

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that OMID & GHAYEBI

Located At 83 ALLISON AVE.

Job ID: 2011-05-1189-ALTR

CBL: 370 - - A - 026 - 001 - - - -

has permission to Change-of-Use, Single Family Residence with Accessory Dwelling Unit provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

06/08/2011

\_\_\_\_\_  
Fire Prevention Officer

\_\_\_\_\_  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
  1. Close-In: (Electrical, Plumbing, Framing)
  2. Final Inspection/ Certificate of Occupancy

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-05-1189-ALTR

Located At: 83 ALLISON

CBL: 370 - - A - 026 - 001 - - - -

## Conditions of Approval:

### **Zoning**


1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling with an accessory dwelling unit. Any change of use shall require a separate permit application for review and approval. The accessory dwelling unit is not the same as a full dwelling. The conditional use standards approved for your accessory unit shall be maintained during the existence of that unit. Any changes to those standards and conditions SHALL require a separate permit.
3. Separate permits shall be required for future decks, sheds, pools, and/or garages.


### **Building**

1. The dwelling units (and supporting construction) shall be separated from each other by wall and/or floor assemblies having not less than a 1-hour fire-resistance rating when tested in accordance with ASTM E 119 or UL 263. Fire-resistance-rated floor-ceiling and wall assemblies shall extend to and be tight against the *exterior wall*, and wall assemblies shall extend from the foundation to the underside of the roof sheathing. Note: Through penetration require equal separation from each dwelling unit.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. Mechanical or natural ventilation required in the bathroom.
4. A photoelectric Carbon Monoxide (CO) detector shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
5. Hardwired photoelectric interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
6. **A code compliant emergency escape shall be provided in the bedroom.** Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-05-1189-ALTR	Date Applied: 5/23/2011	CBL: 370 - - A - 026 - 001 - - - - -	
Location of Construction: 83 ALLISON AVE	Owner Name: OMID GHAYEBI	Owner Address: 83 ALLISON AVE PORTLAND, ME - MAINE 04103	Phone: 523-9229
Business Name:	Contractor Name: OWNER	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: CHUSE-DW - Change of Use - Dwelling	Zone: R-2
Past Use: Single Family Dwelling	Proposed Use: To Change the Use from a Single Family to a Single Family with an Accessory Dwelling unit.	Cost of Work: \$4000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A per Capt. Gauthier 06/09/11	Inspection: Use Group: R3 Type: 5B IRC, 2009 Signature: 
Proposed Project Description: 83 Allison Ave - change of use		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>ok with conditions 5/31/11</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input checked="" type="checkbox"/> Conditional Use <i>for accessory</i></p> <p><input type="checkbox"/> Interpretation <i>D.4</i></p> <p><input checked="" type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>5/15/11</i></p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: </p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

75-11

Need to fire rate between both units including walls, ceiling between house basement to new bathroom. Also need to rate back side of new walls in garage up to ridge. Exhaust Fans need to vented to the outside. Need a Egress window in new bedroom MA

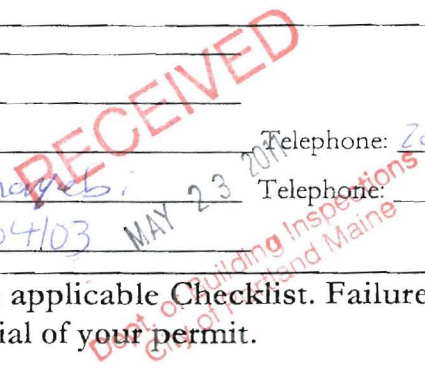




# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>83 Allison Ave, Portland, ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>500 SF</u>	Square Footage of Lot <u>15082</u>	Number of Stories
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>CBL    370    A026</u>	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>Omid Ghayebi</u> Address <u>Same as above</u> City, State & Zip	Telephone: <u>207-523-9229</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>4000.-</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>135</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>one</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Accessory unit</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Accessory unit</u>		
Contractor's name: <u>Self</u> Address: <u>Same as above</u> City, State & Zip _____ Telephone: <u>207-523-9229</u> Who should we contact when the permit is ready: <u>Omid Ghayebi</u> Telephone: _____ Mailing address: <u>83 Allison Ave Portland ME 04103</u>		



Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]      Date: 5-13-2011

This is not a permit; you may not commence ANY work until the permit is issued

# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

### ZONING BOARD APPEAL DECISION

**To:** City Clerk

**From:** Marge Schmuckal, Zoning Administrator

**Date:** May 6, 2011

**RE:** Action taken by the Zoning Board of Appeals on May 5, 2011.

**Members Present:** Phil Saucier (chair), William Getz, Elyse Wilkinson, Mark Bower and Matthew Morgan (acting secretary).

