

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>		CBL:
Permit No: 01-0987	Issue Date:	363 AA004

<b>Location of Construction:</b> 1030 Brighton Ave	<b>Owner Name:</b> Heritage Property Investment Trust	<b>Owner Address:</b> 535 Boylston Street	<b>Phone:</b> 617-247-2200
<b>Business Name:</b> n/a	<b>Contractor Name:</b> Horne Construction Inc.	<b>Contractor Address:</b> 154 High Street Somersworth	<b>Phone:</b> 6036927180
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> Alterations - Commercial	<b>Zone:</b> B-2

<b>Past Use:</b> Commercial / Retail	<b>Proposed Use:</b> Commercial / Retail; Tenant Fit-Up for New A.J. Wright Store	<b>Permit Fee:</b> \$5,304.00	<b>Cost of Work:</b> \$880,000.00	<b>CEO District:</b> 3
<b>Proposed Project Description:</b> Tenant Fit-Up		<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: <i>n</i> Type: <i>20</i>	
		Signature: <i>[Signature]</i> PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

<b>Permit Taken By:</b> gg	<b>Date Applied For:</b> 08/13/2001	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		<b>Special Zone or Reviews</b>	<b>Zoning Appeal</b>	<b>Historic Preservation</b>
		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

010987

RE: PERMIT # 01-0829 (DEMOLITION)

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <sup>1030</sup> PINE TREE SHOPPING CENTER BRIGHTON AVE. PORTLAND, ME

Total Square Footage of ~~Proposed~~ Structure: 25,104 S.F. Square Footage of Lot: \_\_\_\_\_

Tax Assessor's Chart, Block & Lot: Chart# 363 Block# AA Lot# 004  
Owner: HERITAGE PROPERTY INVESTMENT TRUST 535 BOYLSTON ST. BOSTON, MA. 02116  
Telephone: 617-247-2200 (LARRY POPE)

Lessee/Buyer's Name (if Applicable): THE TJX COMPANIES, INC. 770 COCHUYATE ROAD FRAMINGHAM, MA. 01701  
Applicant name, address & telephone: 603-692-7180 HORNE CONSTRUCTION, INC. 154 HIGH ST. SOMERSWORTH, NH 03878  
Cost Of Work: \$ 880,000  
Fee: \$ 5,304.00

Current use: RETAIL  
If the location is currently vacant, what was prior use: \_\_\_\_\_  
Approximately how long has it been vacant: \_\_\_\_\_  
Proposed use: RETAIL  
Project description: TENANT FIT-UP FOR NEW A.J. WRIGHT STORE

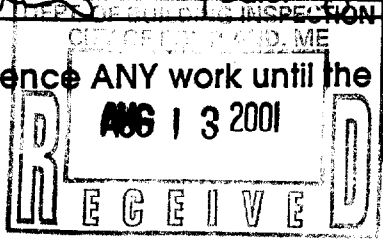
Contractor's name, address & telephone: HORNE CONSTRUCTION, INC. xx call  
Who should we contact when the permit is ready: KEVIN DONAHUE (603-765-8619)  
Mailing address: 154 HIGH ST. SOMERSWORTH, NH 03878-2612  
Phone: 603-692-7180

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Mark E. Smith* Date: 8-9-01

This is not a permit, you may not commence ANY work until the permit is issued



*Gay 8/13/01*

BUILDING PERMIT REPORT

DATE: 15 August 2001 ADDRESS: 1030 Brighton Ave. CBL: 363-AA-001

REASON FOR PERMIT: Tenant F.T.U.P

BUILDING OWNER: Heritage Property Investment Trust

PERMIT APPLICANT: Contractor Horne Const. Inc

USE GROUP: M CONSTRUCTION TYPE: 2B CONSTRUCTION COST: 800,000 PERMIT FEES: 5,304.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*1, \*11, \*13, \*21, \*23, \*24, \*28, \*35, \*38, \*39 #32

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

8/13

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

X 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

✓ 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

X 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

X 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

X 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

29. All requirements must be met before a final Certificate of Occupancy is issued.

30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

32. Please read and implement the attached Land Use Zoning report requirements. *Separate permits are required for any new signage*

33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

34. Bridging shall comply with Section 2305.16.

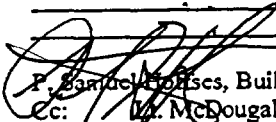
X 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

36. All flashing shall comply with Section 1406.3.10.

37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

X 38. ~~This project requires STATE Fire Marshall's office approval.~~

X 39  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

  
F. Samuel, Building Inspector

Cc: M. McDougall, PFD  
Marge Schmuckal, Zoning Administrator  
Michael Nugent, Inspection Service Manager

PSH 10/1/00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )

\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00



August 8, 2001

City of Portland  
Building Department  
389 Congress Street  
Portland, ME 04101

Attn: Building Official

Re: Tenant Fit-Up Permit – Pine Tree Shopping Center-Brighton, Ave.

Dear Building Official:

The purpose of this letter is to outline the work that will be done at the Pine Tree Shopping Plaza on Brighton Ave. for the purpose of obtaining a Building Permit.

This project is a Tenant Fit-Up for an A.J. Wright Retail Store. The previous use for this space was retail (formerly occupied by Marden's Surplus).

We have completed demolition, reference permit number 01-0829.

The construction project will include the following:

- New ceiling, flooring, patch & match exterior wall dry wall, painting.
- New partitions for offices, bathrooms, storage, etc.
- New Mechanical and Electrical Systems (Mechanical & Electrical Subcontractors responsible for their permits)
- New Exterior Store Front to coincide with corporate image.
- Modifications to sidewalk at store entrance.
- Modifications to concrete pads in the rear of the building to accommodate trash dumpsters, and/or trash compactors.
- Exterior Doors to be replaced.

Enclosed you will find the other required items to include two (2) complete sets of plans (full size), one (1) complete set of plans (11"x17").

If you have any questions please call me at 603-692-7180 or Kevin Donahue at 603-765-8619.

Thank you

A handwritten signature in black ink, appearing to read "Mark E. Geuther".

Mark E. Geuther  
Project Manager

Cc: K. Donahue



August 8, 2001

City of Portland  
Building Department  
389 Congress Street  
Portland, ME 04101

Attn: Building Official

Re: Tenant Fit-Up Permit – Fine Tree Shopping Center-Brighton, Ave.

Dear Building Official:

The purpose of this letter is to outline the work that will be done at the Fine Tree Shopping Plaza on Brighton Ave. for the purpose of obtaining a Building Permit.

This project is a Tenant Fit-Up for an A.J. Wright Retail Store. The previous use for this space was retail (formerly occupied by Marden's Surplus).

We have completed demolition, reference permit number 01-0829.

The construction project will include the following:

- New ceiling, flooring, patch & match exterior wall dry wall, painting.
- New partitions for offices, bathrooms, storage, etc.
- New Mechanical and Electrical Systems (Mechanical & Electrical Subcontractors responsible for their permits)
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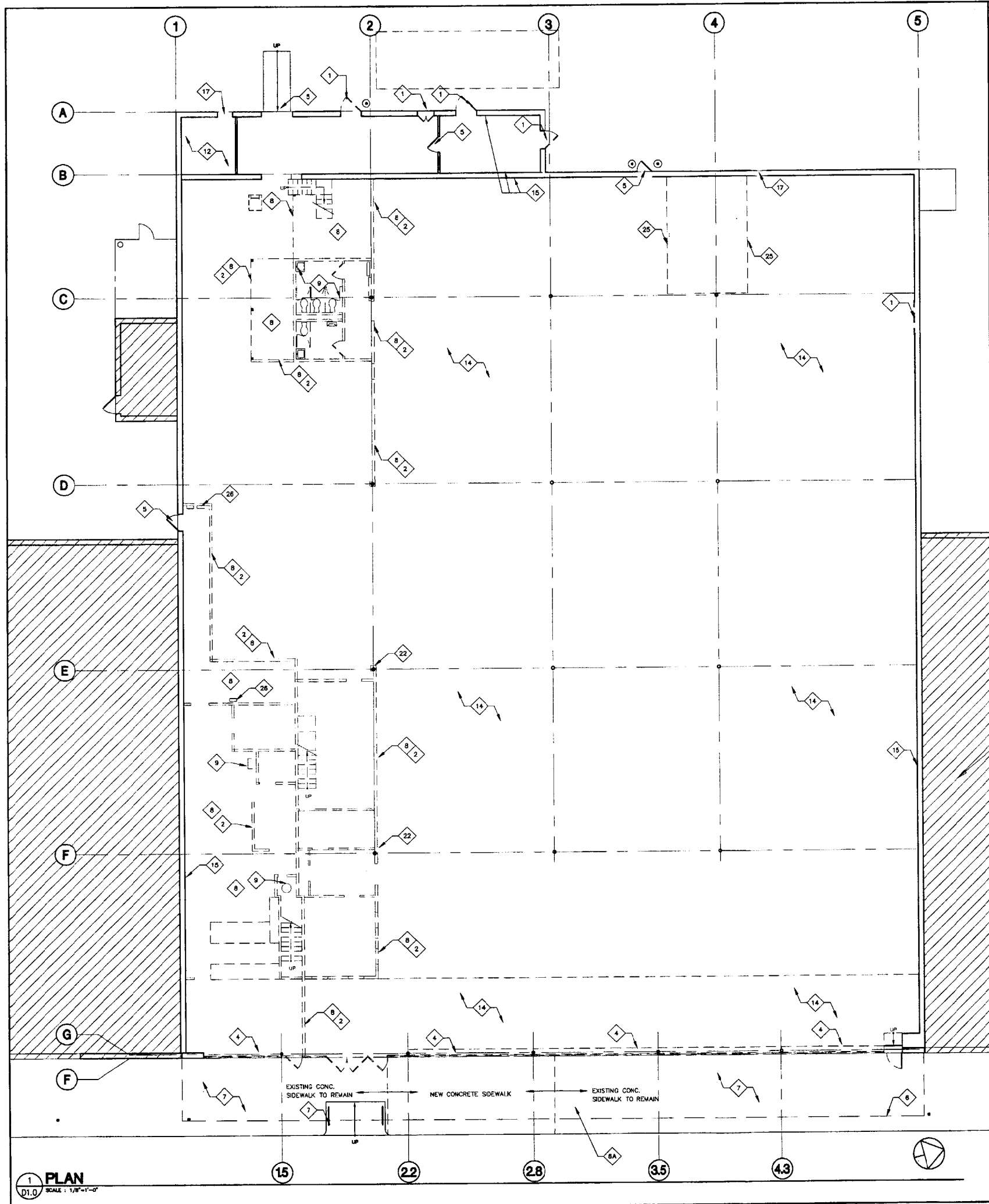
Thank you

A handwritten signature in black ink that reads "Mark E. Geuther". The signature is fluid and cursive, with a long horizontal flourish at the end.

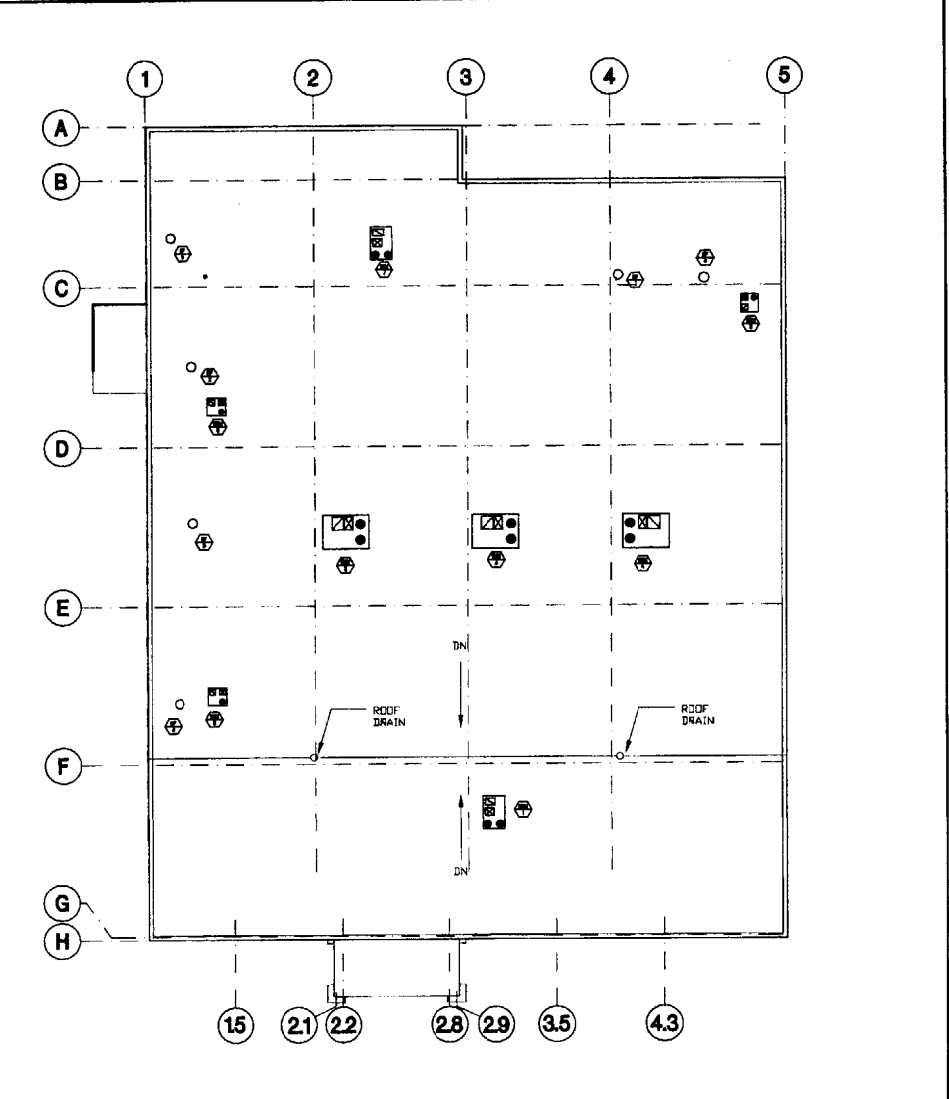
Mark E. Geuther  
Project Manager

Cc: K. Donahue





**1 PLAN**  
D1.0 SCALE: 1/8"=1'-0"



**2 ROOF PLAN**  
D1.0 SCALE: 1/8"=1'-0"

HATCHED AREA NOT IN CONTRACT

**DEMOLITION KEYED NOTES**

- |   |   |
|---|---|
| 1 REMOVE EXISTING PARTITIONS DOORS AND FRAMES. SHOWN DASHED, TYPICAL UNLESS NOTED OTHERWISE   | 14 REMOVE EXISTING FINISH FLOOR & SUBFLOOR BACK TO CONC. SLAB - PREPARE SLAB TO ACCEPT NEW FINISH   |
| 2 REMOVE EXISTING PARTITION SHOWN DASHED, TYP. UNO  | 15 REMOVE EXISTING MIRRORS, WALLCOVERING & SIGNAGE ON PERIMETER WALLS COMPLETE, TYP. PATCH, REPAIR EXISTING SUBSTRATES THAT ARE TO REMAIN AS NEEDED |
| 3 REMOVE EXISTING LIGHT FIXTURES, HANGERS & APPURTENANCES REMOVE ALL EXISTING CEILING SYSTEMS COMPLETE, TYP.                                | 16 REMOVE EXISTING COMPACTOR DOOR & PATCH WALL TO MATCH EXIST   |
| 4 REMOVE EXISTING WINDOWS & DOORS, & MASONRY AS REQ'D FOR NEW STOREFRONT  | 17 REMOVE MASONRY AS REQ'D FOR NEW DOOR - PROVIDE NEW LINTEL AS REQ'D   |
| 5 EXISTING DOOR TO REMAIN   | 18 NOT USED   |
| 6 DEMOLISH/REMOVE PORTIONS OF EXISTING CANOPY AS REQUIRED, TO ACCOMMODATE NEW CONSTRUCTION  | 19 REMOVE THEFT PROTECTION EQUIPMENT & ITS SYSTEM IN ITS ENTIRETY   |
| 6A EXISTING CANOPY AND COLUMNS TO REMAIN  | 20 NOT USED   |
| 7 EXISTING WALKWAY RAMP & CURB TO REMAIN  | 21 REMOVE EXISTING WATER COOLER   |
| 8 REMOVE EXISTING MEZZANINE STRUCTURES & ASSOCIATED CONSTRUCTION IN ITS ENTIRETY INCLUDING STAIR, MASONRY AND PARTITION WALLS, IN THIS AREA | 22 REMOVE EXISTING WALL COVERING ON ALL SIDES OF COLUMNS, COMPLETE PATCH EXISTING SUBSTRATES THAT ARE TO REMAIN AS NEEDED                           |
| 9 REMOVE EXISTING PLUMBING FIXTURES & PIPING (SUPPLY, VENT, WASTE) PLUS WASTE LINE AT FLOOR   | 23 NOT USED   |
| 10 NOT USED   | 24 NOT USED   |
| 11 NOT USED   | 25 REMOVE EXISTING FLOOR FOR NEW PLUMBING - COORDINATE W/ PLUMBING WORK   |
| 12 EXISTING ELECTRICAL TO BE REWORKED. SEE ELEC. DRAWINGS   | 26 EC - DISCONNECT & REMOVE ELEC. DEVICES & WIRING BACK TO POINT OF ORIGIN  |
| 13 REMOVE EXISTING SOFFIT   |   |

**DEMOLITION GENERAL NOTES**

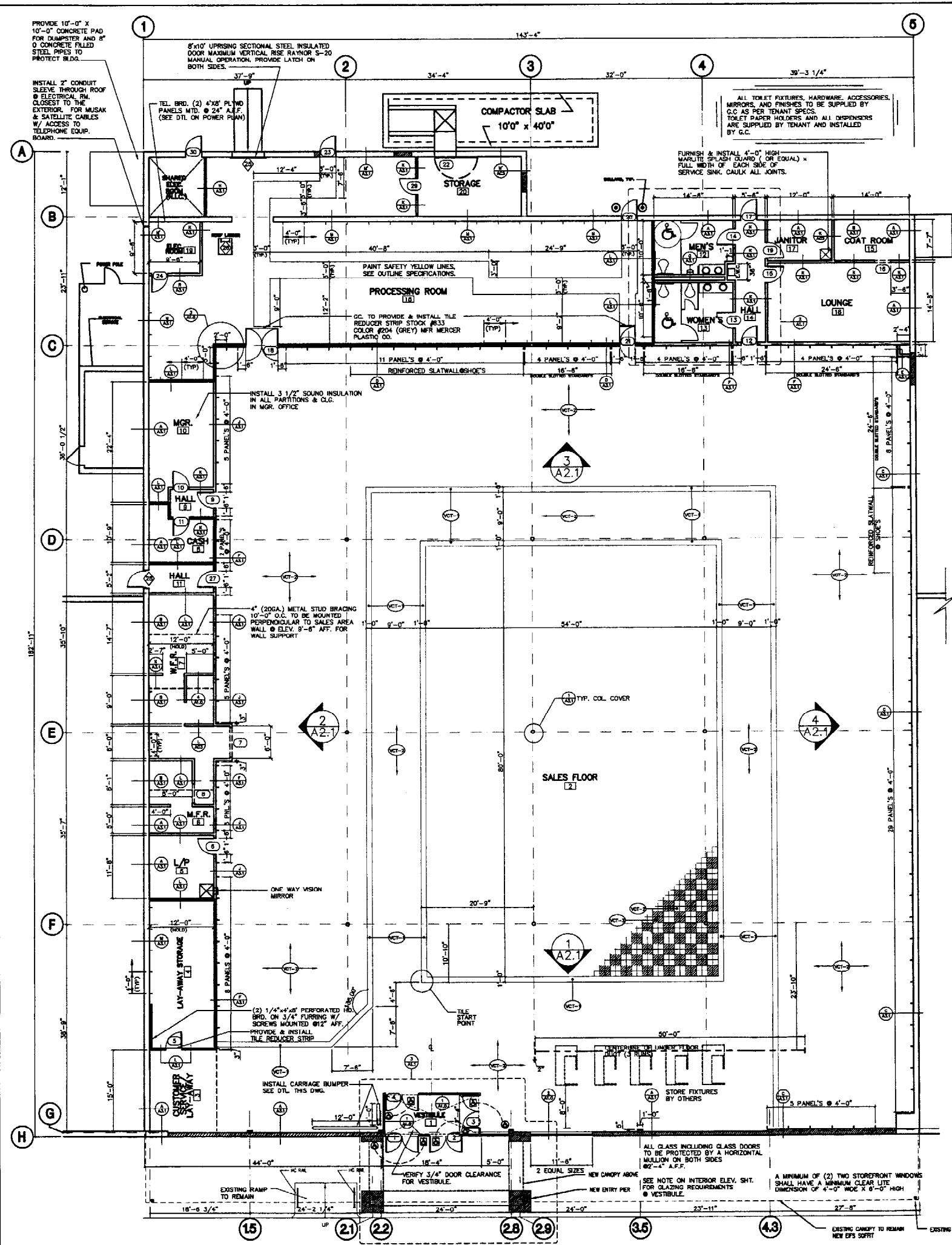
- EXISTING CONSTRUCTION TO BE REMOVED SHOWN DASHED, TYPICAL.
- REMOVE ALL INTERIOR & EXTERIOR SIGNAGE
- THE CONTRACTOR SHALL PERMANENTLY CAP & FLUSH OFF BEHIND FINISH SURFACE ALL PROJECTIONS PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED. ALL ABANDONED PLUMBING TO BE CAPPED WITH CONCRETE.
- THE CONTRACTOR SHALL COMPLETELY REMOVE ALL WALL CONDUITS LEFT AFTER WALL/CEILING DEMOLITION, INCLUDING SWITCH BOXES, PLATES OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING AND EQUIPMENT THAT WILL NOT BE REUSED. ALL ELECTRICAL WIRING SHALL BE REMOVED BACK TO POINT OF ORIGIN.
- CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REPAIR WORK AS INDICATED, BUT NOT LIMITED TO ITEMS ON DRAWINGS. THE REMOVAL WORK SHOWN ON THE DRAWINGS IS NOT ALL INCLUSIVE AND IS SHOWN FOR THE CONTRACTOR'S GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO ACCOMPLISH THE TENANT IMPROVEMENT WORK CONTAINED HEREIN.
- ALL DEMOLISHED MATERIAL IS TO BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER. THE GENERAL CONTRACTOR TO COORDINATE WITH THE PROPERTY MANAGER A LOCATION TO STORE DEBRIS UNTIL IT IS REMOVED FROM THE SITE.
- ADDITIONAL DEMOLITION RELATED TO H.V.A.C. AND GAS LINES SHALL BE DIRECTED BY MECHANICAL ENGINEER.

--- EXISTING TO REMAIN  
- - - EXISTING TO BE REMOVED

44-11101005010102 01/11/13 010 Eng. Thu. Jul 19 10:46:58 AM 2001

Project No.	01122
Contractor	A.J. WRIGHT ARCHITECTS 1100 S. MARKET ST. PORTLAND, ME 04102
Client	PINE TREE SHOPPING CENTER BROOKFIELD AVENUE PORTLAND, ME 04102
Contract	D1.0
Drawn By	T.H.L.
Checked By	T.H.L.
Date	07/18/01
As Noted	AS NOTED



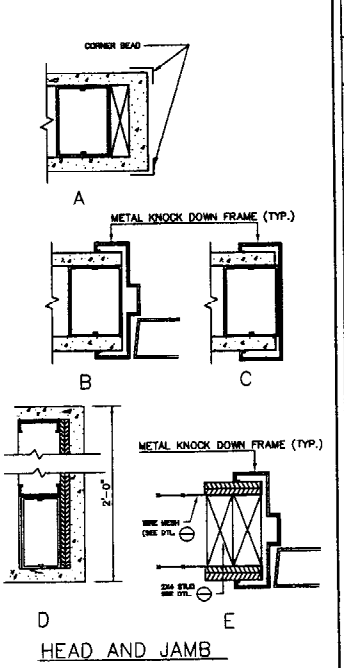
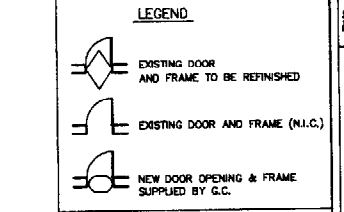


### DOOR & HARDWARE SCHEDULE

NO.	OPENING SIZE	HEAD AND JAMB TYPE	TYPE	DOORPLATE	HARDWARE	CODE NO.	REMARKS
1	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
2	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
3	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
4	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
5	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
6	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
7	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
8	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
9	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
10	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
11	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
12	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
13	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
14	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
15	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
16	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
17	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
18	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
19	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
20	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
21	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
22	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
23	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
24	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
25	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
26	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
27	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
28	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
29	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)
30	6'-0\"/>	7	HJ		N.A.	N.A.	PAIR METAL AND GLASS (HOLD OPEN DEVICES NOT REQUIRED)

### ROOM MATERIAL & FINISH SCHEDULE

NO.	AREAS	FLOOR	BASE	WALL	CEILING	REMARKS
1	VESTIBULE	CONCRETE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
2	SALES FLOOR	CONCRETE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
3	LAY-AWAY PICK-UP/QUIST. SVC.	CONCRETE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
4	LAY-AWAY STORAGE	CONCRETE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
5	WOMEN'S FITTING ROOM	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
6	CASHIER OFFICE	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
7	WOMEN'S FITTING ROOM	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
8	CASHIER OFFICE	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
9	HALL AT MGR. OFFICE	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
10	MANAGER OFFICE	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
11	EMERGENCY EGRESS	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
12	MEN'S TOILET	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
13	WOMEN'S TOILET	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
14	HALL AT LOUNGE/REST.	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
15	COAT ROOM	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
16	ASSOCIATE'S LOUNGE	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
17	JANITOR'S CLOSET	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
18	PROCESSING RM.	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
19	ELECTRICAL ROOM	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH
20	STORAGE	CERAMIC TILE	FINISH NO. 114	FINISH NO. 113	ACoustICAL TILE	SEE DWG. FOR FINISH

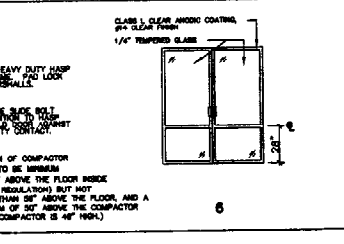
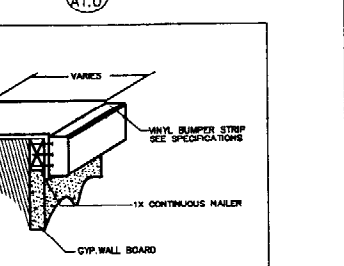
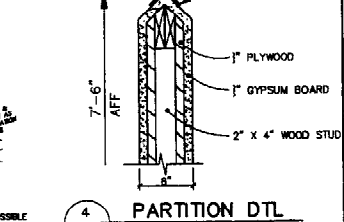
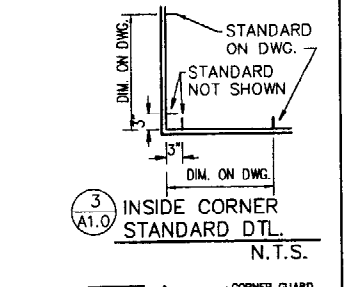
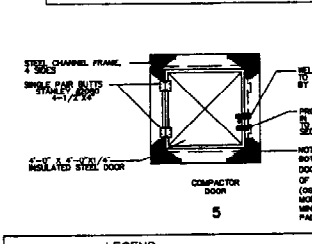
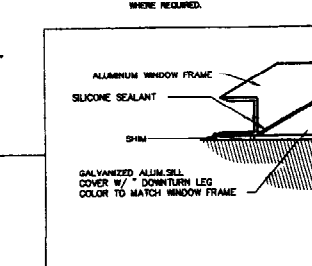
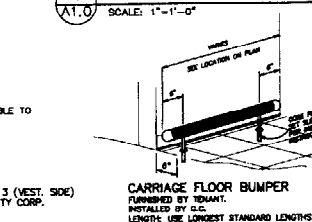
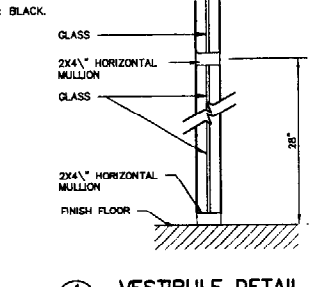
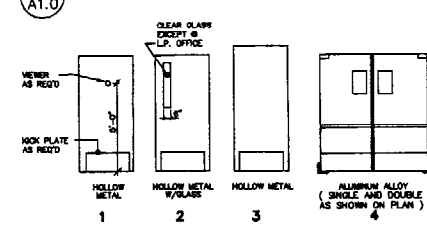
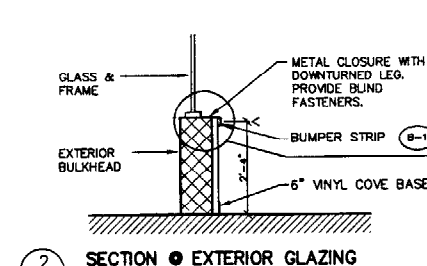


### DOOR HARDWARE

NO.	HARDWARE	MANUFACTURER
1	HINGES	USP (primed for painting)
2	DOOR CLOSERS	AL (sprayed aluminum)
3	PUSH-BUTTON LOCK PLATES	US322 (stainless steel with finish)
4	BALANCE OF HARDWARE	US260 (dull chromium plated)

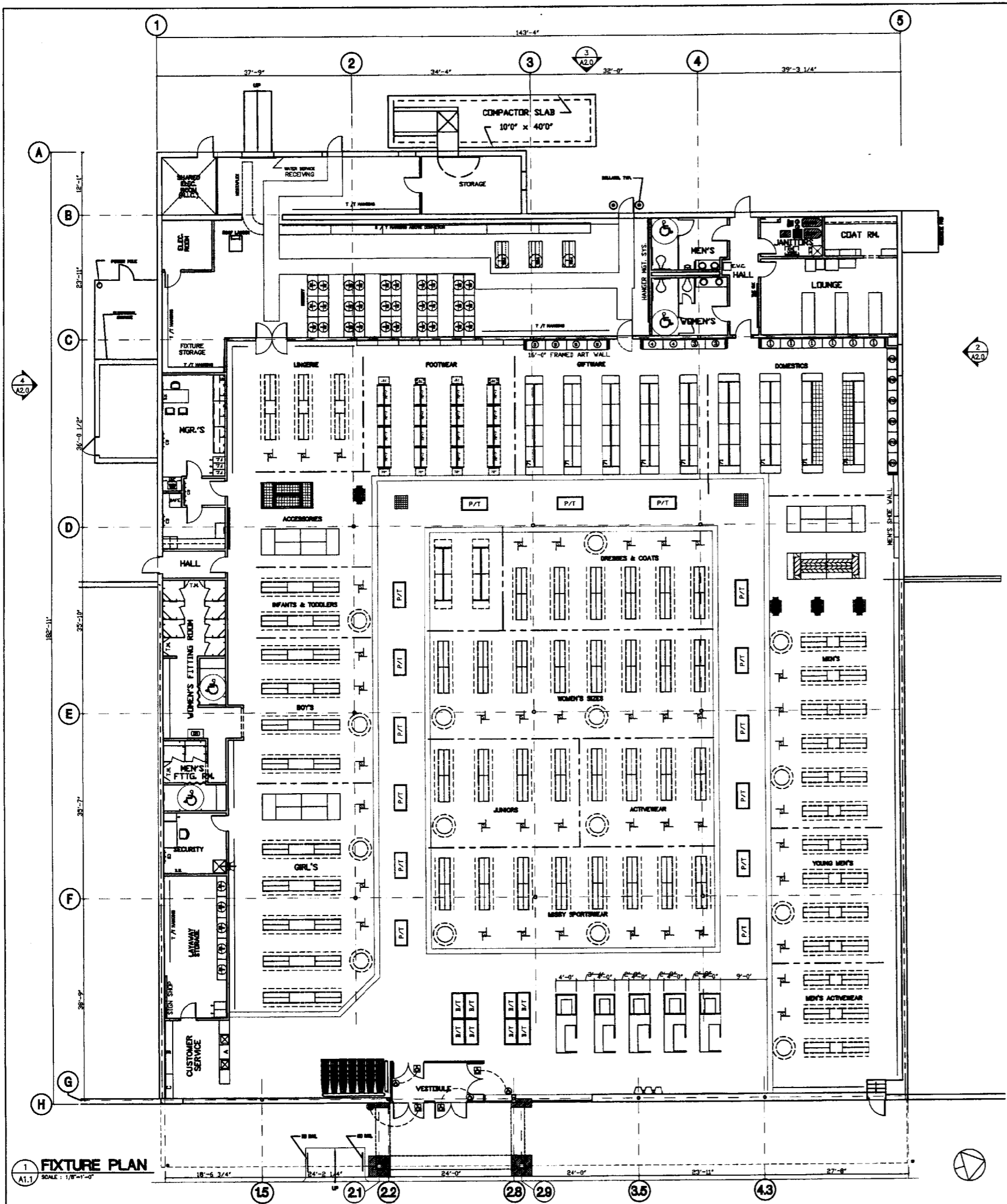
HARDWARE TO BE FINISHED AS FOLLOWS:  
 HINGES: USP (primed for painting)  
 DOOR CLOSERS: AL (sprayed aluminum)  
 PUSH-BUTTON LOCK PLATES: US322 (stainless steel with finish)  
 BALANCE OF HARDWARE: US260 (dull chromium plated)

- PROVIDE BURGULAR PROOF HINGES N.I.P. WHERE EXPOSED TO OUTSIDE.
- PROVIDE DOOR STOP ON ALL DOORS (INCLUDING SAFE DOORS), WHERE THEY ARE LIABLE TO DAMAGE THE WALL OR ADJACENT FIXTURE.
- PAINT ALL METAL DOORS 112. SEE SHT. A11 FOR PAINT SPEC.
- ALUMINUM ALLOY DOUBLE ACTION DOOR (ONE OR TWO DOORS) TO BE "EASY SWING" TYPE L.W.P.
- ALL LOCKS AND LOCKING DEVICES ARE TO BE SUPPLIED WITH CONST. CORES AND INSTALLED BY G.C. BALANCE OF HARDWARE TO BE BY G.C.
- G.C. TO INSTALL PERMANENT CORES SUPPLIED BY TENANT.
- PROVIDE KAMMER STYLE F-2 PUSH-PULL. DO NOT INSTALL PULL ON DOORS NO. 3 (VEST. SIDE).
- PUSH BUTTON LOCKSET, NO. 114 AS DISTRIBUTED BY APACHE LOCK AND SECURITY CORP., 31 THOMP ROAD, NEEDHAM, MA. (617) 446-8900.

