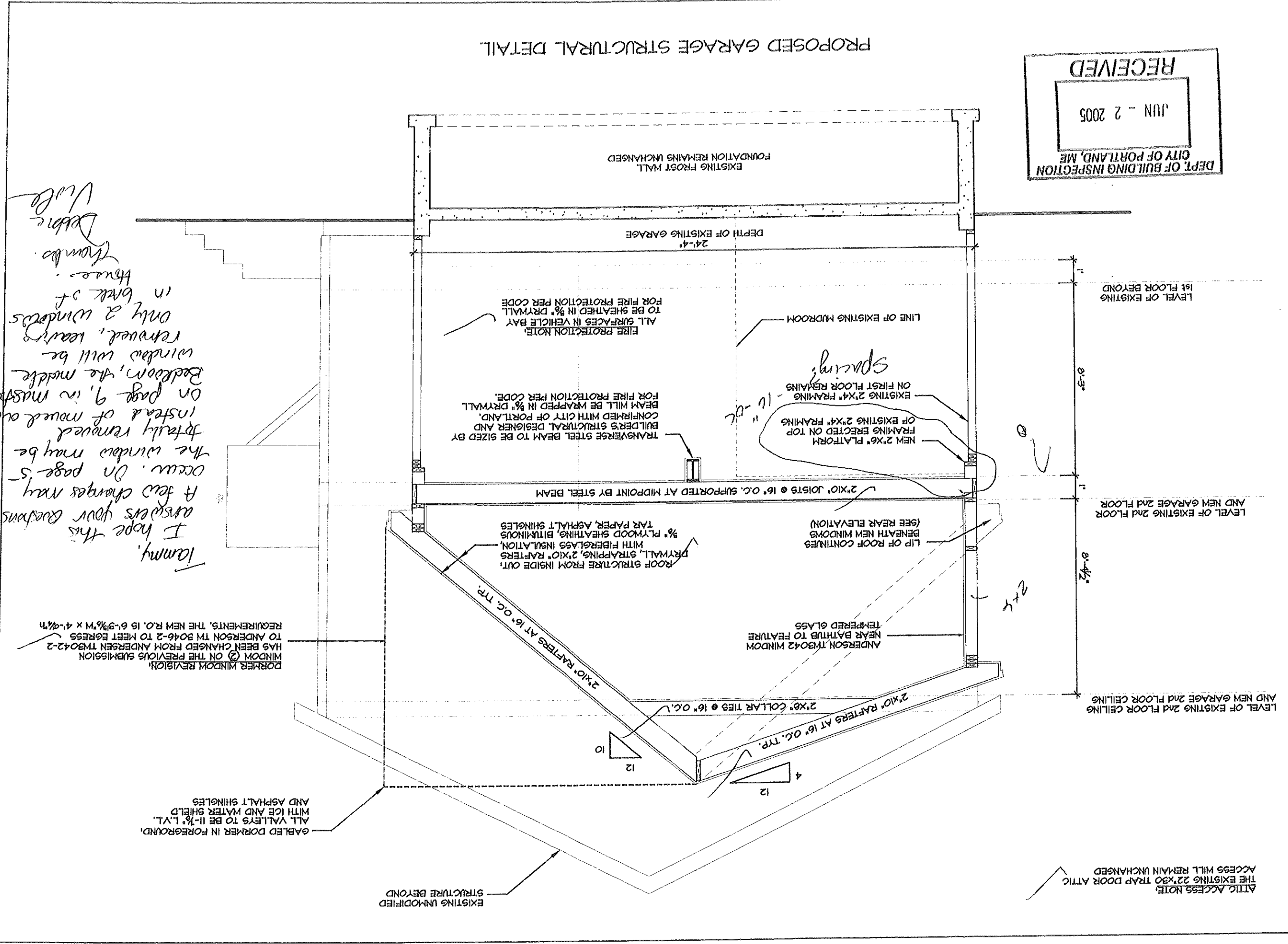


DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN - 2 2005
RECEIVED

PROPOSED GARAGE STRUCTURAL DETAIL



ATTIC ACCESS NOTE:
THE EXISTING 22"x30 TRAP DOOR ATTIC
ACCESS WILL REMAIN UNCHANGED

EXISTING UNMODIFIED
STRUCTURE BEYOND

GABLED DORMER IN FOREGROUND,
ALL VALLEYS TO BE 11-7/8" L.V.L.
WITH ICE AND WATER SHIELD
AND ASPHALT SHINGLES

DORMER WINDOW REVISION:
WINDOW (2) ON THE PREVIOUS SUBMISSION
HAS BEEN CHANGED FROM ANDERSEN TW3042-2
TO ANDERSEN TW 3046-2 TO MEET EGRESS
REQUIREMENTS. THE NEW R.O. IS 6'-9 3/8" W X 4'-4 1/4"

*I hope this answers your questions
A few changes may occur. On page 5
the window may be
detailed removed
On page 9, in master
bedroom, the middle
window will be
removed, leaving
only 2 windows
in back of
house.*