**Members Absent:** Gordon Smith and Sara Moppin

#### 1. Old Business

##### A. Miscellaneous Appeal:

410-412 Fore Street/25-29 Wharf Street (Called 416 Fore Street), lessee is Allied Resources, Inc., D/B/A Cactus Club, Tax Map 032, Block N, Lot 010, B-3 Downtown Business Zone: Pursuant to Chapter 4, Article III of the City Code, the appellant is seeking to appeal the denial of an entertainment license by the City Council on February 23, 2011. Representing the appeal is Tom Manning of Allied Resources, Inc. The Zoning Board of Appeals heard the appeal on April 21, 2011. The Board will vote on the final findings of fact and take the final vote at the May 5, 2011 meeting. **The Zoning Board of Appeals voted to approve the findings of fact and voted 5-0 to deny the appeal.**

#### 2. New Business:

##### A. Conditional Use Appeal:

81-85 Allison Avenue, Omid Ghayeb, owner, Tax Map 370, Block A, Lot 026, R-2 Zone: The appellant is seeking a Conditional Use Appeal under section 14-78(a)(2) to add an accessory dwelling unit to his single family dwelling. Representing the appeal is the owner. **The Board voted 5-0 to grant the conditional use appeal to allow the applicant to add an accessory dwelling unit.**

#### Enclosure:

Decision for Agenda from May 5, 2011

Original Zoning Board Decisions

One dvd

CC: Patricia Finnigan, Acting City Manager

Penny St. Louis, Director, Planning & Urban Development

Alex Jaegerman, Planning Division

# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

Philip Saucier-chair  
Sara Moppin  
Matthew Morgan  
Gordan Smith-secretary  
Mark Bower  
William Getz  
Elyse Wilkinson

May 9, 2011

Omid Ghayeb  
83 Allison Avenue  
Portland, ME 04103

RE: 81-85 Allison Avenue  
CBL: 370 A026  
ZONE: R-2

Dear Mr. Ghayeb:

At the May 5, 2010 meeting, the Zoning Board of Appeals voted 5-0 to grant your conditional use appeal to allow you to add an accessory dwelling unit to your house. I am enclosing a copy of the Board's decision.

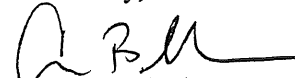
You will also find an invoice for \$169.69 for the fees that are still owed on the appeal for the cost of the legal ad, the cost of the noticing and the processing fee. Please submit your payment on receipt of the invoice.

Now that the conditional use appeal has been approved, you need to submit an application to change the use of the property to a single family home with an accessory dwelling unit. I have enclosed an application for the change of use. You have six months from the date of the hearing, May 5, 2011, referenced under section 14-474(f), to obtain the building permit, or your Zoning Board approval will expire. I have also enclosed an administrative authorization application that you need to submit to the planning authority since you are adding an accessory dwelling unit.

Appeals from decisions of the Board may be filed in Superior Court in accordance with Rule 80B of the Maine Rules of Civil Procedure.

Should you have any questions, please feel free to contact me at 207-874-8709.

Yours truly,



Ann B. Machado  
Zoning Specialist

Cc. file



# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

R-2 Residential Zone Accessory Unit

**Conditional Use Appeal**

**DECISION**

Date of public hearing: May 5, 2011

Name and address of applicant: Omid Ghayebi  
83 Allison Ave.  
Portland, ME 04103

Location of property under appeal: 83 Allison Ave.

For the Record:

Names and addresses of witnesses (proponents, opponents and others):

Omid Ghayebi

Exhibits admitted (e.g. renderings, reports, etc.):

Item 2-A packet.  
Testimony from owner.

Elyse W.  
William G.  
Phillip S.  
Matthew M.  
Mark B.

Findings of Fact and Conclusions of Law:

Applicant is proposing to add an accessory dwelling unit to his single family home in which he resides. The gross floor area of the principal building is 1,700 sq. ft. The proposed accessory unit would be 500 sq. ft. The lot area is 15,082 sq. ft.

A. Conditional Use Standards pursuant to Portland City Code §14-78(a)(2):

1. The accessory dwelling unit is within the building and clearly subordinate to the principal dwelling and is for the benefit of homeowners or tenants.

Satisfied  Not Satisfied

Reason: *Flow plan and testimony indicates as such.*

2. The accessory unit shall be no more than thirty (30) percent of the gross floor area of principal building and shall have a minimum floor area four hundred (400) square feet; gross floor area shall exclude any floor area that has less than two-thirds of its floor-to ceiling height above the average adjoining ground level; gross floor area may include attic space if such space shall be included as habitable space within either dwelling unit.

Satisfied  Not Satisfied

Reason: *291. according to flow plan.*

3. Lot area shall be eight thousand (8,000) square feet for single-family dwellings in existence as of May 1, 1984, and lot area shall be ten thousand (10,000) square feet for single-family dwellings constructed after May 1, 1984.

Satisfied  Not Satisfied

Reason: *Lot plan indicates lot is 15,000 sq ft.*

4. There shall be no open outside stairways or fire escapes above the ground floor.

Satisfied  Not Satisfied

Reason: Pictures currently indicate, and owner testifies that no further changes are planned.

5. Any building additions or exterior alterations such as facade materials, building form, or roof pitch shall be designed to be compatible with the architectural style and to maintain the single-family appearance of the dwelling.

Satisfied  Not Satisfied

Reason: Pictures indicate that exterior is already the same, and no changes planned.

6. The scale and surface area of parking, driveways and paved areas shall be arranged and landscaped to properly screen vehicles from adjacent properties and streets.

Satisfied  Not Satisfied

Reason: Same as 5,

7. Either the accessory unit or principal unit shall be occupied by the lot owner, except for bona fide temporary absences.

Satisfied  Not Satisfied

Reason: Owner testifies. This is his home.

8. Parking shall be provided as required by division 20 of this article: One (1) additional off-street parking space for each new unit (14-332(a)(2)). Existing parking spaces shall not be used to meet the parking requirements of this paragraph, unless the existing parking spaces exceed one (1) space for each dwelling unit.

Satisfied  Not Satisfied

Reason: There are currently 3 spaces, so satisfies beyond 1 space.

B. Conditional Use Standards pursuant to Portland City Code §14-474(c)(2):

1. There are unique or distinctive characteristics or effects associated with the proposed conditional use.

Yes  No

Reason and supporting facts: Pictures indicate no issues.