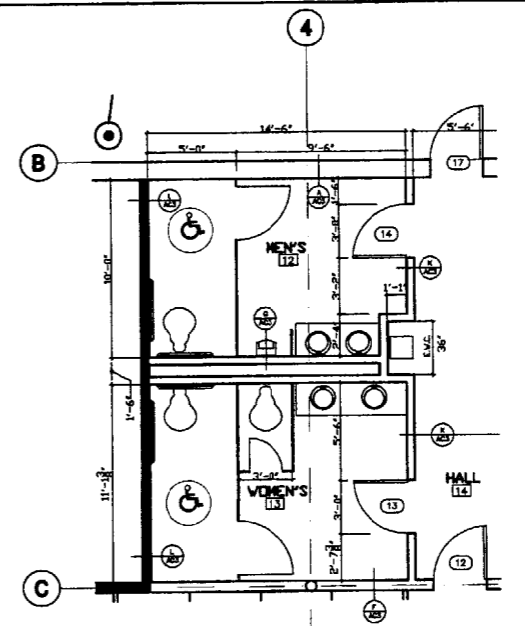


**FLOOR PLAN, SCHEDULES AND DETAILS**  
 PROJECT NO. 01122  
 ARCHITECT: A.J. WRIGHT ARCHITECTS  
 1000 BRIGHTON AVENUE  
 PORTLAND, ME 04102  
 CONTRACT  
 A10

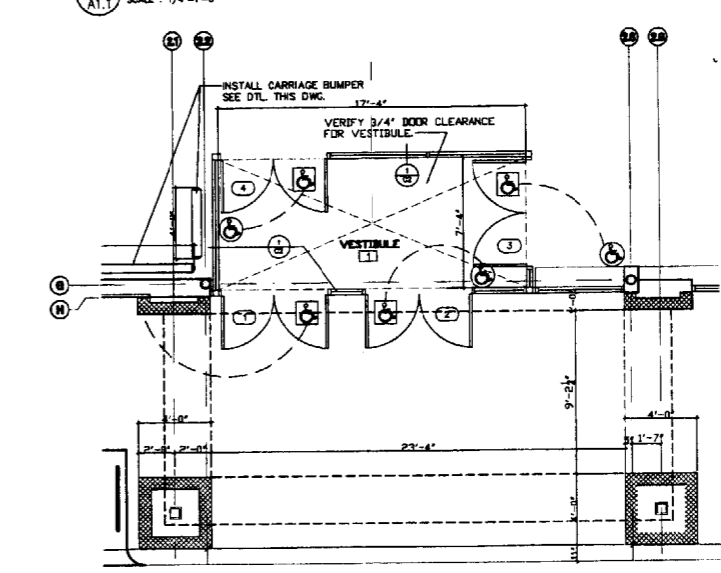
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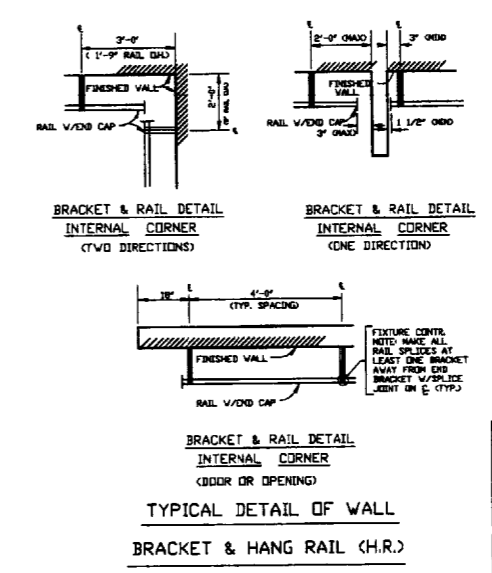
1 FIXTURE PLAN  
SCALE: 1/8"=1'-0"



2 RESTROOMS ENLARGED PLAN  
SCALE: 1/4"=1'-0"



3 ENTRY ENLARGED PLAN  
SCALE: 1/4"=1'-0"



BRACKET & RAIL DETAIL  
INTERNAL CORNER  
(DOOR OR OPENING)  
TYPICAL DETAIL OF WALL  
BRACKET & HANG RAIL (H.R.)

DEPARTMENT ANALYSIS	
GIRLS	5%
INF. & TODD.	2%
BOYS	4%
ACCESSORIES	3%
LINGERIE	4%
DOMESTICS	4%
GIFTWARE	4%
FOOTWEAR	4%
DRESSES/COATS	4%
WOMENS	5%
JUNIORS	3%
ACTIVEWEAR	3%
MISSY SPORTSWEAR	5%
MENS	12%
BARGAIN AREA	2%
MISC. SALES AREA	36%

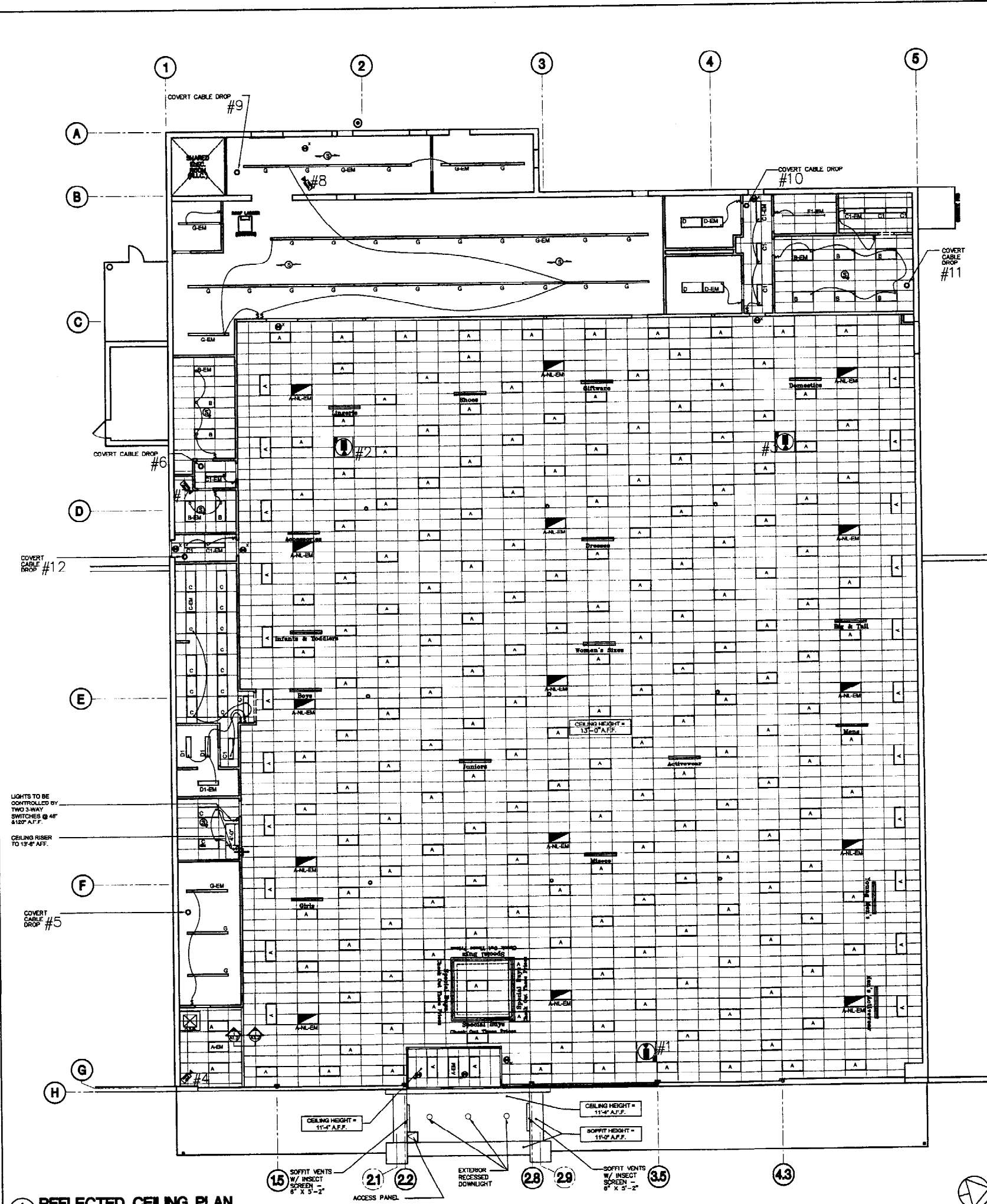
AREA ANALYSIS	
GROUND COVER	25,104 SF
SALES AREA	19,706 SF
STOCKROOM	3,190 SF
MEZZ. (IF APPLICABLE)	0 SF
<b>TOTAL CONSTRUCTION AREA</b>	<b>25,104 SF</b>

PROJECT NO. 01122  
 DATE: 7/18/01  
 DRAWN BY: SOM  
 CHECKED BY: OMS  
 APPROVED: 7/18/01  
 SCALE: 1/8"=1'-0"

PROJECT NO. 01122  
 DATE: 7/18/01  
 DRAWN BY: SOM  
 CHECKED BY: OMS  
 APPROVED: 7/18/01  
 SCALE: 1/8"=1'-0"

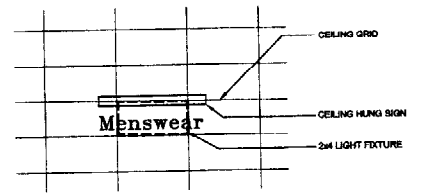
A.J. WRIGHT  
 PINE TREE SHOPPING CENTER  
 BRIGHTON AVENUE  
 PORTLAND, ME 04102

CONTRACT  
 A11



### SENSORMATIC WIRING SCHEDULE

NO.	LOCATION
1	SALES FLOOR DOME CAMERA
2	SALES FLOOR DOME CAMERA
3	SALES FLOOR DOME CAMERA
4	FIXED CAMERA AT COMBINED S.D./LAWWAY
5	COVERT CABLE DROP @ LAYAWAY STOCK
6	COVERT CABLE DROP @ HALL @ CASH OFFICE
7	FIXED CAMERA AT CASH OFFICE
8	FIXED CAMERA AT RECEIVING
9	COVERT CABLE DROP AT RECEIVING
10	COVERT CABLE DROP @ LOUNGE/BATH HALL
11	COVERT CABLE DROP AT LOUNGE
12	COVERT CABLE @ EMERGENCY EGRESS



NOTE:  
INSTALL ALL CEILING HUNG SIGNS AT THE BACK OF 2x4 LIGHT FIXTURE. INSTALL CEILING HUNG SIGN CLIPS ON THE SAME GRID THAT HOLDS THE LIGHT FIXTURE.  
BOTTOM OF SIGN SHOULD BE 6 FEET ABOVE THE FLOOR.

NOTE:  
STORE LIGHTING (SALES & SUPPORT) SHALL INCORPORATE BODINE B100 TYPE BALLASTS TO ACT AS A NITE LIGHTS / EMERGENCY LIGHTS. NUMBER OF FIXTURES WITH THE BODINE B100 BALLAST SHALL BE DETERMINED BY CODE. (B-EM, C-EM, C1-EM, D1-EM, D-EM, G-EM, A-NL-EM, LF-2-NL-EM)

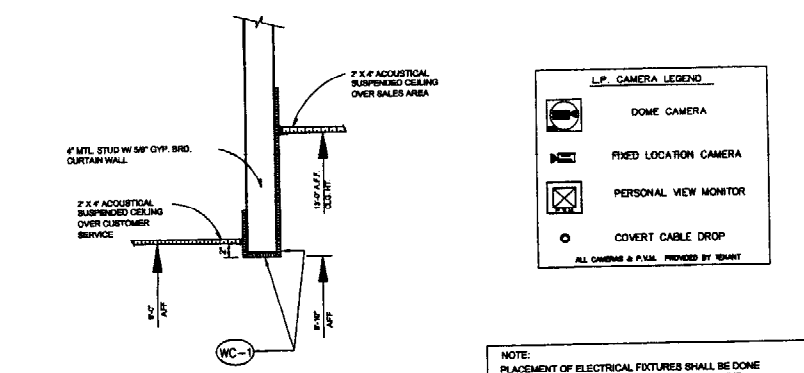
NL-EM: WILL BE WIRED FOR UNSWITCHED FIXTURE (FIXTURES WILL RUN 24 HOURS)  
EM: WILL BE WIRED FOR SWITCHED FIXTURE (FIXTURE WILL TURN ON/OFF WITH WALL SWITCH. BODINE EMERGENCY WILL TURN ON WHEN POWER FAILS.)

ALL LAMPS SHALL BE SP35/MM AS MANUFACTURED BY GENERAL ELECTRIC.  
NO SUBSTITUTIONS UNLESS OTHERWISE NOTED

### LIGHTING FIXTURE SCHEDULE

SYM	SIZE	FIXTURE MOUNTING	LAMPING	REMARKS
A1	2' x 4'	RECESSED	4 F32TB/SP35	WITH PRISMATIC ACRYLIC LENS
B	2' x 4'	RECESSED	4 F32TB/SP35	WITH PRISMATIC ACRYLIC LENS
C	2' x 4'	RECESSED	4 F32TB/SP35	WITH PRISMATIC ACRYLIC LENS
D	2' x 4'	RECESSED	4 F32TB/SP35	WITH PRISMATIC ACRYLIC LENS
E	4' x 4'	RECESSED	4 F32TB/SP35	WITH PRISMATIC ACRYLIC LENS
F	4' x 4'	RECESSED	4 F32TB/SP35	WITH PRISMATIC ACRYLIC LENS
F1	4' x 8'	SURFACE	2 F32TB/SP35	WITH HEAVY DUTY ROW ALIGNERS & TWISTEE HANGERS
F2	4' x 8'	SURFACE	2 F32TB/SP35	WITH HEAVY DUTY ROW ALIGNERS & TWISTEE HANGERS
F3	4' x 8'	SURFACE	1 F32TB/SP35	WITH HEAVY DUTY ROW ALIGNERS & TWISTEE HANGERS
G	1' x 8'	PENDANT	4 F32TB/SP35	WITH ICE TONG AND JACK CHAIN HANGERS
G1	1' x 4'	PENDANT	2 F32TB/SP35	WITH ICE TONG AND JACK CHAIN HANGERS
G2	1' x 4'	PENDANT	1 F32TB/SP35	WITH ICE TONG AND JACK CHAIN HANGERS
H1	3' x 4'	VALANCE	2 F32TB/SP35	MOUNT TO VALANCE BRACKETS
H2	3' x 4'	VALANCE	2 F32TB/SP35	MOUNT TO VALANCE BRACKETS
J	4' x 8'	CURTAIN WALL	2 F32TB/SP35	
J2	4' x 8'	CURTAIN WALL	2 F32TB/SP35	
K	4' x 8'	SURFACE	1 66 SQUARE/NSP/71	130 VOLT WALL PACK WITH LEXAN
L	1' x 1'	WALL	1 L1100	
P	20" x 20" DEEP	PENDANT	1 100 WATT TYPE A LAMP	REMOTE WITH BATTERY PACK
R	EMERGENCY	CEILING WALL	1 17 VOLT	
S	8 1/2" x 8"	SURFACE	1 F32TB/SP35	
S2	8 1/2" x 4"	SURFACE	1 F32TB/SP35	
T	---	CANOPY	2 F118-020-0-02-11-000A/L	MANUFACTURER: ELLIPTIPAR TWO 50 WATT BIAX LAMPS (INCLUDED WITH FIXTURE)
V	7" DIA.	RECESSED	2 COMPACT FLUORESCENT LAMPS	
X	---	---	---	EXIT SIGN

ALL LAMPS SHALL BE SP35/MM AS MANUFACTURED BY GENERAL ELECTRIC.  
NO SUBSTITUTIONS UNLESS OTHERWISE NOTED



1 CEILING DETAIL  
A1.2 NTS

NOTES:  
1. OMIT ALL SPEAKERS SHOWN ON THIS DRAWING AS THEY ARE TENANT SUPPLIED & INSTALLED.  
2. LAYAWAY STOCK & STOCK ROOM LIGHTING TO BE COORDINATED WITH HVAC & STRUCTURAL STEEL.  
3. HANGING SIGNS PROVIDED AND INSTALLED BY A.J. WRIGHT

REFLECTED CEILING PLAN

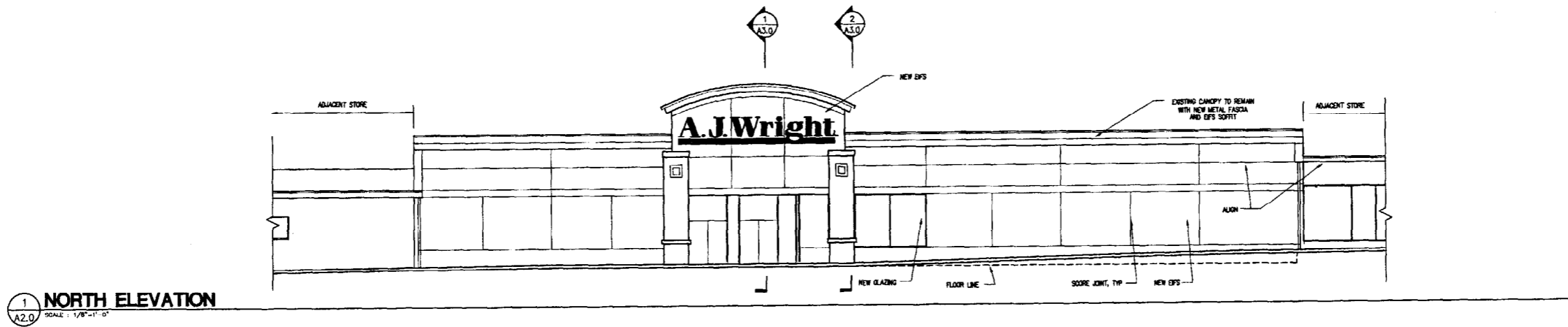
A.J. WRIGHT ARCHITECTS  
1000 BROADWAY  
PORTLAND, ME 04102  
PHONE: 603-833-1111  
FAX: 603-833-1112

PROJECT: 01122  
DATE: 7/10/01

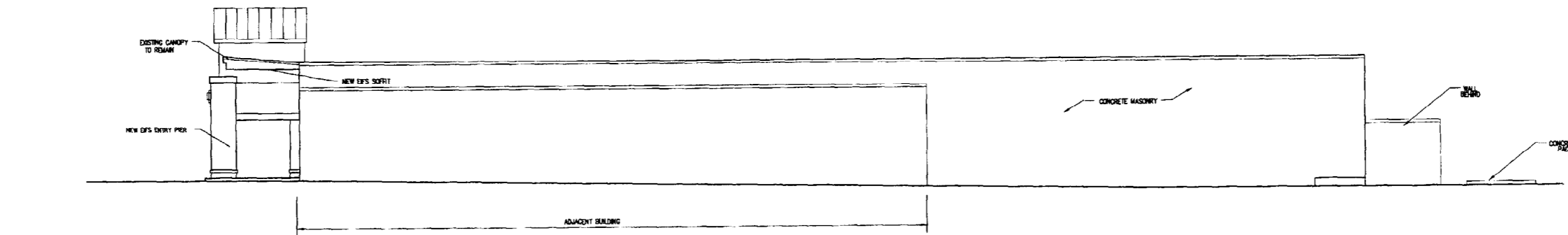
A.J. WRIGHT SHOPPING CENTER  
BRIGHTON AVENUE  
PORTLAND, ME 04102

CONTRACT  
A12

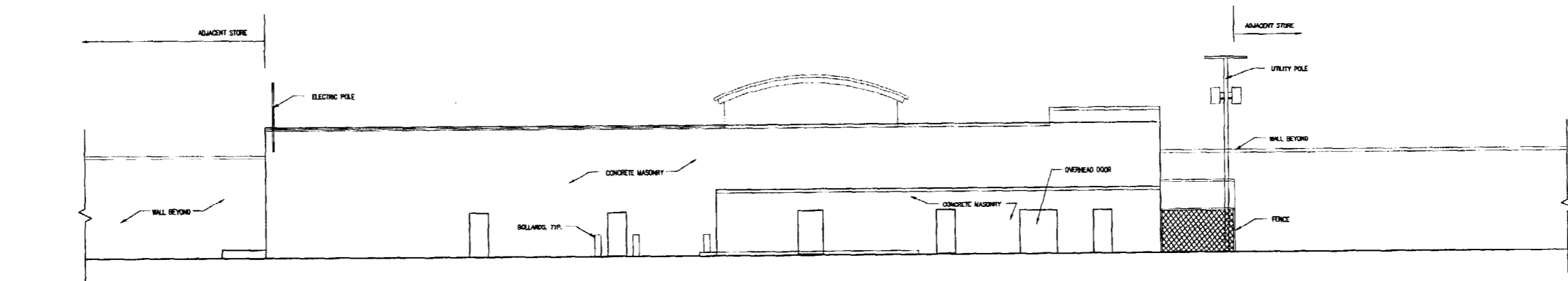
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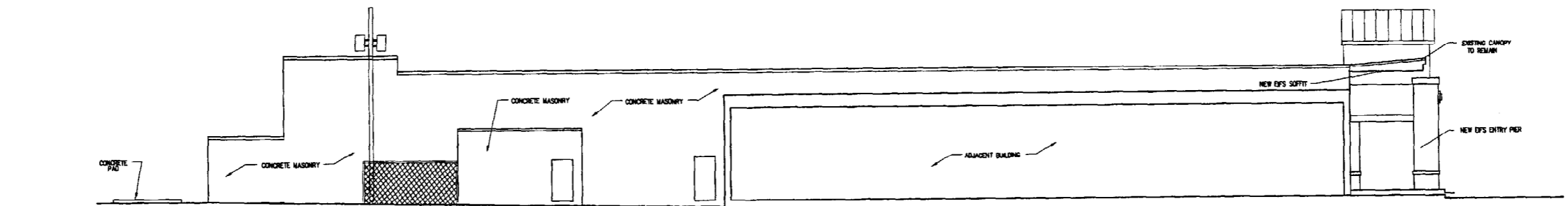
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2 WEST ELEVATION  
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3 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



4 EAST ELEVATION  
SCALE: 1/8"=1'-0"

DATE	
DESCRIPTION	
BY	
CHECKED BY	
APPROVED BY	

EXTERIOR ELEVATION	
Drawn by	JML
Checked by	CHS
Scale	1/8" = 1'-0"
Project No.	01122
Date	07-18-01

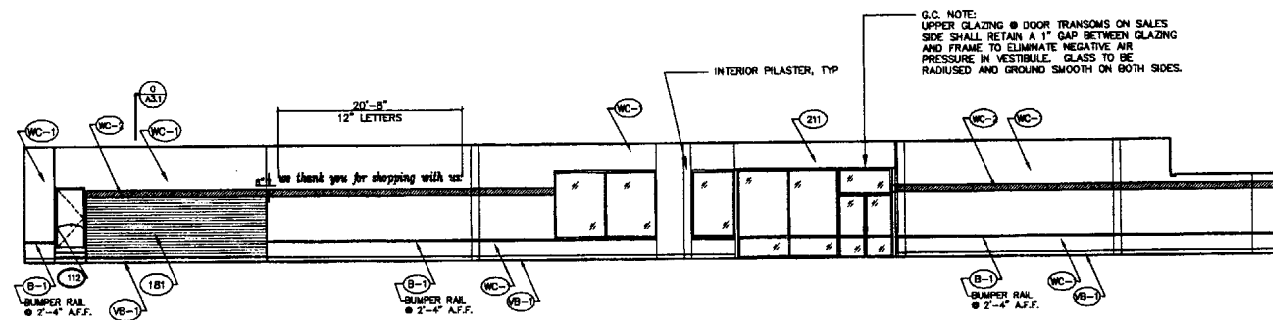
01122

**A.J. WRIGHT ARCHITECTS**  
 250 BROADWAY  
 PORTLAND, ME 04102

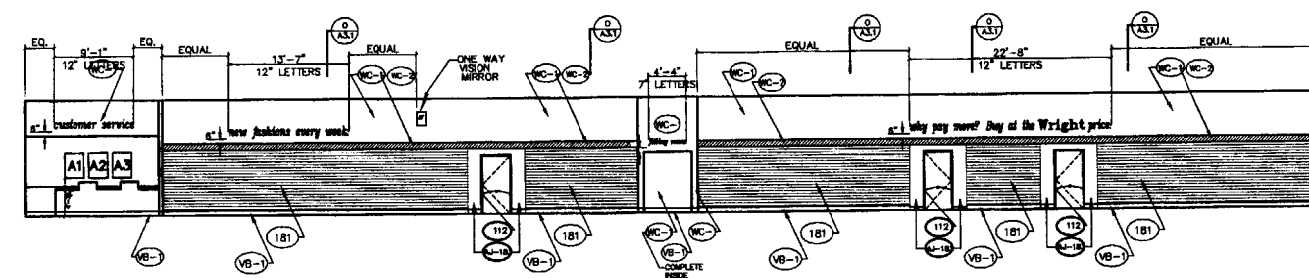
**A.J. WRIGHT**  
**PINE TREE SHOPPING CENTER**  
 BRIGHTON AVENUE  
 PORTLAND, ME 04102

CONTRACT

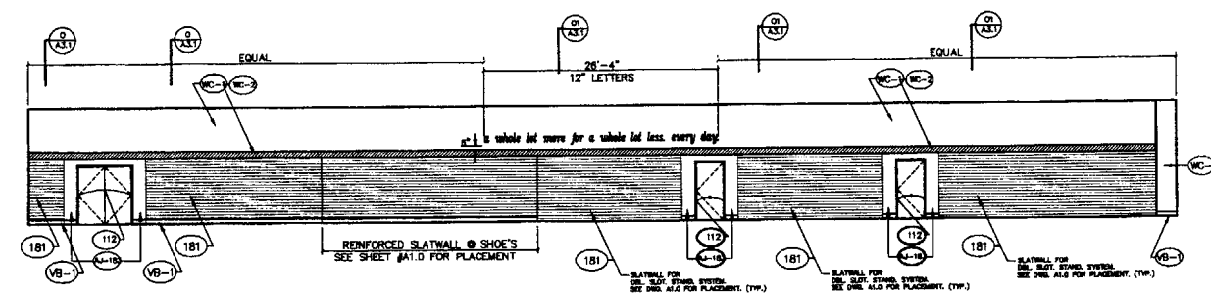
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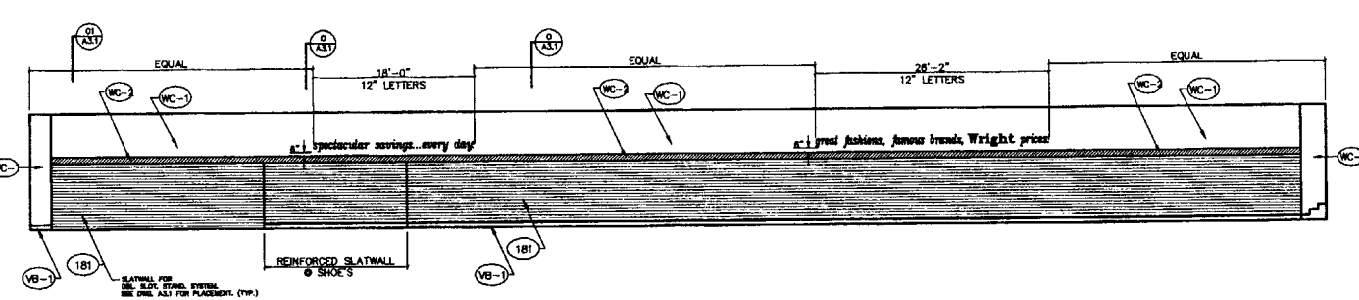
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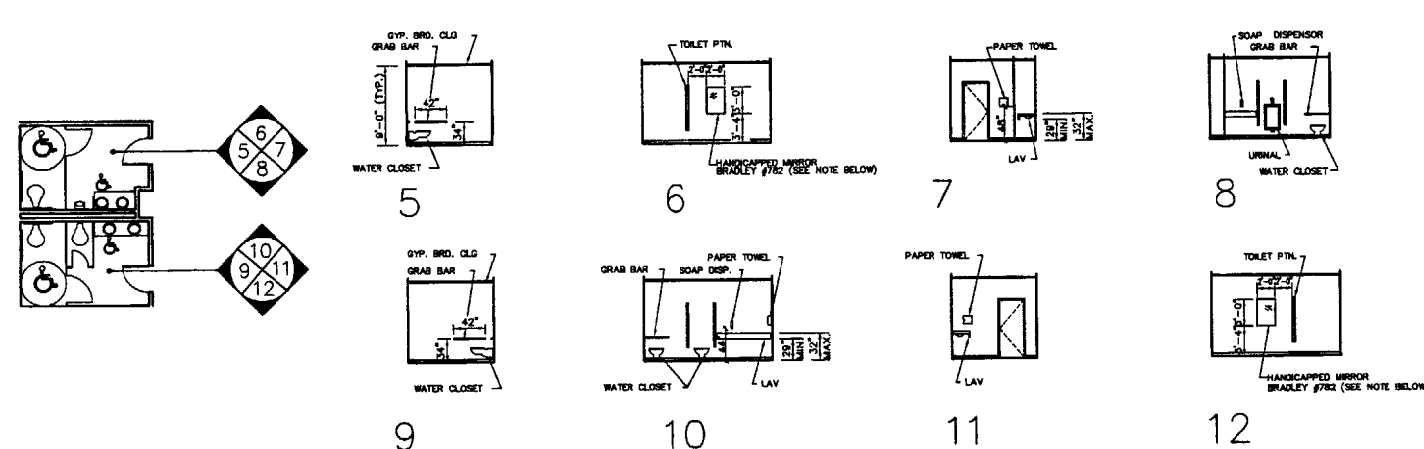
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A2.1 SCALE: 1/8"=1'-0"



1 INTERIOR ELEVATION  
A2.1 SCALE: 1/8"=1'-0"



1 INTERIOR ELEVATION  
A2.1 SCALE: 1/8"=1'-0"



NOTE  
HANDICAPPED MIRROR CONTACT: LARRY YOUNG  
1-800-969-8161 7 AM TO 4 PM EST  
FAX: (508) 820-9317

CODE	MATERIAL	MANUFACTURER	SPECIFICATION
B-1	BUMPER	McQUE CORPORATION CONTACT: DAN BALLOU 508.741.8500	SERIES: CARTGUARD COLOR: #533 RASPBERRY NOTE: ALL BUMPERS ARE 2" IN DIAMETER.
VB-1	VINYL BASE	ARMSTRONG CONTACT: CHRIS EASLER 800.356.9301 XB934	COLOR: LIGHT GRAY # 69, 6"
VCT-1	VINYL COMPOSITION TILE	ARMSTRONG CONTACT: CHRIS EASLER 800.356.9301 XB934	SERIES: IMPERIAL TEXTURE STANDARD EXCELOX COLOR: 51815 GRANBERRY RED
VCT-2	VINYL COMPOSITION TILE	ARMSTRONG CONTACT: CHRIS EASLER 800.356.9301 XB934	SERIES: IMPERIAL TEXTURE STANDARD EXCELOX COLOR: 51941 POLAR WHITE
VCT-3	VINYL COMPOSITION TILE	ARMSTRONG CONTACT: CHRIS EASLER 800.356.9301 XB934	SERIES: PREMIUM EXCELOX COLOR: 52508 CENTER RING SILVER
WC-1	WALLCOVERING	SURFACE MATERIALS MARIANNE KELLY 1-800-231-3223 X-122	PATTERN: TEWKSBURY COLOR: SNOW CODE: T2-TK-01
WC-2	WALLCOVERING	IMPLIED VALANCE CONTACT: MS. NANCY SLOOD 800.679.5120 X7306	9" HIGH IMPLIED VALANCE COLOR: PMS 242C
111	PITTSBURGH PAINT	BLOSSOM WHITE # P2537	
112	PITTSBURGH PAINT	CUMULUS GREY # P2539	
113	PITTSBURGH PAINT	NAVAJO WHITE # 2550	
114	PAINT	B.M. DECK GRAY PORCH & FLOOR ENAMEL (#11271) HIGH GLOSS WITH SAND ADDED FOR NON-SLIP FINISH	
148	CERAMIC TILE	DAL-TILE	"MARBLE" D-325 2" x 2" x 1/4" GROUT COLOR TO BE "HYDROMENT MODE PEARL" # 373 & 5" MATCHING COVE BASE
181	SLATWALL	SEE NOTE THIS SHEET	COLOR: #1573-6 FROSTY WHITE
AJ-183	LAMINATED PANEL	SEE NOTE THIS SHEET	COLOR: #1573-6 FROSTY WHITE

SPECIFICATIONS FOR V.W.C. INSTALLATION

NEW CONSTRUCTION: THE G.C. SHALL SEE THAT SURFACES PRESENT A TRUE SMOOTH, LEVEL FINISH FREE FROM CRACKS, DIRT, DUST, IRREGULARITIES, ROUGH SPOTS AND INDENTATIONS. A GOOD QUALITY NAMED BRAND WHITE OIL BASED PRIMER SHALL BE USED ON ALL NEW DRYWALL TO EASE APPLICATION AND FUTURE REMOVAL.

RENOVATIONS: OLD WALLCOVERINGS SHALL BE REMOVED AND WALLS ARE TO BE WASHED AND SANDED TO REMOVE ANY OLD ADHESIVE. IF NECESSARY THEY SHALL BE RE-PRIMED WITH AN OIL BASED WHITE PRIMER.

ADHESIVE: GUARD FC-100 OR ANY OTHER GOOD QUALITY HEAVY DUTY ADHESIVE IS RECOMMENDED.

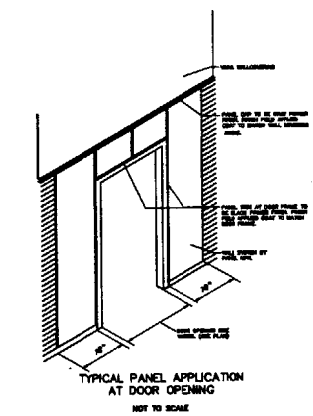
DO NOT "RAILROAD" VINYL WALL COVERING.

ALL WORK SHALL BE COMPLETED IN A NEAT AND PROFESSIONAL MANNER.

INSTALLATION OF WALL LETTER LOGOS INSTRUCTIONS:  
FOR MANUFACTURER'S INSTALLATION INSTRUCTIONS,  
SEE "SIGNAGE" SECTION OF FIXTURE INSTALLATION MANUAL.

