



Renovations to 530 Riverside Parkway DNA Lab & Office Facilities Expansion Portland, Maine

Permitting Documents August 17, 2011

OWNER:
EnviroLogix
500 Riverside Parkway
Portland, Maine 04103
207-797-0300
Contact: Peter Johnson

ARCHITECT:
TFH Architects
80 Middle Street
Portland, Maine 04101
207-775-6141
Contact: Scott Teas

STRUCTURAL ENGINEER:
Becker Structural Engineers
75 York Street
Portland, ME 04101-4550
207-879-1838
Contact: David Macolini

MECHANICAL ENGINEER:
Integrated Energy Systems, PLLC
301 Middle Road
Falmouth, ME 04105-1229
207-781-4263
Contact: Richard Grondin

ELECTRICAL ENGINEER:
Bennett Engineering
7 Bennett Road
Freeport, ME 04032
207-865-9475
Contact: Will Bennett

GENERAL CONTRACTOR:
Warren Construction Group, LLC
POB 362
Freeport, ME 04078
207-865-3522
Contact: Peter Warren

BUILDING DESIGN CODES:

INTERNATIONAL BUILDING CODE	IBC 2009
INTERNATIONAL EXISTING BUILDING CODE	IEBC 2009
INTERNATIONAL ENERGY CONSERVATION CODE	IECC 2009
STANDARDS FOR ACCESSIBLE DESIGN	ADA 2010
LIFE SAFETY CODE	NFPA 101 2009
ELECTRICAL CODE	NEC 2007
MAINE STATE INTERNATIONAL PLUMBING CODE	UPC 2007
CITY OF PORTLAND AMENDMENTS	

OCCUPANCY CLASSIFICATION:
BUSINESS GROUP B IBC SECTION 304
ACCESSORY USES - LABORATORY, STORAGE, MECHANICAL

FIRE SUPPRESSION:
BUILDING CURRENTLY IS AND WILL BE FULLY SPRINKLERED PER NFPA 13

EXISTING & PROPOSED AREAS:

EXISTING BUILDING FOOTPRINT - 520 / 530 RIVERSIDE INDUSTRIAL PARKWAY	±34,895 GSF
EXISTING FIRST FLOOR BUSINESS	±7710 GSF
EXISTING SECOND FLOOR BUSINESS	±5395 GSF
EXISTING BUILDING HEIGHT @ EAVES - ±23'-2"	@ RIDGE = ±26'-4"
PROPOSED ADDITIONAL FIRST FLOOR BUSINESS (MECHANICAL ONLY)	±1465 GSF
PROPOSED ADDITIONAL SECOND FLOOR BUSINESS	±9880 GSF
TOTAL OCCUPIED FIRST FLOOR	±7710 GSF
TOTAL OCCUPIED SECOND FLOOR	±15,275 GSF
TOTAL VACANT FIRST FLOOR	±26,750 GSF

TYPE OF CONSTRUCTION / BUILDING LIMITS:

ALLOWABLE BUILDING HEIGHTS AND AREAS	TABLE 503
EXISTING SIMILAR TO TYPE IIB, PROPOSED TYPE IIB	ALLOWABLE HEIGHT = 55'
	ALLOWABLE STORIES = 3
	ALLOWABLE AREA = 19,000 GSF

ALLOWABLE AREA FORMULA WITH SPRINKLER & FRONTAGE ALLOWANCE
ALLOWABLE AREA = [Area allowed x 2 (sprinkler system)] + [area allowed x .49 (frontage increase)]
ALLOWABLE AREA = [19,000 x 2] + [19,000 x .49] = ±47,405 GSF