*Debbie
Thombs
Vice*

27 May 05 1/4" = 1'-0"

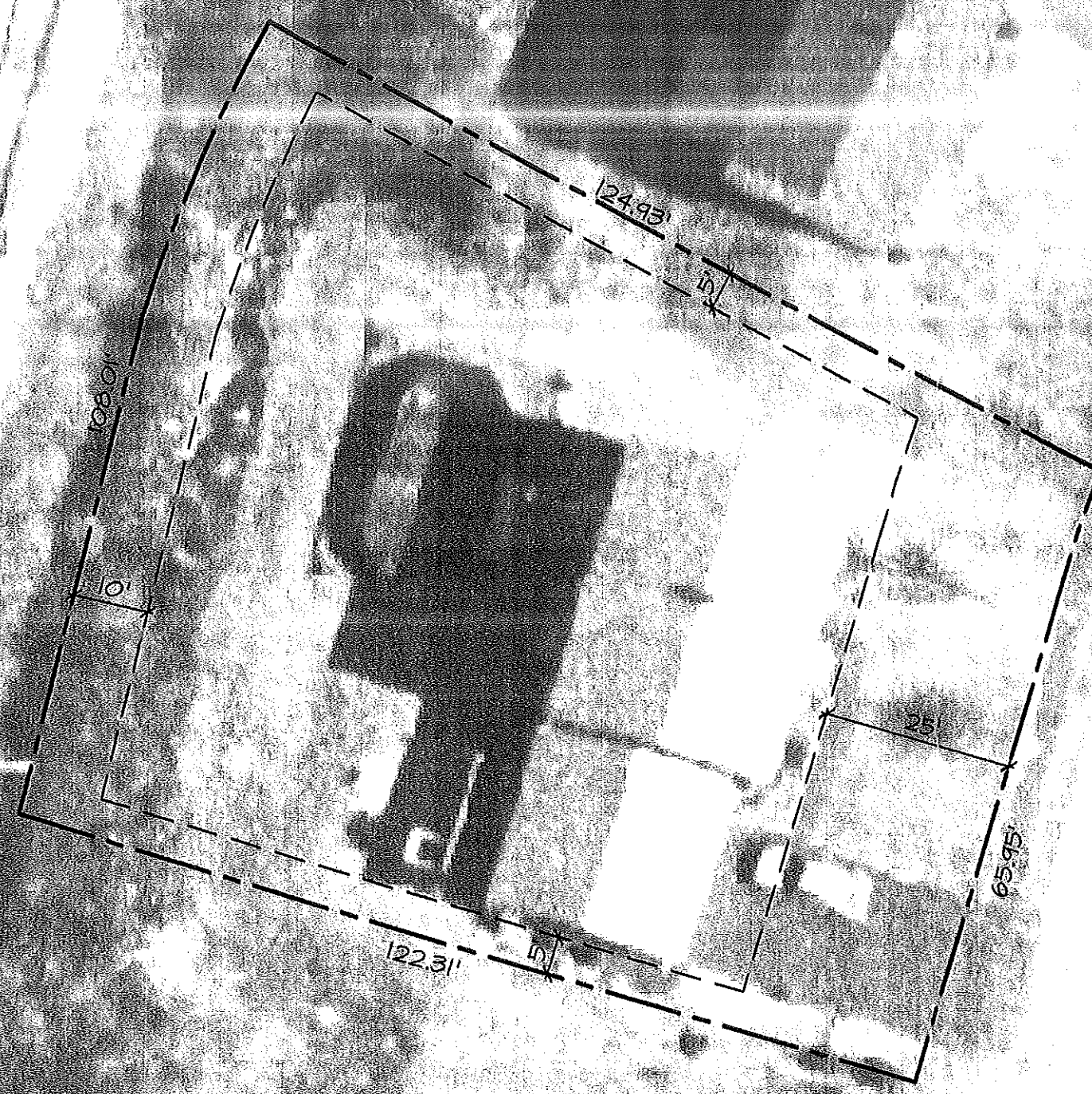
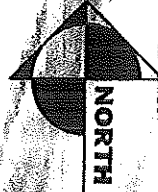
DWG. 11
Additional
Structural
Detail

RECEIVING THESE DRAWINGS THE CLIENT
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*Handy
if you have
any questions*

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DRAWING LIST

1. Plot Plan, Drawing List & Notes
2. Existing Floor Plans
3. Existing Elevations (Photographs)
4. Existing Building Sections
5. Demolition Plan & Demolition Elevations
6. Proposed Upper Floor Plan
7. Proposed Front & Rear Elevations
8. Proposed Side Elevation & Section thru Garage
9. Proposed Longitudinal & Cross Sections
10. Roof Plan, Framing Plan, and Window Schedule

NOTES:

1. These drawings are conceptual only and have not been stamped by a licensed architect or engineer.
2. All existing conditions measurements must be verified by the builder in the field at the time of construction.