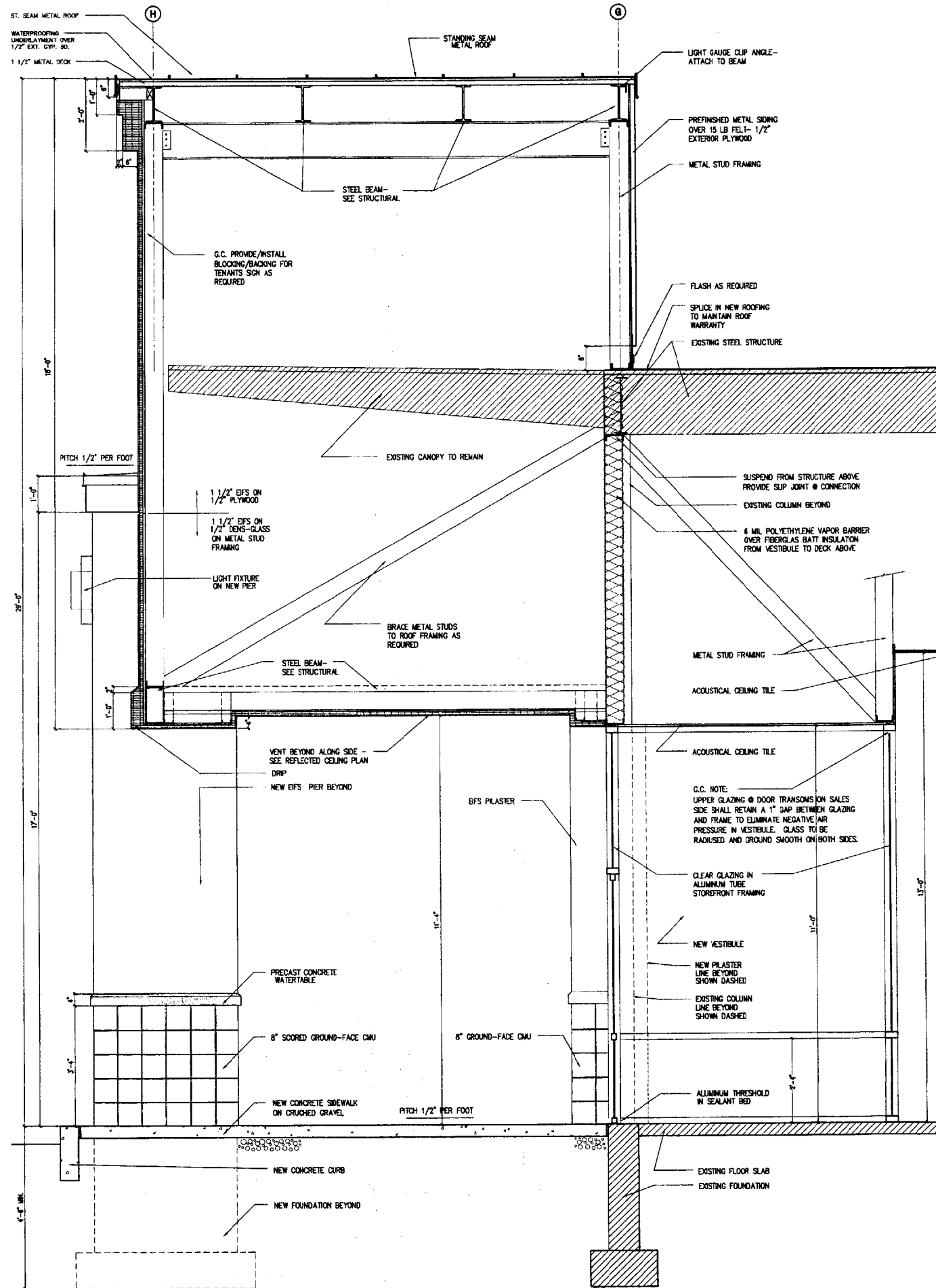
CORNER GUARDS (TYP) @ ALL 90° CORNERS SHALL RECEIVE PAINTING CLEAR LESAN STYLE CS-17, 1" x 1" x 1/4" LENGTH. SEE SPECIFICATIONS. NO SUBSTITUTIONS. ALL CORNER GUARDS TO BE FASTENED TO WALL WITH SCREWS.

REINFORCED WALL PANEL SYSTEM (SLATWALL) IS MANUFACTURED BY COLLASER SHOWN ON PLAN. CONTACT: M. SPIEL, PORTLAND, OREGON, 503-257-0023. INSTALLATION INSTRUCTIONS ARE INCLUDED AS A PART OF THE PACKAGING AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THESE INSTRUCTIONS PRIOR TO COMMENCEMENT OF WORK. ALL METAL REINFORCED SLATWALL PANELS IN REAR WALLS SHALL BE REFERENCED TO ONE.

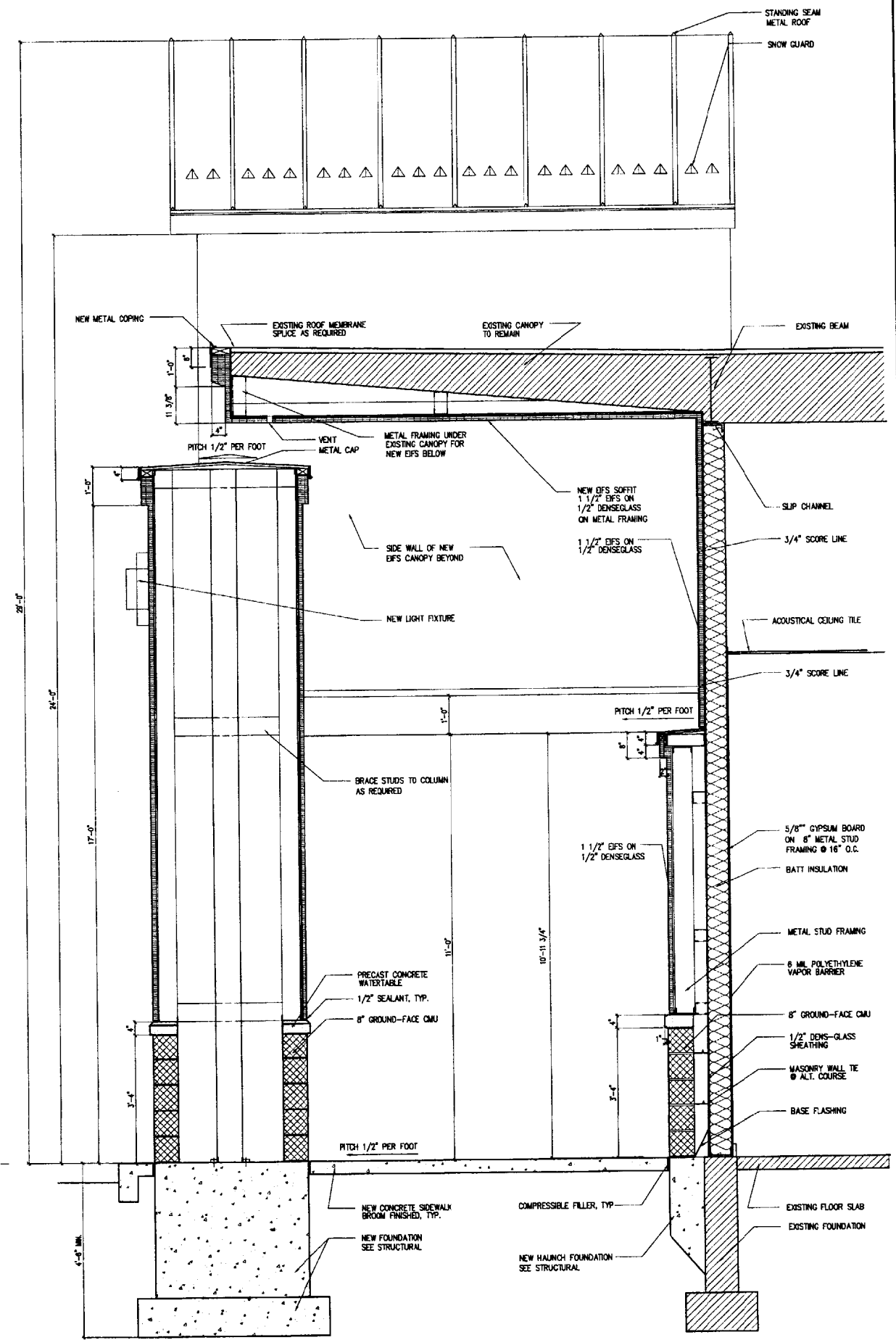


P:\A21\04065\01125\_01125-A21.dwg Thu Jul 18 09:55:03 2003

INTERIOR ELEVATIONS  
 A2.1  
 CONTRACT  
 A2.1  
 A.J. WRIGHT  
 PINE TREE SHOPPING CENTER  
 BRIMSTON AVENUE  
 PORTLAND, ME 04102  
 01122  
 7/18/01



**1 SECTION**  
SCALE: 3/4"=1'-0"



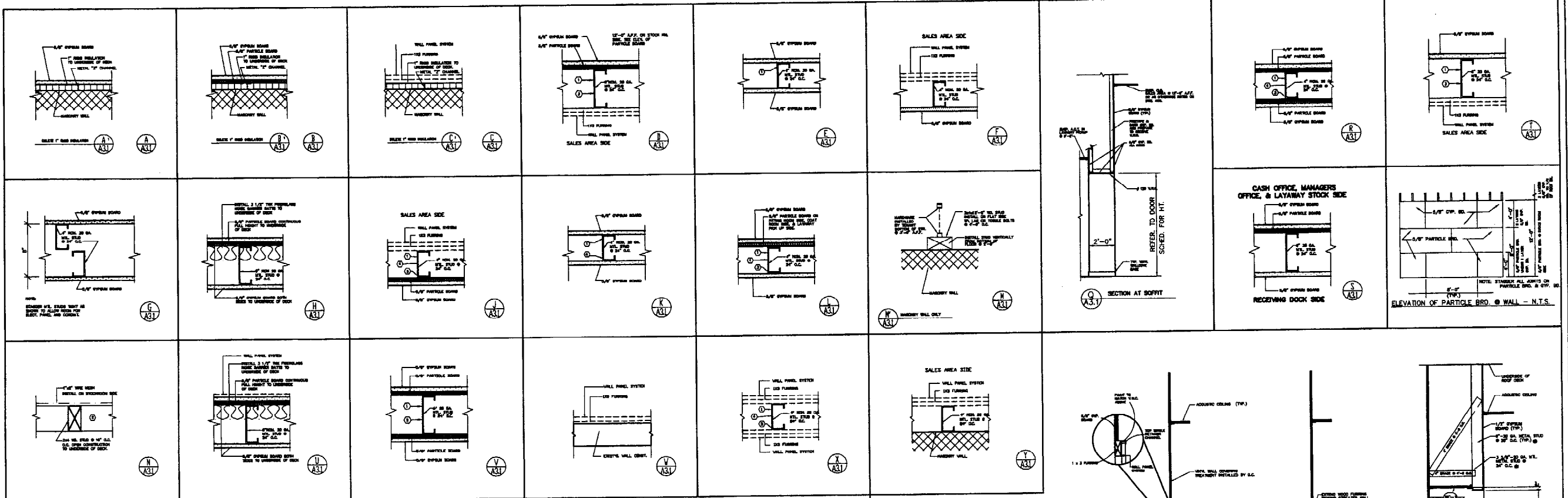
**2 SECTION**  
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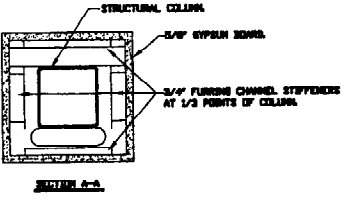
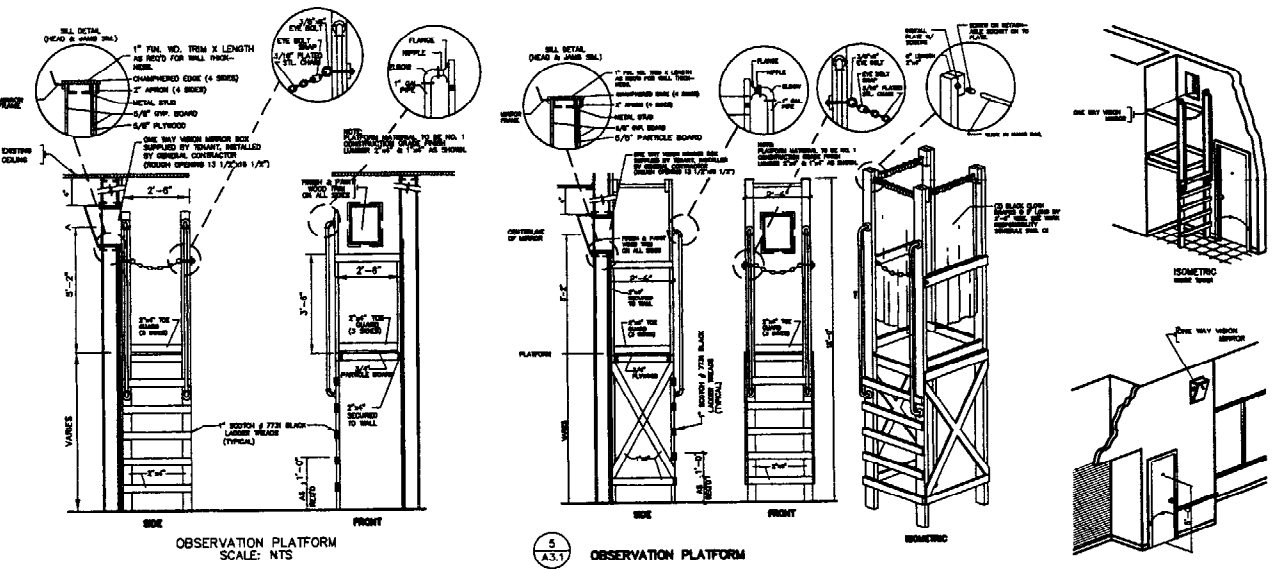
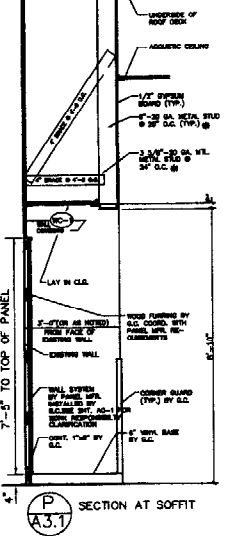
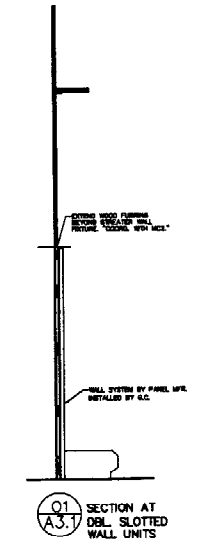
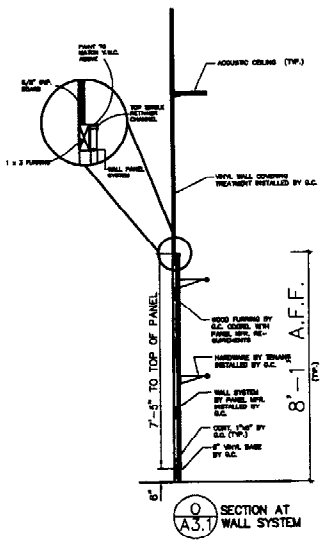
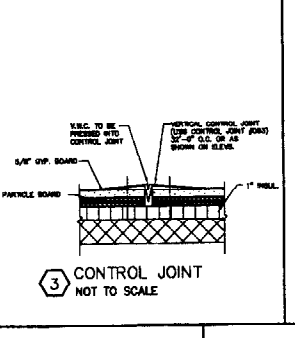
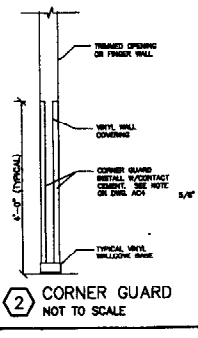
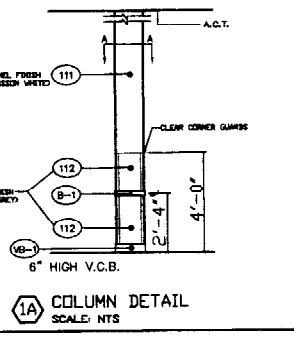
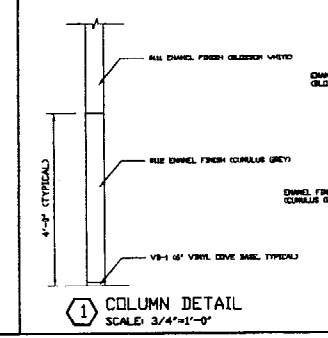
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Contractor	SCHEER ARCHITECTS 245 STATE ST. PORTLAND, ME 04102
Client	A.J. WRIGHT PINE TREE SHOPPING CENTER PORTLAND, ME 04102
Architect	A.J. WRIGHT
Designer	H.M.L.
Checker	H.M.L.
Scale	3/4" = 1' - 0"
Date	07-16-01
Approved By	(Signature)

**ENTRY SECTIONS/  
DETAILS**

**CONTRACT**  
A3.0

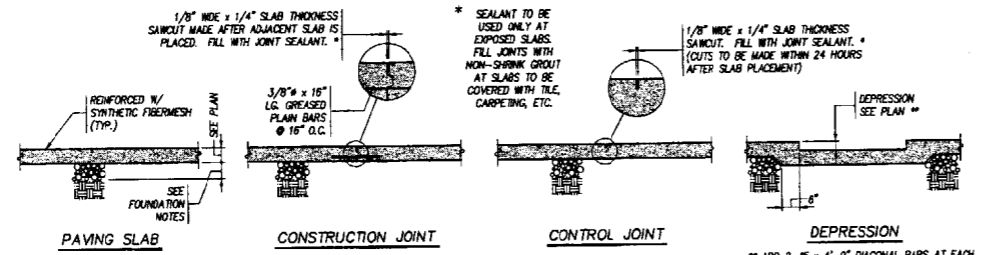


- NOTES:**
- FURNISH AND INSTALL HORIZONTAL STUDS TO RECEIVE PERIMETER CEILING ANGLE.
  - FURNISH AND INSTALL CONTINUOUS SHOE AND PLATE W/ HORIZ. BLOCKING AT MID POINT OF STUD HEIGHT.
  - FURNISH AND INSTALL HORIZONTAL STUDS TO RECEIVE FASTENING AT JOINT BETWEEN TOP OF PARTICLE BOARD AND BOTTOM OF GYP. WALLBOARD.
  - EXTEND EVERY OTHER STUD TO UNDERSIDE OF STRUCTURE FOR WALL SUPPORT. PROVIDE 1/2" MIN. SUP JOINT CONNECTION AT HEAD TO ALLOW FOR DEFLECTION.

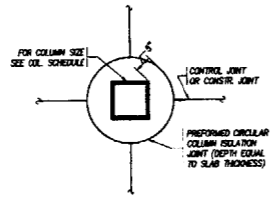


Project No.	01122
Contract No.	A3.1
Scale	AS NOTED
Date	07-18-01
Drawn by	HWK
Checked by	HWK
Approved by	AS NOTED
Project Name	WALL SECTIONS & DETAILS
Client	A.J. WRIGHT ARCHITECTS PINE TREE SHOPPING CENTER BROOKMAN AVENUE PORTLAND, ME 04102
Contract	CONTRACT
Sheet No.	A3.1

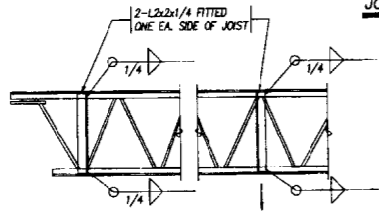
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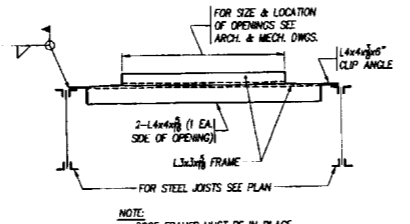
**TYPICAL PAVING SLAB DETAILS**



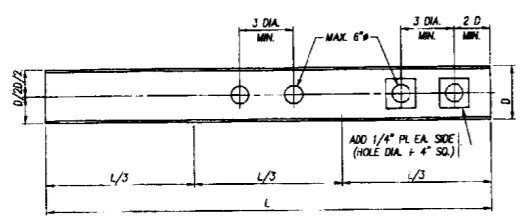
**TYPICAL COLUMN ISOLATION JOINT DETAIL**



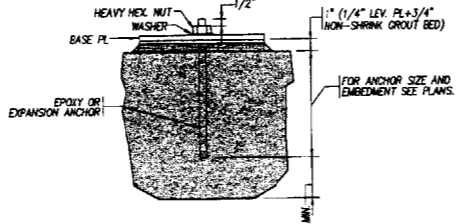
**TYPICAL SUSPENDED LOAD DETAIL AT JOIST**



**TYPICAL ROOF OPENING DETAIL**



**TYPICAL PIPE HOLE DETAIL THROUGH BEAM**  
(HOLES TO BE CUT IN FIELD BY MECHANICAL CONTRACTOR)



**TYPICAL ANCHOR AND BASE PLATE DETAIL**

LINTEL SCHEDULE	
MASONRY OPENING	LINTEL SIZE
UP TO 3'-0"	L3x3x3
3'-1" TO 4'-5"	L4x3x3 (4" LEG VERT.)
4'-7" TO 6'-0"	L5x3x3 (5" LEG VERT.)
6'-1" TO 8'-0"	L6x3x3 (6" LEG VERT.)

**NOTES:**

- PROVIDE LINTELS OVER ALL OPENINGS EXCEPT WHERE LINTEL BLOCKS ARE PROVIDED.
- PROVIDE ONE ANGLE FOR EACH 4" OF WALL THICKNESS. FOR 6" WALLS PROVIDE TEE OR BUILT-UP SECTION WITH PROPERTIES EQUAL TO OR GREATER THAN 1 1/2 TIMES ANGLE PROPERTIES FOR 4" WALL THICKNESS.
- PROVIDE 6" OF BEARING EACH END OF ALL LINTELS.

**GENERAL NOTES**  
(UNLESS OTHERWISE NOTED ON DRAWINGS OR IN SPECIFICATIONS)

- GENERAL:**
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SHOP DRAWINGS AND SPECIFICATIONS.
  - ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
  - SHOP DRAWINGS FOR REINFORCING STEEL (INCLUDING ALL ACCESSORIES), STRUCTURAL STEEL, OPEN WEB STEEL JOISTS, STEEL TRUSS ORDERS AND STEEL DECKING SHALL BE SUBMITTED TO THE ARCHITECT AND A STAMPED ACCEPTANCE RECEIVED BEFORE FABRICATION CAN PROCEED.
  - UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWING ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
  - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING AND BRACING FOR THE BUILDING DURING CONSTRUCTION.
  - ALL WORK SHALL COMPLY WITH THE 1999 BOCA NATIONAL BUILDING CODE.

- EXISTING CONSTRUCTION**
- ALL INFORMATION RELATING TO THE EXISTING STRUCTURAL CONDITIONS HAS BEEN DERIVED FROM OBSERVATIONS IN THE FIELD.
  - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND MEMBER SIZES AS INDICATED ON THE DRAWING, IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND EXECUTION OF ALL TEMPORARY BRACING AND SHORING, AS REQUIRED, TO PREVENT DANGER TO PERSONS AND PROPERTY.
  - ANY DIMENSION NOTED (±) ON PLAN SHALL BE COORDINATED AND VERIFIED BY THE CONTRACTOR, IN THE FIELD.

- LOADS AND DESIGN CRITERIA:**
- ROOF LOADS:**
    - SHOR: BOCA 1999  
GROUND SNOW LOAD:  $P_g = 50$  PSF  
EXPOSURE FACTOR:  $C_e = 0.9$   
IMPORTANCE FACTOR:  $I = 1.0$   
MINIMUM DESIGN LOAD: 45 PSF
    - ROOF AND INSULATION: 5 PSF
    - SERVICES: 5 PSF
    - STRUCTURE: ACTUAL WEIGHT OF MATERIALS
    - CEILING: 5 PSF
  - WIND:**
    - BOCA 1999
      - BASIC WIND SPEED:  $V = 85$  MPH
      - IMPORTANCE FACTOR:  $I = 1.10$
      - EXPOSURE: B
      - WIND BASIC VELOCITY PRESSURE /  $P_V = 18.5$  PSF

- FOUNDATION:**
- THE BOTTOM SURFACE OF EACH FOOTING SHALL REST ON UNDISTURBED OR CONTROLLED MATERIALS.
  - THE ESTIMATED ELEVATION OF THE BOTTOM OF EACH FOOTING IS INDICATED THIS [0'-0"]. THE BOTTOM OF EACH EXTERIOR FOOTING SHALL BE A MINIMUM OF 4'-6" BELOW FINISHED GRADE. ACTUAL FOOTING GRADES SHALL BE ALTERED, AS NECESSARY, AT THE DISCRETION OF THE ARCHITECT TO SUIT THE CONTOURS OF THE BEARING STRATA.
  - NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS RETAINING EARTH UNLESS WALLS ARE SUFFICIENTLY BRACED TO PREVENT MOVEMENT OR STRUCTURAL DAMAGE.
  - FOR TYPICAL SLAB ON GRADE CONSTRUCTION AND WHERE INDICATED, PROVIDE 6 INCHES OF CRUSHED STONE AND A 6 MIL POLYETHYLENE VAPOR BARRIER UNDER ALL INTERIOR SLABS. AT LOWEST LEVEL BASEMENT IN EACH BUILDING, PROVIDE 12 INCHES OF CRUSHED STONE AND A 6 MIL POLYETHYLENE VAPOR BARRIER UNDER ALL INTERIOR SLABS.
  - WHERE REQUIRED BENEATH PAVING SLABS OR FOOTINGS, STRUCTURAL FILL SHALL BE COMPACTED IN 9 INCH LAYERS TO AT LEAST 98 PER CENT OF MAXIMUM DRY DENSITY. STRUCTURAL FILL IS REQUIRED FROM THE TOP OF THE BEARING STRATUM TO WITHIN 6 INCHES OF THE BOTTOM OF THE PAVING SLAB.
  - FOR CONSTRUCTION UNDER WINTER CONDITIONS, FOUNDATION AND FLOOR SLABS SHALL BE PROTECTED FROM FREEZING TEMPERATURES UNTIL THE BUILDING IS ENCLOSED AND HEATED.

- STRUCTURAL STEEL:**
- ALL STRUCTURAL STEEL SHALL BE ASTM A572 GRADE 50. EXCEPT ANGLES AND PLATES SHALL BE CONFORMING TO ASTM A36 AND SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST A.I.S.C. SPECIFICATIONS. TUBE COLUMNS SHALL BE ASTM A500, GRADE B (F<sub>y</sub>=46).
  - WELDED CONNECTIONS SHALL BE MADE USING E70XX ELECTRODES. WELDING SHALL COMPLY WITH A.I.S.C. AND A.W.S. D.11 SPECIFICATIONS AND SHALL BE PERFORMED BY CERTIFIED WELDERS.
  - BOLTED CONNECTIONS SHALL BE MADE USING 3/4" DIAMETER A-325 HIGH-STRENGTH BOLTS, UNLESS OTHERWISE NOTED.
  - ALL STEEL SHALL BE SHOP PRIMED WITH A RUST-INHIBITIVE PRIMER (TYPIC 10-99 OR EQUAL). TOUCH-UP ALL SCRATCHES, WELD BURNS AND OTHER MARKS IN THE FIELD AFTER STEEL IS ERECTED.
  - ALL FRAMED BEAM CONNECTIONS SHALL BE MADE USING DOUBLE WEB ANGLES.
  - SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER. DO NOT REPRODUCE STRUCTURAL DRAWINGS FOR SHOP DRAWING PURPOSES.
  - ALL EXPANSION ANCHORS SHALL BE AS MANUFACTURED BY ITW RAMSET/REDHEAD, INC.; HULT; OR OTHER APPROVED EQUAL SET DRAWINGS FOR SIZE AND TYPE.
  - PROVIDE 3/4" THICK COLUMN CAP PLATES WELDED IN PLACE, UNLESS OTHERWISE NOTED.
  - PROVIDE 1/4" THICK LEVELING PLATE UNDER ALL COLUMN BASE PLATES. LEVELING PLATES SHALL BE SET AND GROUTED SOLID BEFORE ERECTION OF COLUMN.
  - PROVIDE 3/8" MINIMUM STIFFENER PLATES AT ALL BEAMS OVER COLUMNS AND AT ALL COLUMNS OVER BEAMS.
  - SHEAR CONNECTORS SHALL BE PROVIDED IN THE NUMBER SHOWN ON THE PLANS FOR EACH BEAM AND GIRDER. THE SPACING OF SHEAR CONNECTORS SHALL BE UNIFORM ALONG THE SPAN OF THE BEAM OR GIRDER, UNLESS OTHERWISE NOTED. WHERE BEAM FRAMES PERPENDICULAR TO THE BEAMS, SHEAR CONNECTORS SHALL BE PLACED IN BEAM RIBS. WHERE THE NUMBER OF SHEAR CONNECTORS FOR A GIVEN BEAM OR GIRDER EXCEEDS THE NUMBER OF AVAILABLE RIBS, CONNECTORS SHALL BE DOUBLED UP IN THE RIBS TO RESULT IN A CONNECTOR DISTRIBUTION ALONG THE BEAM OR GIRDER WHICH IS UNIFORM AS POSSIBLE. SPACING OF SHEAR CONNECTORS SHALL CONFORM TO THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", LATEST EDITION.
  - FASTENING OF SHEAR CONNECTORS SHALL CONFORM TO THE REQUIREMENTS OF AWS D11 OF THE AMERICAN WELDING SOCIETY, LATEST EDITION.
  - ANCHOR BOLTS SHALL CONFORM TO ASTM A307, UNLESS OTHERWISE NOTED. EMBEDMENT INTO CONCRETE SHALL BE 18 INCHES, UNLESS OTHERWISE NOTED.

- CONCRETE:**
- ALL CONCRETE FOR INTERIOR AND EXTERIOR PAVING SLABS SHALL BE NORMAL WEIGHT AND SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. ALL CONCRETE WALLS AND MEZZANINE FLOORS AND OTHER CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
  - MAXIMUM ALLOWABLE SLUMP OF CONCRETE SHALL NOT EXCEED 3".
  - ALL EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED, 5% ± 1%; OTHER CONCRETE AT 3% ± 1%.
  - ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 (DEFORMED), FREE OF ALL LOOSE RUST AND SCALE.
  - LAP ALL CONTINUOUS BARS 40 x BAR DIAMETER UNLESS OTHERWISE NOTED.
  - ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. LAP 2 SQUARES AT ALL JOINTS AND THE 60°-0° ON CENTER. SECURE WIRE TO MAINTAIN REQUIRED COVER DURING CONCRETE PLACEMENT.
  - CLEAR CONCRETE PROTECTION FOR REINFORCING:
    - BOTTOM OF FOOTINGS: 3"
    - FOUNDATION WALLS: 2"
    - BEAMS TO STIRRUPS: 1 1/2" (INTERIOR), 2 1/2" (EXTERIOR)
    - SLABS: 1" BOTTOM, 1" TOP, 2" EXTERIOR
    - PAVING SLABS: 1" FROM TOP
    - PIERS AND PILASTER: 2" TO TIES
  - DETAILS NOT SHOWN ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAIL MANUAL 315.

- ROOF DECKING:**
- STEEL DECK UNITS SHALL BE FORMED FROM STEEL SHEETS CONFORMING TO ASTM A611, GRADE C. SHEETS SHALL BE FACTORY PRIMED/PAINTED.
  - STEEL ROOF DECK SHALL BE 1 1/2" DEEP, 20 GA. TYPE "B" ROOF DECK AS MANUFACTURED BY UNITED STEEL DECK, INC. OR AN APPROVED EQUIVALENT, WITH THE FOLLOWING PROPERTIES:  
 $I = 0.24 \text{ in}^4$       $S_x = 0.28 \text{ in}^3$
  - STEEL DECK UNITS SHALL SPAN THREE OR MORE SUPPORTS WHERE POSSIBLE.
  - STEEL DECKING SHALL BE FASTENED TO STEEL FRAMING BY A 3/4" DIAMETER (MINIMUM) RIDGEL WELD SPACED AS FOLLOWS:  
PANEL END SUPPORTS ..... @ 6" O.C.  
PANEL SIDE SUPPORTS ..... @ 12" O.C.  
PANEL INTERMEDIATE SUPPORTS ..... @ 12" O.C.  
PANEL SIDES BETWEEN SUPPORTS ..... @ 12" O.C.
  - PROVIDE END CLOSURES, CAPS, SLUMP PANS AND ALL OTHER ACCESSORIES REQUIRED TO DO A COMPLETE JOB.