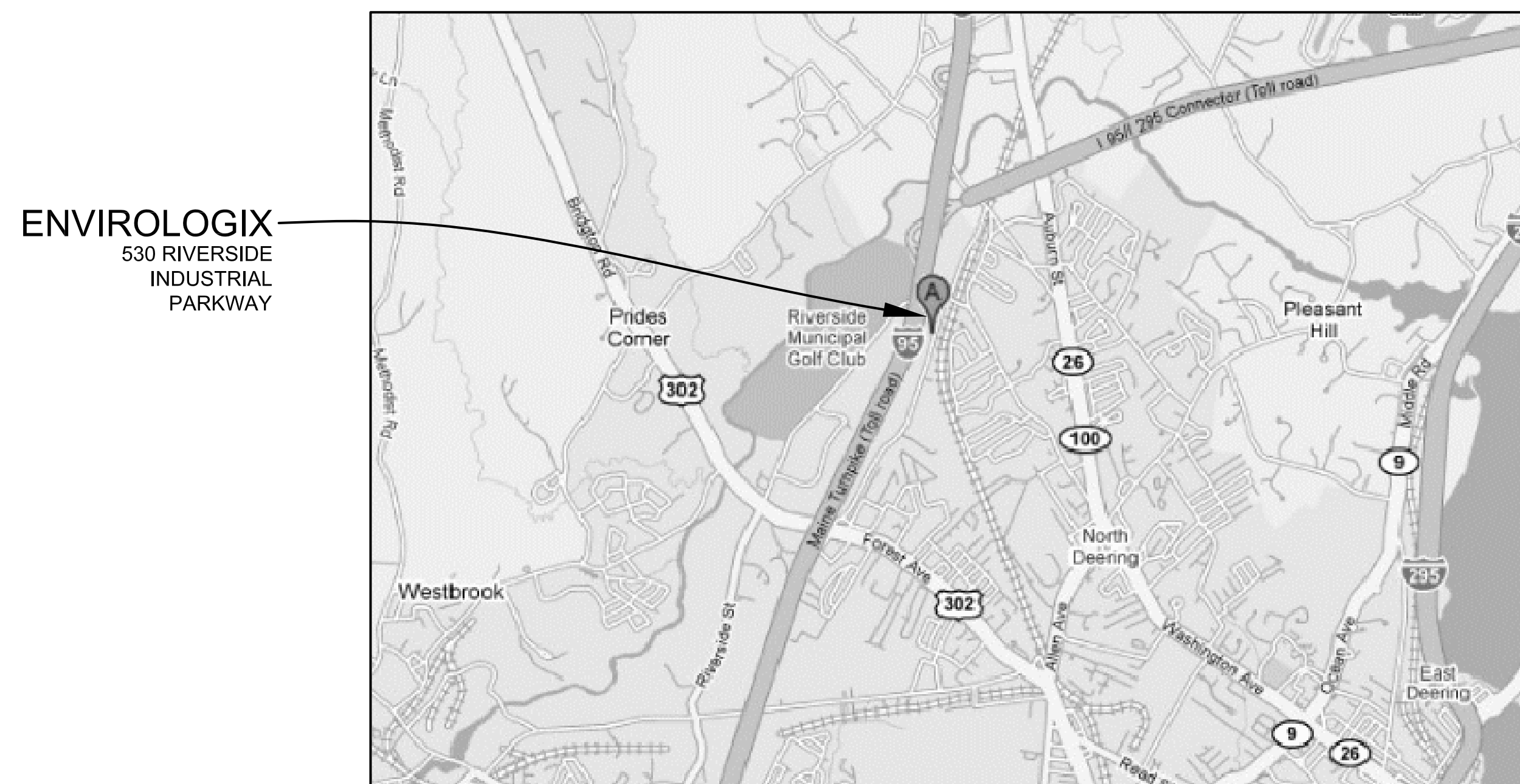
BUILDING FIRE SEPARATION:
BUILDING SEPARATION = ± 70'-9" EXISTING
PER TABLE 601 FIRE RESISTANCE RATING OF EXTERIOR BEARING WALLS, TYPE IIB = 2 HRS
PER TABLE 602 FIRE RESISTANCE RATING OF EXTERIOR WALLS >30' = 0 HRS

EGRESS:

Occupant load	
First floor	
Business areas;	3170 GSF / 100 sf per occup. = 32 occupants
Accessory storage, mechanical equipment;	4660 GSF / 300 sf per occup. = 16 occupants
Second floor	
Business areas;	15060 GSF / 100 sf per occup. = 151 occupants
Total	199 occupants

Exit capacity
Stairs .3" x 199 occupants = 59.7' total, minimum stair width= 44", 154' provided
Other .2" x 199 occupants = 39.8' total, minimum stair width= 44",

Number of exits
Minimum number of exits for occupant load per IBC table 1021.1 = 2
3 exits provided
Remoteness minimum per IBC 1015.2.1 with sprinkler = Max diagonal (200') x 1/3 = 66'
Remote distance provided = 119'



LOCATION MAP

DRAWING LIST

GENERAL:

- G0-0 COVER, LOCUS, DRAWING LIST, CODE SUMMARY PARTIES
- G1-0 CONTENTS SHEET - ABBREVIATIONS, GENERAL NOTES & LEGEND

CIVIL:

- C1-1 SITE LAYOUT, ZONING DATA

ARCHITECTURAL:

- A1.1A FIRST FLOOR PLAN - PART A
- A1.1B FIRST FLOOR PLAN - PART B
- A1.2A SECOND FLOOR PLAN - PART A
- A1.2B SECOND FLOOR PLAN - PART B
- A1.3A FIRST FLOOR REFLECTED CEILING PLAN - PART A
- A1.3B FIRST FLOOR REFLECTED CEILING PLAN - PART B
- A1.4A SECOND FLOOR REFLECTED CEILING PLAN - PART A
- A1.4B SECOND FLOOR REFLECTED CEILING PLAN - PART B
- A1.5A NOT USED
- A1.5B NOT USED
- A1.6A SECOND FLOOR PLAN - PART A - FURNITURE, FIXTURES, & EQUIPMENT PLAN
- A1.6B SECOND FLOOR PLAN - PART B - FURNITURE, FIXTURES, & EQUIPMENT PLAN
- A1.7A SECOND FLOOR PLAN - PART A - CASEWORK
- A1.7B SECOND FLOOR PLAN - PART B - CASEWORK
- A2.0 EXTERIOR ELEVATIONS
- A3.0 BUILDING SECTIONS
- A4.0 INTERIOR ELEVATIONS
- A4.1 INTERIOR ELEVATIONS
- A4.2 INTERIOR ELEVATIONS
- A4.3 INTERIOR ELEVATIONS
- A4.4 INTERIOR DETAILS
- A5.0 STAIR DETAILS
- A5.1 DETAILS
- A5.2 DETAILS
- A5.3 CANOPY DETAILS
- A6.0 FINISH, DOOR, LIGHT FIXTURE SCHEDULES
- A6.1 EQUIPMENT SCHEDULE

STRUCTURAL:

- S1.1 PROPOSED SECOND FLOOR FRAMING PLAN AREA A
- S1.2 SECOND FLOOR CEILING FRAMING
- S2.1 SECTIONS AND DETAILS
- S3.1 FOUNDATION AND STEEL SECTIONS AND TYPICAL DETAILS

MECHANICAL:

- P-1 LEGEND, ABBREVIATIONS, SCHEDULES, DETAILS AND SPECIFICATIONS
- P-2 FIRST FLOOR PLAN PART A PLUMBING
- P-3 FIRST FLOOR PLAN PART B PLUMBING
- P-4 SECOND FLOOR PLAN PART A PLUMBING
- P-5 SECOND FLOOR PLAN PART B PLUMBING
- M-1 LEGENDS, NOTES, ABBREVIATIONS, SCHEDULES AND SPECIFICATIONS
- M-2 SCHEDULES
- M-3 PIPING SCHEMATIC
- M-4 FIRST FLOOR PLAN PART A MECHANICAL
- M-5 FIRST FLOOR PLAN PART B MECHANICAL
- M-6 SECOND FLOOR PLAN PART A MECHANICAL
- M-7 SECOND FLOOR PLAN PART B MECHANICAL
- M-8 DETAILS
- MD-1 FIRST FLOOR PLAN PART A MECHANICAL DEMOLITION
- MD-2 FIRST FLOOR PLAN PART B MECHANICAL DEMOLITION
- MD-3 SECOND FLOOR PLAN PART B MECHANICAL DEMOLITION

ELECTRICAL:

- E1.0 SITE ELECTRICAL PLAN
- E2.0 FIRST FLOOR PLAN PART A LIGHTING
- E2.1 FIRST FLOOR PLAN PART B LIGHTING
- E2.2 SECOND FLOOR PLAN PART A LIGHTING
- E2.3 SECOND FLOOR PLAN PART B LIGHTING
- E3.0 FIRST FLOOR PLAN PART A POWER
- E3.1 FIRST FLOOR PLAN PART B POWER
- E3.2 SECOND FLOOR PLAN PART A POWER
- E3.3 SECOND FLOOR PLAN PART B POWER
- E4.0 LEGEND, DETAILS AND SCHEDULES

GENERAL NOTES

- 1: DRAWING NOTES:**
CONTRACTOR TO FURNISH AND INSTALL ALL NOTED LABOR AND MATERIALS UNLESS OTHERWISE NOTED.
- 2: CODE COMPLIANCE:**
ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION.
- 3: COORDINATION:**
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT THE CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT, OR MAY PROHIBIT, SUCH ASSEMBLY, THE CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION. IN WRITING AND IN A TIMELY FASHION, SUCH CONDITION, THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION OR CLARIFICATION FROM THE ARCHITECT.
- 4: DISCREPANCIES & CLARIFICATIONS:**
THIS PROJECT INVOLVES THE FIT-UP OF AN EXISTING BUILDING. EXISTING DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. MEASURE AND VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ARCHITECTS ATTENTION, IN WRITING, ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION OR CLARIFICATION FROM THE ARCHITECT.
- 5: LAYOUT:**
UNLESS INDICATED OTHERWISE, CENTER WALL FRAMING AND PARTITION FRAMING ON COLUMN LINES. FLOOR PLAN DIMENSIONS ARE TO CENTER OF FRAMING. FACE OF CONCRETE, FACE OF CMU OR FROM COLUMN CENTERLINES, UNLESS INDICATED OTHERWISE. DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINES UNLESS INDICATED OTHERWISE.
- 6: CENTERING:**
UNLESS INDICATED OTHERWISE, CENTER BUILDING ELEMENTS WITHIN OR BETWEEN OTHER BUILDING ELEMENTS WHERE CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SUCH IS THE INTENT, WHETHER OR NOT DIMENSIONS ARE INCLUDED.
- 7: SYMMETRY:**
WHERE CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SYMMETRY IS INTENDED, INFORMATION PROVIDED AT ONE SIDE APPLIES EQUALLY TO BOTH SIDES, UNLESS CONDITIONS CLEARLY PRECLUDE SUCH APPLICATION.
- 8: ACCESSIBILITY:**
ALL HANDICAPPED ACCESSIBLE BATHROOMS, GRAB BARS, AND DOOR OPENINGS SHALL MEET THE REQUIREMENTS OF TITLE 34-348, CHAPTER 5 OF THE MAINE HUMAN RIGHTS COMMISSION TITLE LATEST EDITION & THE DEPARTMENT OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN.
- 9: DRAWING SCALES:**
WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWINGS FOR CONVENIENCE ONLY. IT IS NOT INTENDED THAT INFORMATION BE DETERMINED BY SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO SCALE.
- 10: WATER-RESISTANT GWB:**
INSTALL WATER-RESISTANT GYPSUM WALL BOARD IN ALL REST ROOMS & TOILET ROOMS OR AT ANY WALL WITH FLOORING FIXTURES.
- 11: INTERIOR ELEVATIONS:**
INTERIOR ELEVATIONS MAY BE REVERSED FROM AND/OR SIMILAR TO ACTUAL CONDITIONS. SEE FLOOR PLANS FOR WINDOW AND DOOR QUANTITIES AND LOCATIONS, FOR CORNER LAYOUTS, AND FOR MONITOR LOCATIONS.
- 12: BUILDING INSULATION:**
PROVIDE AS INDICATED IN WALL SECTIONS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND OTHER DRAWINGS. FOR CLARITY, INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS TO BE PROVIDED.
- 13: BLOCKING:**
INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES TRIM, CASEWORK, SHELVES, BRACKETS, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, BASE MOLDINGS, AND AS OTHERWISE REQUIRED, WHEN SUCH ITEMS ARE APPLIED ON STUD WALLS.
- 14: PENETRATIONS AT STRUCTURAL MEMBERS:**
BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT.
- 15: DAMAGED WORK:**
BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION, OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUB-CONTRACTOR SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.
- 16: UTILITIES:**
VERIFY THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING. DO NOT PROCEED WITH WORK UNTIL THE DISCREPANCY HAS BEEN RESOLVED TO THE SATISFACTION OF THE ARCHITECT.
- 17: RATED CONSTRUCTION:**
PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT CHASES AND AT FLOORS. TO MAINTAIN COMPLETE SEPARATIONS, EVEN IF NOT SPECIFICALLY INDICATED.

