE (09000) SOUND ATTENUATION INSULATION (07000 WHERE SCHEDULED METAL STUDS (09000) —5/8" TYPE X GYPSUM BOARD (09000) SCHEDULED BASE FLOOR RUNNER (09000) JOINT SEALER AND BACKING EACH SIDE TOP OF SLAB

# PARTITION TYPE NOTES

UNDERSIDE OF STRUCTURE

JOINT SEALER AND BACKING

WHERE EXPOSED TO VIEW (09000)

DEFLECTION ALLOWANCE (09000)

SOUND ATTENUATION INSULATION (07000

AT 1 HOUR PARTITION USE 5/8" TYPE X GYPSUM BOARD (09000)

LIMITING HEIGHT 15'-7"

LIMITING HEIGHT 15'-7"

PROVIDE CASING BEAD

WHERE SCHEDULED

METAL STUDS (09000)

-5/8" GYPSLIM BOARD -

FLOOR RUNNER (09000)

JOINT SEALER AND BACKING

SCHEDULED BASE

CELLING RUNNER (09000)

EACH SIDE

===|| | | | | | | |

1 DIMENSIONS SHOWN ON PLANS ARE FROM FINISH SURFACE TO FINISH SURFACE MASONRY DIMENSIONS GIVEN ARE NOMINAL. "MO" (MASONRY OPENING) REFERS TO NOMINAL OPENINGS IN MASONRY UNIT CONSTRUCTION. "RO" (ROUGH OPENING) REFERS TO ACTUAL OPENINGS BETWEEN METAL STUDS IN METAL STUD CONSTRUCTION.

2. PARTITION TYPES ARE INDICATED ON THE FLOOR PLANS. NUMBERS REFER TO THE PARTITION TYPE, LETTERS INDICATE VARIATIONS TO THE BASE CONDITION DRAWN. UNMARKED PARTITIONS SHALL MATCH ADJACENT PARTITION TYPE 3. ALL FIRE RATED PARTITIONS SHALL EXTEND STRUCTURE

TO STRUCTURE UNLESS OTHERWISE NOTED. 4. FIRE-RATED PARTITIONS AND SOUND ISOLATION 5. CONSTRUCTION OF FIRE-RATED PARTITIONS. INCLUDING TAPING AND FINISHING OF GYPSUM BOARD FOR FULL WITH MANUFACTURERS DIRECTIONS TO ACHIEVE THE

OF AIRBORNE SOUND OR MOISTURE. TAPE AND FINISH ALL GYPSUM BOARD JOINTS AND FASTENERS. PROVIDE SEALANT AT PERIMETER AND AT ALL PENETRATIONS. 7 WHEREVER LENGTH OF MASONRY PARTITION EXCEEDS 8'-0" BETWEEN LATERAL SUPPORTS INSTALL 3" x 3" x 0'-6" x 12 GAUGE FORMED STEEL ANGLES EACH SIDE AT 4'-0" O.C. MAX ANCHOR FACH ANGLE TO STRUCTURE WITH TWO 1/8 X 15/16" DRIVE PINS. MASONRY SHALL STOP 1" FROM STRUCTURE, INCLUDING PROJECTING TEE STEMS, AND 1" SPACE SHALL BE FILLED WITH INCOMBUSTABLE COMPRESSIBLE FILLER. IF MASONRY PARTITION PARALLEL TO TEES OCCURS DIRECTLY BENEATH A TEE STEM, PROVIDE 9" LONG 12 GAUGE FORMED STEEL CHANNELS WITH 3" FLANGES AND WEB WIDTH EQUAL TO MASONRY WIDTH - SPACE 4'-0" O.C. MAX. AND ANCHOR WITH THREE

9. PROVIDE JOINT REINFORCEMENT IN ALL MASONRY

10 PROVIDE FIRE-RETARDANT TREATED WOOD BLOCKING FOR PARTION MOUNTED EQUIPMENT AND CASEWORK. 11. PARTITION TYPES DESCRIBE THE PRIMARY MEMBER AND SHEATHING. REFER TO FINISH SCHEDULE FOR ALL

13 PROVIDE 5/8" CONCRETE BACKER BOARD AT ALL CERAMIC TILE FINISHES TO ALIGN WITH 5/8" TYPE WR GYPSUM BOARD ABOVE.

FIRE RATED PARTITIONS. 16. PENETRATIONS THROUGH RATED WALLS AND CEILING ASSEMBLIES SHALL HAVE SEALANTS CONFORMING TO RATING REQUIREMENTS.

17. CONTRACTOR TO VERIFY WALL LOCATIONS IN FIELD AND COORDINATE WITH EXISTING PIPE LOCATIONS, NOTIFY ARCHITECT OF ANY DISCREPANCIES. 18. ALL ADDITION BUILDING PARTITIONS TYPE A-A, UNLESS OTHERWISE NOTED.