2. There will be an adverse impact upon the health, safety, or welfare of the public or the surrounding area.

Yes  No

Reason and supporting facts:

No testimony to show there would be adverse impact.

3. Such impact differs substantially from the impact which would normally occur from such a use in that zone.

Yes  No

Reason and supporting facts:

This is a residentially zoned area, so no different impact.

Conclusion: (check one)

Option 1: The Board finds that all of the standards (1 through 8) described in section A above have been satisfied and that not all of the conditions (1 through 3) described in section B above are present, and therefore GRANTS the application.

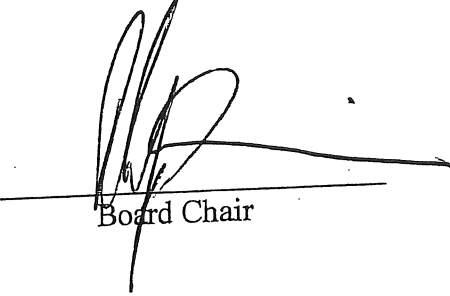
Option 2: The Board finds that while all of the standards (1 through 8) described in section A above have been satisfied, and not all of the conditions (1 through 3) described in section B above are present, certain additional conditions must be imposed to minimize adverse effects on other property in the neighborhood, and therefore GRANTS the application SUBJECT TO THE FOLLOWING CONDITIONS:

Option 3: The Board finds that not all of the standards (1 through 8) described in section A above have been satisfied and/or that all of the conditions (1 through 3) described in section B above are present, and therefore DENIES the application.

Please note that, pursuant to Portland City Code 14-78(a)(2)(e), if approved the project shall be subject to article V (site plan) of this chapter for site plan review and approval.

Dated:

5/5/11

  
Board Chair

# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

Philip Saucier-chair  
Sara Moppin  
Matthew Morgan  
Gordan Smith-secretary  
Mark Bower  
William Getz  
Elyse Wilkinson

May 9, 2011

Omid Ghayeb  
83 Allison Avenue  
Portland, ME 04103

RE: 81-85 Allison Avenue  
CBL: 370 A026  
ZONE: R-2

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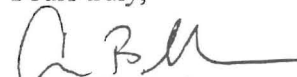
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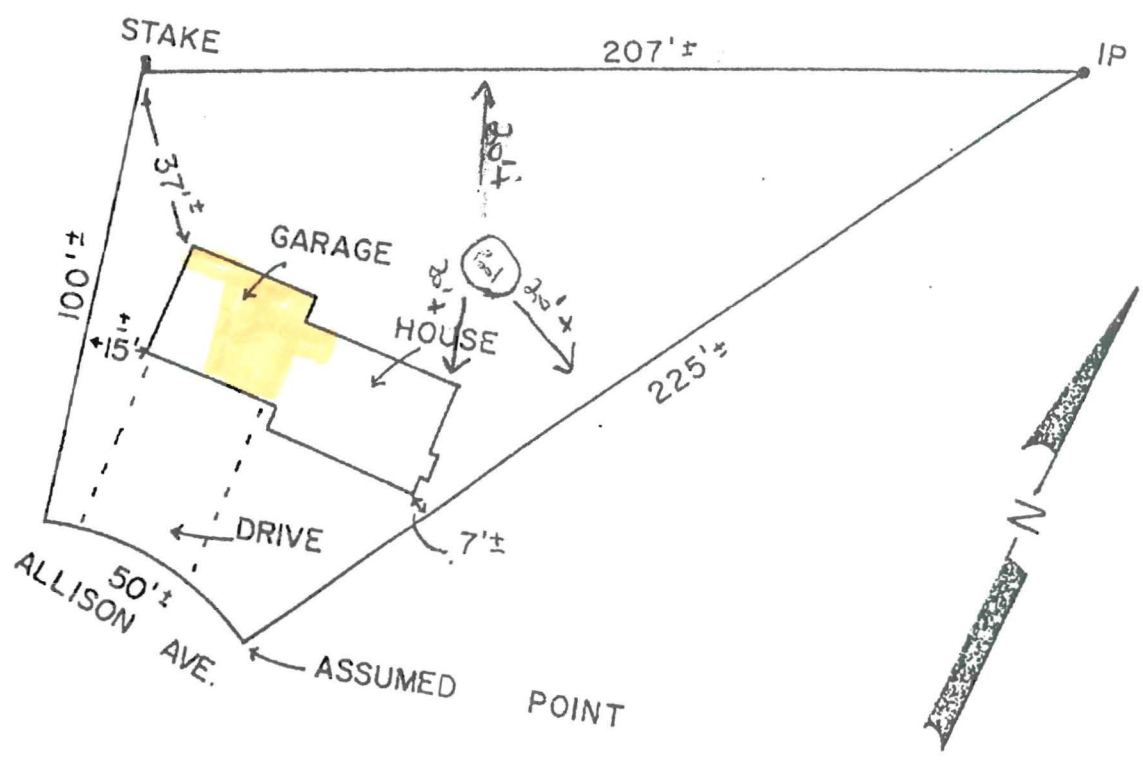
Yours truly,



Ann B. Machado  
Zoning Specialist

Cc. file

Pools require 10'  
 from Rear & sides - 20'  
 10' Reg. to the principal structure  
 20' + show  
 [Signature]



SCALE: 1" = 40'





