

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0546	Issue Date: JUN 20 2005	CBL: 370 A034001
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Location of Construction: 348 Palmer Ave	Owner Name: Viola Patrick R Iii &	Owner Address: 386 Palmer Ave	Phone:
Business Name:	Contractor Name: Steve Brann	Contractor Address: 39 South Freeport Freeport	Phone: 2078656674
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-2

Past Use: Single Family Home	Proposed Use: Single Family Home/ Build room over garage/ home renovations	Permit Fee: \$372.00	Cost of Work: \$38,500.00	CEO District: 5
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Proposed Project Description: Build room over garage/ home renovations	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC 2003
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

PERMIT ISSUED
 JUN 20 2005
 CITY OF PORTLAND

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 05/05/2005	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. <i>1 to right of front of west garage</i>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/17/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>6/17/05</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

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Permit No: 05-0546	Date Applied For: 05/05/2005	CBL: 370 A034001
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Location of Construction: 348 Palmer Ave	Owner Name: Viola Patrick R Iii &	Owner Address: 386 Palmer Ave	Phone:
Business Name:	Contractor Name: Steve Brann	Contractor Address: 39 South Freeport Freeport	Phone (207) 865-6674
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home/ Build room over garage/ home renovations	Proposed Project Description: Build room over garage/ home renovations
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Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 06/17/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		

Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 06/17/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) The design load spec sheets for any engineered beam(s) must be submitted to this office. 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans. 3) Separate permits are required for any electrical, plumbing, or heating.			

Dept: Fire	Status:	Reviewer:	Approval Date:
Note:	Ok to Issue: <input type="checkbox"/>		

Comments:
6/17/05-tmm: rec'd additional requested info - ok to issue.

From: "Andy Fillmore" <afillmor@maine.rr.com>
To: <tmm@portlandmaine.gov>
Date: Wed, Jun 15, 2005 3:25 PM
Subject: Viola Residence, 386 Palmer Ave.

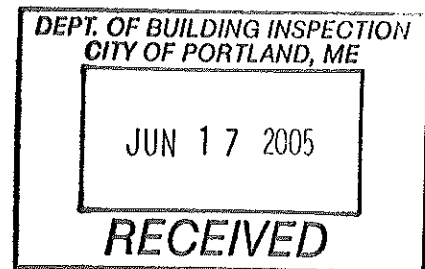
Hi Tammy,

Thanks for your call today. I just spoke with the builder, Steve Brann, and got the info on the headers. I have pasted the window schedule from Drawing #10 the drawing set into this e-mail, and have added the header info for each window.

Also attached is a drawing that changes the 2"x6" kneewall to a 2"x4" kneewall to match the first floor framing, as you requested.

Thanks very much. Best,

- Andy Fillmore.



WINDOW / HEADER SCHEDULE:

1. QTY: 1 ANDERSON TW3042 R. O. = 3'-2-1/8"w X 4'-4-7/8"h ✓

Header = 3 of 2"x6", length to span rough opening and bear on jack studs.

2. QTY: 1 ANDERSON TW3046-2 R. O. = 6'-3-15/16"w X 4'-9-1/4"h ✓

Header = 2 of 2"x10", length to span rough opening and bear on jack studs.

3. QTY: 1 ANDERSON TW3042-3 R. O. = 9'-5-3/4"w X 4'-5-1/4"h ✓

Header = 3 of 2"x6" bearing on vertical studs between window units and jack studs at ends.

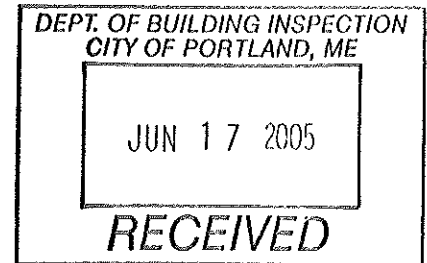
4. QTY: 1 ANDERSON P3030 R. O. = 3'-0-1/2"w X 3'-0-1/2"h

Header = 2 of 2"x8", length to span rough opening and bear on jack studs. ✓

5. QTY: 2 CLERESTORY WINDOWS OVER 9'w GARAGE DOORS

TO BE CHOSEN BY OWNER & BUILDER. ✓

Header = 2 of 11-7/8" L.V.L.s, length to span rough opening and bear on jack studs.