3. Property boundaries presented on these plans are based on a "Mortgage Inspection Plan" provided by the owners, and prepared in 1991 by Herbert Gray, a licensed Maine surveyor.
4. All structural systems are to be designed by the builder.
5. All exterior walls are drawn as 6" thick, and all interior partitions are drawn as 4-1/2" thick.
6. The vehicle bay of the garage must be fire protected per code.

CBL 370 A034001

ZONING NOTE:

THE PROPERTY IS LOCATED WITHIN THE R-2 ZONE, AND IS SUBJECT TO THE PROVISIONS OF SEC. 14-433(A). THIS YIELDS THE FOLLOWING SETBACKS: FRONT=25', SIDE=5', REAR=10'.



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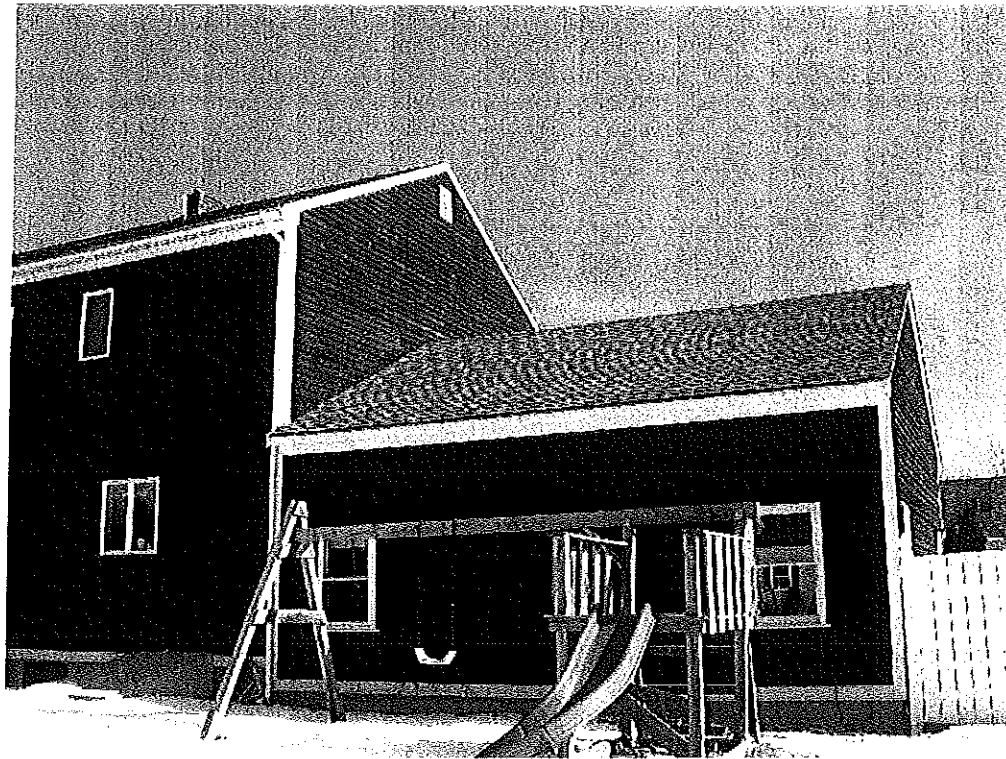
**Existing
Site Plan**
DWG. 1 of 10
22 Mar. 05 1" = 20'
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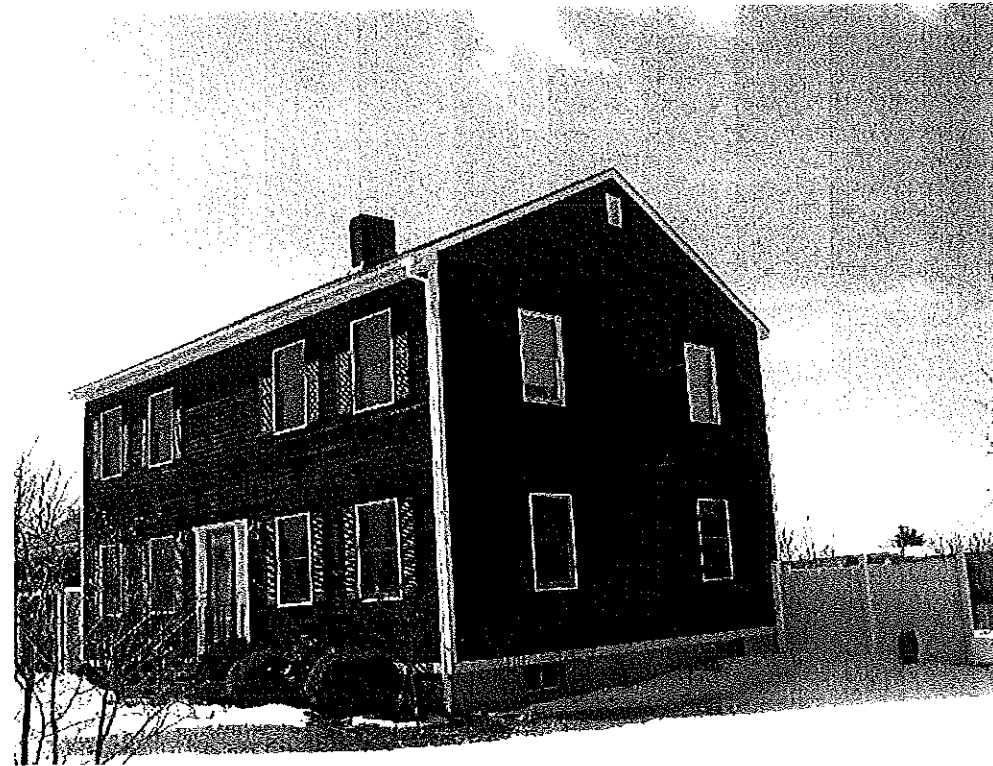
FRONT (EAST) ELEVATION