AAMA	AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION
ACI	AMERICAN CONCRETE INSTITUTE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASTM	AMERICAN SOCIETY FOR TESTS AND MATERIALS
AWI	ARCHITECTURAL WOODWORK INSTITUTE
AWS	"CUSTOM GRADE"
AWS	AMERICAN WELDING SOCIETY
IGMA	INSULATING GLASS MANUFACTURERS ALLIANCE
NAAMM	NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURERS
NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION
NTCA	NATIONAL TILE CONTRACTORS ASSOCIATION
SMACNA	SHEET METAL AND AIR CONDITIONING NATIONAL ASSOCIATION
WDMA	WINDOW AND DOOR MANUFACTURERS ASSOCIATION

33: FIRE PROTECTION NOTE:
EXISTING SPRINKLER HEADS, ALARM SYSTEM AND DETECTORS ARE TO BE MODIFIED TO CONFORM WITH THE PROPOSED PLAN. COORDINATE WITH THE ARCHITECT, ANY MODIFICATION OR LOCATIONS WHERE EXISTING SYSTEMS ARE AFFECTED BY THE NEW DESIGN.

34: INDUSTRY STANDARDS:
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH INDUSTRY STANDARDS. STANDARDS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- 18: SHOP DRAWINGS:**
SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATIONS. SUBMITTALS REQUIRED INCLUDE, BUT ARE NOT LIMITED TO, SHOP DRAWINGS FOR ALL PREFABRICATED CONCRETE, STEEL, MILLWORK & SIGNAGE, SAMPLES OF ALL PROPOSED PAINTS, METALS, WALL COVERINGS, LAMINATES, SOLID SURFACE MATERIALS, CERAMIC TILE, AND HARDWARE. SUBMIT MANUFACTURERS' DATA FOR ALL LIGHTING SYSTEMS, AND HARDWARE.
- 19: PERMITS:**
THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ANY BUILDING PERMITS REQUIRED AND CARRY ANY INSURANCE COVERAGES REQUIRED.
- 20: INTERIOR FINISHES:**
ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'B' FINISH AND ARE TO COMPLY WITH SECTION 920.0 BOCA (INTERIOR FLAME SPREAD).
- 21: ELECTRICAL DESIGN:**
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY.
- 22: WASTE REMOVAL:**
THE GENERAL CONTRACTOR SHALL DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES.
- 23: LANDLORD COORDINATION:**
THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING OWNER ALL ACTIVITIES INCLUDING BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT.
- 24: TEMPORARY FACILITIES:**
PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES, AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF A COMPLETE INSTALLATION.
- 25: FINAL CLEANING:**
EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING. CLEAN EACH SURFACE TO THE CONDITION EXPECTED IN A COMMERCIAL BUILDING CLEANING PROGRAM.
- 26: MANUFACTURERS INSTRUCTIONS:**
ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- 27: GUARANTEE:**
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME ON A CERTAIN ITEM.
- 28: ASBESTOS:**
ALL MATERIAL USED FOR THE CONSTRUCTION OF THIS PROJECT, WHETHER BUILDING MATERIALS OR APPURTENANCES, SHALL BE NON-ASBESTOS CONTAINING MATERIAL.
- 29: HAZARDOUS FUMES:**
THE GENERAL CONTRACTOR SHALL CONFIRM THAT ALL MATERIAL AND FINISHES SPECIFIED AND THEIR FABRICATION OR INSTALLATION WILL NOT RELEASE FUMES OR AROMAS DURING CONSTRUCTION WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL.
- 29: PEST CONTROL:**
SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.
- 31: EXPOSED UTILITIES:**
ALL EXPOSED UTILITY WIRES AND PIPES (ELECTRICAL, PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS, AND CEILING AREAS. THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF FLOORS AND 1" OFF WALLS, CEILING AND ADJACENT PIPES.
- 32: OWNER SUPPLIED EQUIPMENT:**
EQUIPMENT SUPPLIED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR. EQUIPMENT INFORMATION AND SPECIFICATIONS ARE TO BE THE MOST CURRENT AVAILABLE AT THE TIME OF DOCUMENTATION PREPARATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE OWNER THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS (INCLUDING ELECTRICAL CIRCUIT REQUIREMENTS) OF EQUIPMENT TO BE SUPPLIED. THE GENERAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS NOTED ON THE DRAWINGS. INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOT VOID WARRANTIES. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL OWNER SUPPLIED EQUIPMENT. THE GENERAL CONTRACTOR SHALL STORE EQUIPMENT IF REQUESTED BY THE OWNER UNTIL INSTALLATION. SEE DRAWINGS FOR OTHER OWNER SUPPLIED/EQUIPMENT CONTRACTOR INSTALLED ITEMS.