- SHOP DRAWINGS:**
- SHOP DRAWINGS ARE DRAWINGS, DIAGRAMS, SCHEDULES, MATERIAL LISTS AND OTHER DATA SPECIFICALLY PREPARED FOR THE WORK FOR THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR, MANUFACTURER, SUPPLIER OR DISTRIBUTOR TO ILLUSTRATE SOME PORTION OF THE WORK. CONTRACT DRAWINGS ARE NOT TO BE REPRODUCED FOR USE AS SHOP DRAWINGS.
  - WHEN APPLICABLE, SHOP DRAWINGS SHALL INCLUDE, BUT NOT BE LIMITED TO: DETAILING PLANS, NOTES AND BRACING DETAILS, ACCESSORIES, CONNECTION DETAILS, BEAM AND COLUMN DETAILS, BENDING DETAILS FOR REINFORCING RODS, AND ANY OTHER ITEMS WHICH ARE TYPICAL OF INDUSTRY STANDARDS FOR SHOP DRAWING SUBMITTALS. SUBMIT STAMPED STRUCTURAL CALCULATIONS WHERE NOTED ABOVE.
  - NO PORTION OF THE WORK REQUIRING SUBMISSION OF A SHOP DRAWING SHALL BE STARTED UNTIL THE SUBMITTAL HAS BEEN SATISFACTORILY REVIEWED BY SOUZA, TRUE AND PARTNERS, INC. (STP) AND ALL OTHER PARTIES INVOLVED. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH FINAL REVIEWED SUBMITTALS AND THE CONTRACT DOCUMENTS.
  - FOR ALL SHOP DRAWINGS, SUBMIT ONE SET OF THREE PRINTS, UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS. COPIES MUST BE CLEAR AND LEGIBLE. COPIES ABOVE AND BEYOND THIS NUMBER WILL BE DISCARDED. UPON COMPLETION OF THE REVIEW, SOUZA, TRUE AND PARTNERS, INC. WILL RETAIN ONE PRINT AND WILL MARK UP THE REMAINING COPIES FOR DISTRIBUTION. UNLESS OTHERWISE NOTED IN THE CONTRACT SPECIFICATIONS, THE FOLLOWING SEQUENCE SHALL BE FOLLOWED: MANUFACTURER/CONTRACTOR/ARCHITECT/ENGINEER/ARCHITECT/CONTRACTOR/MANUFACTURER.
  - THE CONTRACTOR SHALL REVIEW, APPROVE AND SUBMIT ALL SHOP DRAWINGS REQUIRED BY THE CONTRACT DOCUMENTS IN AN ORDER WHICH IS SEQUENTIAL WITH THE PROGRESS OF THE WORK AND CONSISTENT WITH THE LEAD TIMES RELATED TO THE PRODUCTS. THE SHOP DRAWING SUBMITTAL SCHEDULE SHALL INCLUDE ADEQUATE TIME FOR COMPLETE AND PROFESSIONAL REVIEW BY ALL PARTIES INVOLVED. IT SHALL BE NOTED THAT THE REVIEW TIME WILL VARY DEPENDING ON THE SIZE AND CONTENT OF THE SUBMITTAL. BY APPROVING AND SUBMITTING SHOP DRAWINGS, THE CONTRACTOR REPRESENTS THAT HE OR SHE HAS VERIFIED ALL MATERIALS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA RELATED THERETO, OR WILL DO SO. IN ADDITION, THIS SHALL REPRESENT THAT HE OR SHE HAS CHECKED AND COORDINATED ALL INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DRAWINGS. SOUZA, TRUE AND PARTNERS, INC. RESERVES THE RIGHT TO RETURN ANY SHOP DRAWINGS WHICH ARE JUDGED TO BE "RUBBER STAMP APPROVED" BY THE CONTRACTOR WITHOUT PROPER REVIEW AND EVALUATION.
  - THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AS A RESULT OF STP'S (SOUZA, TRUE AND PARTNERS, INC.) REVIEW OF THE SHOP DRAWINGS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED STP, IN WRITING, OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND STP HAS GIVEN WRITTEN ACCEPTANCE TO THE SPECIFIC DEVIATION. THE CONTRACTOR SHALL NOT BE RELIEVED FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THE SHOP DRAWINGS BY STP'S REVIEW THEREOF.
  - THE CONTRACTOR SHALL DRAW ATTENTION TO ALL DEVIATIONS FROM THE CONTRACT DRAWINGS AND INCLUDE REASONS FOR SUCH DEVIATIONS WITH THE SUBMITTED SHOP DRAWINGS. IN ADDITION, THE CONTRACTOR SHALL DIRECT SPECIFIC ATTENTION IN WRITING OR ON RESUBMITTED SHOP DRAWINGS, TO REVISIONS OTHER THAN THOSE REQUESTED BY STP ON PREVIOUS SUBMITTALS.
  - REFER TO SAMPLE SHOP DRAWING STAMP AND ACTION LEGEND ELSEWHERE ON STRUCTURAL DRAWINGS FOR FURTHER CLARIFICATION.

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DATE						
DESCRIPTION						
BY						
CHECKED						
DATE						

DATE					
DESCRIPTION					
BY					
CHECKED					
DATE					

Project No. **01122**

Structural Steel Fabrication and Erection

PROJECT MANAGER: [Signature]

DATE: [Date]

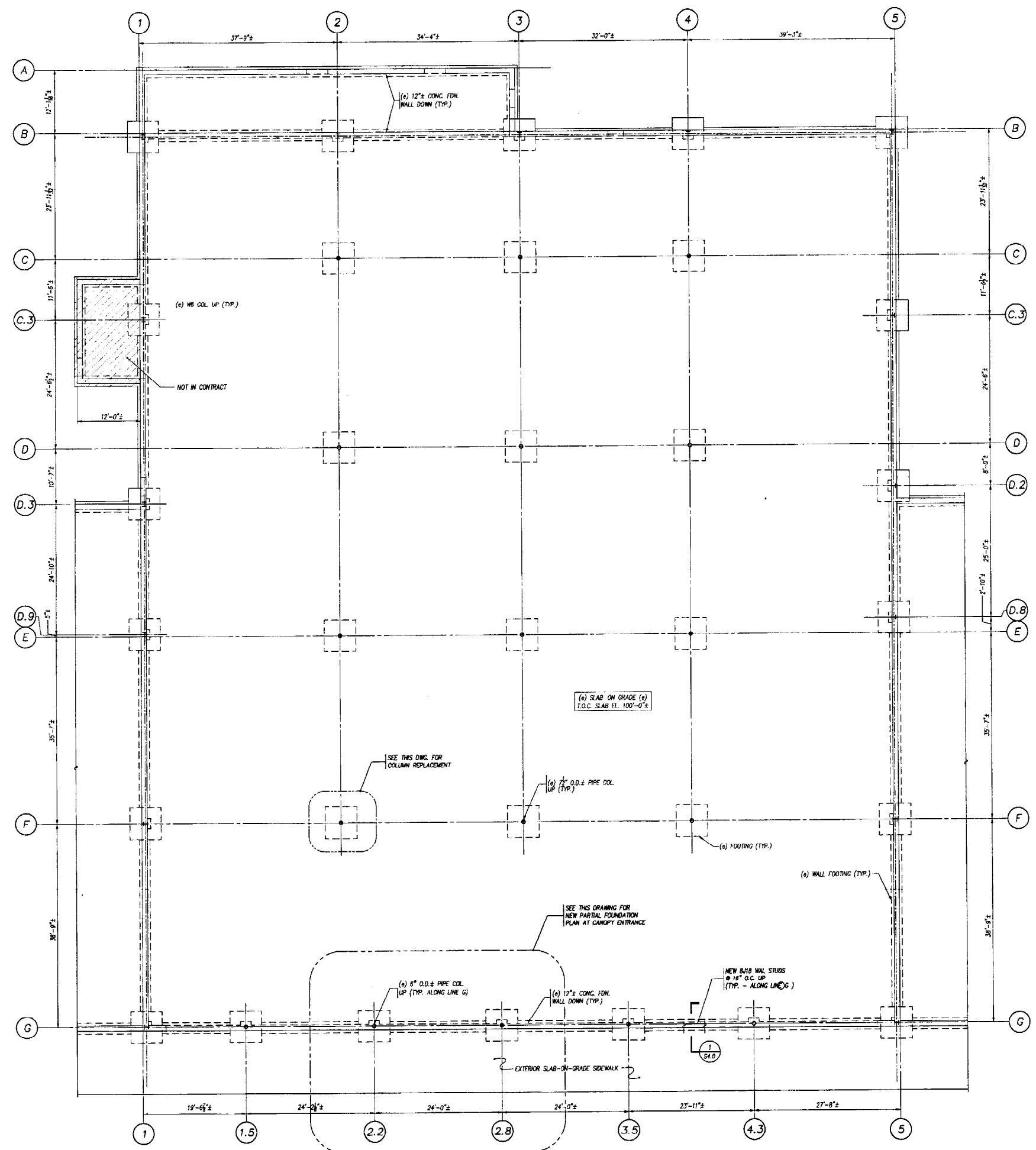
**A-J WRIGHT**  
PINE TREE SHOPPING CENTER  
BRIDGTON AVENUE  
PORTLAND, ME 04102

**PHASE**

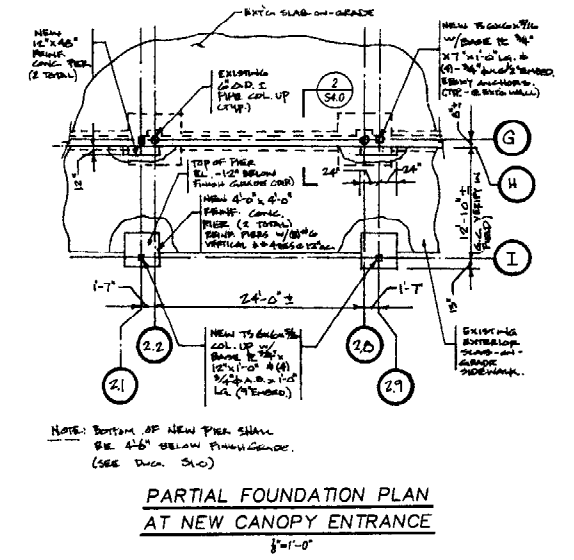
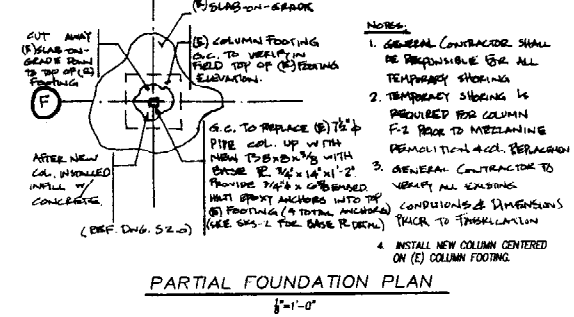
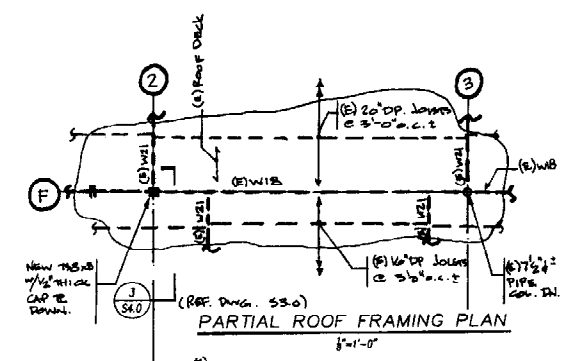
**S10**

**STP** SOUZA, TRUE AND PARTNERS, INC.  
STRUCTURAL ENGINEERS  
653 AL. Adams Street, Watertown, MA 02472  
Tel: 617-926-6100 Fax: 617-924-4431



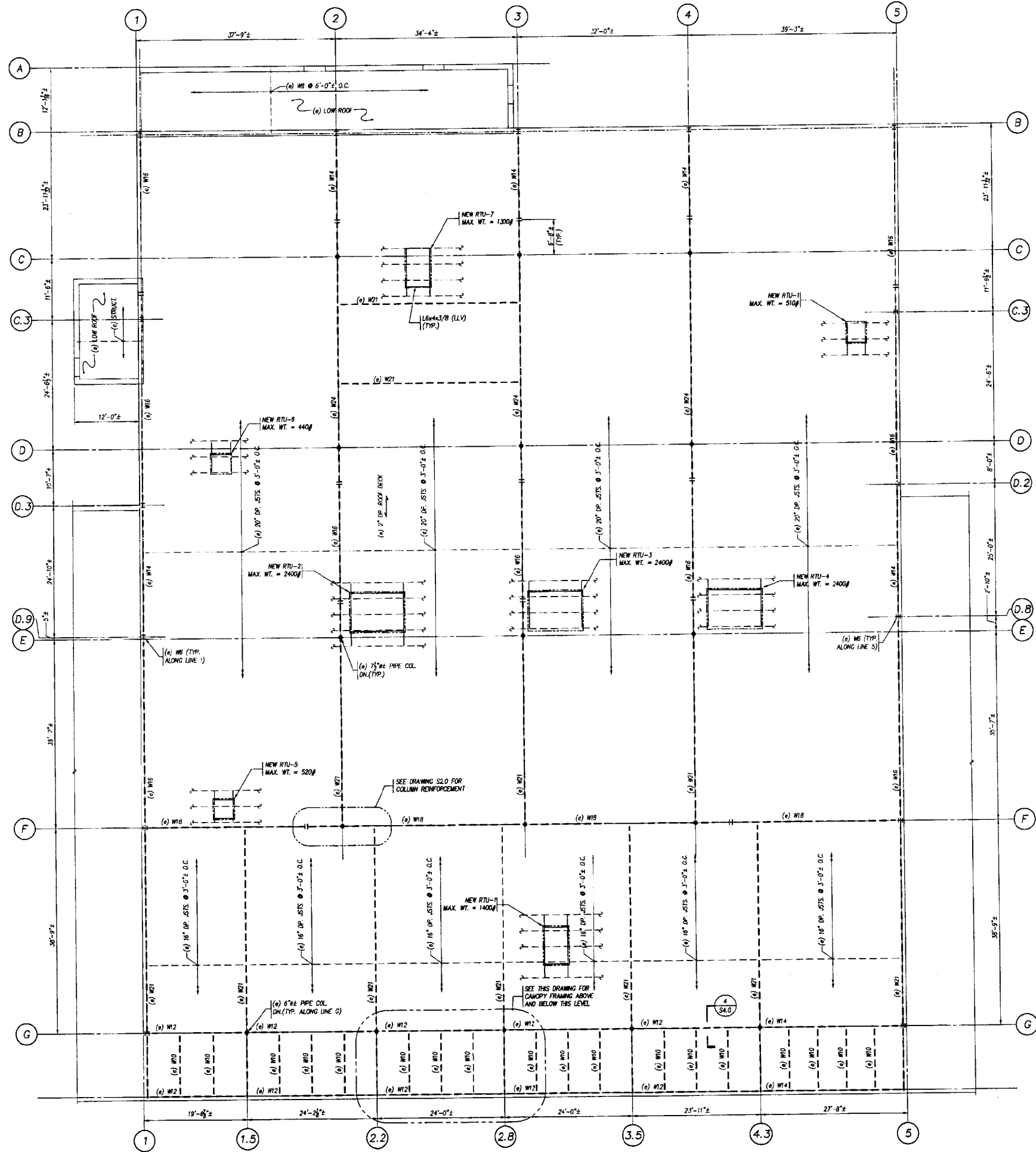


- NOTES:**
- REFER TO DRAWING S-10 FOR GENERAL NOTES & TYPICAL DETAILS.
  - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND/OR ELEVATIONS NOT SHOWN.
  - (e) DENOTES EXISTING CONSTRUCTION.
  - INDICATES NEW SLAB-ON-GRADE INFILL.
  - ANY DIMENSION NOTED (e) ON PLAN SHALL BE COORDINATED AND VERIFIED BY THE CONTRACTOR IN THE FIELD.

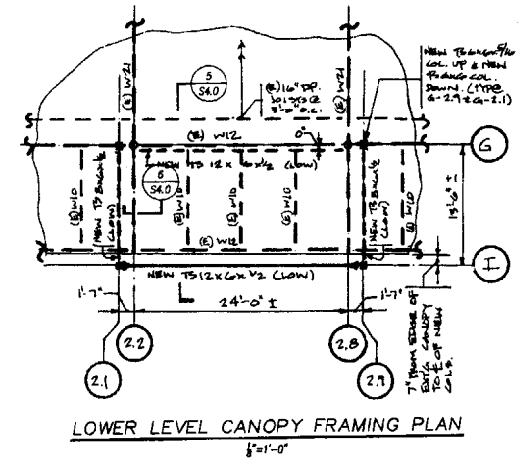
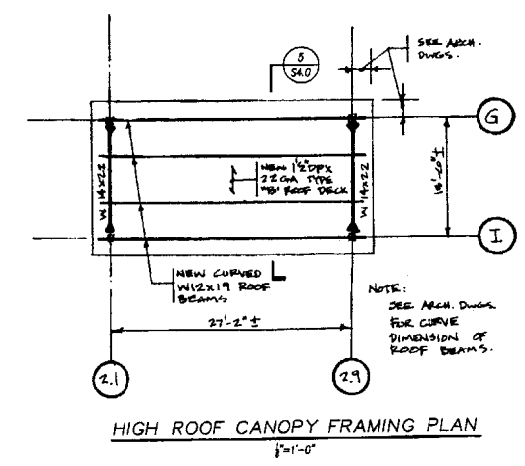


FOUNDATION AND FLOOR PLAN	
Checked by	PFC
Drawn by	CAD
Date	07-18-01
Scale	1/8"=1'-0"
Project No.	01122
<b>A.J. WRIGHT</b> PINE TREE SHOPPING CENTER BRANTON AVENUE PORTLAND, ME 04105	
<b>SI</b> SOUZA, TRUE AND PARTNERS, INC. STRUCTURAL ENGINEERS 653 Mt. Auburn Street, Watertown, MA 02472 Tel: 617-926-6100 Fax: 617-924-4431	
PHASE	S20

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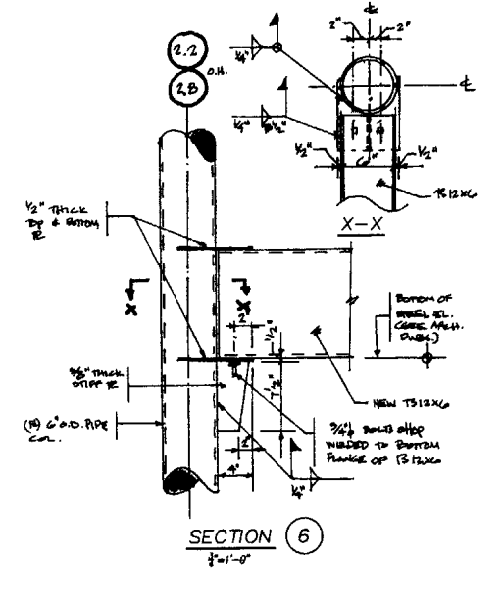
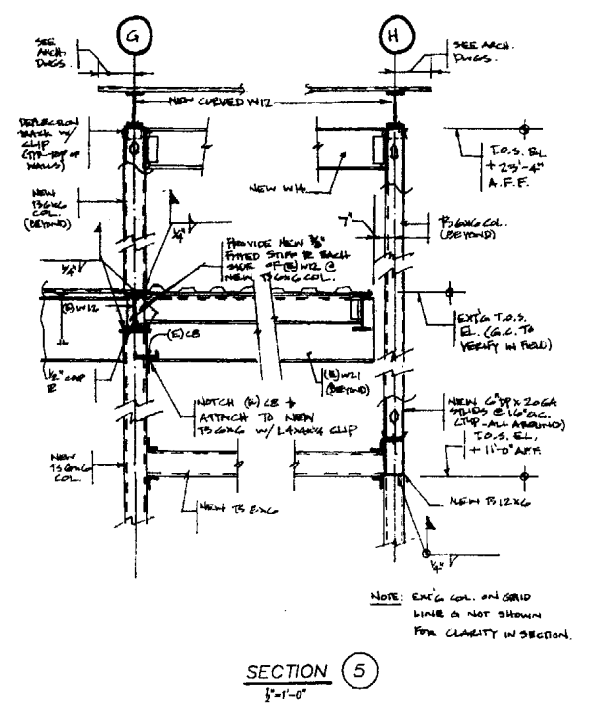
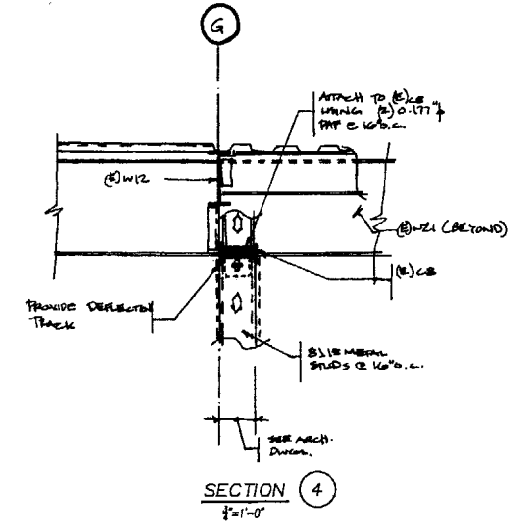
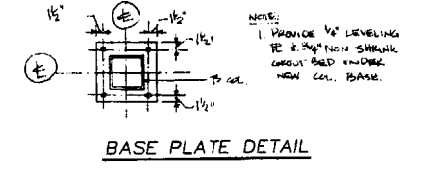
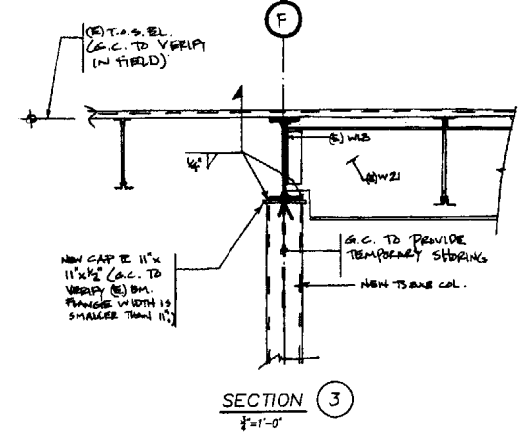
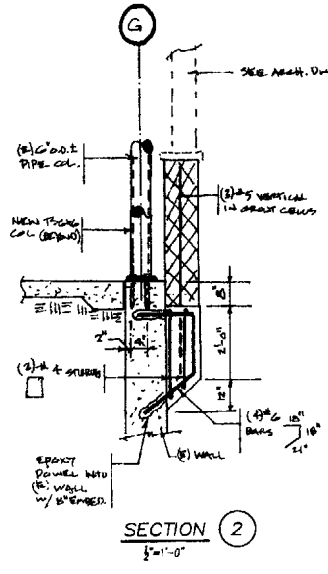
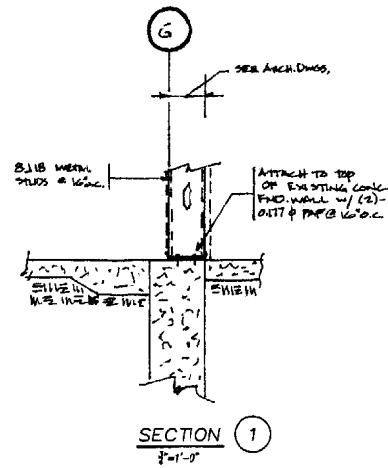
- NOTES:**
1. REFER TO DRAWING S-1.0 FOR GENERAL NOTES & TYPICAL DETAILS.
  2. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND/OR ELEVATIONS NOT SHOWN.
  3. (e) DENOTES EXISTING CONSTRUCTION.
  4. (NEW) INDICATES NEW ROOF DECK. SEE PLAN FOR TYPE.
  5. ANY DIMENSION NOTED (e) ON PLAN SHALL BE COORDINATED AND VERIFIED BY THE CONTRACTOR IN THE FIELD.



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**STP** SOUZA, TRUE AND PARTNERS, INC.  
STRUCTURAL ENGINEERS  
653 N. Auburn Street, Watertown, MA 02472  
Tel: 617-926-6100 Fax: 617-924-4431

PROJECT NO. <b>01122</b>		DATE: 07-18-01	
DRAWING TITLE: <b>ROOF FRAMING PLAN</b>		SCALE: 1/8"=1'-0"	
DESIGNED BY: <b>TPC</b>	CHECKED BY: <b>TPC</b>	DATE: 07-18-01	BY: <b>PVS</b>
<p><b>A.J. WRIGHT</b> PINE TREE SHOPPING CENTER BRIGHTON AVENUE PORTLAND, ME 04102</p>			
<p><b>PHASE</b></p>			
<p><b>S3.0</b></p>			



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**STP** SOUZA, TRUE AND PARTNERS, INC. STRUCTURAL ENGINEERS  
653 Mt. Auburn Street, Watertown, MA 02457  
Tel: 617-925-6100 Fax: 617-924-4431

SECTION	Checked By: PVS
	Designed By: PVS
	Drawn By: CAD
	Date: 07-18-01
	Scale: AS NOTED
	Project Name: PINE TREE SHOPPING CENTER
	Project No: 01122
	Phase: S4.0

**SYMBOLS**

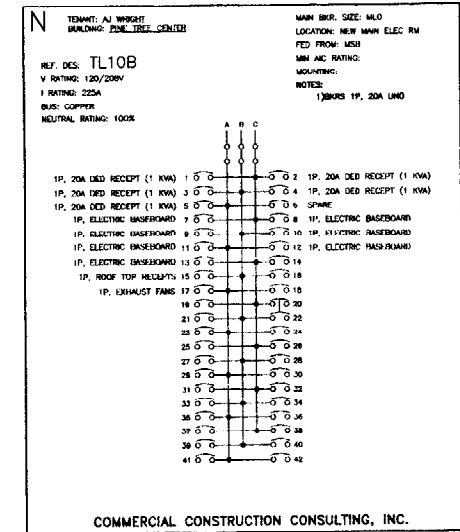
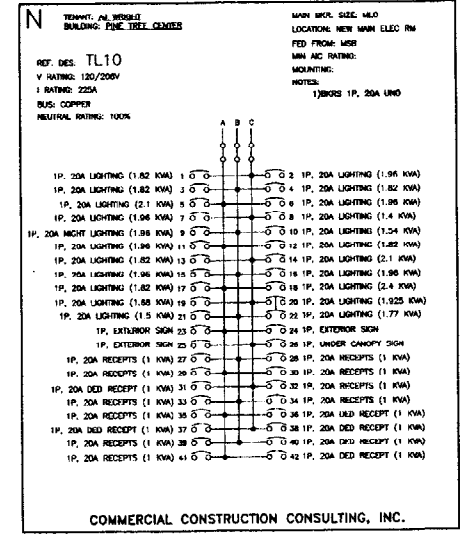
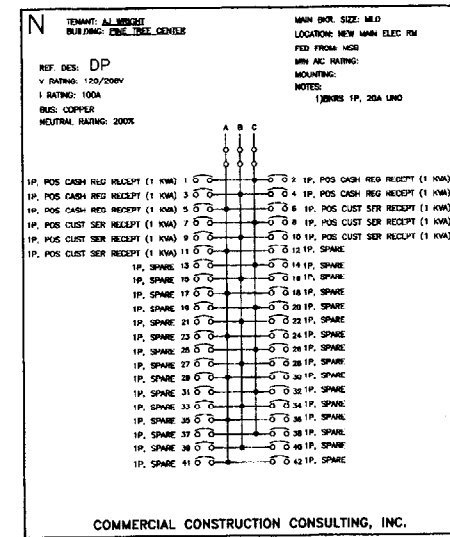
- ⊕ - RECEPTACLE, DUPLEX, 15A
- ⊕ - RECEPTACLE, DUPLEX, 20A, CONNECTED TO A DEDICATED CIRCUIT
- ⊕ - RECEPTACLE, DOUBLE DUPLEX, @15A
- ⊕ - RECEPTACLE, DUPLEX, 15A, ISOLATED GROUND
- ⊕ - RECEPTACLE, SIMPLEX, 20A
- ⊕ - JUNCTION BOX
- ⊕ - JUNCTION BOX W/BLANK PLATE, WITH 3/4" EMT & PULL STRING TO ABOVE SUSPENDED CEILING
- ⊕ - TELEPHONE/DATA OUTLET, WITH 3/4" EMT & PULL STRING TO ABOVE SUSPENDED CEILING
- ⊕ - DISCONNECT SWITCH
- ⊕ - DISCONNECT SWITCH, FUSED
- ⊕ - MOTOR, FAN OR PUMP AS NOTED (FURNISHED BY OTHERS)
- ⊕ - HVAC EQUIPMENT
- ⊕ - MAGNETIC STARTER
- ⊕ - RELAY
- ⊕ - PANELBOARD, SURFACE MOUNTED
- ⊕ - PANELBOARD, FLUSH MOUNTED
- ⊕ - SWITCH, SINGLE POLE, 20A, LOWER CASE LETTER INDICATES COMPONENTS TO BE SWITCHED
- ⊕ - SWITCH, THREE WAY, 20A
- ⊕ - SWITCH, FAN CONTROL, FURNISHED BY OTHERS, WIRED BY EC
- ⊕ - LIGHT FIXTURE, DIMENSIONS AS SHOWN
- ⊕ - LIGHT FIXTURE, DOWNLIGHT
- ⊕ - LIGHT FIXTURE, WALL WASHER
- ⊕ - EXIT SIGN, CEILING MOUNTED, WITH BATTERY BACKUP
- ⊕ - EXIT SIGN, WALL MOUNTED
- ⊕ - UTILITY METER (MERC)
- ⊕ - JUNCTION BOX, DIMENSIONS AS SHOWN
- ⊕ - TIME CLOCK
- ⊕ - PUSH-BUTTON
- ⊕ - THERMOSTAT, LINE VOLTAGE
- ⊕ - EMERGENCY LIGHT, BATTERY BOX, 2-HEAD
- ⊕ - POWER POLE
- ⊕ - MAGNETIC DOOR HOLDER
- ⊕ - FIXED CAMERA
- ⊕ - DOME CAMERA
- ⊕ - POS LOW-VOLTAGE DUAL CONNECTER

**SUBSCRIPTS & ABBREVIATIONS**

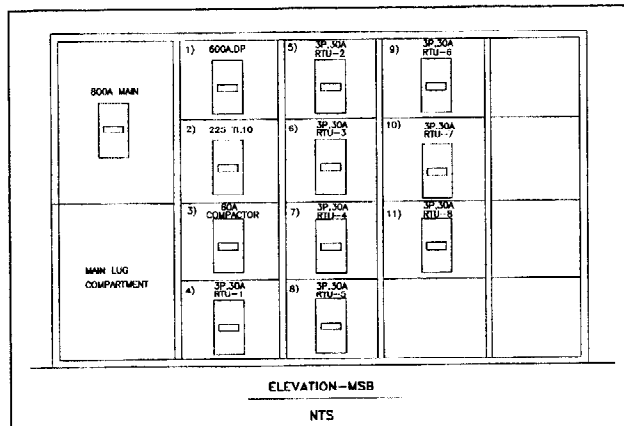
- AC - AMPERES INTERRUPTING CAPACITY
- AV - ABOVE FINISHED FLOOR
- ACT - ABOVE COUNTER TOP
- C - CONVENTIONAL FIRE ALARM DEVICE
- C/B - CIRCUIT BREAKER
- Ca - INDICATES THE CANDLELICK RATING OF THE STRONG
- CP - CONTROL PANEL
- DN - DEDICATED NEUTRAL
- E - EXISTING TO REMAIN
- EC - ELECTRICAL CONTRACTOR
- ER - EXISTING TO BE RELOCATED
- EX - EXISTING TO BE REMOVED
- EXLN - EXISTING DEVICE TO BE REMOVED & REPLACED W/ NEW AS SHOWN
- F - FUTURE
- FACP - FIRE ALARM CONTROL PANEL
- FATC - FIRE ALARM TERMINAL CABINET
- FBO - FURNISHED BY OTHERS
- FMC - FLEXIBLE METAL CONDUIT
- GF - GROUND FAULT INTERRUPTING
- GE - GROUNDING ELECTRODE CONDUCTOR
- IG - ISOLATED GROUND
- MC - MECHANICAL CONTRACTOR
- MTD - MOUNTED
- N - NEW DEVICE
- NED - NATIONAL ELECTRIC CODE
- NTS - NOT TO SCALE
- NP - NORMAL POWER
- PC - PHOTO CELL
- SCA - SHORT CIRCUIT AMPERES
- TBD - TO BE DETERMINED
- TC - TIME CLOCK
- WP - WEATHER PROOF
- XPMR - TRANSFORMER

**GENERAL NOTES**

- 1) NEW TRANSFORMER SHALL COMPLY WITH NFPA TP-1 REQUIREMENTS.
- 2) ALL RECEPTACLES MTD 10' AFF. U.O.
- 3) ALL SWITCHES TO MATCH 48" A.F.F.
- 4) ALL DEVICES TO MATCH BUILDING STYLES AND PER 1 IMPURTS SPECIFICATIONS U.O.
- 5) ALL CIRCUITS SHALL BE RATED 20A, FED WITH #12-2 MC CABLE U.O.
- 6) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE NEC AND THE MAIN ELECTRICAL CODE.
- 7) THE ELECTRICAL CONTRACTOR SHALL REFER TO THE STRUCTURAL, PLUMBING, HVAC, FIRE PROTECTION, AND ARCHITECTURAL DRAWINGS BEFORE INSTALLING ANY ELECTRICAL EQUIPMENT.
- 8) ALL WIRE, TERMINATION, AND LUGS RATED 75°C.
- 9) ALL EXPOSED WIRING SHALL BE IN E.M.T.
- 10) THE ELECTRICAL CONTRACTOR SHALL CONFIRM THE CURRENT DRAW ON ANY R/F-WIRED CIRCUITS.
- 11) ALL COMPONENTS FURNISHED BY THE EC SHALL BE U.O. LISTED.
- 12) ALL BRANCH CIRCUIT WIRING SHALL HAVE DEDICATED NEUTRALS.
- 13) ALL WIRING SHALL BE ROUTED PERPENDICULAR TO COLUMN LINES.
- 14) EC IS RESPONSIBLE FOR MAINTAINING POWER TO EXISTING DEVICES TO REMAIN, UNO, ANY EXISTING COMPONENTS TO BE REMOVED SHALL BE REVISED FROM RESPECTIVE TENANTS PANEL.
- 15) NOT USED
- 16) ALL CEILING MOUNTED DEVICES SHALL BE MOUNTED IN THE CENTER OF TILES.
- 17) ALL COMMUNICATION WIRING RUN IN PLENUMS SHALL BE PLENUM RATED, THE WIRING OF THESE SYSTEMS BY OTHERS.
- 18) EC TO PROVIDE BOX AND PULL STRING ONLY AT ALL LOCATIONS OF TEL/DATA OUTLETS.
- 19) EC SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL DEVICES.
- 20) OUTLET BOXES SHALL NOT BE INSTALLED BACK-TO-BACK.
- 21) EC SHALL GUARANTEE ALL WORK PERFORMED AS PART OF THIS CONTRACT IS FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, EC SHALL REPLACE OR REPAIR ANY DAMAGED OR DEFECTIVE DEVICES OR WORK FREE OF CHARGE DURING THIS PERIOD.
- 22) A MANUFACTURER'S SPEC SHEET (INCLUDING CATALOG NUMBER AND SHOP DRAWINGS) SHALL BE SUBMITTED FOR APPROVAL ON ALL FIXTURES, DEVICES AND EQUIPMENT PRIOR TO PURCHASING.
- 23) ALL WIRE SHALL BE COPPER RATED 75°C MIN.
- 24) ALL WIRING SHALL BE IDENTIFIED WITH PANELBOARD AND CIRCUIT NUMBERS IN ALL JUNCTION BOXES, TROUGHTS, POINTS OF TERMINATION, ETC.
- 25) EC SHALL CLEAN, VACUUM & TIGHTEN ALL CONNECTIONS IN ANY ELECTRICAL DISTRIBUTION EQUIPMENT THAT IS TO BE RE-USED.
- 26) ALL KNOCKOUTS IN ALL ENCLOSURES SHALL BE SEALED.
- 27) PANELBOARDS SHALL BE DOOR-IN-DOOR WITH STYLE, EXTERIOR TRIM & INTERIOR DOOR SHALL BE HINGED. ALL PANELBOARDS SHALL BE FURNISHED W/ COPPER BUSES.
- 28) EC SHALL BE RESPONSIBLE FOR PROVIDING AN UPDATED TYPED CIRCUIT DIRECTORY FOR ALL PANELBOARDS (NEW & EXISTING) THAT ARE EFFECTED BY THE CONSTRUCTION.
- 29) EC SHALL PROVIDE ENGRAVED NAMEPLATES FOR ALL PANELBOARDS, DISCONNECT SWITCHES & MOTOR STARTERS.