Front View



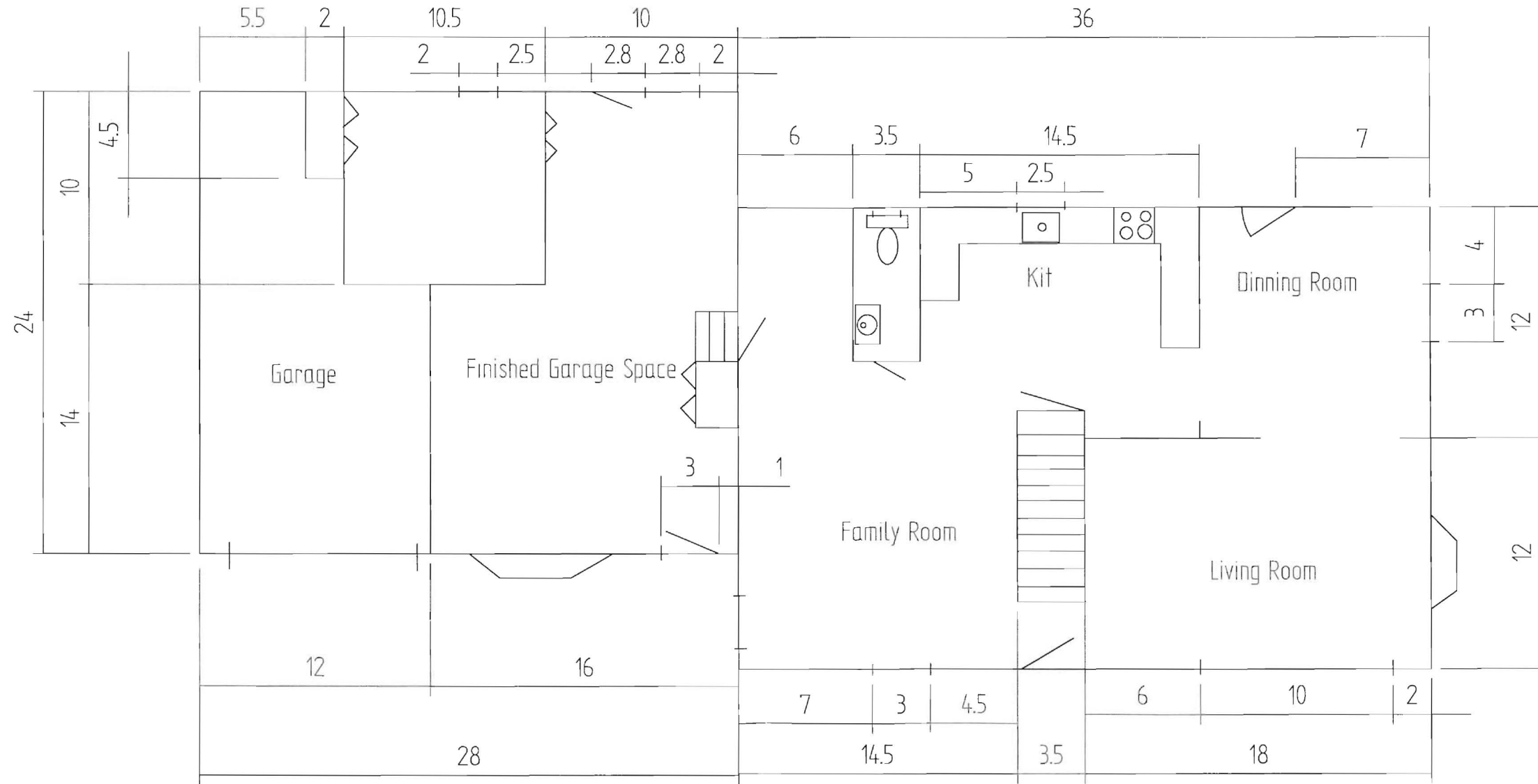
Right View



Left View



Back View