ABBREVIATIONS

A	AC	AIR CONDITIONING	L	LABORATORY
AD	ACT	ACoustical CEILING TILE	LAM	LAMINATED POUND
AD	AD	AREA DRAIN	LJ	LEAD
AD	ADAG	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY'S GUIDELINES	LH	LIQUID
	ADD	ADDITION	LM	LCC
	AFF	ABOVE FINISHED FLOOR	M	MACH
	AHU	AIR-HANDLING UNIT	MACH	MACHINE
	AL	ALUMINUM	MAS	MASONRY
	ARCH	ARCHITECT/ARCHITECTURAL	MAT	MECHANICAL
	AWP	ACOUSTIC WALL PANEL	MAX	MAXIMUM
B	B	BACK-TO-BACK	MDO	MEDIUM-DENSITY OVERLAY
B	B to BLS	GENERAL CONTRACTOR BUILDING	MECH	MECHANICAL
B	B.G.C.	BACK-TO-BACK ANGLES BASE BUILDING	MEMB	MEMBRANE
	BL	BUILDING LINE	MET	METAL
	BLDG	BUILDING	MEZZ	MEZZANINE
	BLKG	BLOCKING	MFR	MANUFACTURER
	BOSM	BASEMENT	MIN	MINIMUM
	BTWN	BETWEEN	MISC	MISCELLANEOUS
	BO	BY OTHERS	MONT	MOUNTED
C	C	COURSE (MASONRY)	MTL	METAL
	CER	CERAMIC	N	NORTH
	CG	CORNER GUARD	N#	NORTH NUMBER
	CH	COAT HOOK	NIC	NOT IN CONTRACT
	CJ	CENTER JOINT	NOM	NOMINAL DIMENSION
	CL	CENTER LINE	NT	NOT TO SCALE
	CLG	CEILING	O	ON OVER
	CMU	CLEAN OUT	OC	ON CENTER
	COL	COLUMN	OD	OUTSIDE DIAMETER/OUTSIDE DIMENSION
	CONC	CONCRETE	OFF	OFFICE
	CONC	CONDITION	OPN	OPENING
	COND	CONSTRUCTION	OPP	OPPOSITE
	COND	CONDENSING	OPPH	OPPOSITE HAND
	CONST	CORRIDOR	OS	ORIENTED STRAND BOARD
	CONT	CERAMIC TILE	OZ	OUNCE
	CONT	CONCRETE MASONRY UNIT	P	PURCHASED BY OWNER
	CU	CONNECT/CONNECTION	PBO	PROVIDE AS INDICATED
	CUH	CABINET UNIT HEATER	IB	INSTALLED BY CONTRACTOR
D	DBL	DOUBLE	PC	PRECAST
	DF	DRINKING FOUNTAIN	PL	PLATE
	DI	DIAMETER	PLM	PLASTIC LAMINATE
	DIFF	DIFFUSER	PR	PAIR
	DIM	DIMENSION	PREF	PREFABRICATE
	DM	DOWN	PRIV	PRIVACY
	DR	DOOR	PRIM	PRIMED
	DSP	DRY STAND PIPE	PSF	POUNDS PER SQUARE FOOT
	DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
E	E	EAST	PTD	PAINTED
	EA	EACH	PTN	PARTITION
	EL	ELEVATION	PVC	POLY-VINYL CHLORIDE PLYWOOD
	ELEC	ELECTRICAL	PWD	PRESSURE
	ELEV	ELEVATOR	PT	TREATED
	ENTR	ENTRANCE	PERF	PERFORATED
	EQ	EQUAL	Q	QUARRY TILE
	EQUIP	EQUIPMENT	QTR	QUARTER
	EXP	EXPANSION	R	RISER/RADIUS
	EXPB	EXPANSION BOLT	RD	RADIUS
	EXPJ	EXPANSION JOINT	RB	RUBBER BASE
	EXT	EXTERIOR	RCP	REFLECTED CEILING PLAN
	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	RD	ROOF DRAIN
	EW	ELECTRIC WATER COOLER	REBAR	REINFORCING BAR
F	F	FAHRENHEIT	REF	REFRIGERATOR
	FZ	FLAT BAR	REINFORC	REINFORCED
	FB	FIRE EXTINGUISHER AND CABINET	REQ	REQUIRED
	FD	FLOOR DRAIN	RES	RESILIENT
	FE	FIRE EXTINGUISHER	REV	REVERSE
	FEC	FIRE EXTINGUISHER CABINET	RM	ROOM
	F&E	FURNITURE, FIXTURES & EQUIPMENT	RO	ROUGH OPENING
	FTWD	FIRE TREATED WOOD	ROW	RIGHT OF WAY
	FIN	FINISH	S	SOUTH
	FLOOR	FLOOR	S	SCHEDULE
	F0B	FACE OF BRICK	SED	SEE ELECTRICAL DRAWINGS
	FOC	FACE OF CONCRETE	SF	SQUARE FEET
	FOF	FACE OF FINISH	SIMILAR	SIMILAR
	FOS	FACE OF STUDS	SMD	SEE MECHANICAL DRAWINGS
	FOW	FACE OF WALL	SPEC	SPECIFICATION
	FSS	FIRE SUPPRESSION SYSTEM	SQ	SQUARE
	FT	FOOT	SEE	SEE STRUCTURAL DRAWINGS
	FTG	FOOTING	SST	STAINLESS STEEL
	FRO	FIBER REINFORCED GYPSUM	STC	SOUND TRANSMISSION CLASS
	FTR	FIN TUBE RADIATION	STD	STANDARD
	FH	FUME HOOD	STL	STEEL
G	GA	GAUGE	STOR	STORAGE
	GALV	GALVANIZED	STRUCT	STRUCTURE/STRUCTURAL
	GB	GRAB BAR	SUSP	SUSPENSION
	GC	GENERAL CONTRACTOR	T	TONGUE & GROOVE
	GFI	GROUND-FAULT INTERRUPTER	TEL	TELEPHONE
	GL	GLASS/GLAZING/GLAZED	THK	THICK
	GLAM	GLUE-LAMINATED WOOD	TOO	TOP OF
	GND	GROUND	TOS	TOP OF DECK
	GWB	GYPSUM WALL BOARD	TOT	TOP OF STEEL
H	HB	HOSE BIB	TYP	TYPICAL
	HC	HOLLOWCAP	TELEV	TELEVISION
	HM	HOLLOW METAL	TACK	TACK BOARD
	HORIZ	HORIZONTAL	TOC	TOP OF CONCRETE
	HP	HORSE POWER/HIGH POINT HEAT PUMP	UL	UNDERWRITERS LABORATORIES, INC.
	HR	HOUR	UV	UNIT VENTILATOR
	HW	HOT WATER	VCT	VINYL COMPOSITION TILE
	HVAC	HEATING VENTILATION AIR CONDITIONING	VERT	VERTICAL
I	ID	INSIDE DIMENSION/INSIDE DIAMETER	VIF	VERIFY IN FIELD
	IN	INCHES	VOL	VOLUME
	INFO	INFORMATION	W	WEST
	INSUL	INSULATION	W/O	WITHOUT
	J	JOIST	W	WITH
	JST	JOIST	WD	WOOD
	JT	JOINT	WF	WIDE FLANGE
	K	KILN-DRIED	WP	WORK POINT
	KP	1000 POUNDS	WT	WEIGHT