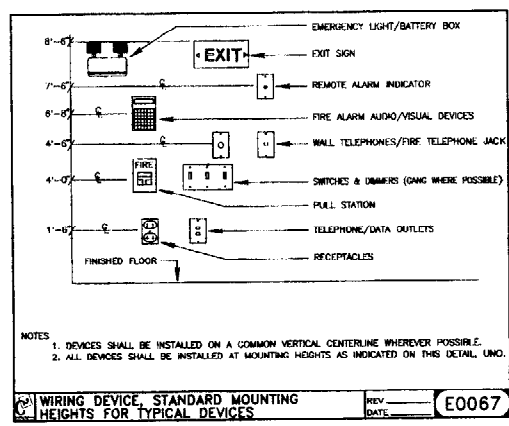
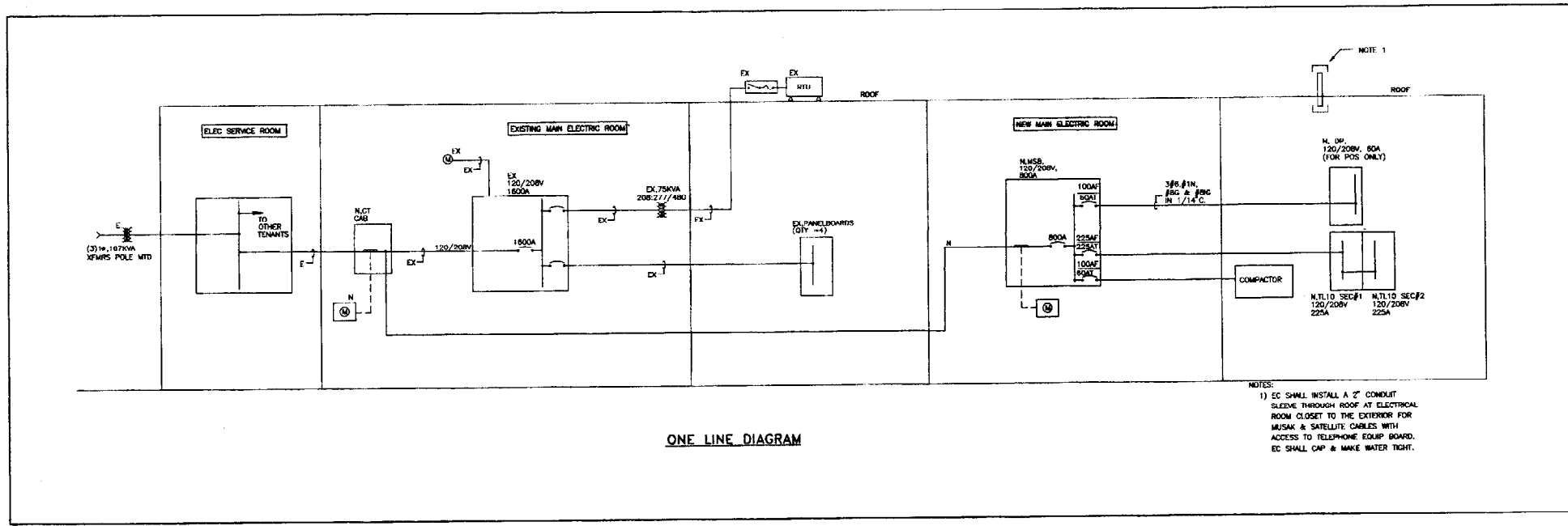
REF	DESCRIPTION	HP	VOLT	FLA	LRA	PH	KVA	C/B SIZE	FUSE SIZE	DL SIZE	MIN. WIRE SIZE	MIN. CKT AMPS	MAX. OCP	MEMO STARTER SIZE	FED FROM	NOTES/LOCATIONS
EF-1	EXHAUST FAN	1/25	115	75	4.5	1	.081	20	N/A	N/A	#12	1	20	N/A	TL10B	MTD ON ROOF
EF-2	EXHAUST FAN	1/20	115	73	4.5	1	.086	20	N/A	N/A	#12	1	20	N/A	TL10B	MTD ON ROOF
EF-3	EXHAUST FAN	1/25	115	58	3.3	1	.073	20	N/A	N/A	#12	1	20	N/A	TL10B	MTD ON ROOF
EF-4	EXHAUST FAN	1/8	115	1.1	6.7	1	.148	20	N/A	N/A	#12	1.4	20	N/A	TL10B	MTD ON ROOF
EH-A	ELECTRIC OVERHEAD HEATER	N/A	115	8.3	N/A	1	1	20	20	N/A	#12	10.4	20	N/A	TL10B	REFER TO FLR PLAN
EH-B	ELECTRIC UNIT HEATER	N/A	208	14	N/A	3	5	20	N/A	N/A	#12	17.5	20	N/A	MSB	REFER TO FLR PLAN
RTU-1	ROOF TOP UNIT	N/A	208	53.8	32.3	3	19.5	80	80	N/A	#6	87.4	80	N/A	MSB	MTD ON ROOF
RTU-2,3,4	ROOF TOP UNIT	N/A	208	77.8	48.7	3	28	100	90	N/A	#3	97.3	100	N/A	MSB	MTD ON ROOF
RTU-5	ROOF TOP UNIT	N/A	208	22.4	13.4	3	8	30	30	N/A	#10	28	30	N/A	MSB	MTD ON ROOF
RTU-6	ROOF TOP UNIT	N/A	208	20.5	12.2	1	4.2	30	30	N/A	#10	25.4	30	N/A	MSB	MTD ON ROOF
RTU-7	ROOF TOP UNIT	N/A	208	42.9	25.7	3	15.5	50	50	N/A	#8	53.7	50	N/A	MSB	MTD ON ROOF
RTU-8	ROOF TOP UNIT	N/A	208	22.2	1.33	3	8	30	30	N/A	#10	27.8	30	N/A	MSB	MTD ON ROOF



**SWITCHGEAR SPECIFICATION NOTE**

GENERAL ELECTRIC SWITCHGEAR DIVISION, AS DISTRIBUTED BY NESCO NATIONAL ACCOUNTS DEPARTMENT.

PHONE: 1-800-244-6980  
 FAX: 1-617-444-3277  
 CONTACTS: PAUL CUTLER OR JACK TOSCANO



**SCHEDULE OF DRAWINGS**

DRAWING	TITLE
E-1	SYMBOLS, NOTES & DETAILS
E-2	SPECIFICATION
E-3	POWER PLAN
E-4	LIGHTING PLAN
E-5	DETAILS PLAN
E-6	DETAILS PLAN

Commercial Construction Consulting, Inc.  
 110 Commercial Street  
 Portland, ME 04101  
 Phone: 603.763.1100  
 Fax: 603.763.1101  
 www.ccc-inc.com

**SYMBOLS, NOTES & DETAILS**

A.J. WRIGHT  
 PINE TREE SHOPPING CENTER  
 BRIGHTON AVENUE  
 PORTLAND, ME 04103

E1


16A.10 GENERAL

- ATTENTION IS DIRECTED TO THE GENERAL REQUIREMENTS, DIVISION 1, WHICH ARE HEREBY MADE PART OF THIS SPECIFICATION.
- THE CONTRACTOR SHALL PROVIDE THE COMPLETE ELECTRICAL SYSTEM AS SHOWN IN ACCORDANCE WITH THE TENANT'S REQUIREMENTS, THE LATEST RULES, REGULATIONS AND RECOMMENDATIONS OF THE LOCAL ELECTRICAL INSPECTION DEPARTMENT, NATIONAL BOARD OF FIRE UNDERWRITERS, NATIONAL ELECTRIC CODE, THE POWER COMPANY FURNISHING SERVICE, AND STATE ORDINANCES. THE TENANT SHALL APPROVE FINAL LAYOUT.
- THE WORD "PROVIDE" SHALL MEAN FURNISH, INSTALL, WIRE, CONNECT AND TEST COMPLETE IN PLACE.
- 11 SERVICES AND METERING  
IF EXISTING SERVICE IS NOT APPROVED BY A.J. WRIGHT:  
1) THE CONTRACTOR SHALL CONTACT THE LOCAL POWER COMPANY AND MAKE ALL NECESSARY ARRANGEMENTS FOR BRINGING A NEW ELECTRICAL SERVICE TO THE BUILDING. THIS INCLUDES UNDERGROUNDING PRIMARY AND SECONDARY CABLES AND CONSULTS, EXTERIOR TRANSFORMER PAD WITH PAD MOUNT TRANSFORMER, AND FENCE ENCLOSURE, OR A WALL AS MAY BE REQUIRED BY POWER COMPANY'S STANDARDS.  
2) VOLTAGE FOR ELECTRICAL DISTRIBUTION SYSTEMS SHALL BE THREE PHASE, FOUR WIRE, 277/480 VOLTS. IF THE POWER COMPANY CANNOT MAKE 277/480 VOLTS AVAILABLE, THE DISTRIBUTION VOLTAGE SHALL BE 120/208 VOLT THREE PHASE, FOUR WIRE THROUGHOUT.  
3) DRY TYPE TRANSFORMERS, CONNECTED TO THREE PHASE, FOUR WIRE, 120/208 VOLTAGE SHALL BE FURNISHED AND WIRED TO THE 480/277 VOLT SYSTEM AS AN ELECTRICAL SERVICE FOR ALL MISCELLANEOUS OUTLETS, RECEPTACLES, DEVICES AND ALL OTHER EQUIPMENT REQUIRING EITHER 120 OR 208 VOLTS.  
4) MAIN ELECTRIC SERVICE TO TENANT SHALL BE 800 AMP MINIMUM WHEN 277/480 VOLTS IS UTILIZED OR 100 AMP MINIMUM IF 120/208 VOLTS IS UTILIZED IN A MAXIMUM STORE AREA OF 30,000 SQUARE FEET LARGER AREA STORES WILL REQUIRE GREATER ELECTRICAL CAPACITY.

16A. SCOPE OF WORK

- CONTRACTOR SHALL PROVIDE THE COMPLETE ELECTRICAL SYSTEM INCLUDING THE FOLLOWING, BUT NOT LIMITED TO (IF EXISTING SERVICE NOT APPROVED BY A.J. WRIGHT):
- ALL PROVISIONS FOR TRANSFORMER, INCLUDING PRIMARY SERVICE CONDUITS AND CABLES, CONCRETE PAD OR POLES AS REQUIRED BY THE POWER COMPANY.
  - UNDERGROUNDING SECONDARY SERVICE CONDUITS AND CABLES FROM TRANSFORMER PAD TO BUILDING DISTRIBUTION BOARD, SWITCHBOARD, INCLUDING ONE (1) SPARE EMPTY SERVICE CONDUIT NUMBER OF CONDUITS AND CABLES AS REQUIRED FOR AMPLER CAPACITY OF SERVICE.
  - COMPLETE DISTRIBUTION AND METERING SYSTEMS.
  - COMPLETE FEEDER AND BRANCH CIRCUIT WIRING SYSTEMS.
  - MOUNTING AND ERECTION OF AND/OR CONNECTION TO STORE FIXTURES, MOTORS, SWITCHES, SWITCHES AND/OR OTHER ELECTRICAL EQUIPMENT FURNISHED BY PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SPRINKLER, GENERAL CONTRACTOR OR BY TENANT. (COORDINATE REQUIREMENTS WITH DIVISION 15).
  - ALL CONDUIT FITTINGS, OUTLET BOXES, FLOOR BOXES, WIRE WAYS, POWER/TELEPHONE POLES, PLUG-IN MOLDINGS, WIRING DEVICES, WIREWAY SUPPORTS, FITS AND OTHER ITEMS REQUIRED INCIDENTAL TO THE COMPLETION OF THE INSTALLATION.
  - COMPLETE LIGHTING SYSTEM CONTROL, INCLUDING BUILDING MANAGEMENT SYSTEM (BMS) CONTROL, SCHEME DESCRIBED IN PARAGRAPH 16A.17.26.
  - EMERGENCY LIGHTING SYSTEM AND EXIT LIGHTS.
  - WMM CONNECTIONS TO WATER HEATERS, STORE FIXTURES OR OTHER ELECTRICAL EQUIPMENT FURNISHED BY TENANT.
  - (BMS) CONTRACTOR CONTROL, CANOPY LIGHTS, SECURITY LIGHTS, AND SIGN WIRING.
  - DOOR BELL SYSTEM
  - CONDUIT AND WIRING PROVISIONS FOR INTERPHONE AND MUSIC SYSTEM.
  - CONDUIT PROVISIONS FOR TELEPHONE.
  - E.P.O.S. SYSTEM 120 VOLT AND SIGNAL WIRING SYSTEM.
  - CUTTING AND PATCHING SHALL BE PROVIDED WHERE REQUIRED BY A.J. WRIGHT FIXTURE DRAWINGS.
  - ALL CONDUIT AND WIRING PROVISIONS FOR A.J. WRIGHT BURGLAR ALARM, TELEPHONE, AND SPRINKLER SYSTEMS.
- 16A.13 DISTRIBUTION SWITCHBOARD
- A FLOOR MOUNTED, SELF-SUPPORTING, TOTALLY ENCLOSED CIRCUIT BREAKER TYPE DISTRIBUTION SWITCHBOARD WITH COPPER (CU) BUSSES SHALL BE PROVIDED. THE SWITCHBOARD WILL BE DESIGNED FOR A MINIMUM BRANCHING OF 50,000 RMS AMPS. ALL BUS BAR JOINTS SHALL BE SILVER PLATED, AND ALL CONNECTIONS SHALL BE BOLTED. SWITCHBOARDS SHALL CONFORM TO NECA CLASS 1 CONSTRUCTION.
  - THE MAIN DISTRIBUTION SWITCHBOARD SHALL BE FABRICATED IN TWO (2) SECTIONS AND HAVE A MINIMUM OF 800 AMP - 800 AMP AS REQUIRED BY VOLTAGE AND SHALL CONSIST OF THE FOLLOWING:  
A. THE FIRST SECTION SHALL CONTAIN INCOMING SERVICE LUGS, THE MAIN PRESSURE SWITCH, AND SPACE FOR THE UTILITY COMPANY'S METERING CURRENT TRANSFORMERS (WHEN REQUIRED BY UTILITY).  
B. THE SECOND SECTION SHALL CONTAIN THE CIRCUIT BREAKER FEEDER DEVICES OF THE NUMBER AND RATINGS SHOWN.
  - CIRCUIT BREAKER MUST BE SIZED TO ACCOMMODATE THE AVAILABLE INTERRUPTING CAPACITY AT THE SITE.
  - THE MANUFACTURER HAS A NATIONAL ACCOUNT WIRING PROGRAM WITH THE FOLLOWING PRIMARY MANUFACTURER: GENERAL ELECTRIC SWITCH GEAR DIVISION, AS DISTRIBUTED BY NESCO NATIONAL ACCOUNTS DEPARTMENT. PHONE: (800) 244-8860 FAX: (781) 575-1358 CONTACT: JOHN POWELL, BECKY POWELL, OR SUZANNE JOHNSTON.
- 16A.14 LIGHTING AND POWER PANELS
- LIGHTING AND POWER PANELS SHALL BE CIRCUIT BREAKER TYPE, 20 AMP MINIMUM WITH ONE, TWO OR THREE POLE BREAKERS, AS SHOWN, AND SHALL BE DESIGNED FOR EITHER 277/480 VOLTS OR 120/208 VOLTS, THREE PHASE, 4 WIRE SERVICES WITH COPPER BUSSES AS REQUIRED. MULTI-POLE BREAKERS SHALL HAVE SIMULTANEOUS TRIP. BREAKERS SHALL BE BOLT-ON TYPE.
  - ALL PANELS SHALL BE LOCATED IN THE ELECTRICAL ROOM, COORDINATE WITH DRAWINGS.

16A.15 CONDUIT, WIRES AND CABLES

- INSD STEEL THREADED HOT DIP GALVANIZED CONDUIT SHALL BE USED FOR ALL UNDERGROUND IN CONCRETE SLAB AND EXTERIOR EXPOSED WORK, WHEN ALLOWED BY CODE, USE SCHEDULE 40 PVC ELECTRICAL CONDUIT.
  - FMT SHALQ BE USED FOR ALL EXPOSED INTERIOR WORK, WHERE PERMITTED BY CODE. BK OR ROMEX MAY BE USED FOR BRANCH CIRCUIT WIRING CONCEALED ABOVE HUNG CEILING OR IN PARTITIONS.
  - PVC (PLASTIC CONDUIT) WITH SEPARATE GROUND CONDUCTOR MAY BE USED FOR EXTERIOR WIRING SHALL BE IN TYPE THW, THWN OR THHN COPPER BRANCH CIRCUIT WIRING SHALL BE TYPE THW, COPPER.
  - ALL FEEDER AND BRANCH CIRCUIT WIRING SHALL BE IN TYPE THW, THWN OR THHN COPPER BRANCH CIRCUIT WIRING SHALL BE TYPE THW, COPPER.
- 16A.16 GROUNDING
- FURNISH AND INSTALL GROUNDING SYSTEM CONFORMING TO IEEE STD 143-1992 AND AS REQUIRED BY CODES OR STANDARDS.
  - GROUNDING CONDUCTORS SHALL BE STRANDED COPPER WIRE WITH TYPIC GREEN COLOR INSULATION, ALUMINUM SHALL NOT BE USED FOR GROUNDING CONDUCTORS.
  - SEPARATE SYSTEM GROUNDING ELECTRODE CONDUCTOR SHALL BE MINIMUM NO. 350 MCM THW (GREEN) STRANDED COPPER WIRE IN IMC STEEL CONDUIT TO ENTRANCE OF WATER SERVICE, AND CONCRETE ENCASED.

16A.17 LIGHTING

- A.J. WRIGHT HAS OBTAINED INTO A NATIONAL ACCOUNT AGREEMENT WITH THE FOLLOWING PRIMARY MANUFACTURER: NESCO NATIONAL ACCOUNTS DEPARTMENT PHONE: (800) 244-8860 FAX: (781) 575-1358 CONTACT: JOHN POWELL, BECKY POWELL, OR SUZANNE JOHNSTON.  
ELECTRICAL CONTRACTOR NOTE: FIXTURES MUST BE PURCHASED FROM THE SOURCE LISTED ABOVE. SUBSTITUTIONS WILL NOT BE ACCEPTED. ALL ORDERS MUST BE PLACED WITH THE DISTRIBUTOR A MINIMUM OF FOUR (4) WEEKS PRIOR TO THE SCHEDULED INSTALLATION OF LIGHTING.
- SPECIAL FITTINGS REQUIRED SUPPORT TO FIXTURES SHALL BE SUPPLIED BY THE ELECTRICAL CONTRACTOR, AS WELL AS WOOD, OR METAL SUPPORTS OR GROUNDS TO SUPPORT SURFACE OR PENDANT MOUNTED FIXTURES ON SUSPENDED CEILINGS.
- INCANDESCENT FIXTURES OVER 250 WATTS, LIGHT TRACK, AND HOODS AND FLUORESCENT FIXTURES SHALL BE SUPPORTED BY BUILDING STRUCTURAL ELEMENTS INDEPENDENT OF CEILINGS.
- RECESSED FLUORESCENT FIXTURES SHALL BE SUPPORTED BY ROD OR BOW-CHAIN, MINIMUM OF TWO (2) SUPPORTS PER 4'-FEET OF FIXTURE.
- THE MINIMUM NUMBER OF SUPPORTS FOR SURFACE MOUNTED FLUORESCENT OR SUSPENDED FLUORESCENT FIXTURES SHALL BE EQUAL ONE FOR EACH 4'-FEET OF LENGTH PLUS ONE ADDITIONAL SUPPORT; 4'-FEET TWO (2) SUPPORTS; 8'-FEET THREE (3) SUPPORTS; 12'-FEET FOUR (4) SUPPORTS. ADDITIONAL SUPPORTS SHALL BE BOLTED TYPE, ANCHORS AND INSETS SHALL BE INSTALLED AS AN INTEGRAL PART OF STRUCTURAL SYSTEM, EXPLOSION OR CARTRIDGE DRUM TYPE INSETS, ANCHORS OR SUPPORTS ARE NOT APPROVED.
- TYPE F LIGHTING FIXTURES (SEE SCHEDULES) ARE FLUORESCENT LIGHTING FIXTURES WITH JOG-LUMEN OUTPUT ARRANGING FIXTURES IN SINGLE OR DOUBLE PLATES AS REQUIRED TO PROVIDE ONE (1) FOOT CANDLE OF ILLUMINATION AT THE FLOOR. (MAINTAINED), THE EMERGENCY BATTERY UNITS AND WIRING SHALL BE SIZED NECESSARY TO ACCOMMODATE ALL HEADS AND EXITS REQUIRED BY CODE AND LEAVE A 10% SURPLUS CAPACITY FOR A DURATION OF 90 MINUTES. THE SYSTEM SHALL BE 120/277V PRIMARY AND 12V SECONDARY. ALL EMERGENCY BATTERY UNITS ARE TO BE HARDWIRED TO AN UNSWITCHED CIRCUIT.
- NOTE: DATA SHOWN ON DRAWING C-5 IS FOR INFORMATION ONLY, A LAYOUT TO CODE CONFORMANCE MUST BE DEVELOPED BY A REGISTERED ELECTRICAL ENGINEER.
- A LISTING OF FIXTURE NUMBERS, TYPES AND DESCRIPTIONS AS DISTRIBUTED BY BURSLEY ASSOCIATES IS AS FOLLOWS:

TYPE	WTR	LAMPS
A-DH	METALUX BOOME	(4) F32T8SP35/RS
A	METALUX	(4) F32T8SP35/RS
B	METALUX	(4) F32T8SP35/RS
C1	METALUX	(2) F32T8SP35/RS
D	METALUX	(4) F32T8SP35/RS
D1	METALUX	(2) F32T8SP35/RS
D2	METALUX	(1) F32T8SP35/RS
C	METALUX	(4) F32T8SP35/RS
G1	METALUX	(2) F32T8SP35/RS
G2	METALUX	(2) F32T8SP35/RS
J	METALUX	(4) F32T8SP35/RS
J1	METALUX	(2) F32T8SP35/RS
J2	METALUX	(2) F32T8SP35/RS
E	SRLT	
K	HALO	(1) S0PAR30/WPL
K1	HALO	
K2	HALO	
K3	HALO	
L	LUMARK	(1) L1150
R	SRLT	
R1	SRLT	
R2	SRLT	

- TYPE M AND P FIXTURES ARE TO BE AS LISTED ON DRAWING C-5 AND C-8. ELECTRICAL CONTRACTOR WILL FURNISH AND INSTALL THESE FIXTURES.
- ALL FLUORESCENT LAMPS SHALL BE AS LISTED ON THE SCHEDULE. DRAWING C-5, AND FLUORESCENT LAMPS WILL BE FACTORY INSTALLED IN ALL 2x4 RECESSED FIXTURES, LAMPS FOR STRIP FIXTURES WILL BE SHIPPED SEPARATELY.

16A.17 LIGHTING (CONTINUED)

- ALL FLUORESCENT BALLASTS WILL BE FACTORY INSTAL IN THE FIXTURES. FINAL CIRCUIT WIRING BY THE ELECTRICAL CONTRACTOR.
  - SEVERAL CONTRACTORS SHALL CONTROL STORE LIGHTING. ONE HALF OF STORE LIGHTING (EVENY OTHER ROW) WILL BE CONTROLLED BY ONE CONTRACTOR(S) THIS WILL BE CONSIDERED THE "EMPLOYEE LIGHTING CONTROL" A SWITCH AT THE CUSTOMER SERVICE DESK WILL ENERGIZE THIS CIRCUIT THIS CIRCUIT SHALL ALSO CONTROL FITTING ROOMS AND OFFICES, EMPLOYEE LOUNGE, REST ROOMS AND OTHER EMPLOYEE AREAS. THIS CONTRACTOR SHALL HAVE ONE SET OF ALARMY CONTRACTS, WHICH MAY BE READ BY THE BMS SYSTEM TO CONFIRM OPERATION OF EMPLOYEE LIGHTS. THE SECOND HALF OF STORE LIGHTING, ALL DISPLAY (TRACK LIGHTS, ETC.), CONSOLE AND CORNING LIGHTING, SHALL BE CONTROLLED BY A SECOND CONTRACTOR(S) WHICH WILL BE CONSIDERED "CUSTOMER LIGHTING." CUSTOMER LIGHTING WILL BE CONTROLLED BY THE BMS SYSTEM. THIS CONTRACTOR SHALL BE SET UP FOR TWO WIRE CONTROL, (I.E., OPEN CONTACTS-OFF, CLOSED CONTACTS-ON) FROM A BMS RELAY; THERE WILL BE ONLY ONE LIGHTING SWITCH AT CUSTOMER SERVICE DESK, THE EMPLOYEE LIGHTING CONTROL SWITCH ABOVE.
  - FURNISH AND INSTALL DOCK LIGHTING (AS REQUIRED BY DRAWINGS) AT RECEIVING DOOR. MANUFACTURER: PHOTON DOCK LIGHT #FL300-13.
- 16A.18 PARKING LOT AND SECURITY LIGHTING
- CONTRACTOR SHALL PROVIDE IN THE PARKING LOT A LIGHTING SYSTEM OF CONCRETE BASES 30"-Ø ROUND STEEL TAPERED POLES WITH FOUR (4) 400 WATT HIGH PRESSURE SODIUM LAMPS TO PRODUCE 2.3 FOOT CANDLES AVERAGE MAINTAINED, LUMINAIRE ARE BALLASTS HOLDING CAST ALUMINUM COMPLETED GASKETS, BMS, CATALOG #PAK-400RS-480-BL-RITS (PAINT POLE TO MATCH LUMINAIRE) OR EQUAL AS APPROVED BY A.J. WRIGHT.
  - PARKING LOT ENTRANCES AND EXIT LIGHTING SHALL CONSIST OF CONCRETE BASES 25"-Ø SQUARE ROUND TAPERED POLES, 400 WATT POST TOP LUMINAIRES WITH ONE (1) 400 WATT HPI PRESSURE SODIUM LAMP, LUMINAIRE SHALL BE ENCO, CATALOG #PAK-400RS-480-BL-RITS, (PAINT POLE TO MATCH LUMINAIRE) TO EQUAL AS APPROVED BY A.J. WRIGHT.
  - SYSTEM OF EXTERIOR SECURITY BUILDING - MOUNTED 100 WATT HIGH PRESSURE SODIUM WALL PACK LIGHTING UNITS SHALL BE PROVIDED. PHOTOELECTRIC CELL CONTROLLED TO OPERATE DUSE TO DAWN LIGHTS SHALL BE LOCATED AS SHOWN ON TENANT'S DRAWINGS AND SHALL BE SIZED #633-100, X-277 WITH #53 LEDX SHIELD, OR APPROVED EQUAL. THIS SECURITY LIGHTING SHALL BE IN ADDITION TO EXTERIOR LIGHTING SHOWN OVER EXTERIOR DOORS.

16A.19 SIGNS

- PROVIDE THREE (3) 120 VOLT CIRCUITS AND ONE (1) DISCONNECT SWITCH BEHIND THE MAIN SIGN FIELD SIGN SHALL BE CONTROLLED ALONG WITH CANOPY LIGHTS, BY A CONTRACTOR, FURNISHED BY ELECTRICAL CONTRACTOR, TO BE CONTROLLED BY (BMS) SYSTEM. VERIFY FINAL SIGN LOCATION WITH A.J. WRIGHT PROJECT MANAGER.
- PYLON SIGN CONDUIT AND WIRE SHALL BE TERMINATED AT THE PYLON SIGN IN A WEATHERTIGHT DISCONNECT WITH THE PROPER VOLTAGE AND CURRENT REQUIREMENTS AS SPECIFIED IN ACCORDANCE WITH TENANT'S PYLON SIGN REQUIREMENTS. PYLON SIGN IS TO BE CONTROLLED BY THE SAME CONTRACTOR CONTROLLING THE PARKING LOT LIGHTING.

16A.20 CONVENIENCE OUTLETS

- ON THE BACK OF SELECTED SALES ARE COLUMNS, PROVIDE A DUPLEX RECEPTACLE OUTLET AT 18" ABOVE FLOOR, ALL WIRE SHALL BE RUN IN WIRE MOLD BACKPACK. (WIRING) 3210 TO MATCH COLUMN.) FEED COLUMN DUPLEX OUTLETS FROM OVERHEAD, WHEREVER POWER, PHONE AND/OR SENSOR WIRING IS EXPOSED TO VIEW IT IS TO BE RUN IN WIREMOLD 2130.
- ALL CONVENIENCE OUTLETS SHOULD BE GROUNDING TYPE FOUL TO HUBBELL #5242 WHITE WITH GROUNDING POLE AND GROUNDING TERMINAL.
- ALL COVER AND BLANK COVER TO HAVE BRUSHED ALUMINUM FINISH.
- PHONE DUPLEX RECEPTACLES IN OFFICE AREAS AS SHOWN ON TENANT'S DRAWING.

16A.21 TIME CLOCKS AND CONTRACTORS

- NO TIME CLOCKS SHALL BE INSTALLED EXCEPT FOR PARKING LOT LIGHTS OR OTHER LIGHTING CONTROLLED BY LANDLORD'S SERVICE. IF PARKING LOT LIGHTS ARE FED FROM A.J. WRIGHT SERVICE, ELECTRICAL CONTRACTOR SHALL PROVIDE A CONTACTOR FOR BMS CONTROL. CONTRACTORS WILL BE LOCATED BY THEIR RESPECTIVE PANELS AND IDENTIFIED, CANOPY LIGHTS AND FACIA SIGNS SHALL BE CONTROLLED BY A SEPARATE CONTRACTOR, PROVIDED BY ELECTRICAL CONTRACTOR, FOR BMS CONTROL. NO PHOTOCELLS ARE TO BE INSTALLED. THE BMS SYSTEM WILL TAKE OUTDOOR LIGHT LEVEL INTO CONSIDERATION INTERNALLY. FURNISH AND INSTALL ALL BMS CONTRACTORS. SYSTEM WILL TAKE OUTDOOR LIGHT LEVEL INTO CONSIDERATION. FURNISH AND INSTALL ALL BMS CONTRACTORS, WHICH WILL SLAVEY FROM "EMPLOYEE" LIGHTING CONTACT.
- LIGHTING CONTRACTORS SHALL BE MECHANICALLY HELD ASO SERIES #900 SQUARE 1/2 OR EQUAL, OTHER CONTRACTORS SHALL BE ELECTRICALLY HELD, SQUARE D OR EQUAL.

16A.22 TELEPHONE SYSTEM

- FURNISH AND INSTALL ALL SINGLE GANG OUTLET BOXES AND A COMPLETE EMPTY CONDUIT SYSTEM FOR THE TELEPHONE SYSTEM. ALL TELEPHONE CONDUIT EXPOSED IN THE SALES AREA SHALL BE WIREMOLD 22100. PROVIDE 3/4" EMT STUB UP IN OFFICE AREAS FROM FLUSH BOX TO ABOVE CEILING. PROVIDE TWO DUPLEX RECEPTACLES ON A SEPARATE CIRCUIT AT THE TELEPHONE TERMINAL BOARD LOCATION.

16A.23 DOOR BELL SYSTEM, REAR DOOR ALARM CONTROL, AND CEILING CHIME SYSTEM

- FURNISH, INSTALL, AND WIRE AT THE RECEIVING ROOM DOOR A REAR DOOR ALARM CONTROL AS INDICATED ON THE POWER PLAN.
- FURNISH, INSTALL, AND WIRE AT THE RECEIVING ROOM DOOR A REAR DOOR ALARM CONTROL AS INDICATED ON THE POWER PLAN.

16A.24 UNDER FLOOR DUCT

- FURNISH AND INSTALL ALL UNDER FLOOR DUCTS REQUIRED COMPLETE WITH INSURE 1/2" O.C. AS INDICATED, ADAPTERS, SUPPORTS, JOINTS, ETC., AND AS DETAILED IN THE TENANT'S REQUIREMENTS, WALKER DUCT OR EQUAL AS APPROVED BY A.J. WRIGHT.

16A.25 HEATING, VENTILATING, AIR CONDITIONING, AND PLUMBING WIRING

- FURNISH AND INSTALL ALL POWER INTERLOCK CONTROL WIRING FOR THE COMPLETE SYSTEM FOR HEATING, VENTILATING, AIR CONDITIONING, AND PLUMBING, LOW VOLTAGE WIRING TO BE COMPLETED BY MECHANICAL CONTRACTOR, AND LINE VOLTAGE POWER WIRING BY ELECTRICAL CONTRACTOR.
- NOTE: PROVIDE DEDICATED CIRCUITS TO EACH BASEBOARD RADIATION UNIT - SEE SECTION 158 FOR LOCATION AND CONTROL REQUIREMENTS.
- AUTOMATIC TEMPERATURE CONTROL (TMS) SHALL BE FURNISHED AND INSTALLED BY THE H.V.A.C. CONTRACTOR.

16A.26 SPRINKLER FLOW SWITCHES

- CONTRACTOR SHALL WIRE AND CONNECT SPRINKLER ENTRANCE FLOW SWITCHES, FAN RELAY, AND OTHER CONTROL WIRING AS REQUIRED IN CONJUNCTION WITH TENANT'S PROTECTIVE SYSTEM, AND AS DETAILED IN THE TENANT'S REQUIREMENTS.

16A.27 P.O.S. SYSTEM WIRING

- A.J. WRIGHT SHALL FURNISH, INSTALL, AND WIRE COMPLETE THE P.O.S. SYSTEM, INCLUDING ALL RECEPTACLES, PANEL, SIGNAL WIRING, AND RELATED FITTINGS, ETC. AS SHOWN ON THE TENANT'S DRAWINGS. ELECTRICAL CONTRACTOR TO PROVIDE PULL STRINGS IN CONDUIT PROVIDED FOR ABOVE.