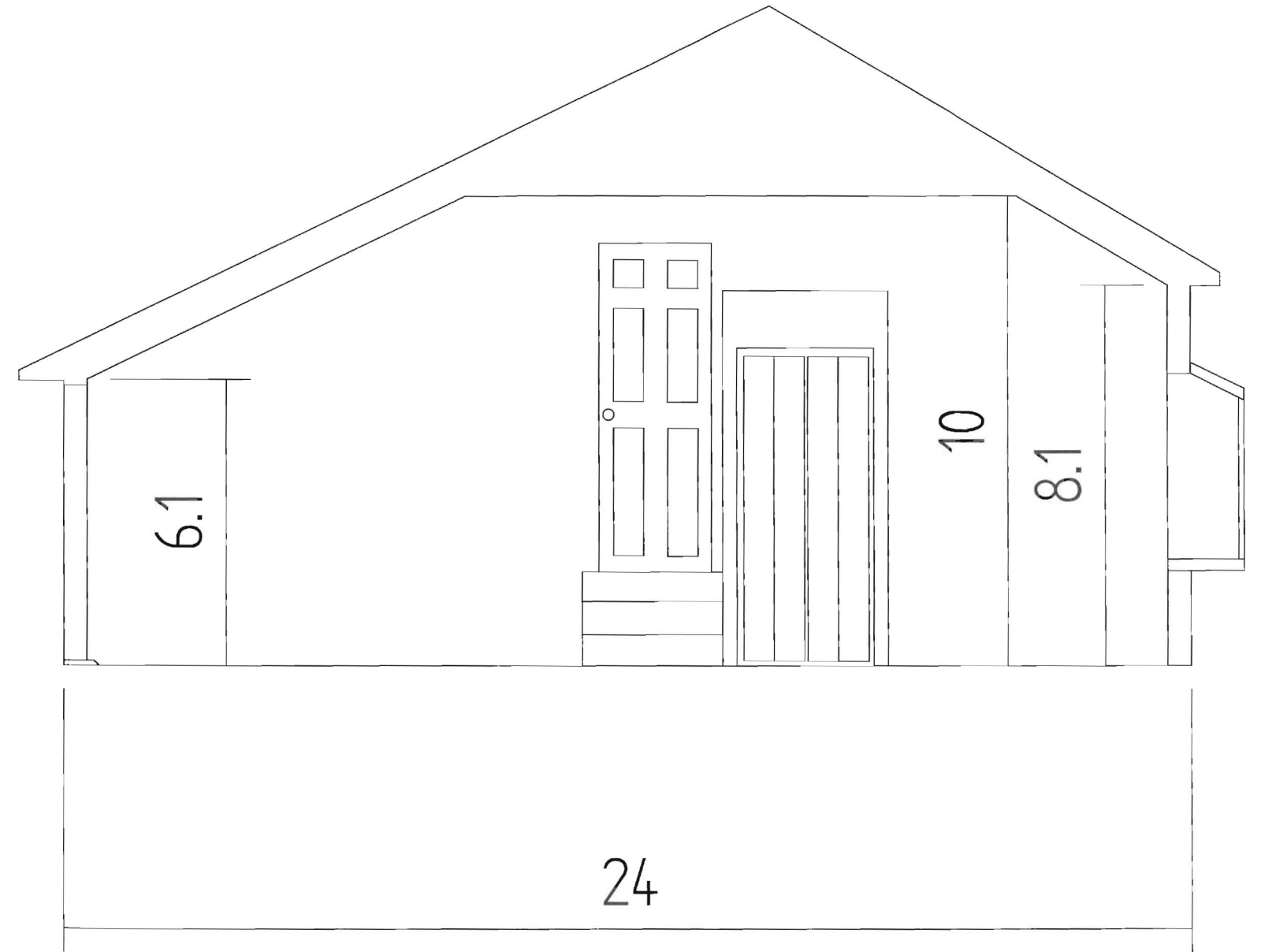
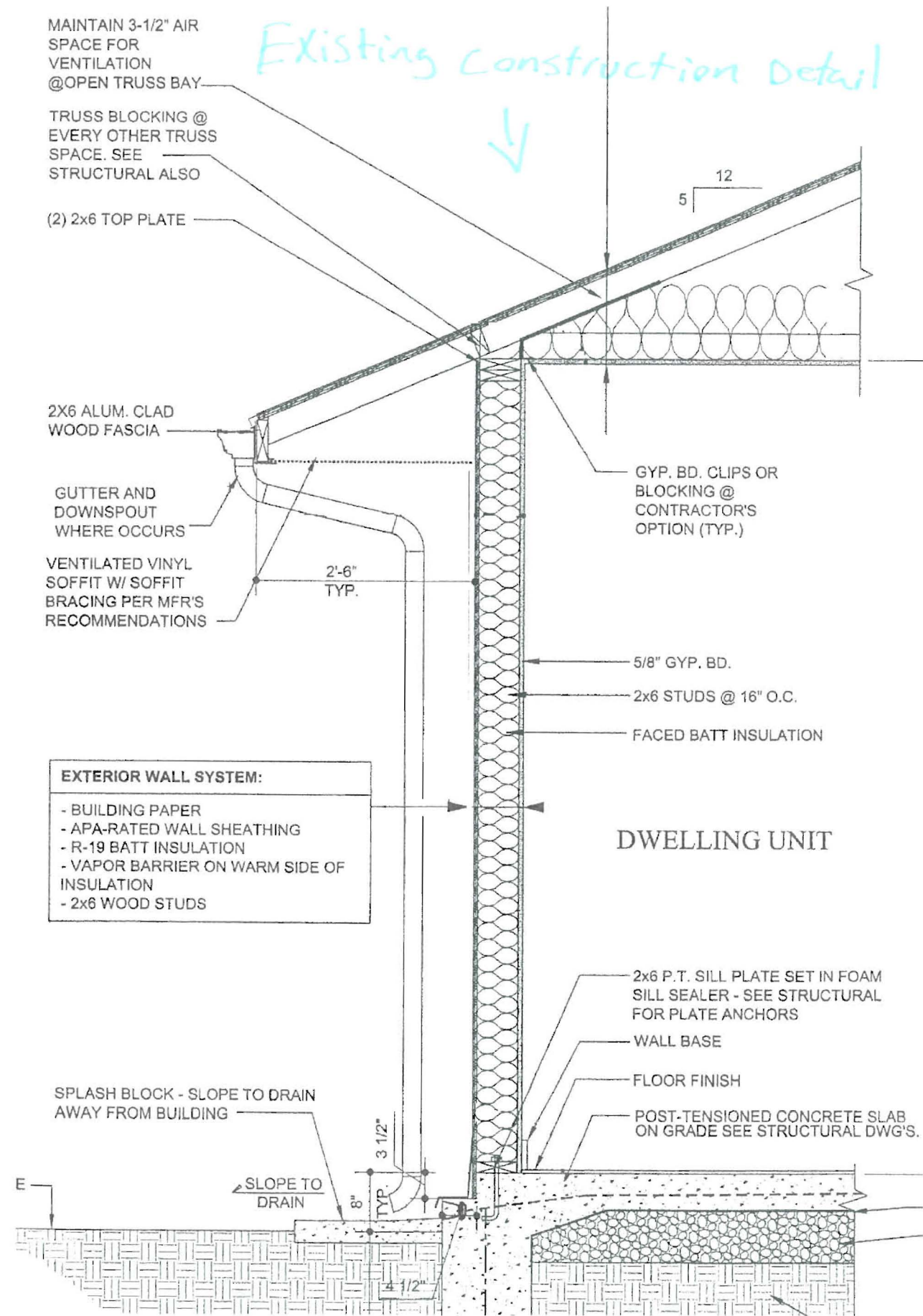