SIDE (SOUTH) ELEVATION



REAR (WEST) ELEVATION



SIDE (NORTH) ELEVATION



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Existing
Elevations

DWG. 3 of 10

22 Mar. 05

N.T.S.



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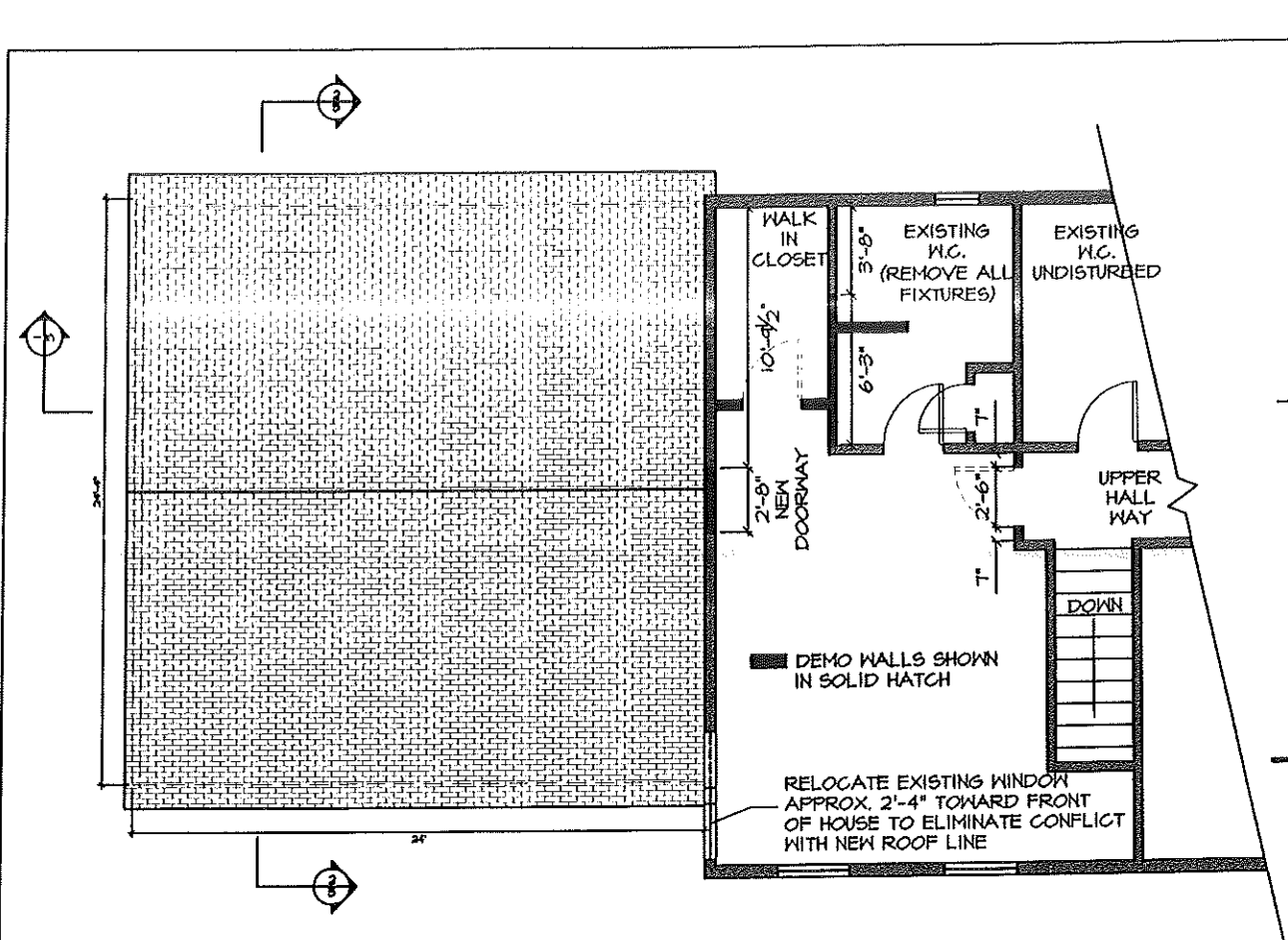
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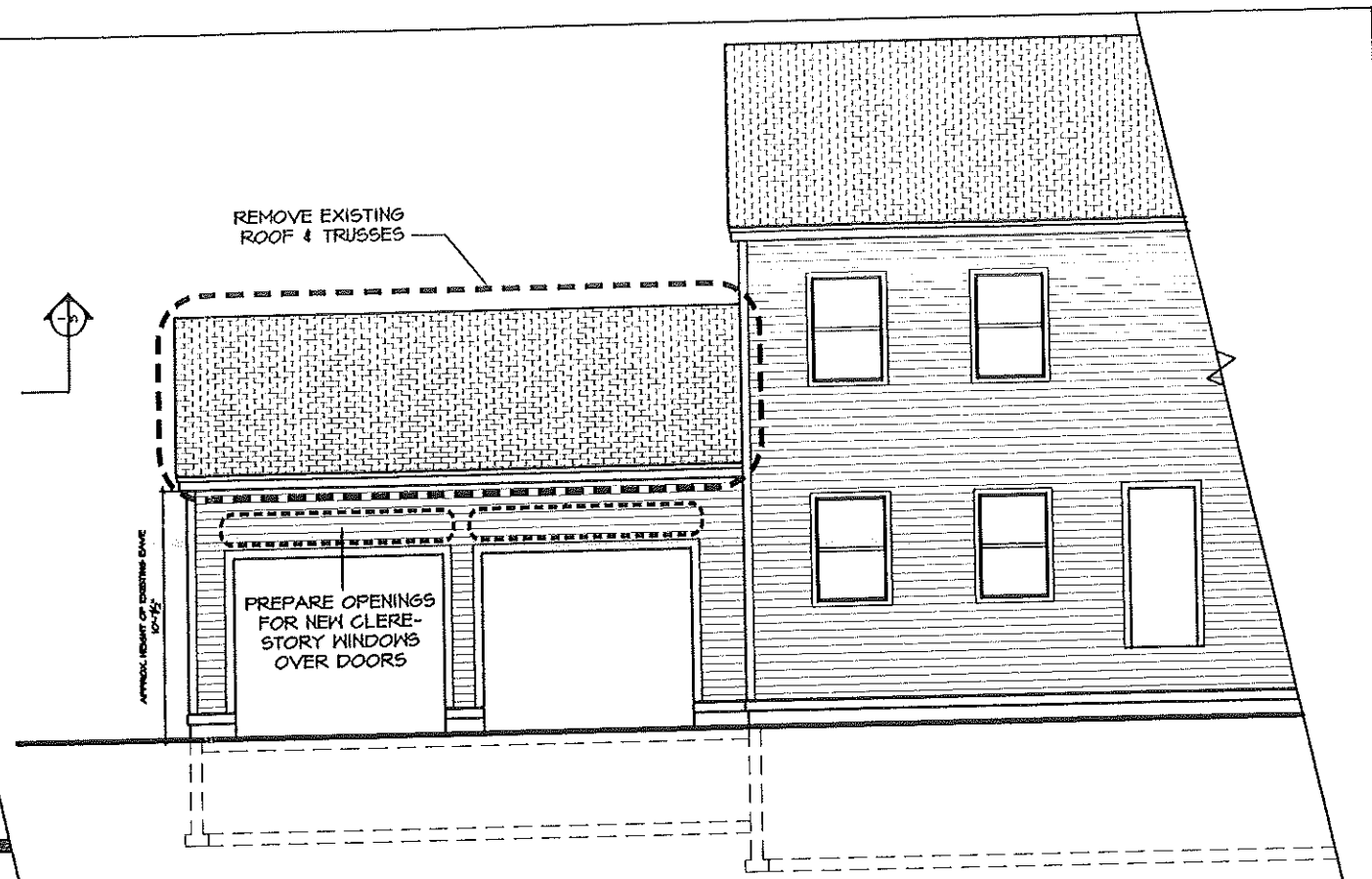
**Demolition
Plans &
Elevations**
DWG. 5 of 10