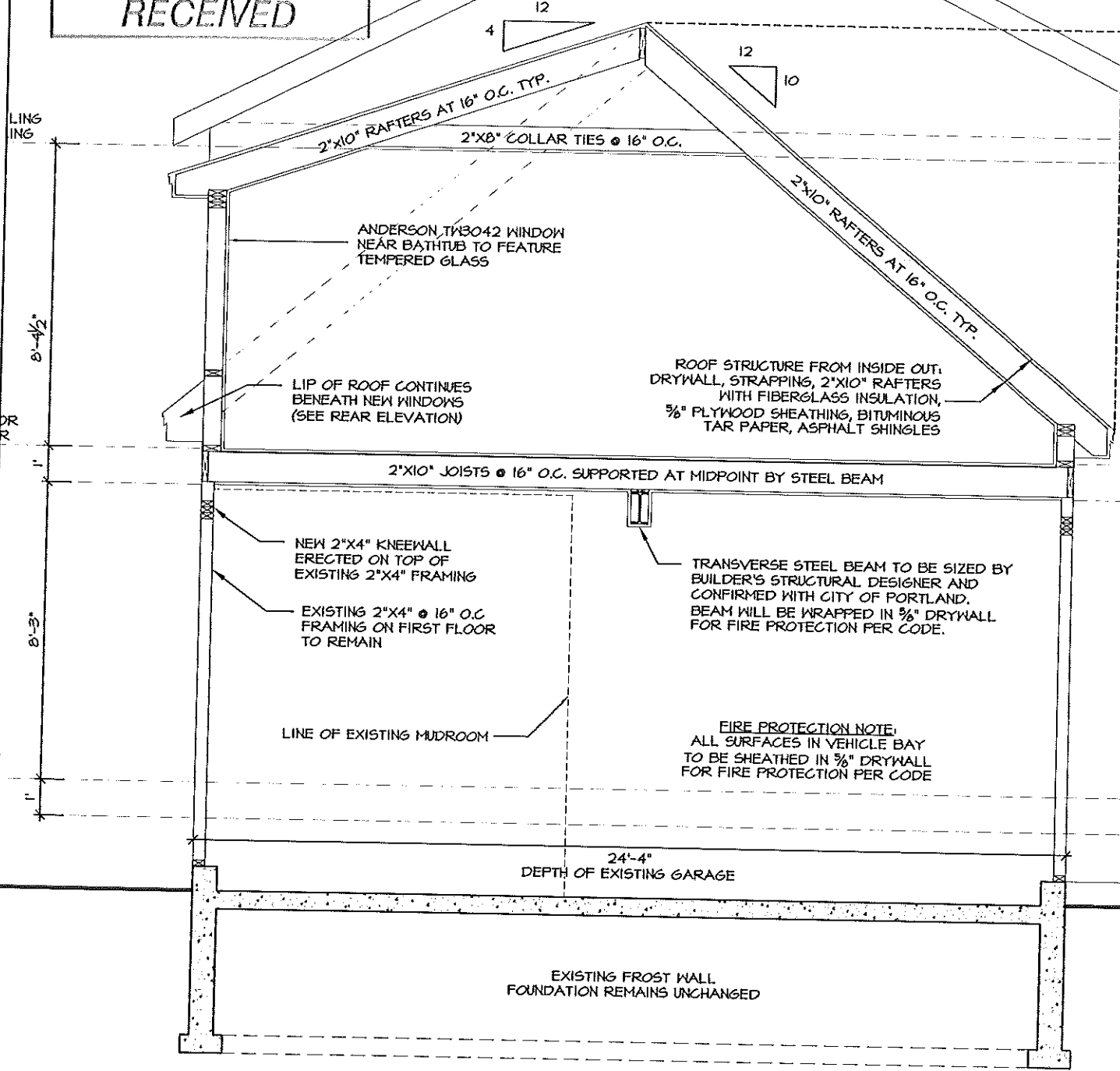


DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JUN 17 2005

RECEIVED

EXISTING UNMODIFIED
STRUCTURE BEYOND



PROPOSED GARAGE STRUCTURAL DETAIL

NOTE:

2"x6" KNEEWALL ON TOP OF EXISTING
FIRST FLOOR FRAMING HAS BEEN CHANGED
TO BE A 2"x4" KNEEWALL PER DIRECTION
OF CITY OF PORTLAND

386 Palmer Avenue
Portland, Maine
Scale 1"=20'

248-388

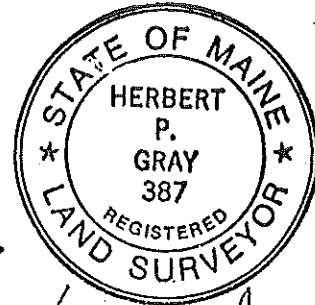
To all parties in title of the premises surveyed: I, Herbert P. Gray hereby certify that this survey was made by me on July 17, 1991, that this survey was actually made upon the ground as per record description and is correct and there are no encroachments either way across property lines except as shown on this survey.

To the lending institution and its insurer: I hereby certify that the location of the dwelling shown on this plan does conform with the local zoning laws in affect at the time of construction. The property does not fall within the special flood hazard zone.

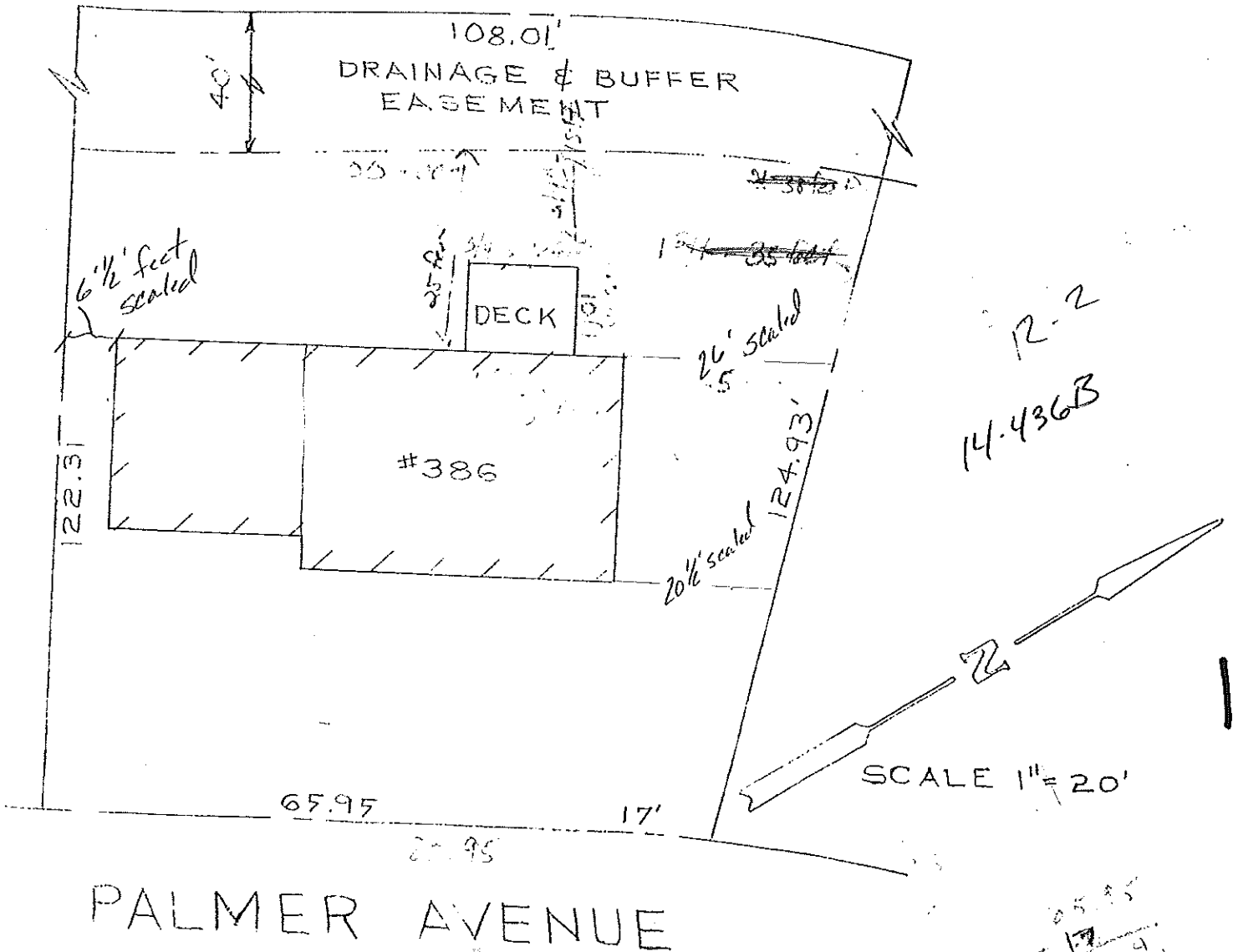
This plan was not made from an instrument survey. The certifications are for mortgage purposes only. This plan applies only to conditions as of the date shown hereon. This plan is not for recording.