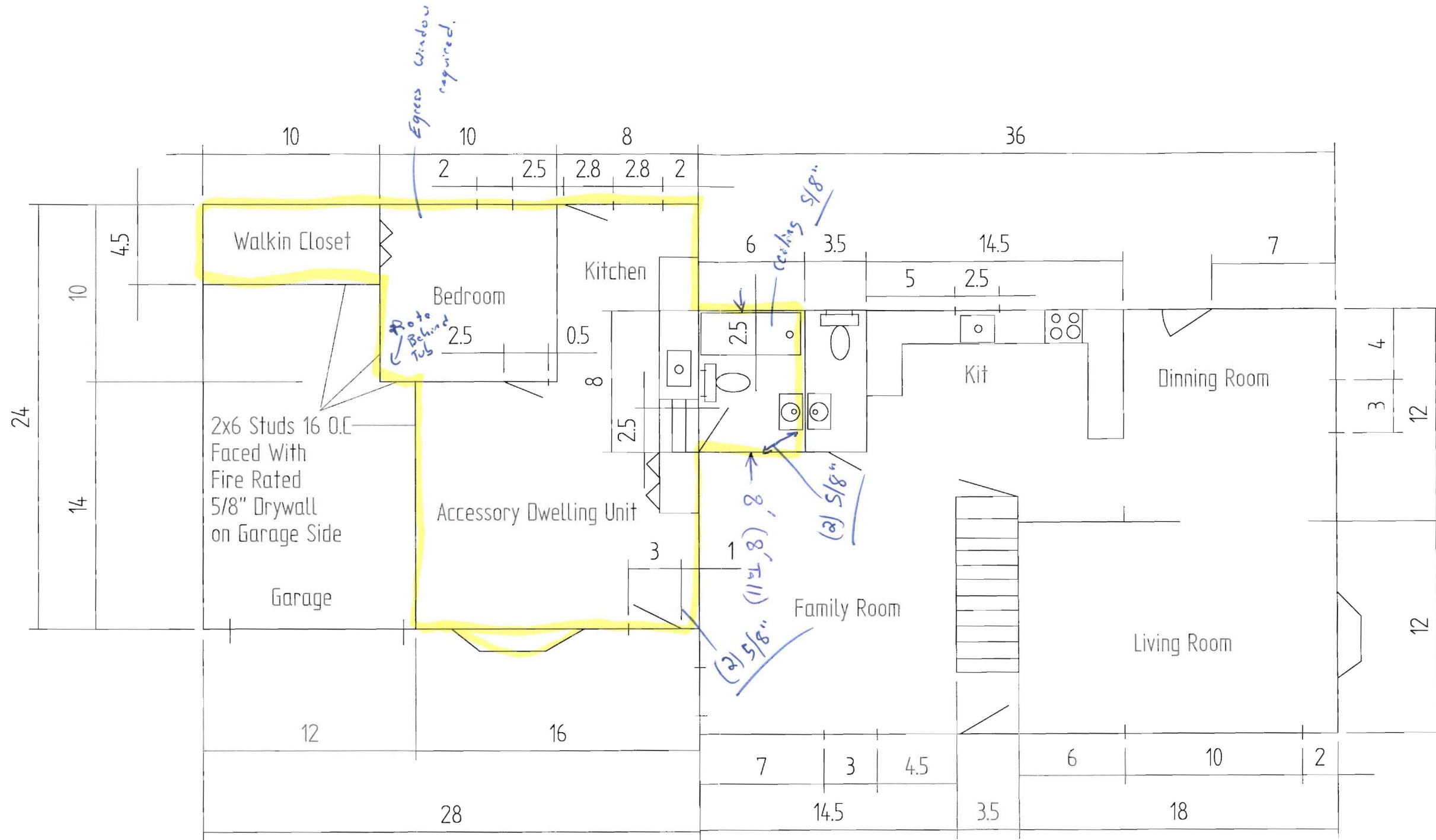
Present 1st Level Floor Plan



83 Allison Ave, Portland Maine  
 Accessory Dwelling Unit Constructional Plan

THESE DESIGNS ARE AVAILABLE TO THE BUYER FOR CONSTRUCTIONAL USE ONLY AND ARE NOT TO BE PASSED ON TO THIRD PARTIES FOR DUPLICATION





1st Level Floor Plan and  
 Accessory Unit Floor Plan

- 06/09/11
- \* Interior wall separation units (2) 5/8" Gypsum
  - Garage to unit - 5/8" Gypsum
  - Egress window required/or Escape
  - SA/CO Det. required JCA





# Certificate of Occupancy



CITY OF PORTLAND, MAINE  
Department of Planning and Urban Development  
Building Inspections Division

Issued to: Omid Ghayebi

Date Issued: 8/31/2011

Location: 83 Allison Ave.