16A.28 TEMPORARY LIGHT AND POWER

- CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR TEMPORARY LIGHT AND POWER IN THE STORE, AND BE CAPABLE OF SUPPLYING SAME, FOR THE PURPOSES OF SUPPLYING SAME FOR THE PURPOSES OF TENANT'S FIXTURE INSTALLATION AND MERCHANDISING OPERATIONS, INCLUDING ANY NECESSARY "STAND-BY" SUPERVISION REQUIRED FOR THE MAINTENANCE OF LIGHT AND POWER DURING ALL HOURS OF TENANT'S OPERATIONS.

16A.29 POWER FOR AUTOMATIC DOOR OPERATIONS

- THE SENIOR-SWING DOORS WILL REQUIRE ONE 20-AMP DEDICATED CIRCUIT, THE FULLY AUTOMATIC DOORS WILL REQUIRE TWO-20AMP DEDICATED CIRCUITS. (COORDINATE WITH 81A.16)

16A.30 STORE OPENING

- CONTRACTOR SHALL HAVE A QUALIFIED ELECTRICAL MECHANIC PRESENT AT THE STORE CONTINUOUSLY AT LEAST ONE (1) DAY BEFORE STORE OPENING AND FOR OPENING DAY TO INSURE THAT ALL EQUIPMENT, MATERIAL, WIRING AND CONTROLS, ETC. ARE ACTING PROPERLY. A DAY CONSISTS OF 14 HOURS FROM 8:00 A.M. TO 10:00 P.M.

16A.31 GUARANTEE

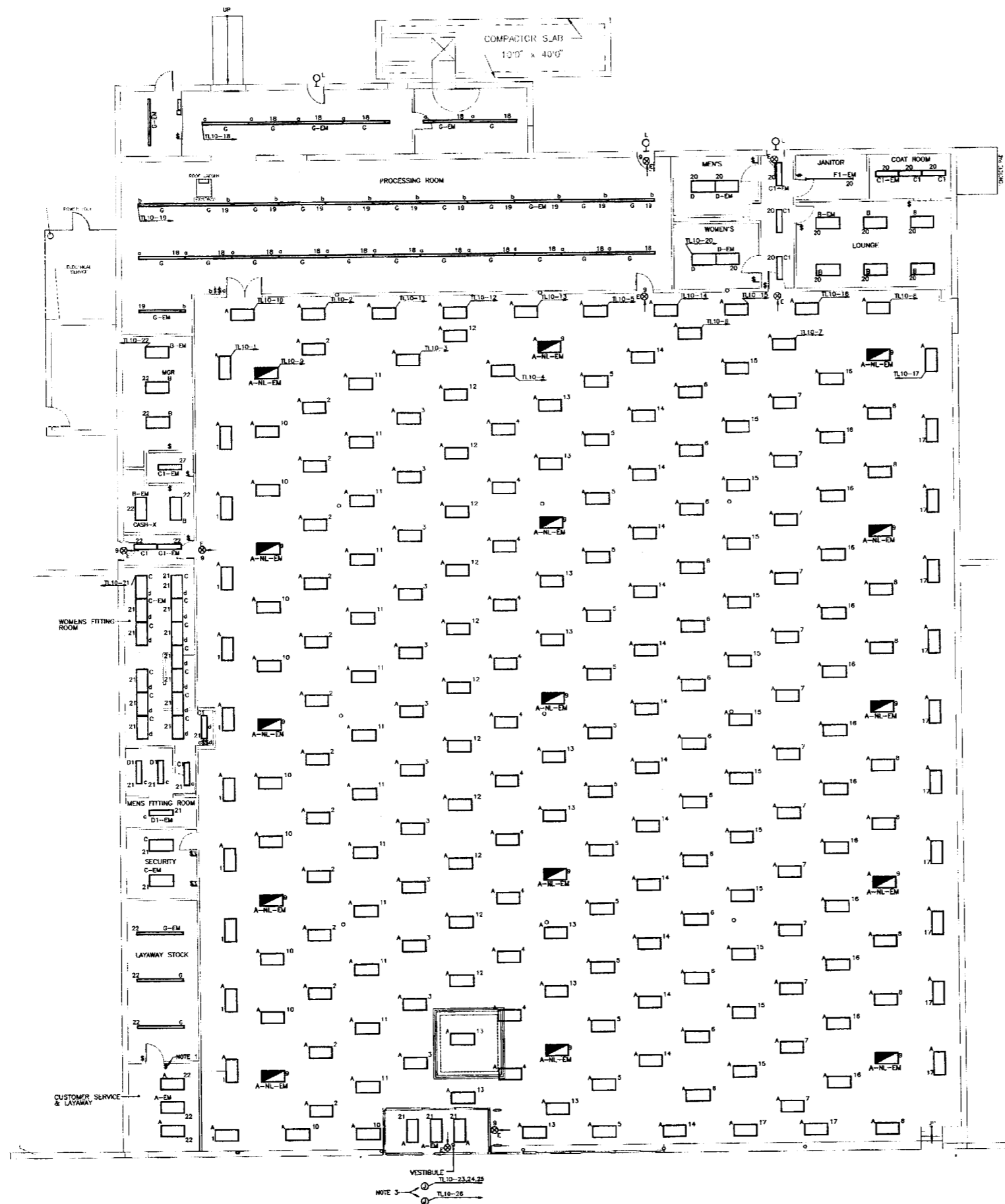
- THE GENERAL CONTRACTOR SHALL RECEIVE IN WRITING FROM THE ELECTRICAL CONTRACTOR A WRITTEN UNCONDITIONAL GUARANTEE THAT HE WILL REPAIR OR REPLACE ANY DEFECTIVE MATERIAL OR LABOR, WHICH MAY SHOW ITSELF WITHIN ONE (1) YEAR AFTER DATE OF THE FINAL ACCEPTANCE CERTIFICATE. THE GUARANTEE SHALL BE TURNED OVER TO A.J. WRIGHT UPON COMPLETION OF PUNCH LIST.

**SPECIFICATION**

Checked By	Approved By
Drawn By	Checked
Estimated	Reviewed
Quantity	
Notes	

FOR PROJECT NO. 01122  
SCHEDULE ABSTRACT  
DRAWING NO. 18  
DATE 11-15-88  
BY: [Signature]  
REVISION NO. [Blank]





- NOTES:**
- 1) THE FOLLOWING BRANCH CIRCUITS: TL10-1-8, 18-22 SHALL BE CONTROLLED BY A CONTACTOR(S). CONTACTOR SHALL BE SUPPLIED WITH AN AUXILIARY SET OF CONTACTS FOR MOTOR SYSTEM. CONTACTOR(S) TO BE CONTROLLED BY A SINGLE-POLE SWITCH LOCATED AT THE CUSTOMER SERVICE DESK. THIS CONTACTOR(S) SHALL BE LABELED "EMPLOYEE LIGHTING CONTROL" AND LOCATED ADJACENT TO PANELBOARD TL10.
  - 2) THE FOLLOWING BRANCH CIRCUITS: TL10-10-17 SHALL BE CONTROLLED BY A CONTACTOR(S). CONTACTOR(S) WILL BE CONTROLLED VIA BMS SYSTEM. COORDINATE CONNECTIONS W/CONTROLS CONTRACTOR. CONTACTOR(S) SHALL BE LABELED "CUSTOMER LIGHTING" AND LOCATED ADJACENT TO PANELBOARD TL10.
  - 3) EC SHALL PROVIDE (3) 120V, 20A BRANCH CIRCUITS FOR EXTERIOR SIGN. CIRCUITS TO BE CONTROLLED VIA TIME CLOCKS PROVIDED BY THIS CONTRACTOR. (ASTRO DALI PHOTO INITIATED-NO SUBSTITUTIONS) JUNCTION BOX TO BE LOCATED BEHIND AJ WRIGHT SIGN FACE. (COORDINATE EXACT LOCATION WITH AJ. WRIGHT). EC SHALL ALSO SUPPLY 120V, 20A BRANCH CIRCUIT FOR SIGN MOUNTED UNDER CANOPY.

**NOTE:**

STORE LIGHTING (SALES & SUPPORT) SHALL INCORPORATE BOONIE B100 TYPE BALLASTS TO ACT AS A NTF LIGHTS / EMERGENCY LIGHTS. NUMBER OF FIXTURES WITH THE BOONIE B100 BALLAST SHALL BE DETERMINED BY CODE. (B-EM, C-EM, C1-EM, D1-EM, D-EM, G-EM, A-NL-EM, L7-2-NL-EM)

NL-EM: WILL BE WIRED FOR UNSWITCHED FIXTURE (FIXTURES WILL RUN 24 HOURS)

EM: WILL BE WIRED FOR SWITCHED FIXTURE (FIXTURE WILL TURN ON/OFF WITH WALL SWITCH BOONIE EMERGENCY WILL TURN ON WHEN POWER FAILS.)

ALL LAMPS SHALL BE SP35/WM AS MANUFACTURED BY GENERAL ELECTRIC. NO SUBSTITUTIONS UNLESS OTHERWISE NOTED

**LIGHTING FIXTURE SCHEDULE**

SYM	SIZE	FIXTURE MOUNTING	QTY	LAMPING TYPE	REMARKS
A	2' x 4'	RECESSED	4	F32T8/SP35	WITH PRISMATIC ACRYLIC LENS
A1	2' x 2'	RECESSED	3	40BK 40WBX	WITH PRISMATIC ACRYLIC LENS
B	2' x 4'	RECESSED	1	F32T8/SP35	WITH PRISMATIC ACRYLIC LENS
C	2' x 4'	RECESSED	2	F32T8/SP35	WITH PRISMATIC ACRYLIC LENS
D	2' x 4'	RECESSED	1	F32T8/SP35	WITH PRISMATIC ACRYLIC LENS
D1	1' x 4'	RECESSED	2	F32T8/SP35	WITH PRISMATIC ACRYLIC LENS
E	2' x 2'	WALL	2	F32T8/SP35	
F	4' x 10'	SURFACE	4	F32T8/SP35	WITH HEAVY DUTY ROW ALIGNERS & TWISTEE HANGERS
F1	4' x 8'	SURFACE	2	F32T8/SP35	WITH HEAVY DUTY ROW ALIGNERS & TWISTEE HANGERS 16" MIN SP & 4" WTH 2
F2	4' x 4'	SURFACE	1	F32T8/SP35	WITH HEAVY DUTY ROW ALIGNERS & TWISTEE HANGERS
F3	4' x 2'	SURFACE	1	F32T8/SP35	WITH HEAVY DUTY ROW ALIGNERS & TWISTEE HANGERS
G	11' x 8'	PENDANT	1	F32T8/SP35	WHT CE TONG & JACK CHAIR HANGERS AND REFLECTIVE REFLECTORS. WHT AT 13'-0" BY 18"
G1	11' x 4'	PENDANT	2	F32T8/SP35	WHT CE TONG & JACK CHAIR HANGERS AND REFLECTIVE REFLECTORS. WHT AT 13'-0" BY 18"
G2	4' x 8'	PENDANT	2	F32T8/SP35	WHT CE TONG AND JACK CHAIR HANGERS
G3	2' x 8'	PENDANT	1	F32T8/SP35	WHT CE TONG AND JACK CHAIR HANGERS
H1	3' x 4'	VANANCE	2	F32T8/SP35	WHT CE TONG AND JACK CHAIR HANGERS
H2	3' x 3'	VANANCE	2	F32T8/SP35	WHT CE TONG AND JACK CHAIR HANGERS
J	6' x 8'	CURTAIN WALL	4	F32T8/SP35	
K1	4' x 4'	CURTAIN WALL	2	F32T8/SP35	
K2	4' x 2'	CURTAIN WALL	2	F32T8/SP35	
K	8' x 8'	SURFACE	1	GE 50PAR30/NSP/H	130 VOLT
L	1' x 1'	WALL	1	1W 100	WALL PACK WITH LEAD
P	20" x 10" DEEP	PENDANT	1	100 WATT TYPE A LAMP	
R	EMERGENCY	CEILING WALL	1	17 WATT	REMOVABLE WITH BATTERY PACK
S	8 1/2" x 8"	SURFACE	1	F32T8/SP35	
S2	8 1/2" x 4"	SURFACE	2	F32T8/SP35	
T	---	CANOPY	2	F119-1200-C-02-1-000W/7	MANUFACTURER: ELIOTT/PAR
V	7' DIA.	RECESSED	2	COMPACT FLUORESCENT LAMPS	TWO 50 WATT BAW LAMPS (INCLUDED WITH FIXTURE)

ALL LAMPS SHALL BE SP35/WM AS MANUFACTURED BY GENERAL ELECTRIC. NO SUBSTITUTIONS UNLESS OTHERWISE NOTED

Project No.	
Revision	
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Approved By	

**LIGHTING PLAN**

Drawing Description

Scale

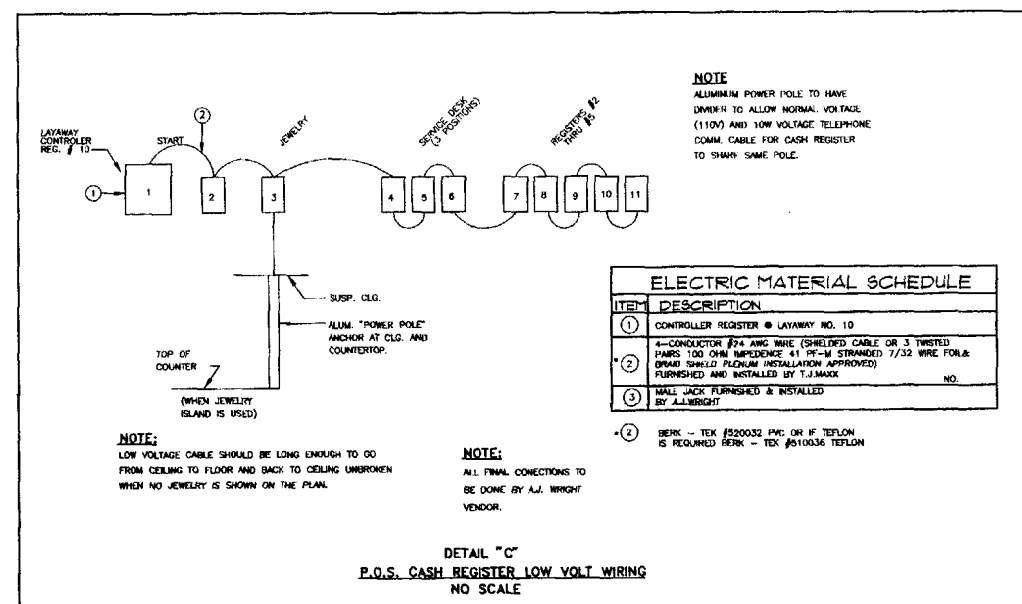
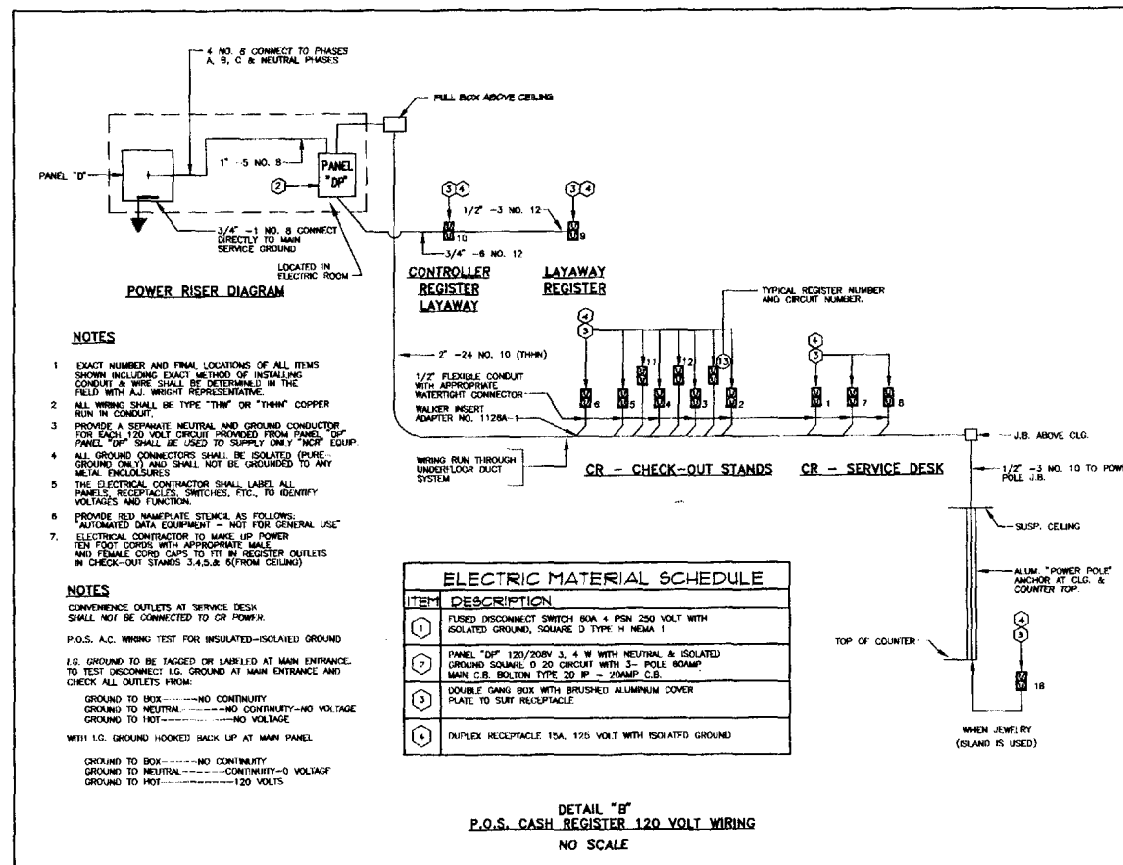
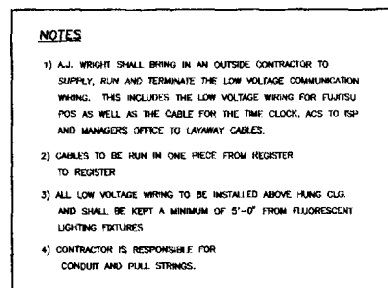
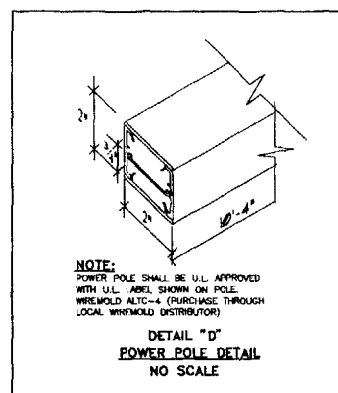
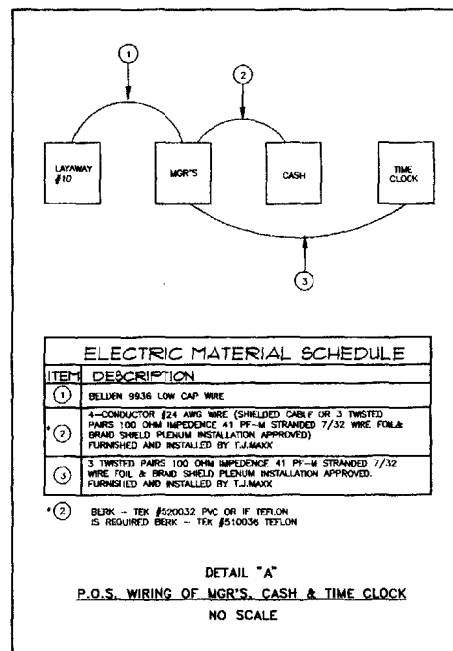
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Project No. 01122

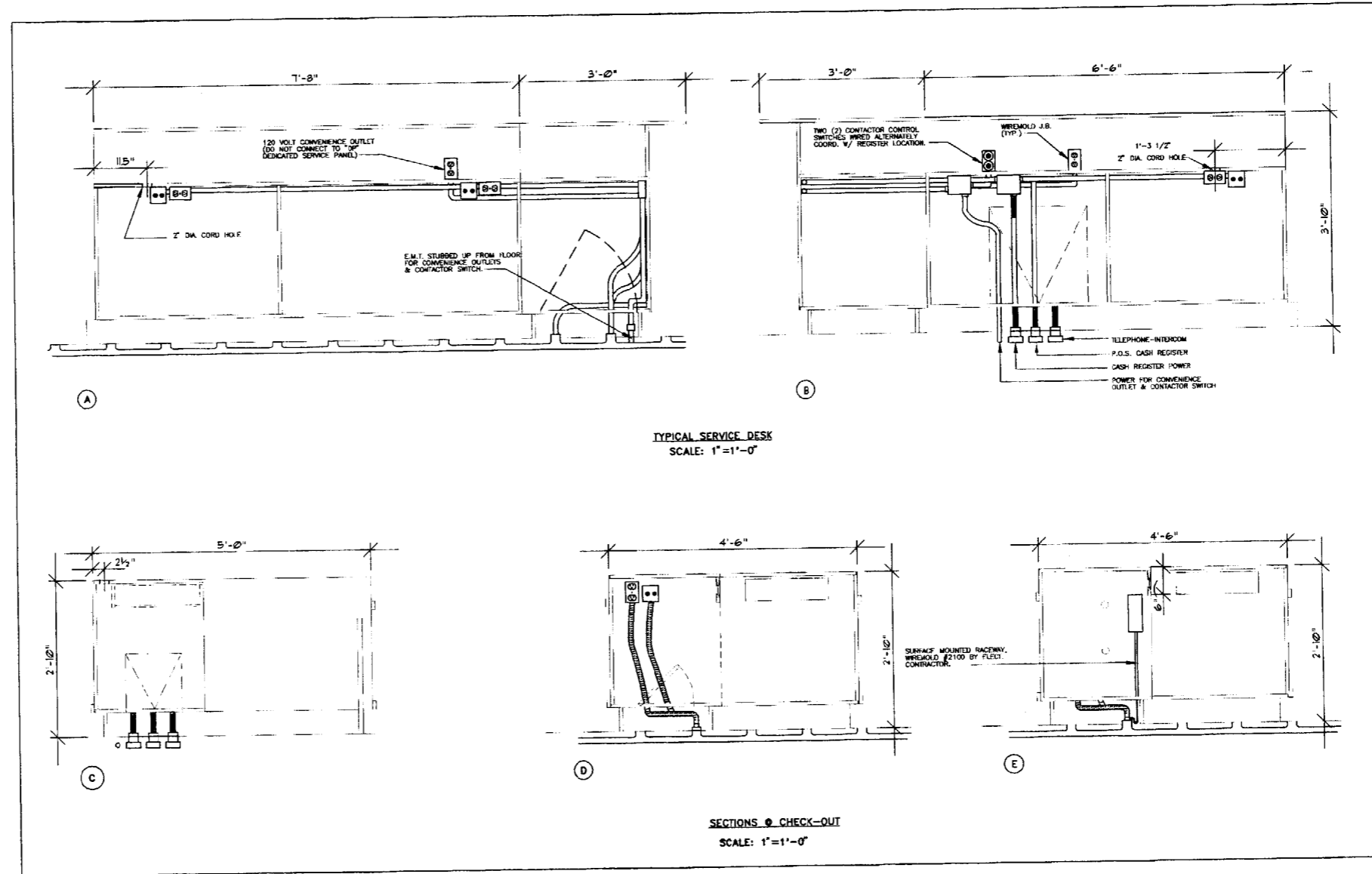
A.J. WRIGHT SHOPPING CENTER  
 PINE TREE SHOPPING CENTER  
 BRIMMONT AVENUE  
 PORTLAND, ME 04106

Project No.	01122
Revision	
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Drawn By	
Checked By	
Approved By	

**A.J. WRIGHT SHOPPING CENTER**  
 PINE TREE SHOPPING CENTER  
 BRIMMONT AVENUE  
 PORTLAND, ME 04106







Project No.	
Revision	
Drawn By	
Checked By	
Date	

<b>DETAILS PLAN</b>	
Checked By	Checked By
Date	Date
Drawn By	Drawn By
Date	Date
Project No.	Project No.
Sheet No.	Sheet No.

Project No. **01122**  
**SCHNEIDER ELECTRIC**  
 1400 BROADWAY, 14TH FLOOR  
 NEW YORK, NY 10019  
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**A.J. WRIGHT**  
**PINE TREE SHOPPING CENTER**  
 BRIGHTON AVENUE  
 PORTLAND, ME 04102

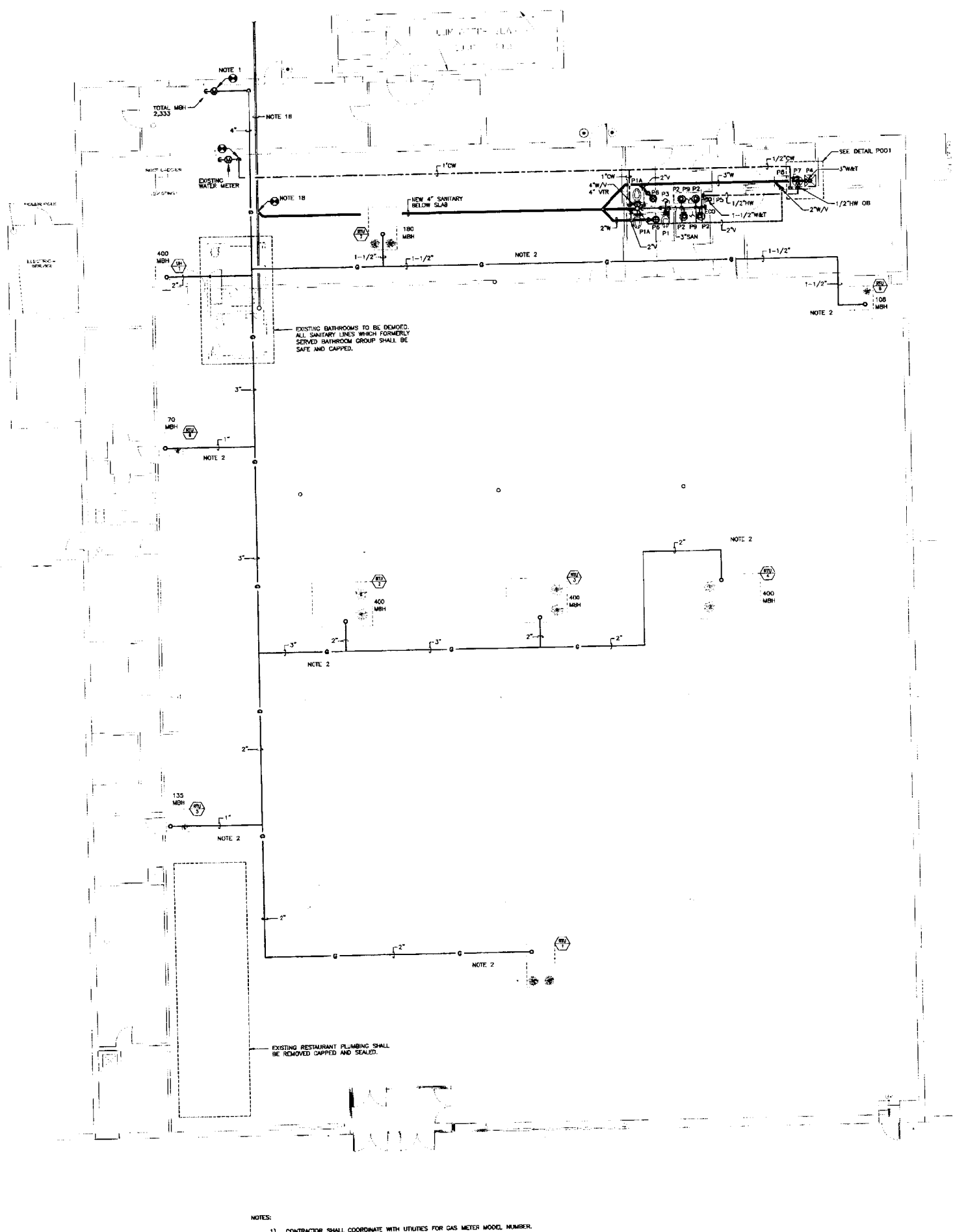
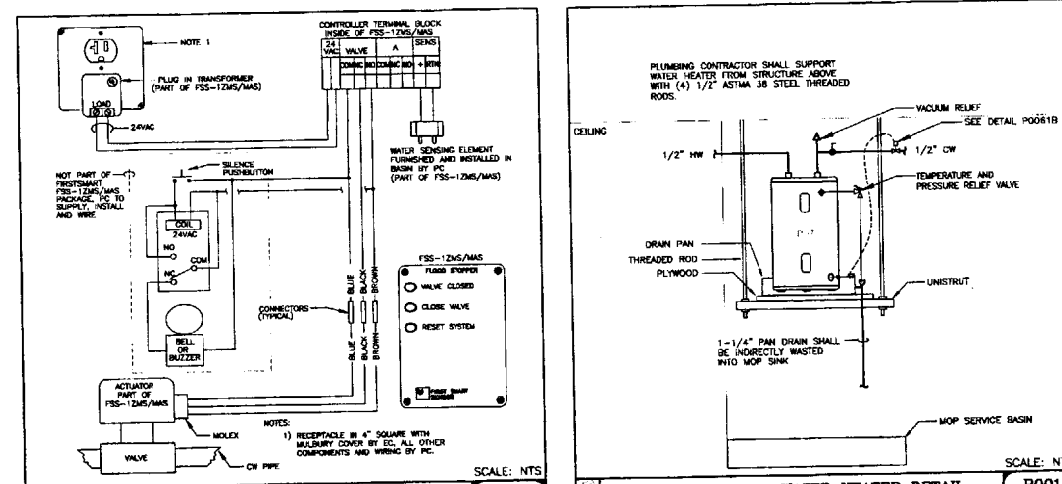
**LEGEND**

- AFT - ABOVE FINISHED FLOOR
- BFP - REDUCED ZONE PRESSURE BACK FLOW PREVENTER
- BOP - BUILDING OPERATIONS PERSONNEL
- CD - CONDENSATE DRAIN
- CW - COLD WATER
- DN - DOWN
- E - EXISTING DEVICE
- EC - ELECTRICAL CONTRACTOR
- ECC - END CLEAN OUT
- FBO - FURNISHED BY OTHERS
- FD - FLOOR DRAIN
- HW - HOT WATER
- HW - INFERIOR WASTE
- MBH - 1,000 BTU'S PER HOUR
- MC - MECHANICAL CONTRACTOR
- NO - NORMALLY OPEN
- N/S - NOT TO SCALE
- OB - OFF BOTTOM
- PC - PLUMBING CONTRACTOR
- RTU - ROOF TOP UNIT
- SH - SANITARY
- UH - UNIT HEATER
- V - VENT
- VTR - VENT THROUGH ROOF
- W - WASTE
- W/T - WASTE AND TRAP
- W/V - WASTE AND VENT
- Ø - SOLENOID VALVE
- ⊙ - BALL VALVE
- — — — — HOT WATER
- — — — — COLD WATER
- — — — — VENT
- — — — — HOT WATER RETURN
- ⌊ — — — — — CHECK VALVE
- ⊕ — — — — — VACUUM BREAKER
- ⊞ — — — — — CLEAN OUT
- ⊗ — — — — — TEMPERATURE & PRESSURE VALVE
- ⊘ — — — — — HOSE END