22 Mar. 05 1/8" = 1'-0"

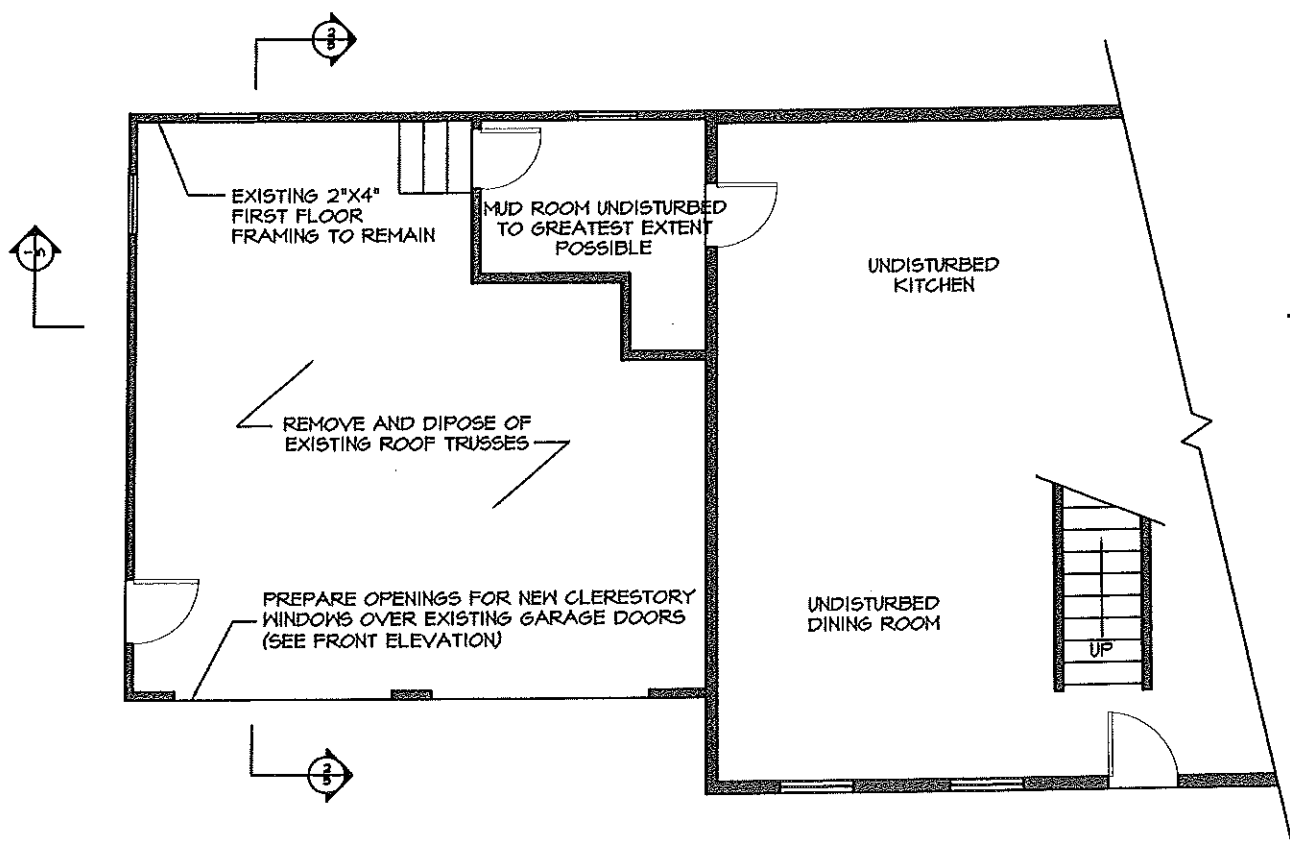
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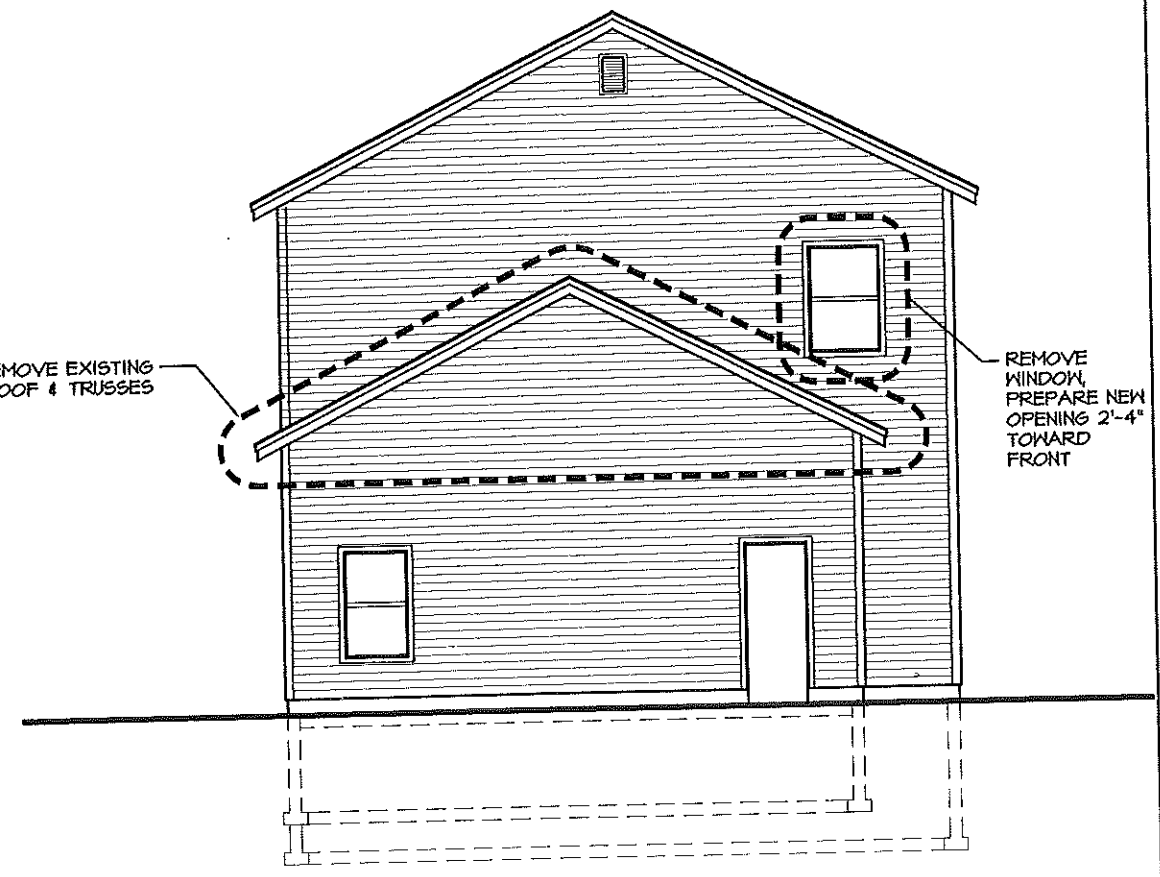
UPPER FLOOR DEMOLITION PLAN