CBL: 370 A026001

**This is to certify** that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No.2011-05-1189, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family with an Accessory Unit

Use Group R-3

Type 5B

IRC 2009

Limiting Conditions: NONE

Approved: 8-31-11

*[Signature]*  
Inspector

*[Signature]*  
Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

11 20 11

Received from \_\_\_\_\_

Location of Work \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 80

Building (IL) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 37, 1, 26

Check #: 267 Total Collected \$ 80

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: Accessory Unit 370 A 026

PROJECT ADDRESS: 83 Allison Ave Portland ME 04101 CHART/BLOCK/LOT: 3

APPLICATION FEE: \_\_\_\_\_ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Change of use from single family home to single family home with an accessory dwelling

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: Omid Ghayebi  
Address: 83 Allison Ave  
Portland ME  
Work #: \_\_\_\_\_  
Cell #: 207-523-9229  
Fax #: \_\_\_\_\_  
Home #: \_\_\_\_\_  
E-mail: Oghayebi@MSN.com

#### CONSULTANT/AGENT

Name: N/A  
Address: \_\_\_\_\_  
Work #: \_\_\_\_\_  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home #: \_\_\_\_\_  
E-mail: Dept. of Building Inspections  
City of Portland Maine

**SCANNED**

**RECEIVED**

JUN 13 2011

### Criteria for an Administrative Authorizations: (see section 14-523(4) on pg .2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

### Applicant's Assessment Planning Division Y(yes), N(no), N/A

Applicant's Assessment Y(yes), N(no), N/A	Planning Division Y(yes), N(no), N/A
<u>yes</u>	<u>yes</u>
<u>no</u>	<u>no</u>
<u>no</u>	<u>no</u>
<u>no</u>	<u>no</u>
<u>yes</u>	<u>yes</u>
<u>yes</u>	<u>yes</u>
<u>no</u>	<u>no</u>
<u>no</u>	<u>no</u>
<u>no</u>	<u>no</u>
<u>yes</u>	<u>yes</u>
<u>yes</u>	<u>yes</u>
<u>no</u>	<u>no</u>
<u>no</u>	<u>NA</u>
<u>no</u>	<u>NA</u>

<b>Signature of Applicant:</b> 	<b>Date:</b> <u>5-13-2011</u>
------------------------------------	----------------------------------

**Planning Division Use Only**

Authorization Granted

Partial Exemption

Exemption Denied

*Barbara Jarman, Dev. Serv. Mgr.*  
**Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: Administrative Authorization**

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.