Sellers: Speico Corporation

Buyers: Patrick R. Viola III
Debra A. Viola



Herbert P. Gray



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	370 A034001
Location	348 PALMER AVE
Land Use	SINGLE FAMILY
Owner Address	VIOLA PATRICK R III & DEBRA A JTS 386 PALMER AVE PORTLAND ME 04103
Book/Page	9651/275
Legal	370-A-34 PALMER AVE 384-388 11697 SF

Current Valuation Information

Land	Building	Total
\$28,250	\$109,200	\$137,450

New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$72,900	\$192,000	\$264,900	\$201,175

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1988	Colonial	2	2128	0.269	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	2	1	6	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
06/26/1991	LAND	\$135,500	09651-275

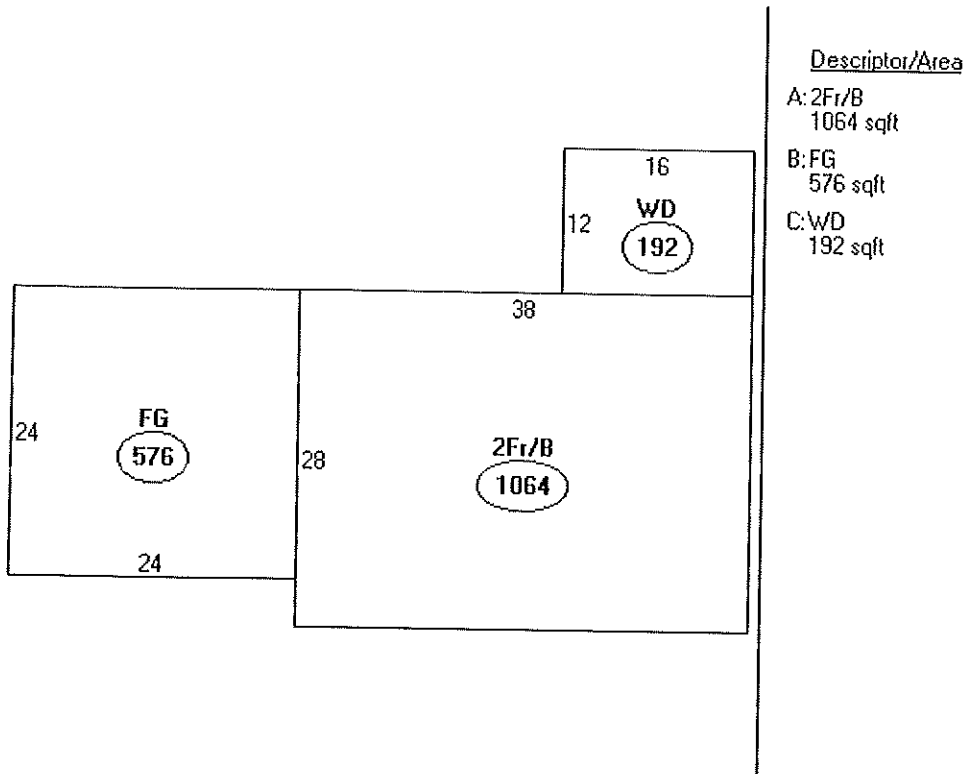
Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[Click here](#) to view comparable sales or below to view by:





If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 386 Palmer Ave Portland, ME 04103

Total Square Footage of Proposed Structure *See plans by architect* Square Footage of Lot .27

Tax Assessor's Chart, Block & Lot Chart# 370 Block# A Lot# 034 Owner: Debra and Patrick Viola Telephone: 797-2646

Lessee/Buyer's Name (If Applicable) Applicant name, address & telephone: 386 Palmer Ave Portland ME 04103 Cost Of Work: \$ 38,500.00 Fee: \$ *electrical, plumbing, heating not included*

Current Specific use: none except for current use of garage

Waiting for book
\$372.00

Proposed Specific use: room expansion over garage

Project description: build room over garage. At this point, will frame up with all windows in place, and get existing rooms ready for renovation. (Bathroom, bedroom and Laundry room). Roof over front entry and side entry to garage.

Contractor's name, address & telephone: Steve Brann 865-6674 39 South Freeport, Freeport ME 04103 Who should we contact when the permit is ready: Debra Patrick Viola

Mailing address: 386 Palmer Ave Portland ME 04103 Phone: 797-2646

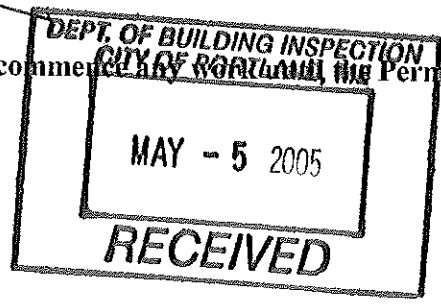
Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Debra Viola* Date: 4/29/05

This is not a Permit; you may not commence any work until the Permit is issued.



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 Permit Number: 050546
 JUN 20 2005
 RECEIVED

PERMIT ISSUED
 CITY OF PORTLAND
 JUN 20 2005
PERMIT
 BUILDING INSPECTION

Please Read
 Application And
 Notes, If Any,
 Attached

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and written permit in production of this building or structure thereof and of closed-in.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

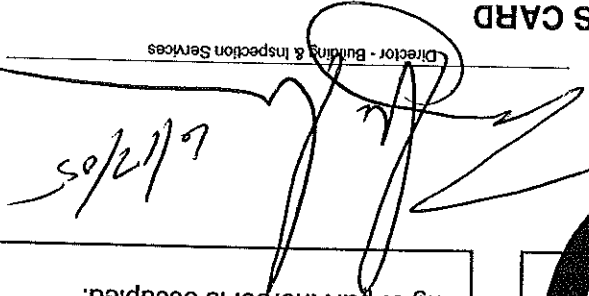
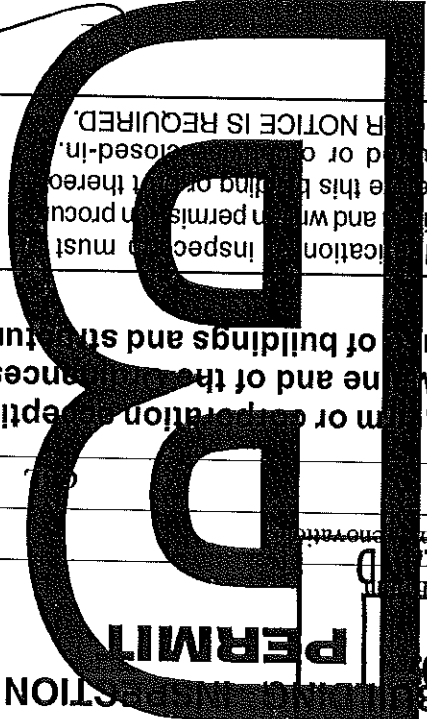
OTHER REQUIRED APPROVALS

Fire Dept.
 Health Dept.
 Appeal Board
 Other _____
 Department Name

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services

6/12/05

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the projects not started or ceases for 6 months. The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection. If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designer: Debra Vico Date: 6/24/05
 Signature of Inspections Official: [Signature] Date: 6/24/05
 Building Permit #: 050046