FRONT (EAST) ELEVATION DEMOLITION



MAIN FLOOR DEMOLITION PLAN



SIDE (SOUTH) ELEVATION DEMOLITION

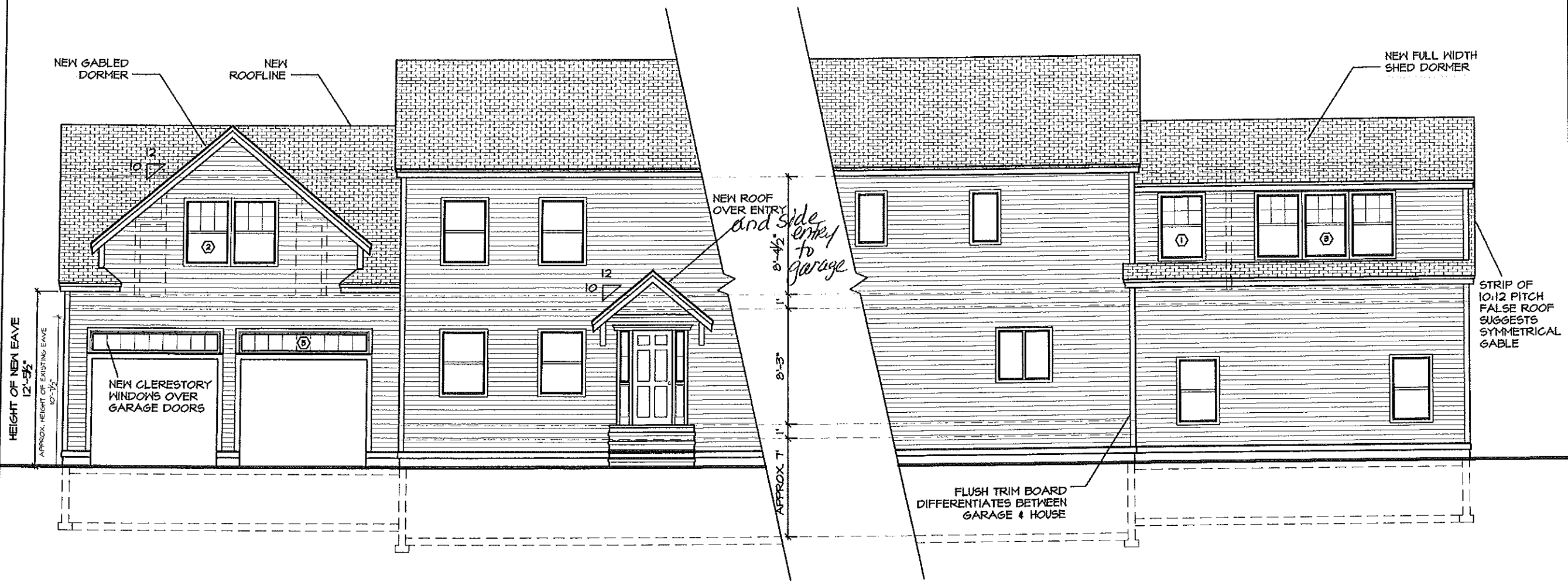


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PROPOSED FRONT (EAST) ELEVATION

PROPOSED REAR (WEST) ELEVATION

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Proposed
Front & Rear
Elevations

DWG. 7 of 10

22 Mar. 05 1/8" = 1'-0"

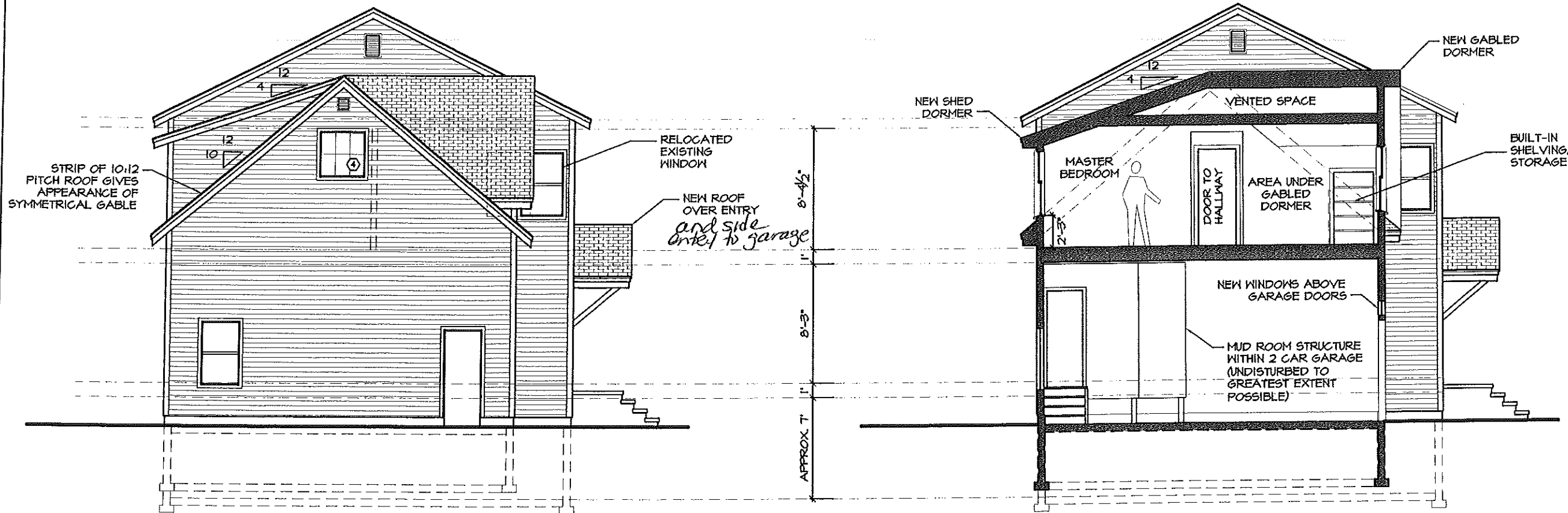


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PROPOSED SIDE
(SOUTH) ELEVATION

PROPOSED CROSS SECTION
THRU NEW GABLED DORMER

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Proposed Side
Elevation &
Dormer Section

DWG. 8 of 10

22 Mar. 05

1/8" = 1'-0"



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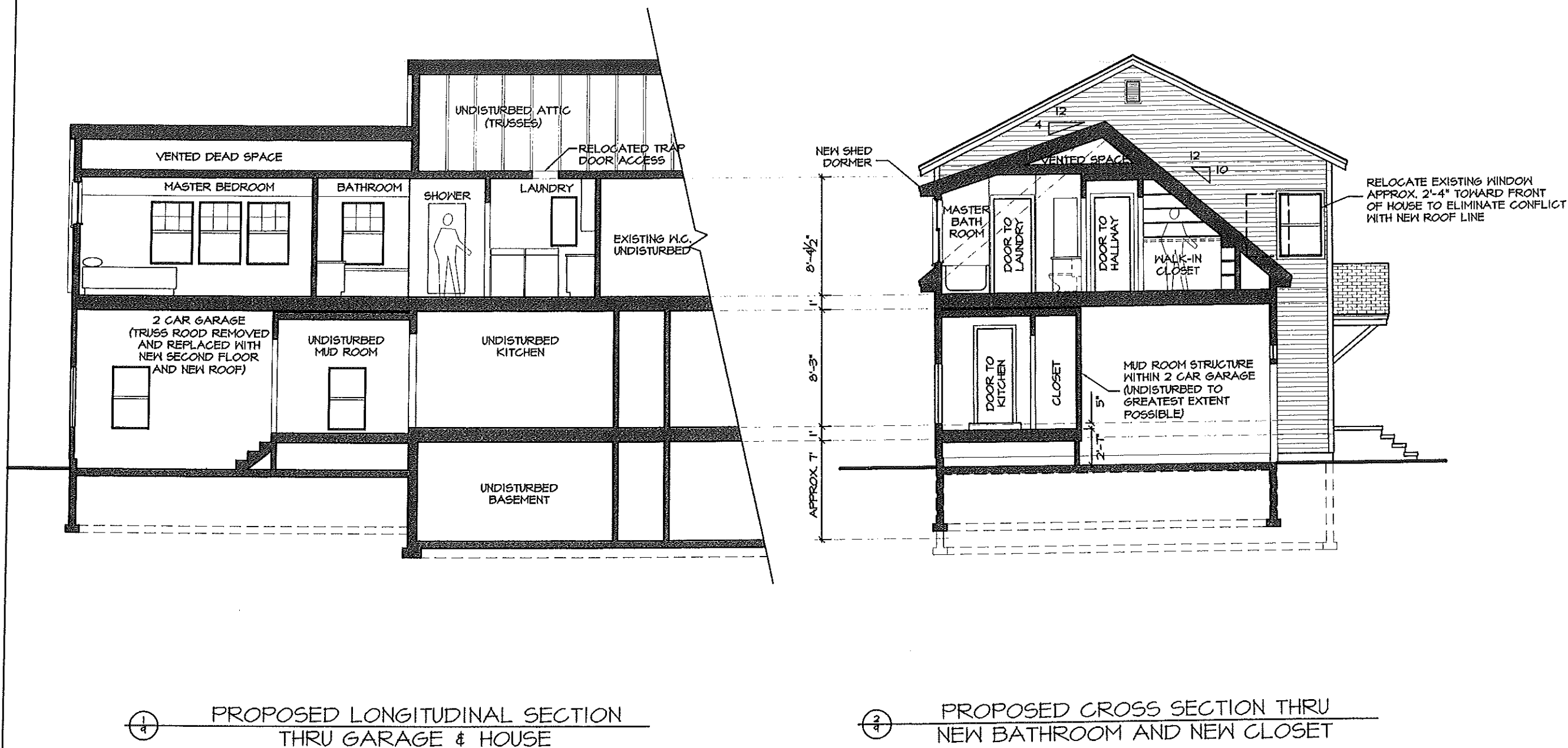
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Proposed Sections