CONSULTANTS: STRUCTURAL:
Becker Structural Engineers, Inc. 75 York Street Portland, ME 04101-4450 207-879-1838 <u>MECHANICAL:</u> Integrated Energy Systems,PLLC

10 Middle Road almouth, ME 04105 207-781-4263 ELECTRICAL: BENNETT ENGINEERING Bennett Road Freeport, ME 04032 207-865-9475

**REVISIONS:** 

8/17/201 PROJECT No.

CHECKED BY: SCALE: AS NOTE SHEET TITLE: **GENERAL NOTES ABBREVIATIONS** 

G1.

**PARTITION TYPES** 

LEGENDS

SCOTT TEAS No. 802 2011 TFH ARCHITECT

PARTITIONS ARE INDICATED ON REFLECTED CEILING PLANS. HEIGHT TO STRUCTURE ABOVE, SHALL BE IN ACCORDANCE RATING INDICATED. 6. SOUND ISOLATION & VAPOR TIGHT PARTITIONS SHALL BE SEALED AIRTIGHT FOR FULL HEIGHT TO PREVENT PASSAGE

1/8" x 15/16" DRIVE PINS.

8. HOLLOW METAL FRAMES IN METAL STUD PARTITIONS SHALL HAVE 4 STUD ANCHORS PER JAMB MINIMUM FOR FRAME HEIGHT OF 7'-2" OR LESS, AND ONE ADDITIONAL ANCHOR PER JAMB FOR EACH ADDITIONAL 2'-0" OR FRACTION. HOLLOW METAL FRAMES IN MASONRY SHALL HAVE 3 MASONRY ANCHORS PER JAMB MINIMUM FOR FRAME HEIGHT OF 7'-2" OR LESS, AND ONE ADDITIONAL ANCHOR PER JAMB FOR EACH ADDITIONAL 2'-0" OR FRACTION, ALL HOLLOW METAL FRAMES SHALL HAVE ONE FLOOR CLIP PER JAMB, WITH TWO ANCHORS INTO FLOOR AT EACH FLOOR CLIP.

PARTITIONS, CONTINUOUS HORIZONTALLY AND SPACED NOT OVER 16" ON CENTER VERTICALLY, BEGINNING WITH THE JOINT 8" ABOVE THE FLOOR AND IN THE FIRST AND SECOND JOINTS ABOVE AND BELOW OPENINGS EXTENDING NOT LESS THAN 24" BEYOND EACH SIDE OF THE OPENING.

PARTITION FINISH DESIGNATIONS. 12. PROVIDE TYPE WR WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS SUCH AS TOILETS AND SHOWERS.

14. PROVIDE SLIP JOINT CONNECTIONS AT THE TOPS OF ALL PARTITIONS WHICH INTERSECT THE STRUCTURE ABOVE. PROVIDE FIRE SAFING AT ALL SLIP JOINT CONNECTIONS IN 15. COORDINATE FINISHES WITH ROOM FINISH SCHEDULE.

OVERLAP STEEL COLLAR 1" MINIMUM -SEALANT - SEE "SELANT SCHEDULE" THIS -----INTUMESCENT SEALANT - PROVIDE IN AND FILL SHEET FOR TYPE OF SEALANT - PROVIDE IN AND FILL ENTIRE DEPTH OF ANNULAR SPACE ENTIRE 3/4" DEPTH OF ANNULAR SPACE

#8 x 3/4" STEEL WOOD SCREW AT EACH ANCHOR - 3/4" PLYWOOD SUBFLOOR OR 5/8" GWB -3/4" PLYWOOD OR 5/8" TYPE 'X' GWB -1/4" x 1-1/4" FENDER WASHER AT EACH ANCHOR TAB --- MINERAL WOOL PACKING MATERIAL IF/AS - 2 LAYERS OF WRAP STRIP - INSTALL TIGHT TO PENETRATING ITEM -3: #8 x 3/8" SHEET METAL SCREWS PVC PIPE - 2 1/2" OR LARGER NOTE: IN LIEU OF THE WRAP STRIP AND STEEL COLLAR, A FIRESTOP DEVICE MAY BE USED (SEE SPECIFICATIONS THIS SHEET) DETAIL FOR 2 1/2" AND LARGER PVC PIPE PENETRATION

# FIRESTOPPING DETAILS:

1 DETAIL LESS THAN 2 1/2" PVC PIPE PENETRATION **SPECIFICATIONS** WRAP STRIP: 1/4" THICK x 1 1/2" MINIMUM WIDTH INTUMESCENT MATERIAL WITH PLASTIC FILM FACING BOTH SIDES. TEMPORARILY SECURE WITH MAKSING TAPE. SPECIFIED TECHNOLOGIES INC. (STI)