DRAWING LEGEND

	EARTH				
	POROUS FILL				
	CONCRETE				
	CONCRETE MASONRY UNIT				
	BRICK				
	STEEL				
	WOOD - ROUGH				
	GYPSUM BOARD				
	RIGID INSULATION				
	BATT INSULATION				
	DEMOLISHED ITEMS				

ELEVATION

SECTION # 2

A5.4

SHEET # 4

SECTION

SECTION # 1

A2.1

SHEET # 1

DRAWING TITLE

1 TITLE

SCALE

ROOM NAME & NO.

101 ROOM NAME

ROOM #

DOOR NUMBER

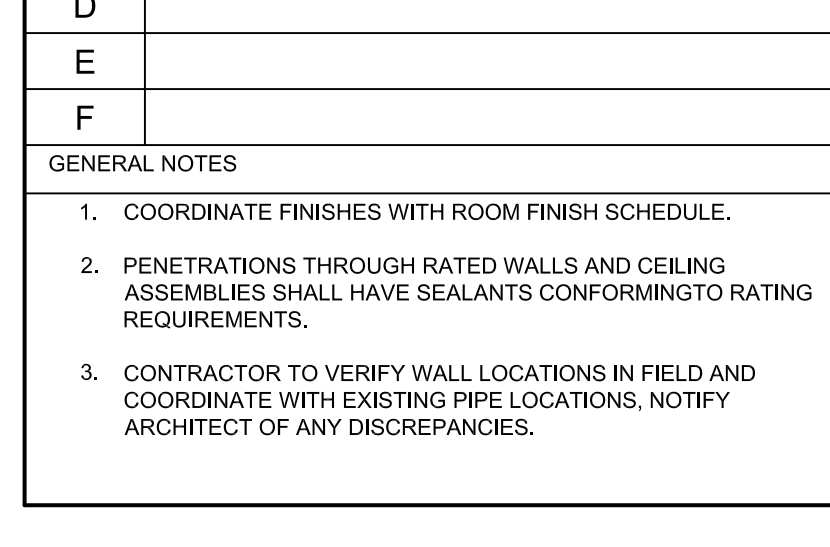
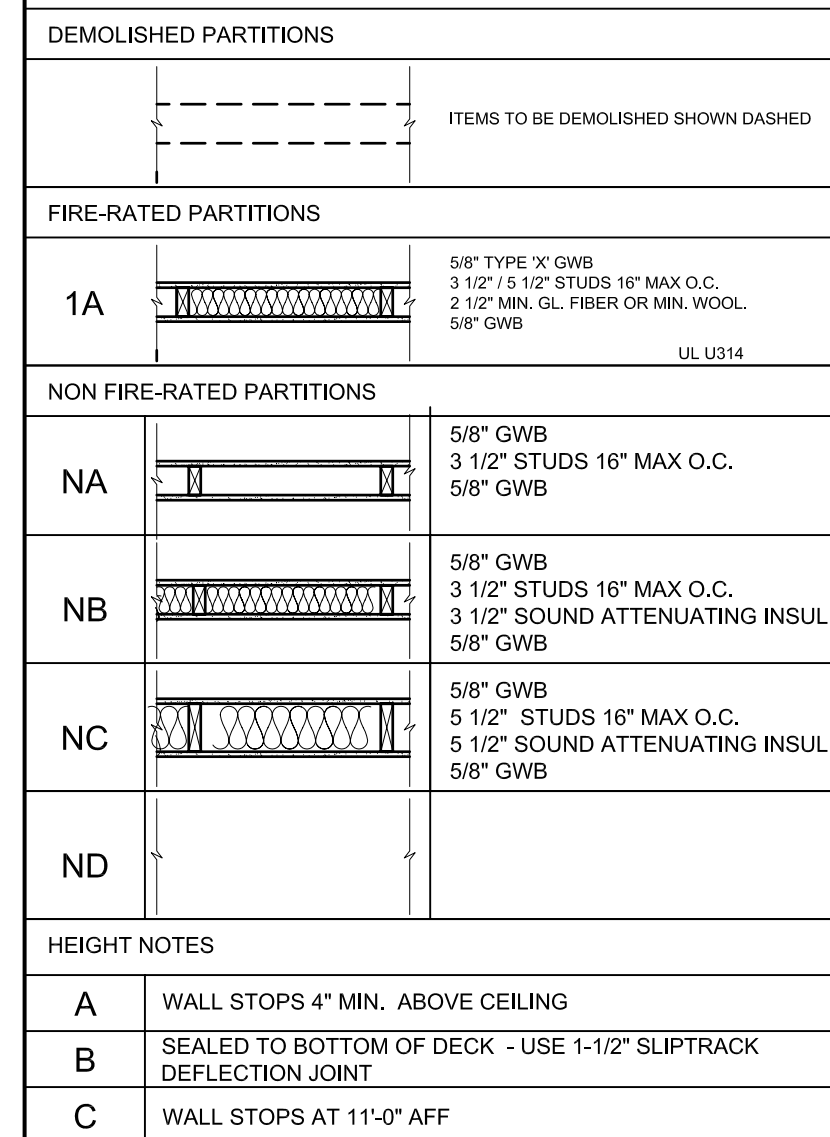
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PARTITION TYPE