DWG. 9 of 10

22 Mar. 05 1/8" = 1'-0"

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① PROPOSED LONGITUDINAL SECTION THRU GARAGE & HOUSE

② PROPOSED CROSS SECTION THRU NEW BATHROOM AND NEW CLOSET



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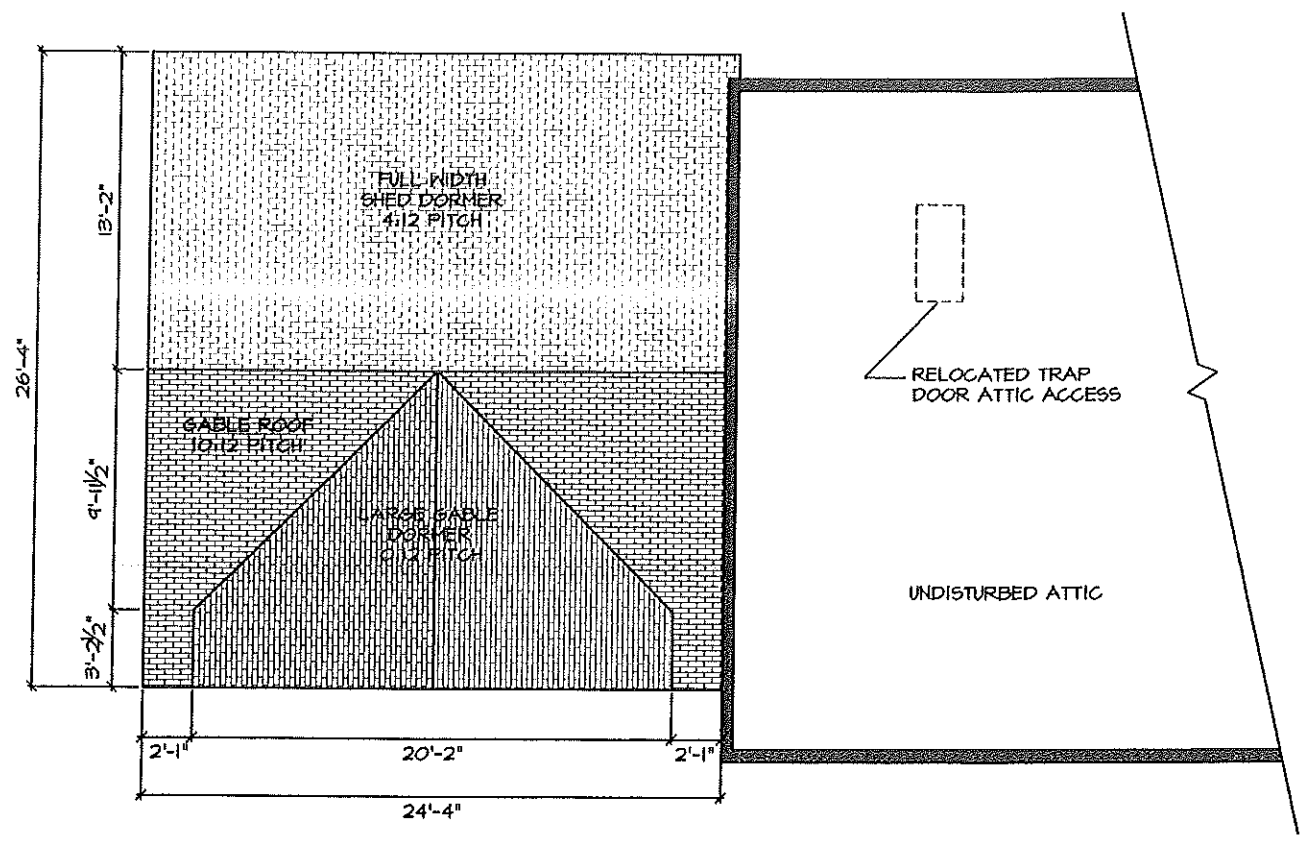
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**Roof Plan,
Framing Plan,
Window Sched.**