**PLUMBING NOTES**

1. SCOPE OF WORK SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, HOISTING AND RIGGING, ETC., TO PERFORM THE WORK AS INDICATED ON THE DRAWINGS AND HEREIN SPECIFIED FOR A COMPLETE AND TOTAL INSTALLATION. THE WORK SHALL ALSO INCLUDE THE PLUMBING AND INSTALLATION OF ALL PLUMBING FIXTURES AND EQUIPMENT SPECIFIED HEREIN.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE MAINE STATE PLUMBING CODE RULES 10, CHAPTER 236. CONTRACTOR SHALL REFER TO ALL AMENDMENTS, ADDITIONS AND DELETIONS SET FORTH BY THE STATE OF MAINE.
3. PROVIDE ALL HANGERS AND SUPPORTS AS REQUIRED TO SUPPORT ALL NEW PIPING AND EQUIPMENT.
4. PAY FOR AND OBTAIN ALL PERMITS REQUIRED FOR INSTALLATION OF THE PLUMBING.
5. ALL WORK UNDER THIS CONTRACT SHALL BE GUARANTEED FOR A PERIOD ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
6. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING SUBCONTRACTOR TO STUDY ALL DRAWINGS AND DETAILS SO THAT THE INSTALLATION OF ALL NEW WORK CAN BE FULLY COORDINATED.
7. PLUMBING WORK IS INDICATED DIAGRAMMATICALLY. REFER TO ARCHITECTURAL AND SITE DRAWINGS FOR ALL DIMENSIONS, LOCATION OF ALL FIXTURES, INVERT ELEVATIONS, ETC., AND TYPE OF CONSTRUCTION.
8. MATERIALS:
  - A. POTABLE HOT AND COLD WATER AND NON-POTABLE COLD WATER
    1. ALL POTABLE HOT AND COLD WATER PIPING ABOVE GRADE SHALL BE TYPE "L" COPPER TUBING WITH WROUGHT COPPER FITTINGS JOINED WITH LEAD-FREE SOLDER.
    2. ALL NON-POTABLE COLD WATER PIPING ABOVE GRADE SHALL BE TYPE "L" COPPER TUBING WITH WROUGHT COPPER FITTINGS JOINED WITH LEAD-FREE SOLDER.
  - B. SANITARY, STORM, AND VENT
    1. ALL UNDERGROUND SANITARY AND STORM PIPING SHALL BE SERVICE WEIGHT CAST IRON HUB AND SPIGOT WITH NEOPRENE RESILIENT GASKETS. THE JOINT AT THE BASE OF EACH SANITARY/STORM STACK WITHIN THE BUILDING SHALL BE HUB AND SPIGOT WITH LEADED OAKUM.
    2. SANITARY/STORM AND VENT PIPING ABOVE GROUND GREATER THAN 1" SHALL BE CAST IRON HUB AND SPIGOT WITH LEADED OAKUM JOINTS OR CAST IRON NO HUB PIPE WITH APPROVED MECHANICAL COUPLINGS.
    3. SANITARY/STORM AND VENT PIPING ABOVE GROUND UP TO AND INCLUDING 1" SHALL BE TYPE "M" COPPER TUBING WITH WROUGHT COPPER DRAINAGE FITTINGS AND JOINED WITH 95-5 SOLDER.
    4. SANITARY PIPING DOWNSTREAM OF URINALS SHALL BE SERVICE WEIGHT CAST IRON HUB AND SPIGOT WITH LEADED OAKUM JOINTS FOR A MINIMUM OF THREE FITTINGS.
  - C. NATURAL GAS PIPING
    1. ALL NATURAL GAS PIPING UP TO AND INCLUDING 2" SHALL BE THREADED SCHEDULE 40 BLACK STEEL. ALL NATURAL GAS PIPING GREATER THAN 2" SHALL BE WELDED SCHEDULE 40 BLACK STEEL.
  - D. PLUMBING FIXTURES - REFER TO SCHEDULE ON THIS DRAWING AND SPECIFICATIONS
    1. FURNISH AND INSTALL ALL PLUMBING FIXTURES AS SHOWN ON THE DRAWINGS. IF LOCAL CODES OR REGULATIONS REQUIRE ADDITIONAL FIXTURES, THEY SHALL BE INSTALLED AS IF SHOWN. ALL PLUMBING FIXTURES SHALL BE WHITE. ALL TOILET SEATS SHALL BE WHITE, AND ALL DRAINS SHALL BE ACID RESISTING. ALL FIXTURES SHALL BE EQUIPPED WITH INDIVIDUAL STOPS IN ADDITION TO THE NORMAL SUPPLY FITTINGS. ALL EXPOSED PIPING SHALL BE CHROMIUM PLATED, AND WALL PENETRATIONS SHALL BE FITTED WITH ESCUTCHEONS.
  - E. HANGERS
    1. ALL HANGERS SHALL BE OF SIZE AND TYPE TO SUPPORT PIPING AND SHALL BE AS MANUFACTURED BY CARPENTER PATTERSON, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
    2. HANGERS FOR STEEL PIPE, CAST IRON PIPE AND INSULATED COPPER TUBING SHALL BE STEEL BAND HANGER WITH THREADED ROD (WITH INSULATION PROTECTOR FOR INSULATED PIPE).
    3. ALL HANGERS FOR UNINSULATED COPPER TUBING SHALL BE COPPER PLATED STEEL BAND HANGERS WITH THREADED ROD.
    4. PARALLEL PIPING MAY BE SUPPORTED WITH GANG HANGERS, BY UNISTRUT, WITH PIPE CLIPS TO SECURE PIPING.
9. INSTALLATION - ALL HOT AND COLD WATER, SANITARY WASTE AND VENT PIPING, AND GAS PIPING SHALL BE INSTALLED PER STATE AND LOCAL PLUMBING CODES.
10. TESTING AND CLEANING - CLEAN AND TEST ALL COLD AND HOT WATER PIPING PER LOCAL CODE REQUIREMENTS. ALL PIPING SHALL BE HYDROSTATICALLY TESTED AT 1-1/2 TIMES THE WORKING PRESSURE.
11. INSULATION
  - A. POTABLE HOT WATER PIPING - 1" FIBERGLASS WITH ALL SERVICE JACKET AND TAPED SEAMS, NO STAPLES.
  - B. POTABLE AND NON-POTABLE COLD WATER PIPING - 1" FIBERGLASS WITH ALL SERVICE JACKET AND TAPED SEAMS, NO STAPLES.
  - C. HORIZONTAL ROOF DRAINS - 1" FIBERGLASS WITH ALL SERVICE JACKET AND TAPED SEAMS, NO STAPLES.
12. THE CONTRACTOR SHALL PROVIDE PANELS FOR ACCESS TO VALVES OR CLEANOUTS WHEREVER THEY ARE NOT READILY ACCESSIBLE. OR ABOVE A "LIFT TILT" DESIGN.
13. PIPING AND PENETRATIONS THROUGH FLOORS AND WALLS SHALL NOT BE RIGIDLY CONNECTED TO THE BUILDING STRUCTURE. SLEEVES SHALL BE PROVIDED WITH CLEARANCES AROUND THE OUTSIDE. ALL SUCH PENETRATIONS SHALL BE SMOKE AND FIRESTOPPED.
14. FINAL INSPECTION - WHEN ALL WORK UNDER THIS CONTRACT HAS BEEN COMPLETED AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN AND IS READY FOR FINAL INSPECTION, SUCH AN INSPECTION SHALL BE MADE. AT THIS TIME, THE PLUMBING SUBCONTRACTOR SHALL DEMONSTRATE THAT THE REQUIREMENTS OF THESE SPECIFICATIONS HAVE BEEN MET TO THE OWNER'S SATISFACTION, AND THAT ALL SYSTEMS HAVE BEEN INSPECTED BY THE AUTHORITIES HAVING JURISDICTION.
15. PROVIDE PIPE IDENTIFICATION FOR ALL PIPING SYSTEMS. COORDINATE WITH THE OWNER FOR TYPE AND COLOR CODING REQUIREMENTS.
16. PIPING SHALL BE CONCEALED UNLESS OTHERWISE NOTED. EXPOSED PIPING SHALL BE ARRANGED FOR NEAT APPEARANCE AND SHALL BE SHOWN ON SHOP DRAWINGS FOR APPROVAL BEFORE INSTALLATION.
17. GAS COOKS SHALL ISOLATE METER AND THE EQUIPMENT BE SERVED. A GAS COOK SHALL ALSO BE INSTALLED ON HOUSE SIDE OF FOUNDATION WALL.
18. CONTRACTOR SHALL FIELD VERIFY EXISTING ROUTING AND INVERT FOR EXISTING SANITARY LINES.

DESIGNATION	NAME	CONNECTION SIZE				REMARKS
		HW	CW	S/W	VENT	
P-1	WATER CLOSET		1"	4"	2"	WATER CLOSET SHALL BE EQUAL TO ELJER SIGNATURE MODEL #111-2105 WITH SLEAM MODEL #111 FLUSHMETER AND (CHURCH) SEAT #25000
P-1A	HANDICAPPED WATER CLOSET		1"	4"	2"	SAME AS P-1, MOUNTED TO 18" ADA HEIGHT SPECIFICATION
P-2	BATHROOM LAVATORY	1/2"	1/2"	2"	2"	LAVATORY SHALL BE EQUAL TO ELJER MODEL #051-0128 MURRAY OVAL LAVATORY, COUNTER MOUNTED SELF-RIMMING VITREOUS CHINA WITH 8" CENTERSET SUPPLY AND SUPPLY FITTING #508-5110
P-3	URINAL		3/4"	3"	2"	URINAL EQUAL TO ELJER MODEL #161.1030 CORRECTO WITH SLEAM FLUSHMETER MODEL #188.1
P-4	MOP SERVICE BASIN	1/2"	1/2"	3"	2"	MOP SERVICE BASIN SHALL BE EQUAL TO MAUSER MODEL #624 WITH ELJER FAUCET MODEL #748-1215-20
P-5	WATER COOLER	1/2"	1/2"	1-1/2"	1-1/2"	WATER COOLER SHALL BE WALL HUNG ELECTRIC COLD WATER FOUNTAIN BY OASIS, MODEL #P4M
P-6	FLOOR DRAIN		2"		2"	FLOOR DRAIN SHALL BE CAST IRON BODY WITH 6" POLISHED BRASS STRAINER
P-7	ELECTRIC WATER HEATER	1"	1"			WATER HEATER SHALL BE STATE MODEL #PS-17-10MS-K, 17 GALLONS, 120V SINGLE PHASE, 13.75 AMPS
P-8	EYE WASH STATION		1/2"			AS PER ARCHITECT'S SPECIFICATIONS
P-9	HOSE END		1/2"			SHALL BE EQUAL TO WOODFORD LOOSE KEYS TYPE, CHROME



- NOTES:**
- 1) CONTRACTOR SHALL COORDINATE WITH UTILITIES FOR GAS METER MODEL NUMBER.
  - 2) ALL GAS PIPING IS TO BE RUN IN THE CEILING PLENUM AND PENETRATE ROOF INSIDE ROOF TOP UNITS.

**Commercial Construction Consulting, Inc.**

1111 Commercial Street  
Portland, ME 04102  
603.878.0000  
info@commercialcc.com

Consulting Engineers/Construction Managers

REV.	DESCRIPTION	DATE	BY	CHECKED BY

**PLUMBING PLAN**

Drawn By: JCA  
 Checked By: JCA  
 Date: 7/19/21

**Professional Seal**  
 01122  
 ENGINEER  
 STATE OF MAINE  
 EXPIRES 12/31/21

**A. J. WRIGHT**  
 PINE TREE SHOPPING CENTER  
 BRANTON AVENUE  
 PORTLAND, ME 04102

Sheet No: **P1**

HVAC GENERAL NOTES AND LEGEND

- N - NEW DEVICE
E - EXISTING DEVICE
DR - EXISTING DEVICE RELOCATED
CFM - CUBIC FEET PER MINUTE
PSIG - POUNDS PER SQUARE INCH GAUGE
M.C. - MECHANICAL CONTRACTOR
E.C. - ELECTRICAL CONTRACTOR
AC - AIR CONDITIONING
MIN - MINIMUM
MAX - MAXIMUM
O.A. - OUTSIDE AIR
RPM - REVOLUTIONS PER MINUTE
RTU - ROOF TOP UNIT
SP - STATIC PRESSURE
SD - SPLITTER DAMPER
V - VOLTS
PH - PHASE
HZ - HERTZ
PRIM - PRIMARY
C - COMMON
CONNECT NEW TO EXISTING
THERMOSTAT
VOLUME DAMPER
12" x 12" SUPPLY AIR DIFFUSER MODEL # TMS AS MANUFACTURED BY TITUS OR APPROVED EQUAL. NECK SIZE AS INDICATED ON DRAWING.

DEMOLITION

- DEMOLITION CONTRACTOR SHALL REMOVE ALL EXISTING DUCT, UNIT HEATERS, GAS PIPE AND ROOFTOP UNITS (1). CONTRACTOR SHALL PROPERLY DISPOSE OF ALL REMOVED EQUIPMENT. REFRIGERANT FROM REMOVED ROOF TOP UNIT SHALL BE PROPERLY EVACUATED.

CONTROLS

- THE HVAC CONTRACTOR SHALL FURNISH THE BUILDING MANAGEMENT SYSTEM (BMS). IT SHALL BE INSTALLED AND TYPED BY NOVUS CONTROLS CORPORATION, THROUGH NOVUS'S PROJECT MANAGEMENT GROUP (SEE 150.19.2). THE HVAC CONTRACTOR SHALL PROVIDE TEMPORARY THERMOSTATS FOR EACH HVAC UNIT (IF BMS CONTROLS) WILL OPERATE THIS CONTRACTOR(S) ELECTRICAL BASE. A 120-VOLT CONTROL SIGNAL (BY BMS CONTROLS) WILL OPERATE THIS CONTRACTOR(S) ELECTRICAL BOARD HEATER SHALL BE WHITE, 2500 WATT SERIES AS MANUFACTURED BY MARTEL PRODUCTS AND DISTRIBUTED BY ARETECH CORPORATION. COORDINATE WITH SECTION 16A, PARAGRAPH 16A.21 TIME CLOCKS AND CONTRACTORS.

DUCTWORK

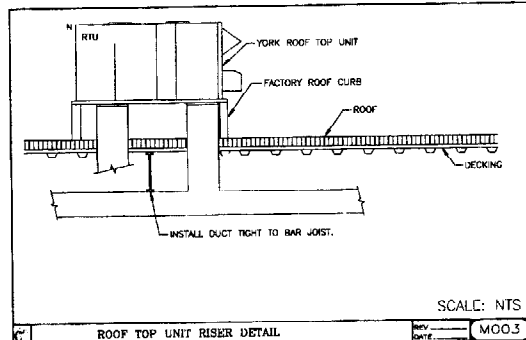
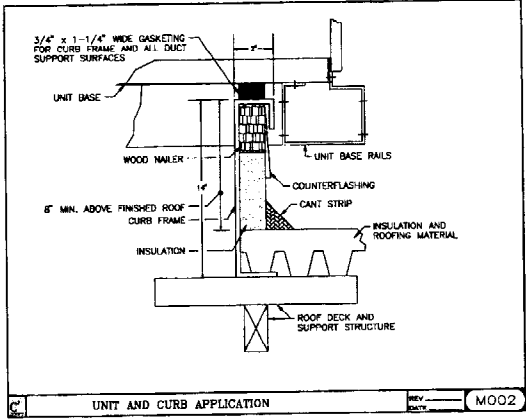
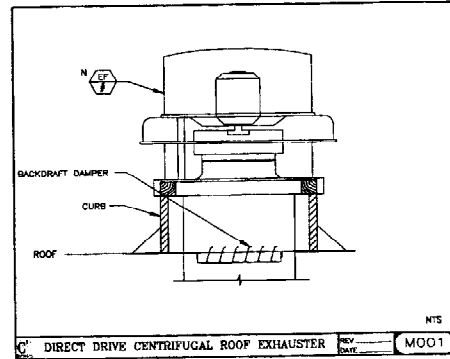
- DUCT DIMENSIONS INDICATED ON DUCTWORK PLAN ARE CLEAR INSIDE DIMENSIONS AND MUST BE INCREASED FOR DUCT LINING WHERE APPLICABLE.
EXHAUST FANS SHALL BE SUSPENDED FROM STRUCTURE ABOVE WITH 3/8" THREADED ROD AND SPRING TYPE VIBRATION ISOLATORS.
ALL DUCTWORK SHALL BE SEALED WITH PAROCAST GALVA-GIP.

TESTING AND BALANCING

- CONTRACTOR SHALL BALANCE SYSTEM AND PROVIDE REPORT PER N.E.B.B. TO ENGINEER FOR REVIEW AND APPROVAL.
BALANCE THE SUPPLY AIR DIFFUSERS AT THIS LOCATION TO CFM VALUES AS SHOWN ON THE HVAC PLANS.
SET THE AIR TERMINAL MINIMUM POSITIONS AS SHOWN ON THE HVAC PLANS AS FOLLOWS: PLACE COOLING THERMOSTAT TO HIGHEST SETPOINT TO CLOSE TERMINAL DAMPER. ADJUST LINKAGE ON DAMPER SHUT SUCH THAT MINIMUM DAMPER POSITION WILL PROVIDE MINIMUM CFM'S AS SHOWN ON HVAC DRAWINGS.

GENERAL NOTES

- SCOPE OF WORK SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, HOISTING AND RIGGING, ETC. TO PERFORM THE WORK AS INDICATED ON THE DRAWINGS AND HEREIN SPECIFIED FOR A COMPLETE AND TOTAL INSTALLATION.
ALL WORK SHALL BE IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES AND ORDINANCES AND BASE BUILDING STANDARDS, AS INTERPRETED BY THE ENGINEER.
PROVIDE ALL HANGERS AND SUPPORTS AS REQUIRED TO SUPPORT ALL NEW AND RELOCATED PIPING AND EQUIPMENT.
ALL WORK UNDER THIS CONTRACT SHALL BE GUARANTEED FOR A PERIOD ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO STUDY ALL DRAWINGS AND DETAILS SO THAT THE INSTALLATION OF ALL NEW WORK CAN BE FULLY COORDINATED.
COORDINATE ALL SHUTDOWN OF EXISTING SYSTEMS AS REQUIRED WITH THE BUILDING OPERATIONS PERSONNEL.
CONTRACTOR SHALL CONDUCT A THOROUGH EXAMINATION OF THE PREMISES PRIOR TO PREPARING A PROPOSAL. ANY CHANGES TO THE DESIGN MADE NECESSARY BY FIELD CONDITIONS SHALL BE CONVEYED TO THE ENGINEER PRIOR TO PREPARATION OF A PROPOSAL. NO ADDITIONAL COSTS BEYOND THE PROPOSAL PRICE WILL BE ACCEPTED FOR FIELD CONDITIONS THAT COULD HAVE BEEN DETERMINED BY AN INSPECTION OF THE PREMISES.
PLAN INSTALLATION OF NEW WORK AND CONNECTIONS TO EXISTING WORK TO ENSURE MINIMUM INTERFERENCE WITH REGULAR OPERATION OF EXISTING FACILITIES. SUBMIT TO THE OWNER FOR APPROVAL, DATE SCHEDULE OF NECESSARY TEMPORARY SHUT DOWNS OF EXISTING SERVICES. ALL SHUTDOWNS SHALL BE MADE AT SUCH TIMES AS WILL NOT INTERFERE WITH THE REGULAR OPERATION OF EXISTING FACILITIES AND ONLY AFTER WRITTEN APPROVAL BY THE OWNER TO ENSURE CONTINUOUS OPERATION. MAKE NECESSARY TEMPORARY CONNECTIONS BETWEEN NEW AND EXISTING WORK. ALL COSTS RESULTING FROM TEMPORARY SHUTDOWNS SHALL BE BORNE BY THE CONTRACTOR.
CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, START-UP, AND PROPER OPERATION OF ALL NEW AND RELOCATED EQUIPMENT.
THE BASE BUILDING "CONTRACT DRAWINGS" AND "SPECIFICATIONS" INCLUDING ALL RESPECTIVE ADDENDA AND BULLETINS SHALL FORM A PART OF THIS WORK AND ALL WORK SHALL BE SUBJECT TO RESPECTIVE PROVISIONS THEREIN.
COORDINATE WORK WITH ALL OTHER TRADES.
A.J. WRIGHT HAS MADE MATERIAL AND EQUIPMENT SELECTIONS WHICH ARE NOTED IN THESE REQUIREMENTS WHEN ANY MATERIAL IS INDICATED HEREIN BY MANUFACTURER'S NAME AND CATALOG OR MODEL NUMBER. SUCH REFERENCE SHALL BE INTERPRETED AS ESTABLISHING THE STANDARD OF QUALITY REQUIRED.
THE HEATING AND VENTILATING AND AIR CONDITIONING CONTRACTOR SHALL THOROUGHLY INSTRUCT A.J. WRIGHT IN THE EFFICIENT OPERATION OF ALL NEW AND EXISTING EQUIPMENT.
THE HEATING, VENTILATING AND AIR CONDITIONING CONTRACTOR SHALL HAVE A QUALIFIED MECHANIC PRESENT AT THE STORE FOR OPENING DAY, A SUNDAY, TO INSURE PROPER OPERATION AND FUNCTION OF ALL SYSTEMS. THE DAY CONSISTS OF (14) HOURS CONTINUOUSLY, FROM 5:00AM THROUGH 10:00PM.
A.J. WRIGHT SHALL BE FURNISHED WITH AS-BUILT RECORD DRAWINGS UPON COMPLETION OF THE WORK.
MECHANICAL CONTRACTOR SHALL FURNISH FREE SUPERVISION, ADJUSTMENT AND REPAIR OF ENTIRE SYSTEM FOR A PERIOD OF ONE (1) YEAR FROM DATE OF STORE OPENING, INCLUDING FIRST FILTER CHANGE TO BE MADE THE THURSDAY PRIOR TO OPENING. IT IS EXPRESSLY UNDERSTOOD THAT ALL CHANGES TO BE MADE THE THURSDAY PRIOR TO OPENING. THE HEATING-VENTILATING-AIR CONDITIONING CONTRACTOR SHALL BE THE CONTRACTORS UNTIL THE FIRST ANNIVERSARY OF THE STORE OPENING.
GENERAL CONTRACTOR SHALL RECEIVE IN WRITING FROM THE HEATING, VENTILATING, AND AIR CONDITIONING CONTRACTOR GUARANTEE FOR ALL NEW PARTS, MATERIAL AND LABOR FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF STORE OPENING. MECHANICAL CONTRACTOR SHALL FURNISH A WRITTEN UNCONDITIONAL GUARANTEE (FROM THE MANUFACTURER) OF FIVE (5) YEARS FOR ALL HEAT EXCHANGERS OF ONE (1) YEAR AND MULTIPLE GUARANTEES SHALL BE FURNISHED TO A.J. WRIGHT UPON COMPLETION OF PURCH LIST.
CONTROL EXHAUST FANS THROUGH "EMPLOYEE" LIGHTING CONTRACTOR, OR AN ADDITIONAL CONTRACTOR "SLAVE" TO THIS LIGHTING CONTRACTOR. THIS WILL RUN EXHAUST FANS ONLY DURING OCCUPIED HOURS. ELECTRICAL CONTRACTOR WILL PROVIDE CONTRACTOR COORDINATE WITH SECTION 16A, PARAGRAPH 16A.21 TIME CLOCKS AND CONTRACTORS.
THE SPACE ABOVE THE CEILING SHALL NOT BE ALLOWED TO BE USED AS A RETURN AIR PLENUM CHAMBER.
THE REFRIGERATION EQUIPMENT SHALL CONSIST OF ONE, TWO, OR MORE COMPRESSORS IN EACH UNIT TO PROVIDE FROM 100 TO 1000 CAPACITY STEPS. SYSTEMS SHALL BE COMPLETE WITH SERVICE VALVES, VIBRATION ISOLATORS, CRANKCASE HEATERS, LIQUID LINE SILENCERS, FILTER-DRIERS, LIQUID LINE AND DISCHARGE LINE SERVICE VALVES, PHASE PROTECTORS AND TIME GUARDS. THE COOLING COILS SHALL BE THREE (3) ROW TUBE COPPER TUBES WITH ALUMINUM PLATE FINS SERVO 144. ALL REFRIGERANT FITTINGS AND CONNECTIONS SHALL BE "SILVER SOLDERED". UNITS 7-1/2 TONS AND LARGER SHALL BE MULTIPLE COMPRESSOR UNITS.
THE GAS HEATING SECTION IN UNITS SO EQUIPPED SHALL BE TUBULAR WITH DIRECT SPARK IGNITION ON ALL BURNERS AND HAVE A 10-YEAR WARRANTY. GAS VALVES SHALL BE REDUNDANT AND PROVIDE 2-STAGE CONTROL.
EACH ROOFTOP UNIT SHALL BE COMPLETE WITH A SOLID STATE ENTHALPY CONTROLLED ECONOMIZER SYSTEM ON NEW OR EXISTING COMPRESSOR UNIT HAVE A FIVE (5) YEAR WARRANTY.
THE MANUFACTURER SHALL FURNISH ALL NEW UNITS COMPLETE WITH ROOF CURB, ROOF CURB SHALL SUPPORT UNIT AND PROVIDE A WATERPROOF ENCLASURE TO PROTECT DUCTWORK AND UTILITY SERVICES. WORK SHALL BE ROUTED THROUGH THE BOTTOM OF THE UNIT (IF SO EQUIPPED) AND SHALL BE ABANDONED FOR SINGLE POINT CONNECTION. BURGLAR BARS SHALL BE FACTORY INSTALLED IN SUPPLY AND EXHAUST OPENINGS OF ALL NEW EQUIPMENT. COORDINATE WITH SECTION 59.12.
CONDENSATE DRAIN PIPING SHALL BE INSTALLED ON THE ROOF, NOT INSIDE THE BUILDING PIPING CONNECTION AT THE EQUIPMENT IS TO HAVE A THREADED UNION AT THE RIPPLE ON THE DRAIN PAN. UNION SHALL BE THE SAME SIZE AS RIPPLE. PIPING AT THE RIPPLE ON THE DRAIN PAN SHALL BE WITH THREADED UNION AND PIPING SHALL BE PROPERLY TRAPPED. INSTALL THREADED CLEAN OUT PIPE AT EACH 90-DEGREE BEND. PIPING SHALL BE SUPPORTED ON ROOF WITH PIPE CLAMPS ATTACHED TO ROOF. 1" x 4" BLOCKING NOT TO EXCEED SIZE (9) FOOT INTERVALS. CONDENSATE DRAIN PIPING SHALL BE ROUTED TO SPLASH BLOCKS (WHERE PERMITTED), OTHERWISE IT SHALL BE ROUTED TO THE NEAREST ROOF DRAIN OR GUTTER AND DOWN SPOUT. CONDENSATE DRAINS SHALL NOT DISCHARGE TO AN INTERIOR FLOORING FEATURES.
COMPRESSORS SHALL BE LOCKED OUT BELOW 45F OUTSIDE AIR TEMPERATURE.
FILTERS SHALL BE THROWAWAY TYPE, 2" THICKNESS, POLYESTER, OR APPROVED EQUAL, ON ALL UNITS WITH 7" FILTER CHANNELS AND 1" THROWAWAY POLYESTER ON ALL OTHER UNITS.
THE UNITS SHALL BE FURNISHED WITH MAGNETIC STARTERS BY WRITLER-HAMMER ALLEN BRADY, SQUARE D, OR APPROVED EQUAL. UNITS SHALL BE EQUIPPED WITH UNFUSED DISCONNECT SWITCH, FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. (DO NOT COVER UNIT NAME PLATE WITH DISCONNECT SWITCH).
A.J. WRIGHT MAINTAINS A NATIONAL ACCOUNT RELATIONSHIP WITH YORK INTERNATIONAL CORP. AND PREFERS THE USE OF YORK COMPONENTS FOR THE HVAC SYSTEM. CONTACT GENE PAUL, 332 HOLYOKE DR., YORK, PA 17402-5012, TELEPHONE (800) 838-7219 X 6238 OR (717) 747-0134, FOR INFORMATION ON YORK'S NATIONAL ACCOUNT PRICING AND TO ASSIST IN SELECTION OF EQUIPMENT. SEE HVAC SCHEMATIC FOR "SAMPLE" EQUIPMENT NUMBERS.
DUCTS SHALL BE SECURELY BRACED AND/OR REINFORCED TO PREVENT VIBRATION.
DUCTWORK SHALL NOT BE SUPPORTED FROM THE ROOF DECK, JOIST BRIDGING OR OTHER DUCTS, HANG DUCTS FROM BEAMS, JOIST OR SUPPLEMENTARY STRUCTURAL MEMBERS PROVIDED BY MECHANICAL CONTRACTOR.
PROVIDE TURNING VANES AT ALL 90-DEGREE ELBOWS, 45 DEGREE SIDE TAKE OFF (STO) AT BRANCH DUCTS WITH VOLUME CONTROL (ONLY AS SHOWN ON DRAWINGS), SPLITTER DAMPERS, AND ANY OTHER APPLICABLE DEVICES NECESSARY FOR MINIMUM DUCT RESISTANCE AND PROPER AIR BALANCING. ALL DAMPERS OR SPLITTERS SHALL BE SUFFICIENTLY STIFFENED TO PREVENT NOISE OR VIBRATION AND SHALL BE FITTED WITH ACCESSORY LOCKED ADJUSTERS.
ALL DUCTWORK CONNECTED TO FAN OR VIBRATION EQUIPMENT SHALL BE FITTED WITH FLEXIBLE CAVASS CONNECTIONS, WHICH WILL PROVIDE A MINIMUM 1" SPACE BETWEEN THE EQUIPMENT AND THE DUCTWORK. FLEXIBLE CAVASS CONNECTORS SHALL BE SECURED IN PLACE WITH BRUN BANUS WITH ROLL LOCK SEAM.
ALL AIR-CONDITIONED SUPPLY DUCTWORK SHALL BE WRAPPED WITH A MINIMUM 1 1/4" THICKNESS OF 3/4" POLY DENSITY FIBERGLASS WOOL BATT INSULATION. IF ACOUSTICAL LINERS SHALL BE INSTALLED IN FIRST 20 FEET OF ALL DUCTWORK ENTERING AND LEAVING EQUIPMENT, AS A MINIMUM (NEW AND EXISTING DUCTWORK). DUCT LINING MAY BE REDUCED TO 1/2" IF 7/8" DIA. 90 DEGREE ELBOWS OCCUR WITHIN THE FIRST 20 FEET OF DUCTWORK.
UNIT HEATER VENTS AND FLUES SHALL BE TYPE "G" METAL-VENT OR APPROVED EQUAL WITH CAP, FLASHING AND STORM COLLARS.
FLEX DUCT MAY BE USED FOR FINAL CONNECTION TO SUPPLY AIR DEVICE, FLEXMASTER TYPE 8M OR APPROVED EQUAL. ITS USE WILL BE LIMITED TO 4'-0" MAXIMUM LENGTH. THE USE OF FLEX DUCT FOR RETURN OR TRANSFER AIR WILL NOT BE ALLOWED.
ALL CEILING DIFFUSERS IN SALES AREA, OFFICES, FITTING ROOMS, STOCK ROOMS, ETC., SHALL BE STEEL SQUARE OR RECTANGULAR DIFFUSERS WITH FRAME TO MATCH CEILING TYPE. DIFFUSERS SHALL BE TITUS MODEL TMS.
RETURN AND EXHAUST GRILLES FOR LAT-IN CEILING SHALL BE ALL ALUMINUM GRID CORE, 1/2" X 3/2" X 3/2", AND SHALL BE TITUS MODEL 50.
RETURN AND EXHAUST REGISTERS OTHER THAN IN LAT-IN CEILING, SHALL BE STEEL CURVED BAR REGISTERS WITH 3/4" SPACING AND BE SUPPLIED WITH INTEGRAL OPPOSED SLIDE DAMPER. THE UNITS SHALL BE TITUS MODEL 350 RL.
THE EXHAUST FANS SHOWN AND SCHEDULED ON A.J. WRIGHT REQUIREMENTS SHALL BE SPUN ALUMINUM CENTRIFUGAL EXHAUST FANS WITH BRD SCREENS, DISCONNECT SWITCHES, BURGLAR BARS, AND LINED GRAVITY DAMPERS. FAN CAPACITIES SHOWN AREA TO BE BASED UPON DESIGN AIRFLOWS DESCRIBED ELSEWHERE HEREIN.
EXHAUST FANS SHALL BE COOK. (SEE NATIONAL ACCOUNT PRICING NOTE 156.12.4 WITH ARETECH CORPORATION.)

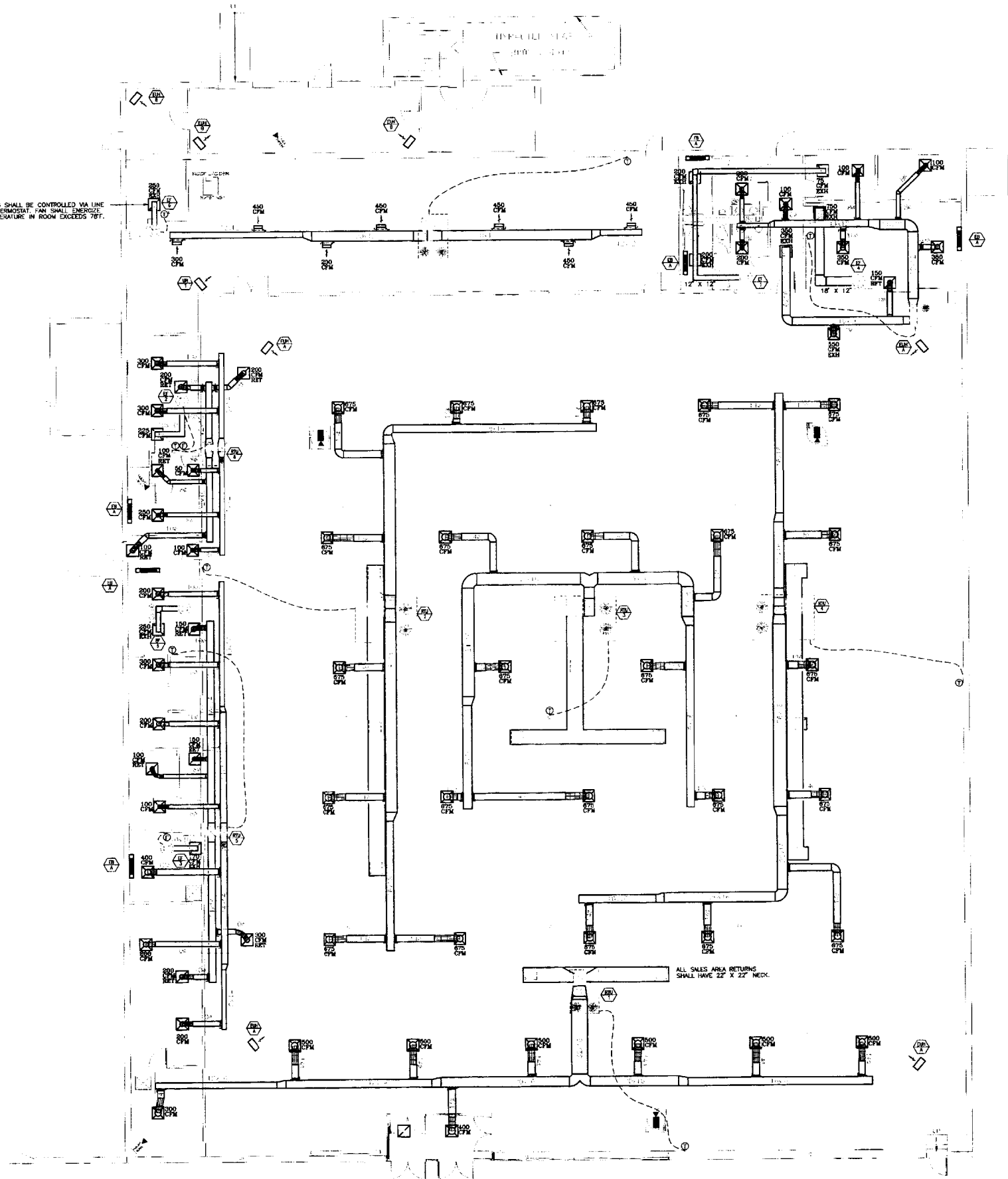


EXHAUST FAN SCHEDULE table with columns for UNIT NO., SERVICE, CFM, RPM, SP, V/HP/HZ, THP, and REMARKS. Rows include MENS/WOMENS EXHAUST, MANAGERS OFFICE, LOSS PREVENTION OFFICE, LOUNGE, WOMENS FITTING ROOM, and ELECTRICAL ROOM.

ROOF TOP UNIT SCHEDULE table with columns for UNIT#, MAKE, MODEL, TYPE, COOLING CAP, HEATING CAPACITY, NOW. CLM, MINIMUM O.A. CLM, and ELEC. DATA. Rows include RTU-1 through RTU-8 for various departments like YORK, ENR, and LABORATORY.