**Criteria for an Administrative Authorizations:**  
 (See Section 14-523 (4) on page 2 of this application)

**Applicant's Assessment**  
 Y(yes), N(no), N/A

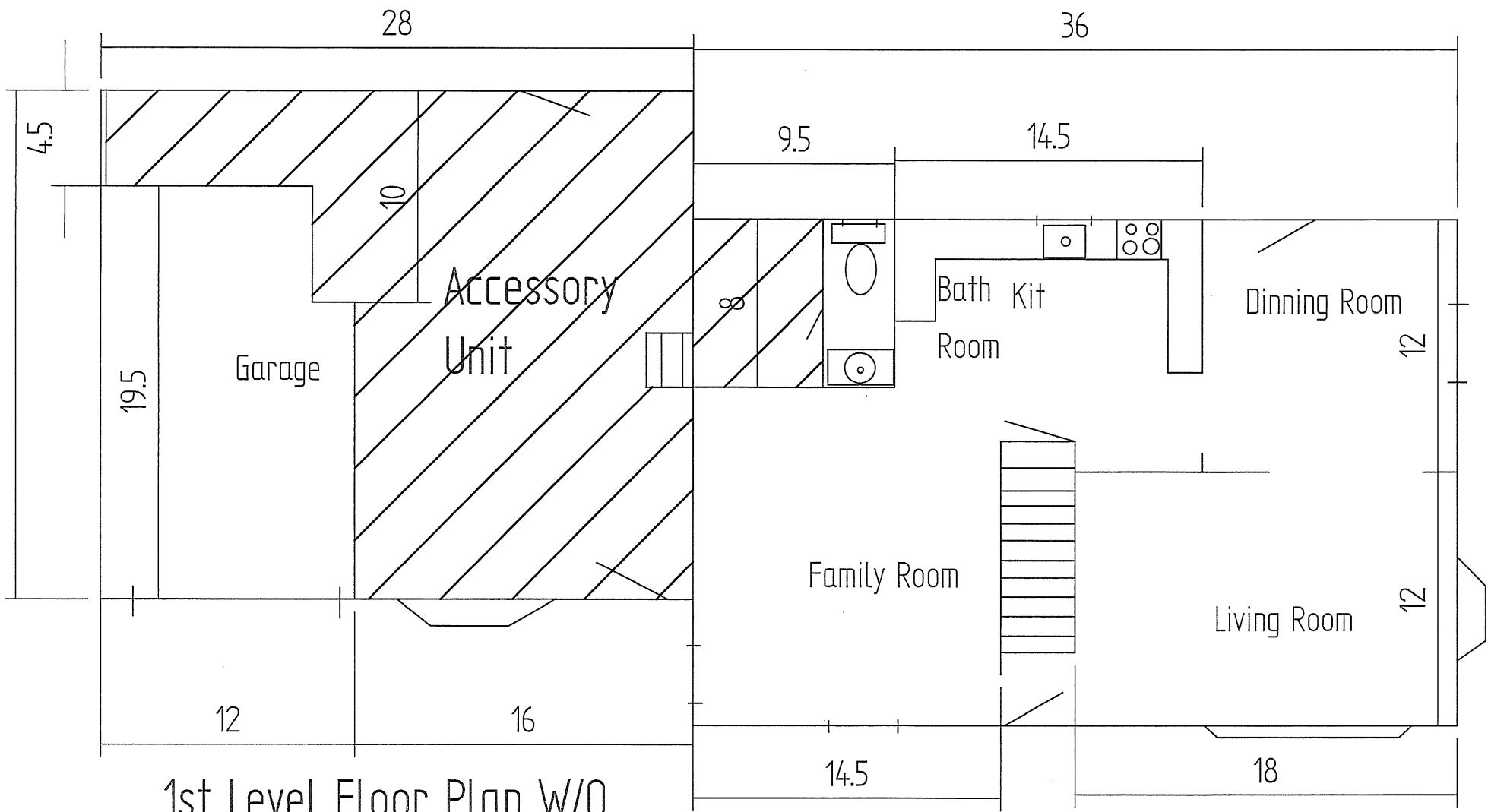
**Planning Division**  
 Use Only

a) Is the proposal within existing structures?	Yes	Yes
b) Are there any new buildings, additions, or demolitions?	No	No
c) Is the footprint increase less than 500 sq. ft.?	No	No
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	Yes	Yes
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	No	n/a
n) Are there any noise, vibration, glare, fumes or other impacts?	No	n/a

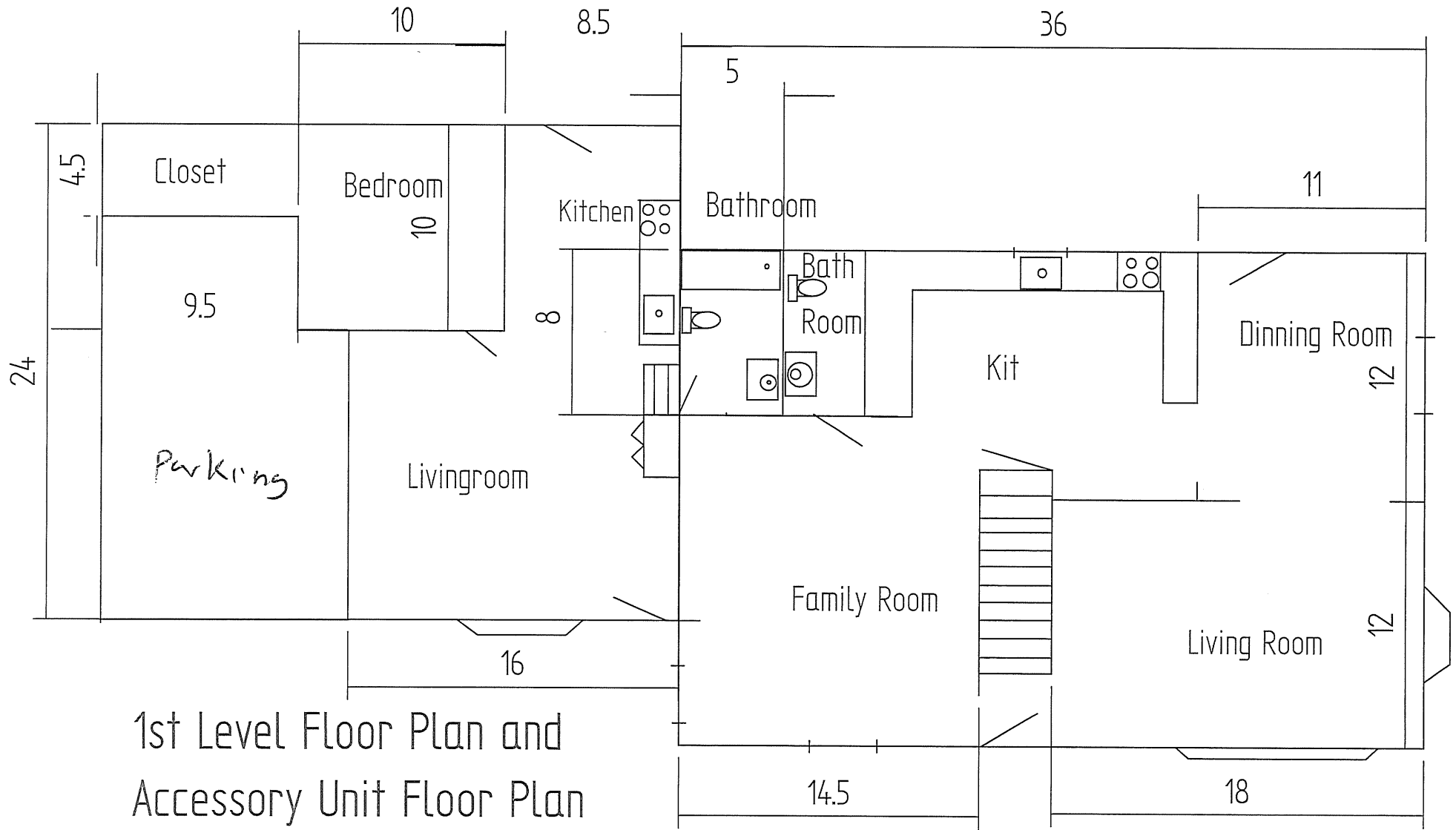
The request for an administrative authorization for 83 Allison Avenue was granted by Barbara Barhydt, Development Review Program Manager on 6-9-11 with the following (conditions and/or standard condition of approval)

Standard Condition of Approval

The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Rm. 315, City Hall (874-8703) prior to the start of any construction.



1st Level Floor Plan W/O  
Accessory Unit



1st Level Floor Plan and Accessory Unit Floor Plan

PLOT PLAN  
370 A026  
83 ALLISON AVE PORTLAND MAINE

ALL DIMENSIONS ARE IN FEET