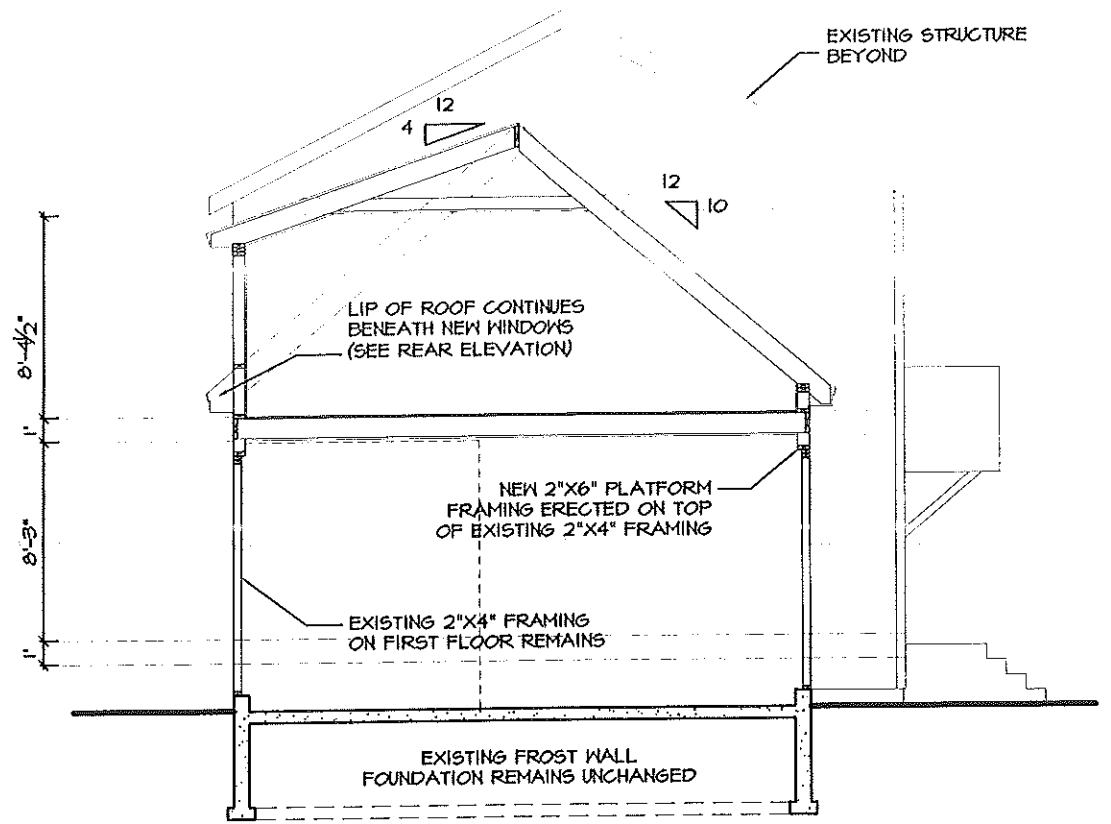
DWG. 10 of 10

22 Mar. 05 1/8" = 1'-0"

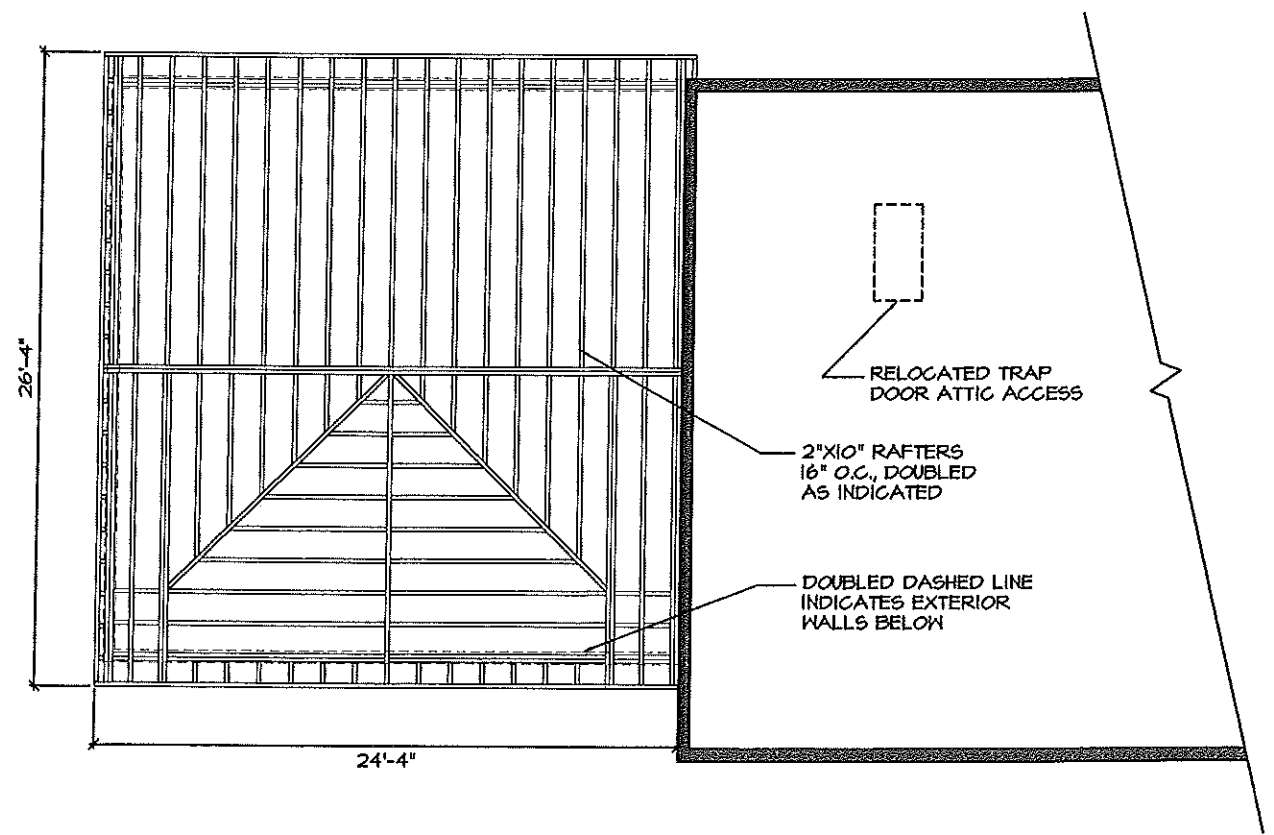
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PROPOSED GARAGE ROOF PLAN








PROPOSED GARAGE FRAMING SECTION



PROPOSED GARAGE ROOF FRAMING PLAN

WINDOW SCHEDULE:

- ① QTY: 1 ANDERSON TW3042 R. O. = 3'-2 1/8"w X 4'-4 7/8"h 
- ② QTY: 1 ANDERSON TW3042-2 R. O. = 6'-3 1/6"w X 4'-5 1/4"h 
- ③ QTY: 1 ANDERSON TW3042-3 R. O. = 9'-5 3/4"w X 4'-5 1/4"h 
- ④ QTY: 1 ANDERSON P3030 R. O. = 3'-0 1/2"w X 3'-0 1/2"h 
- ⑤ QTY: 2 CLERESTORY WINDOWS OVER 9'w GARAGE DOORS TO BE CHOSEN BY OWNER & BUILDER. 

NOTE: ALL DOUBLE-HUNG WINDOWS FEATURE "MODIFIED COLONIAL" GRILLES, WITH GRILLES ONLY IN THE UPPER SASH. ALL OTHER WINDOWS FEATURE "COLONIAL" GRILLES.