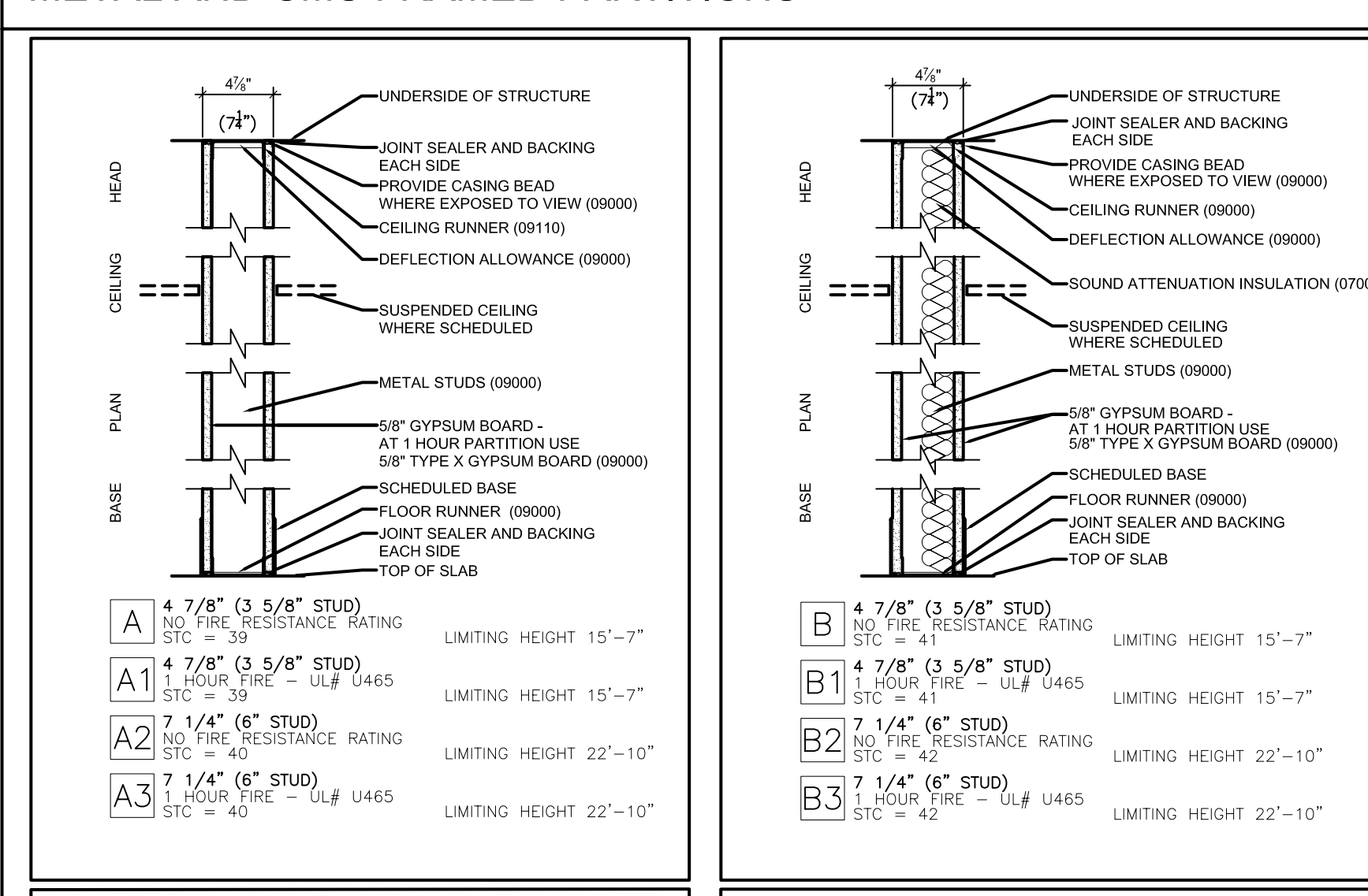
1 HOUR RATED PARTITION

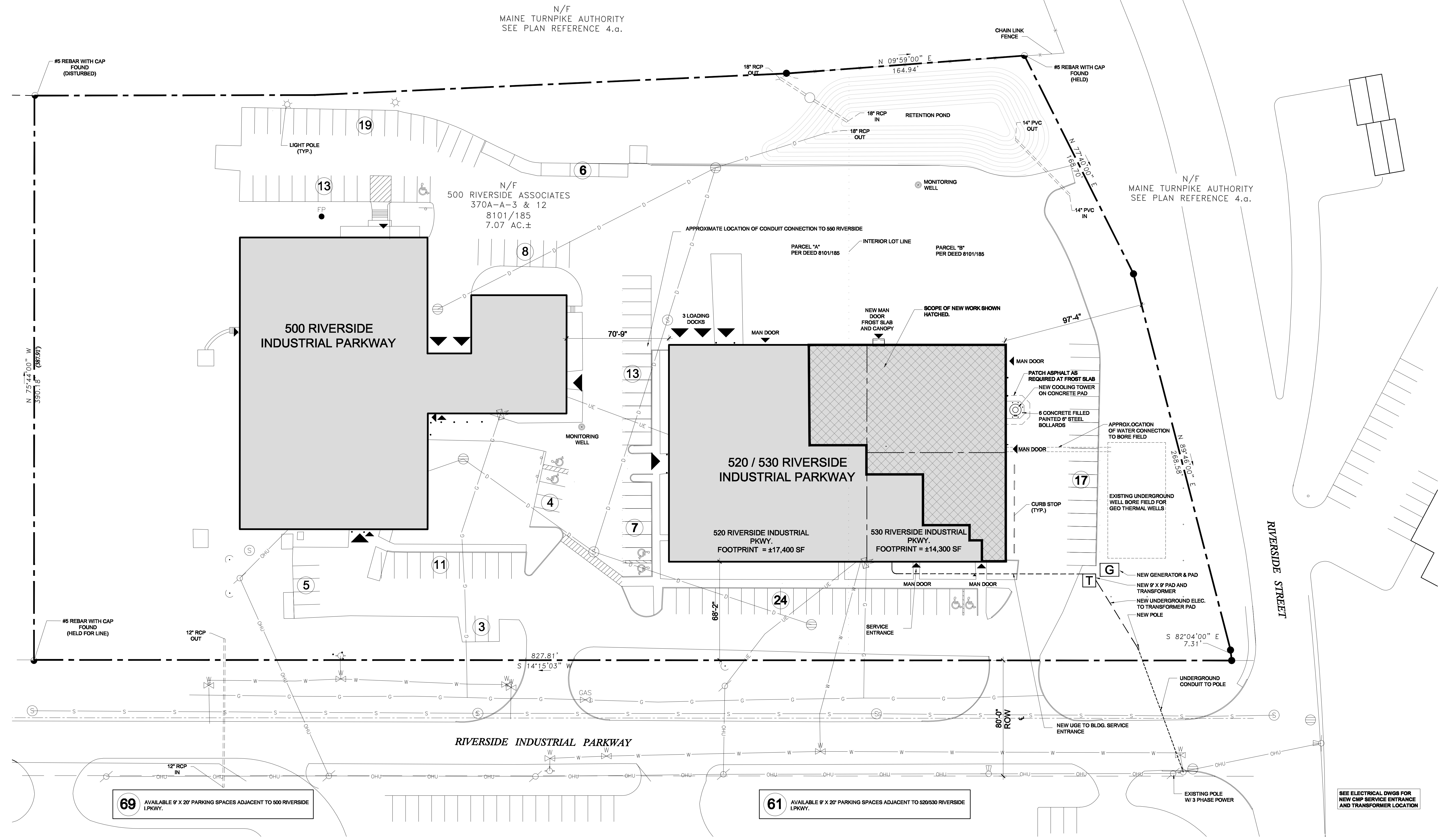
2 HOUR RATED PARTITION

WOOD FRAMED PARTITION TYPES



METAL AND CMU FRAMED PARTITIONS





1 SITE PLAN
1" = 30'-0"

ZONING REQUIREMENTS	REQUIRED	PROVIDED
1. MINIMUM LOT SIZE:	NONE	
2. MINIMUM STREET FRONTAGE:	NONE	
3. MAXIMUM IMPERVIOUS SURFACE RATIO	75%	NO CHANGE
4. MAXIMUM BUILDING HEIGHT:	75 FEET	±23'
5. MINIMUM YARD DIMENSIONS:	REAR: 1' PER FOOT OF BLDG. HEIGHT	±23'
6. MINIMUM YARD DIMENSIONS:	SIDE: 1' PER FOOT OF BLDG. HEIGHT	±23'
7. MINIMUM YARD DIMENSIONS:	FRONT: 1' PER FOOT OF BLDG. HEIGHT	±23'

PARKING CALCULATIONS FOR 530 RIVERSIDE INDUSTRIAL PARKWAY:	530 RIVERSIDE	PARKING SPACES REQ.
OFFICE= 1 SPACE PER 400 SQUARE FEET	12,542 SF	12,542 / 400 = 35
LABORATORY 1 SPACE PER 600 SQUARE FEET (UNDEFINED)	7,058 SF	7,058 / 600 = 12
MANUFACT / STOR. = 1 SPACE PER 1000 SQUARE FEET	3,203 SF	3,203 / 1000 = 4
SPACES		51 SPACES REQ.
		61 AVAILABLE EXISTING

530 RIVERSIDE INDUSTRIAL PARKWAY INTERIOR RENOVATIONS
PARCEL ID: 370A A012001
LOT AREA: 150,028 SF
ZONE: IM