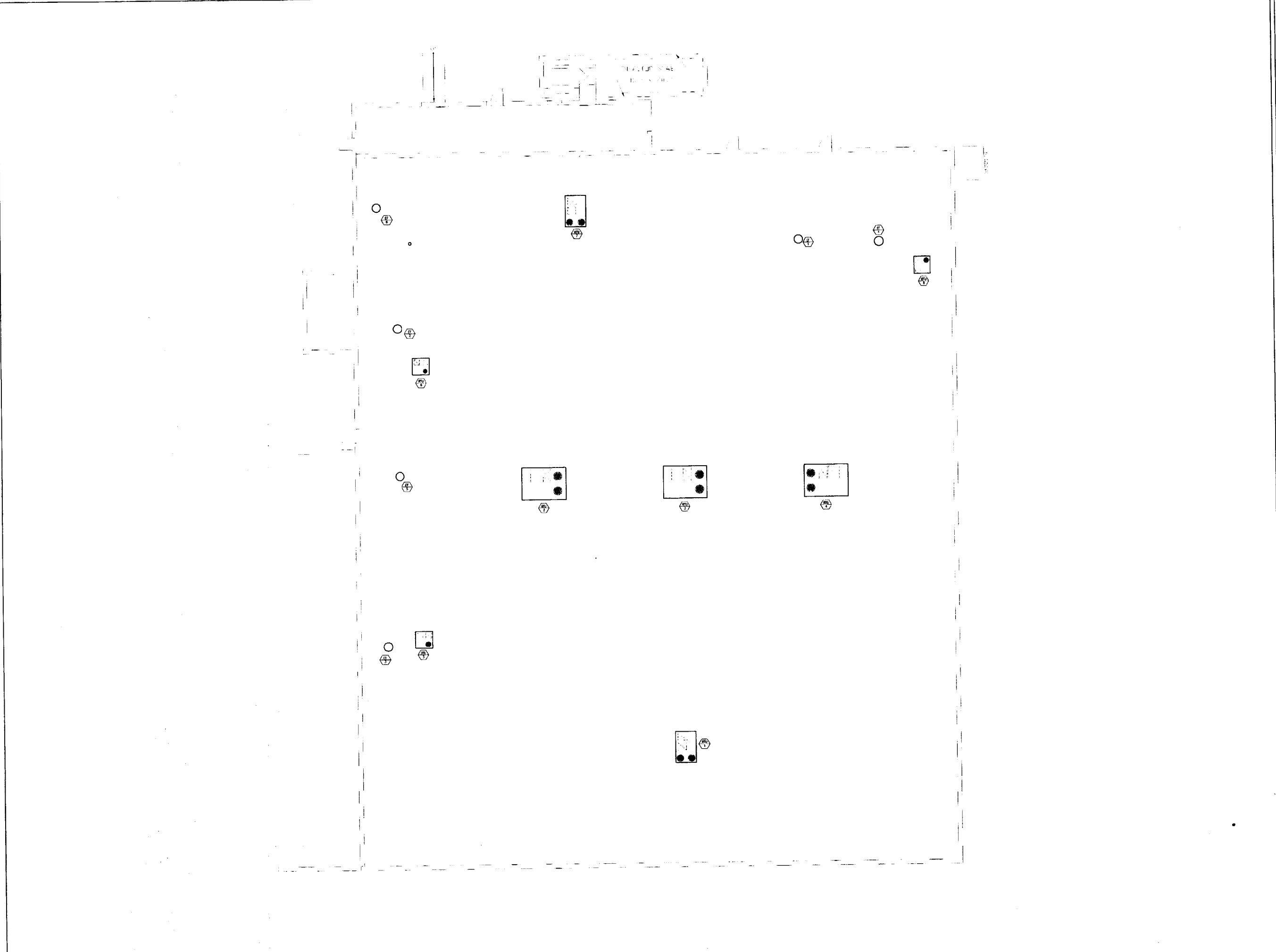
Vertical sidebar containing project information, company logos for Commercial Construction Consulting, Inc. and A.J. Wright Fine Tree Shopping Center, and a sheet number 'H1' at the bottom.

NOTE: KT-6 SHALL BE CONTROLLED VIA LINE VOLTAGE THERMOSTAT. FAN SHALL ENERGIZE WHEN TEMPERATURE IN ROOM EXCEEDS 78°F.



ALL SALES AREA RETURNS SHALL HAVE 22' X 22' NECK.

<p>Commercial Construction Consulting, Inc.          330 Commercial Street          Portland, ME 04101          Tel: 603.766.1100          Fax: 603.766.1101          www.cccinc.com</p>	
<p>Project No. 01122</p>	<p>Client: A.I. WRIGHT          PINE TREE SHOPPING CENTER          BRANTFORD AVENUE          PORTLAND, ME 04102</p>
<p>Contract Description: HVAC PLAN</p>	<p>Scale: AS SHOWN</p>
<p>Drawn By: J. W. WRIGHT</p>	<p>Checked By: J. W. WRIGHT</p>
<p>Approved By: J. W. WRIGHT</p>	<p>Approved By: J. W. WRIGHT</p>
<p>Sheet No. H2</p>	<p>Project No. 01122</p>



Sheet No.  
**H3**

**A.J. WRIGHT**  
**PINE TREE SHOPPING CENTER**  
 WASHINGTON AVENUE  
 PORTLAND, ME 04102

PROJECT NO. **01122**  
 ARCHITECTURE  
 BOHANNAN ARCHITECTS  
 100 S. W. WASHINGTON ST., 5TH FL.  
 PORTLAND, ME 04102  
 TEL: (409) 878-3300 FAX: (409) 878-3301

DATE: \_\_\_\_\_

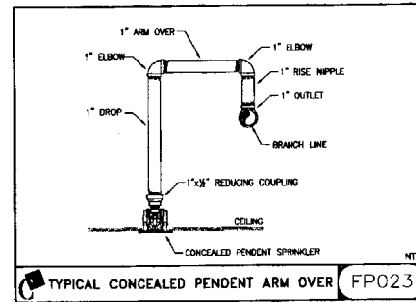
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**HVAC ROOF PLAN**

Drawn By: \_\_\_\_\_  
 Scale: 1/8" = 1'-0"  
 Checked By: \_\_\_\_\_  
 Approved: \_\_\_\_\_

Rev.	No.	Description

 <b>Commercial Construction Consulting, Inc.</b> <small>13 Orange Street Portland, ME 04103 617.339.0991 617.339.0992 Fax www.ccc-inc.com</small> Consulting Engineers/Construction Managers
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TYPICAL CONCEALED PENDENT ARM OVER FP023

**LEGEND**

- - CONCEALED PENDENT SPRINKLER HEAD
- - UPRIGHT SPRINKLER HEAD
- - TO BE DEMOLISHED AND/OR REMOVED
- - CONNECT NEW TO EXISTING
- - EXTENT OF DEMOLITION
- E - EXISTING
- N - NEW
- EX - RELOCATED EXISTING
- F - FIREARREST
- GPM - GALLONS PER MINUTE
- NIS - NOT TO SCALE
- RN - RISC NIPPLE
- SF - SQUARE FEET
- STP - STANDPIPE/SPRINKLER RISER
- - - EXISTING SPRINKLER PIPING
- NEW SPRINKLER PIPING

**WATER FLOW TEST**

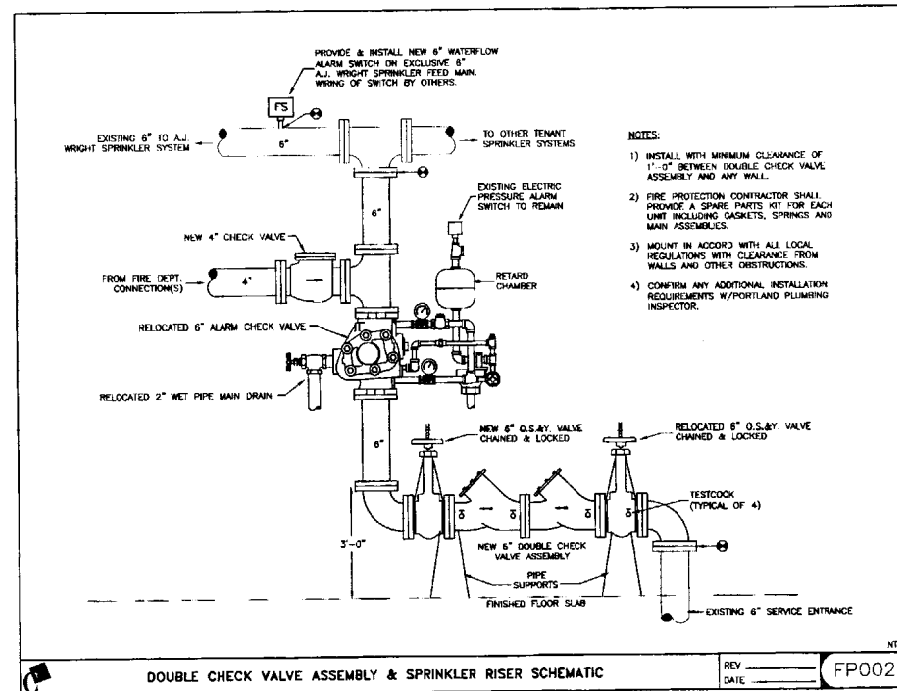
DATE: 8/1/01
RESIDUAL: 61 psi
FLOW: 1,150 gpm
DATE: 8/27/01
TIME: 7:44 AM
BY: Portland Water District
LOCATION: Brighton Avenue

**SPRINKLER NOTES**

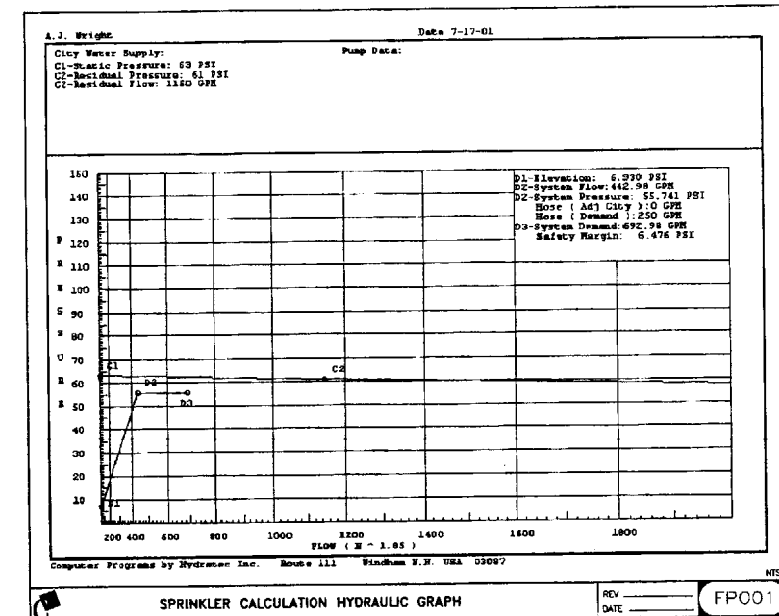
- 1) SPRINKLER CLASSIFICATION FOR RETAIL AREAS SHALL BE "ORDINARY HAZARD GROUP I" WITH HYDRAULIC DESIGN DENSITY OF 0.2 GPM/SF OVER THE MOST REMOTE 1,500 SF WITH A 250 GPM HOSE ALLOWANCE.
- 2) SPRINKLER CLASSIFICATION FOR MECHANICAL AREAS SHALL BE "ORDINARY HAZARD GROUP I" WITH HYDRAULIC DESIGN DENSITY OF 0.15 GPM/SF OVER THE MOST REMOTE 1,500 SF WITH A 250 GPM HOSE ALLOWANCE.
- 3) ANY NEW VALVES ON THE FIRE PROTECTION SYSTEM SHALL BE CHAINED AND LOCKED OPEN.
- 4) ALL NEW SPRINKLER HEADS SHALL BE WHITE COVERPLATE CONCEALED PENDENT SPRINKLER HEADS IN AREAS WITH DROPPED CEILINGS (COORDINATE SPRINKLER TYPE & FINISH W/ARCHITECT).
- 5) ALL NEW SPRINKLER HEADS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:  
K-FACTOR: 5.6  
ORIFICE DIAMETER: 1/2"  
TEMPERATURE RATING: ORDINARY
- 6) ALL SPRINKLER WORK SHALL BE IN STRICT CONFORMANCE WITH NFPA-13 "STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS" (1999 EDITION), NFPA-101 "LIFE SAFETY CODE" (1997 EDITION), BOCA NATIONAL BUILDING CODE (1995 EDITION), AND THE OWNER'S INSURANCE COMPANY.
- 7) MATERIALS:  
A) ALL PIPING 1" - 2" SHALL BE SCHEDULE 40 BLACK STEEL PIPING WITH THREADED CAST IRON FITTINGS (SCHEDULE 10 PIPE WILL NOT BE ALLOWED).  
B) ALL PIPING 3" OR LARGER SHALL BE SCHEDULE 10 BLACK STEEL PIPING WITH GROOVED TYPE FITTINGS AND MECHANICAL COUPLINGS.  
C) 2-1/2" PIPING MAY BE SCHEDULE 40 (SCREWED OR GROOVED) OR SCHEDULE 10 (GROOVED ONLY).
- 8) CONTRACTOR SHALL COORDINATE DRAWING OF EXISTING SYSTEM WITH BUILDING MANAGEMENT.
- 9) THE BASE BUILDING "CONTRACT DRAWINGS" AND "SPECIFICATIONS" INCLUDING ALL RESPECTIVE ADDENDA AND BULLETINS SHALL FORM A PART OF THIS WORK AND ALL WORK SHALL BE SUBJECT TO RESPECTIVE PROVISIONS THEREOF.
- 10) REFER TO ARCHITECTURAL DRAWINGS FOR HUNG CEILING HEIGHTS AND CONSTRUCTION. WHERE WORK BETWEEN THIS DRAWING AND ARCHITECTURAL PLANS ARE IN CONFLICT, ADVISE PRIOR TO INSTALLATION OF PIPING.
- 11) WORK SHALL BE COORDINATED WITH ALL OTHER TRADES, NOTIFY ENGINEER TO AVOID CONFLICTS.
- 12) SPRINKLER CONTRACTOR SHALL ADJUST AND/OR ADD SPRINKLER HEADS AS REQUIRED UTILIZING ARCHITECT'S REFLECTED CEILING PLAN FOR LOCATION OF LIGHTS, DIFFUSERS, CABLE TRAYS, ETC...
- 13) ALL EQUIPMENT SHALL BE APPROVED BY OWNER'S INSURANCE COMPANY.
- 14) LAYOUT OF SPRINKLER HEADS AND HYDRAULIC CALCULATIONS ARE FOR BUILDING DEPARTMENT USE ONLY. SPRINKLER CONTRACTOR SHALL PREPARE FINAL SPRINKLER HEAD LAYOUT AND SHOP DRAWINGS INCLUDING HYDRAULIC CALCULATIONS IF REQUIRED BY THE AUTHORITY HAVING JURISDICTION, AND OBTAIN ALL APPROVALS AS REQUIRED.
- 15) CONTRACTOR SHALL NOT INSTALL ANY SPRINKLER PIPING THAT WILL INTERFERE WITH THE MAINTENANCE/REMOVAL OF HVAC EQUIPMENT.

**SPRINKLER NOTES CONTINUED**

- 16) SPRINKLER CONTRACTOR MUST FILE APPLICATION FOR AND SUBMIT EVIDENCE OF A VALID SPRINKLER SYSTEM IMPAIRMENT PERMIT TO BUILDING MANAGEMENT WHEN SCHEDULING ALL SPRINKLER SYSTEM MODIFICATIONS. ALL SHUTDOWNS WILL BE PERFORMED BY BUILDING ENGINEERING PERSONNEL EXCLUSIVELY.
- 17) CONTRACTOR SHALL DETERMINE BEST LOCATION FOR ROUTING/RE-ROUTING ALL ASSOCIATED SPRINKLER LINES. PIPE ROUTING SHOWN SHALL BE USED AND ANY ADDITIONAL OFFSETS OR FITTINGS REQUIRED FOR PROPER INSTALLATION, COORDINATION WITH OTHER TRADES, AND/OR TO MAINTAIN PROPER CLEARANCES SHALL BE PROVIDED. VERIFY EXISTING STRUCTURAL, MECHANICAL, ELECTRICAL INSTALLATIONS AND AVOID ANY/OVERLAP OBSTRUCTIONS OR INTERFERENCES WITH FIRE PROTECTION PIPE ROUTING.
- 18) ALL SPRINKLER HEADS MOUNTED IN CEILING SHALL BE LOCATED A MINIMUM OF 4" AWAY FROM ANY WALLS, CEILING HEIGHT CHANGES OR ANY OTHER VERTICAL INTERSECTING SURFACE.
- 19) PROVIDE SPRINKLERS ABOVE AND BELOW EXPOSED DUCTWORK 4 FEET OR WIDER.
- 20) PROVIDE HEAD GUARDS ON SPRINKLER HEADS IN ELECTRIC, TELEPHONE AND ELEVATOR EQUIPMENT ROOMS.
- 21) CUTTING OF STRUCTURAL AND/OR ARCHITECTURAL MEMBERS TO BE DONE ONLY WITH THE WRITTEN APPROVAL OF THE ARCHITECT.
- 22) FIRE STOP ALL PENETRATIONS OF SMOKE/FIRE WALLS, CEILINGS, FLOORS, ROOFS, ETC. FLASH AND COUNTERFLASH ROOF PENETRATIONS.
- 23) PROVIDE ACCESS PANELS TO ALL VALVES ABOVE NON-ACCESSIBLE CEILINGS AND CHASES.
- 24) METHODS OF HANGING PIPES, HEADERS AND BRANCHES SHALL BE IN ACCORDANCE WITH NFPA-13.
- 25) ANY VALVES FOR FIRE SERVICE SHALL BE LISTED BY THE UNDERWRITER'S LABORATORIES, INC. AND THE FACTORY MUTUAL LABORATORIES. VALVES SHALL BE FACTORY MARKED "UL" AND "FM", 175 PSI WORKING PRESSURE.
- 26) ANY POWER WIRING SHALL BE ACCOMPLISHED UNDER THE ELECTRICAL DIVISION AND INTERLOCK WIRING SHALL BE ACCOMPLISHED UNDER THIS SECTION OF THE SPECIFICATIONS IN ACCORDANCE WITH THE REQUIREMENTS IN THE ELECTRICAL DIVISION. COORDINATE ALL ELECTRICAL ITEMS WITH ELECTRICAL CONTRACTOR.
- 27) SPRINKLERS SHALL COVER THE ENTIRE AREA OF THE ROOM INCLUDING ALCOVES. SPRAY SHALL NOT BE BLOCKED BY WALLS OR PARTITIONS.
- 28) MAINTAIN A MINIMUM OF 18 INCHES FROM THE BOTTOM OF THE SPRINKLER DEFLECTOR TO THE TOP OF STORAGE/FILE STORAGE.
- 29) CONTRACTOR SHALL CONDUCT A THOROUGH EXAMINATION OF THE PREMISES PRIOR TO PREPARING A PROPOSAL. ANY CHANGES TO THE DESIGN MADE NECESSARY BY FIELD CONDITIONS SHALL BE CONVEYED TO THE ENGINEER PRIOR TO PREPARATION OF A PROPOSAL. NO ADDITIONAL COSTS BEYOND THE PROPOSAL PRICE WILL BE ACCEPTED FOR FIELD CONDITIONS THAT COULD HAVE BEEN DETERMINED BY AN INSPECTION OF THE PREMISES.



DOUBLE CHECK VALVE ASSEMBLY & SPRINKLER RISER SCHEMATIC REV \_\_\_\_\_ DATE \_\_\_\_\_ FP002



**SCHEDULE OF FIRE PROTECTION DRAWINGS**

DWG	DESCRIPTION	LATEST REV.
FP-1	FIRE PROTECTION SYMBOLS, NOTES, & DETAILS	
FP-2	SPRINKLER & PIPING DEMOLITION PLAN	
FP-2	NEW SPRINKLER & PIPING PLAN	

Commercial Construction Consulting, Inc.  
 311 Commercial Ave.  
 Brighton, MA 02130  
 617.330.0000  
 617.330.0000  
 617.330.0000  
 617.330.0000

Fire Protection Symbols, Notes, & Details  
 Drawing Description  
 Project No. O1122  
 Revision 1  
 Date 7/17/01  
 Drawn by CLS  
 Checked by CLS  
 Date 7/17/01  
 Approved by CLS

A.J. WRIGHT  
 PINE TREE SHOPPING CENTER  
 BRIGHTON AVENUE  
 PORTLAND, ME 04102

Scale: 1/8" = 1'-0"

Date: 7/17/01

Project No. O1122

Revision 1

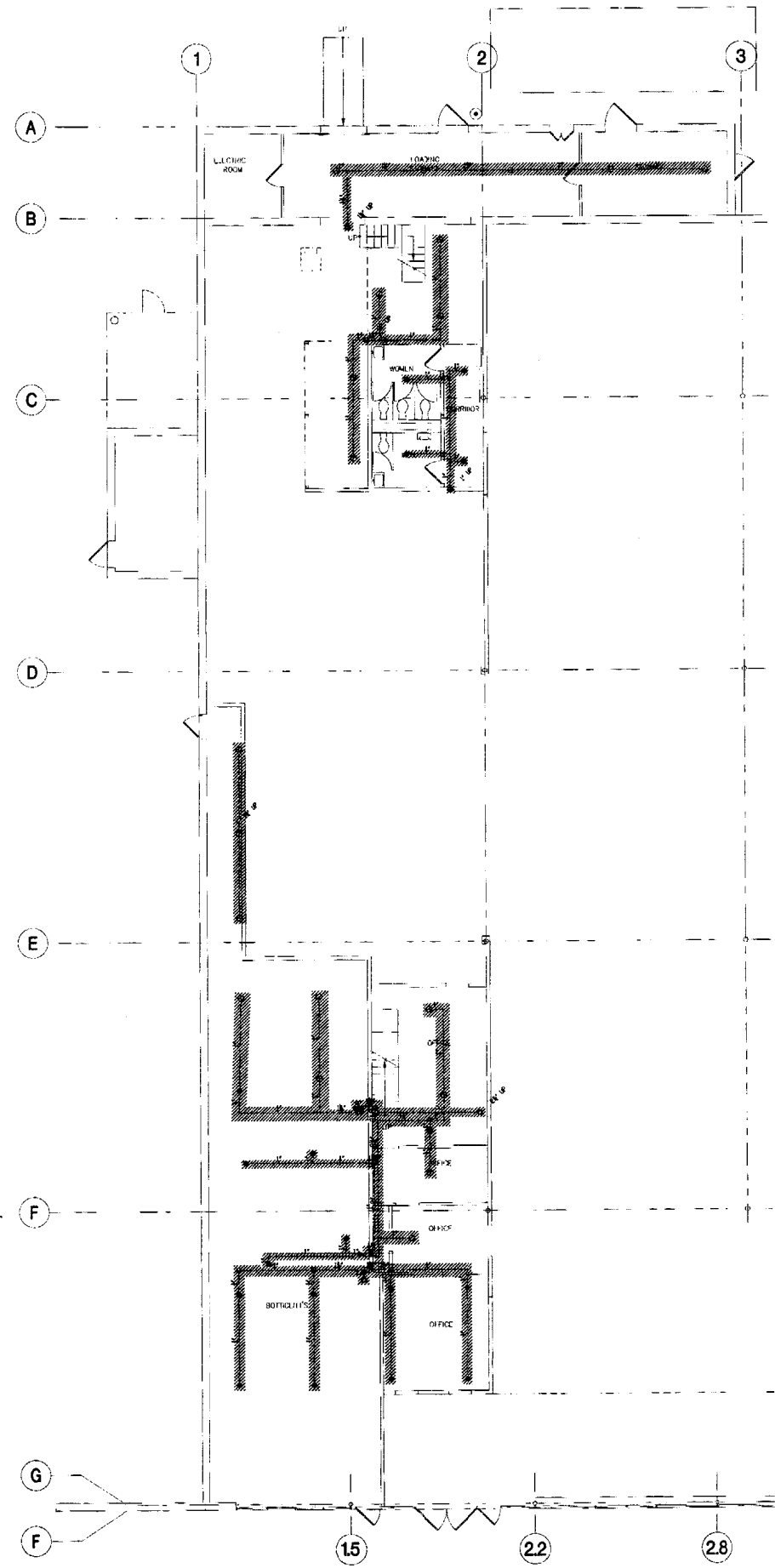
Date 7/17/01

Drawn by CLS

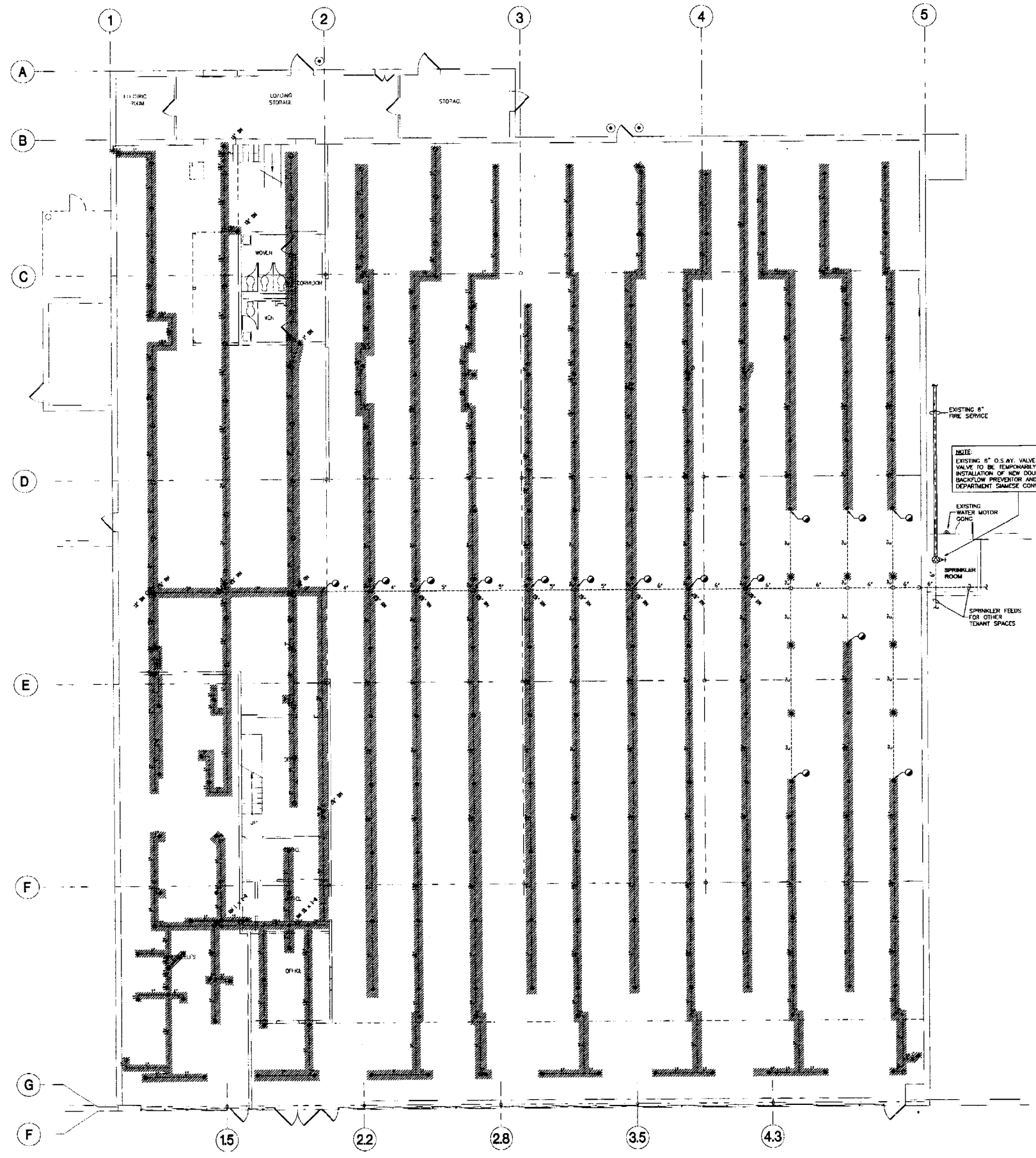
Checked by CLS

Date 7/17/01

Approved by CLS



LOWER LEVEL PIPING PLAN  
SCALE: 1/8" = 1'-0"



CEILING DECK PIPING PLAN  
SCALE: 1/8" = 1'-0"

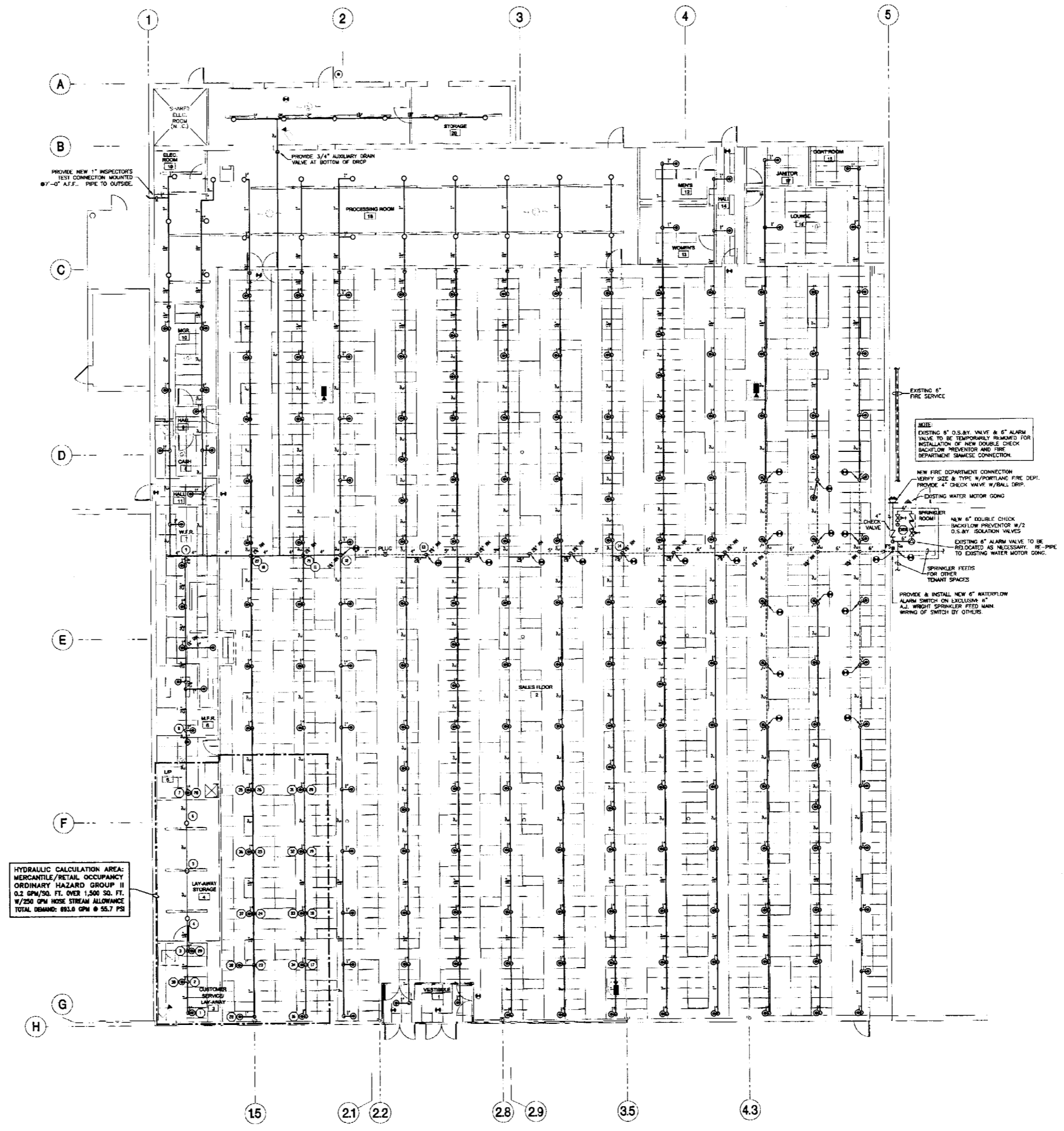
Rev.	By	Date	Description

Checked By	CL5	
Drawn By	CL5	
Date	7/17/01	
Scale	1/8" = 1'-0"	
Author/Project Name		

**SPRINKLER & PIPING DEMOLITION PLAN**

01122  
SCHLEE ARCHITECTS  
100 BROAD ST., 4TH FL.  
PORTLAND, ME 04101  
TEL: 603-233-8888 FAX: 603-233-8888

**A.J. WRIGHT**  
**PINE TREE SHOPPING CENTER**  
BENEFICK AVENUE  
PORTLAND, ME 04102



HYDRAULIC CALCULATION AREA:  
 MERCANTILE/RETAIL OCCUPANCY  
 ORDINARY HAZARD GROUP II  
 0.2 GPM/SQ. FT. OVER 1,500 SQ. FT.  
 W/250 GPM HOSE STREAM ALLOWANCE  
 TOTAL DEMAND: 893.0 GPM @ 55.7 PSI

**NOTE:**  
 EXISTING 6" O.S.B.Y. VALVE & 6" ALARM VALVE TO BE TEMPORARILY REMOVED FOR INSTALLATION OF NEW DOUBLE CHECK BACKFLOW PREVENTOR AND FIRE DEPARTMENT SPAMESSE CONNECTION.  
 NEW FIRE DEPARTMENT CONNECTION VERIFY SIZE & TYPE W/PORTLAND FIRE DEPT. PROVIDE 4" CHECK VALVE W/BALL DRIP.  
 EXISTING WATER MOTOR GONG  
 SPRINKLER ROOM:  
 NEW 6" DOUBLE CHECK BACKFLOW PREVENTOR W/2 O.S.B.Y. ISOLATION VALVES  
 EXISTING 6" ALARM VALVE TO BE RELOCATED AS NECESSARY. RE-PIPE TO EXISTING WATER MOTOR GONG.  
 SPRINKLER FEEDS FOR OTHER TENANT SPACES  
 PROVIDE & INSTALL NEW 6" WATERFLOW ALARM SWITCH ON EXISTING 6" A.J. WRIGHT SPRINKLER FEED MAIN WIRING OF SWITCH BY OTHERS.

Rev.	Date	Description

**NEW SPRINKLER & PIPING PLAN**

Drawn By: C.L.S.	Checked By: C.L.S.
Date: 7/17/01	Approved: C.L.S.
Scale: 1/8" = 1'-0"	

Project Name: A.J. Wright Shopping Center  
 Project Number: O1122

**O1122**  
 PROJECT NUMBER  
 A.J. WRIGHT SHOPPING CENTER  
 PORTLAND, ME 04102

**A.J. WRIGHT SHOPPING CENTER**  
 PORTLAND, ME 04102