FIRESTOP DEVICE MAY BE USED AS FOLLOWS:

SINGLE SIDED (3 5/8")

SINGLE SIDED (6" STUD)

NO ACOUSTICAL RATING

SINGLE SIDED (6" STUD)

PARTITION TYPE E, E1, E2 AND E3

FOR 3" PVC PIPE (3 1/2" O.D.): STI "SpecSeal LCC" COLLAR #LCC300 FOR 4" PVC PIPE (4 1/2" O.D.): STI "SpecSeal LCC" COLLAR #LCC400 DO NOT USE FIRESTOP DEVICE AT JOINTS (JOINT FLANGES) IN PIPE; PROVIDE WRAP STRIP AND STEEL COLLAR

"SpecSeal RED Wrap Strip" OR "SpecSeal BLU Wrap Strip" OR EQUAL.

FIRESTOP DEVICE: IN LIEU OF THE WRAP STRIP AND STEEL COLLAR, A

STEEL COLLAR: WRAP STRIP MANUFACTURER'S STEEL COLLAR. FABRICATED FROM .016 INCH THICK GALVANIZED SHEET STEEL, WIDTH TO MATCH WRAP STRIP (1 1/2" MINIMUM), WITH 1 INCH x 2 INCH ANCHOR TABS AND RETAINER TABS. ANCHOR TABS TO BE SYMMETRICALLY OPPOSED AROUND COLLAR; PROVIDE 3 TABS FOR 2 1/2" AND 3" PIPE: PROVIDE 4 TABS FOR 4" PIPE

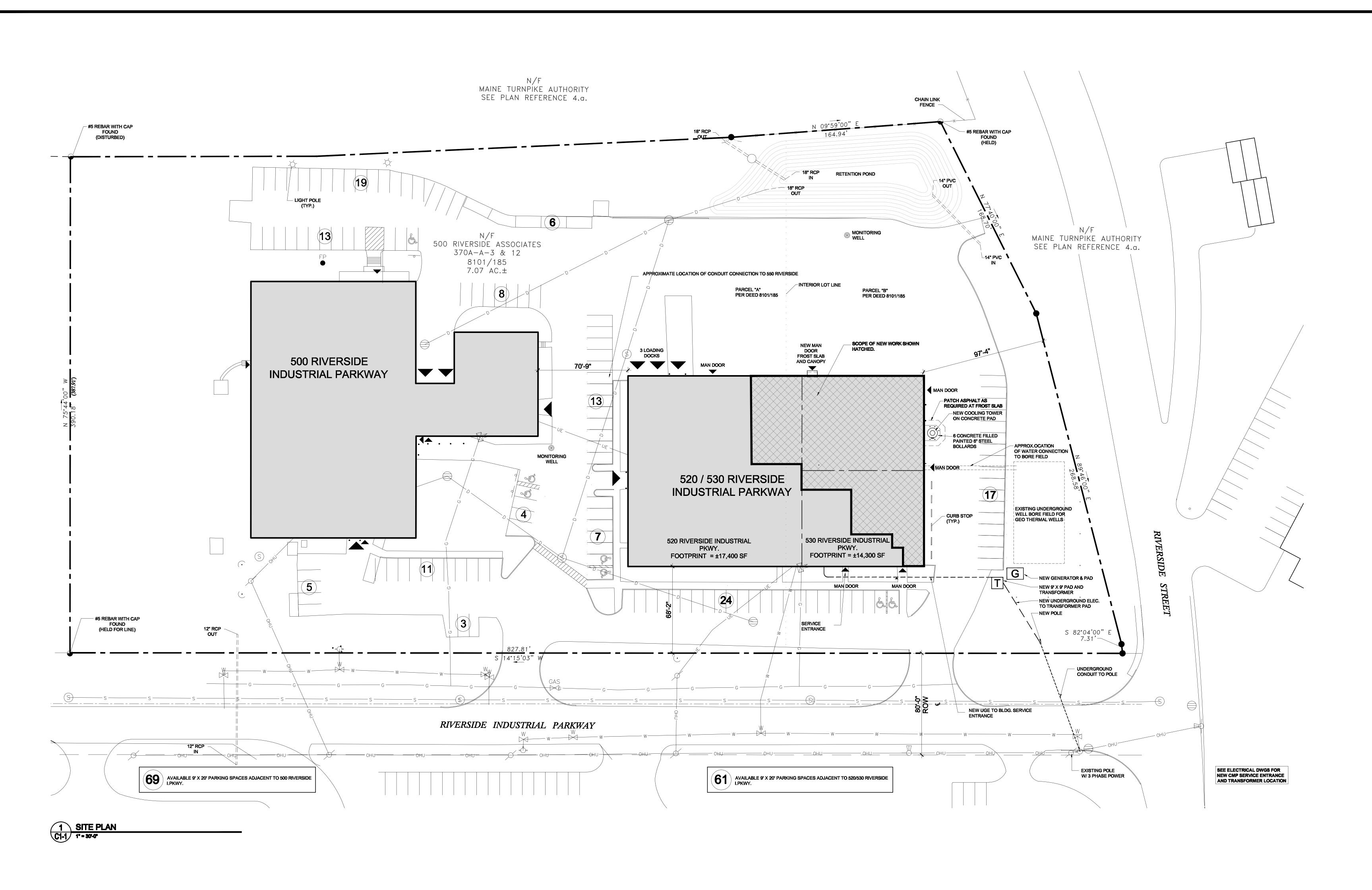
INTUMESCENT SEALANT: ONE-PART, INTUMESCENT, LATEX

ELASTOMER TESTED TO ASTM E 814. MINIMUM EXPANSION OF 3x AT 1000°F. 3M "FIRE BARRIER SEALANT CP 25WB+" OR EQUAL. FIRESTOP SEALANT: SINGLE COMPONENT NONCOMBUSTIBLE FIRE RATED SEALANT TESTED TO ASTM E 814. TESTED TO 3000°F. "BOSS 136 FIRESTOP/DRAFT SEALANT" MANUFACTURED BY ACCUMETRIC, LLC., OR EQUAL.

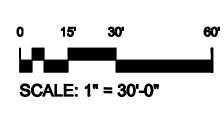
#### SEALANT SCHEDULE: INTUMESCENT SEALANT: PROVIDE AT ALL PENETRATIONS THROUGH

RATED CONSTRUCTION FOR PENETRATING ITEMS INCLUDING BUT NOT LIMITED TO: PVC PIPE; ROOF LEADER PIPES; GAS PIPES & LINES; SPRINKLER PIPES; ELECTRICAL & COMMUNICATIONS CABLES & WIRES; AND ALARM SYSTEM WIRES. DO NOT USE INTUMESCENT SEALANT AT DOMESTIC HOT WATER OR HYDRONIC HEATING SYSTEM PIPES. FIRESTOP SEALANT: PROVIDE AT ALL PENETRATIONS THROUGH RATED CONSTRUCTION FOR PENETRATING ITEMS INCLUDING DOMESTIC HOT AND COLD WATER PIPES AND HYDRONIC HEATING SYSTEM PIPES.

FOR LOCATIONS OF RATED CONSTRUCTION, SEE ARCHITECTURAL FLOOR PLANS AND SECTIONS



ONING REQUIREMENTS REQUIRED	PROVIDED		530 RIVERSIC	E INDUSTRIAL PARKWAY INTERIOR RENOVATIONS
1. MINIMUM LOT SIZE: NONE			PARCEL ID:	370A A012001
2. MINIMUM STREET FRONTAGE: NONE			LOT AREA:	150,028 SF
3. MAXIMUM IMPERVIOUS SURFACE RATIO 75%	NO CHANGE		ZONE:	IM
4. MAXIMUM BUILDING HEIGHT: 75 FEET	±23'			
5. MINIMUM YARD DIMENSIONS: REAR: 1' PER FOOT OF BLDG. HEIGHT	±23'			
6. MINIMUM YARD DIMENSIONS: SIDE: 1' PER FOOT OF BLDG. HEIGHT	±23'			
7. MINIMUM YARD DIMENSIONS: FRONT: 1' PER FOOT OF BLDG. HEIGHT	±23'			
PARKING CALCULATIONS FOR 530 RIVERSIDE INDUSTRIAL PARKWAY:	530 RIVERSIDE	PARKING SPACES REQ.		
OFFICE= 1 SPACE PER 400 SQUARE FEET	12,542 SF	12,542 / 400 = 35		
LABORATORY 1 SPACE PER 600 SQUARE FEET (UNDEFINED)	7,058 SF	7,058 / 600 = 12		
MANUFACT / STOR. = 1 SPACE PER 1000 SQUARE FEET	3,203 SF	3,203 / 1000 = 4		
SPACES	·	51 SPACES REQ.		
		61 AVALALBLE EXISTING		



PROJECT NORTH

T. SCOTT TEAS
No. 802

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EnviroLogix NERSIDE CAMPUS 30 - DNA EXPANSION

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**REVISIONS:** 

DATE: 8/17/11
PROJECT No. 1026/
DRAWN BY: DAM,RJS
CHECKED BY: TST
SCALE: AS NOTED
SHEET TITLE:
SITE LAYOUT

UTILITIES

ZONING PLAN

C1.1