

870-872 RIVERSIDE STREET



Full cut # 920R - Half cut # 9202R - Third cut # 9203R - Fifth cut # 9205R



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date August 11, 1981
 Receipt and Permit number A730384

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 872 Riverside Street
 OWNERS NAME: Andre Bellucci ADDRESS: same

		FEES
OUTLETS:		
Receptacles	Switches	Plugmold
		ft. TOTAL
FIXTURES: (number of)		
Incandescent	Flourescent	(not strip) TOTAL
		ft.
SERVICES:		
Overhead <input checked="" type="checkbox"/>	Underground	Temporary
		TOTAL amperes 100
METERS: (number of)	<u>1</u>	<u>3.00</u>
MOTORS: (number of)		<u>.50</u>
RESIDENTIAL HEATING:		
Oil or Gas (number of units)		
Electric (number of rooms)		
COMMERCIAL OR INDUSTRIAL HEATING:		
Oil or Gas (by a main boiler)		
Oil or Gas (by separate units)		
Electric Under 20 kws	<u>5</u>	<u>5.00</u>
Electric Over 20 kws		
APPLIANCES: (number of)		
Ranges	Water Heaters	
Cook Tops	Disposals	
Wall Ovens	Dishwashers	
Dryers	Compactors	
Fans	Others (denote)	
TOTAL		
MISCELLANEOUS (number of)		
Branch Panels		
Transformers		
Air Conditioners Central Unit		
Separate Units (windows)		
Signs 20 sq. ft. and under		
Over 20 sq. ft.		
Swimming Pools Above Ground		
In Ground		
Fire/Burglar Alarms Residential		
Commercial		
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under		
over 30 amps		
Circus, Fairs, etc.		
Alterations to wires		
Repairs after fire		
Emergency Lights, battery		
Emergency Generators		
INSTALLATION FEE DUE:		
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE:		
FOR REMOVAL OF A "STOP ORDER" (304-16.b)		
TOTAL AMOUNT DUE:		<u>8.50</u>

INSPECTION:

Will be ready on _____, 19__ ; or Will Call
 CONTRACTOR'S NAME: Electrical Home Improvement - Steve Shapiro - New Hamp.
 ADDRESS: 37 West Kidder St., Portland
 TEL.: 772-1069
 MASTER LICENSE NO.: 03710 - Greg Curtis SIGNATURE OF CONTRACTOR: [Signature]
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

Memorandum from Department of Building Inspection, Portland, Maine

AP - 872 Riverside Street

May 15, 1963

Mr. Philip C. Roberts,
872 Riverside Street

Dear Mr. Roberts:

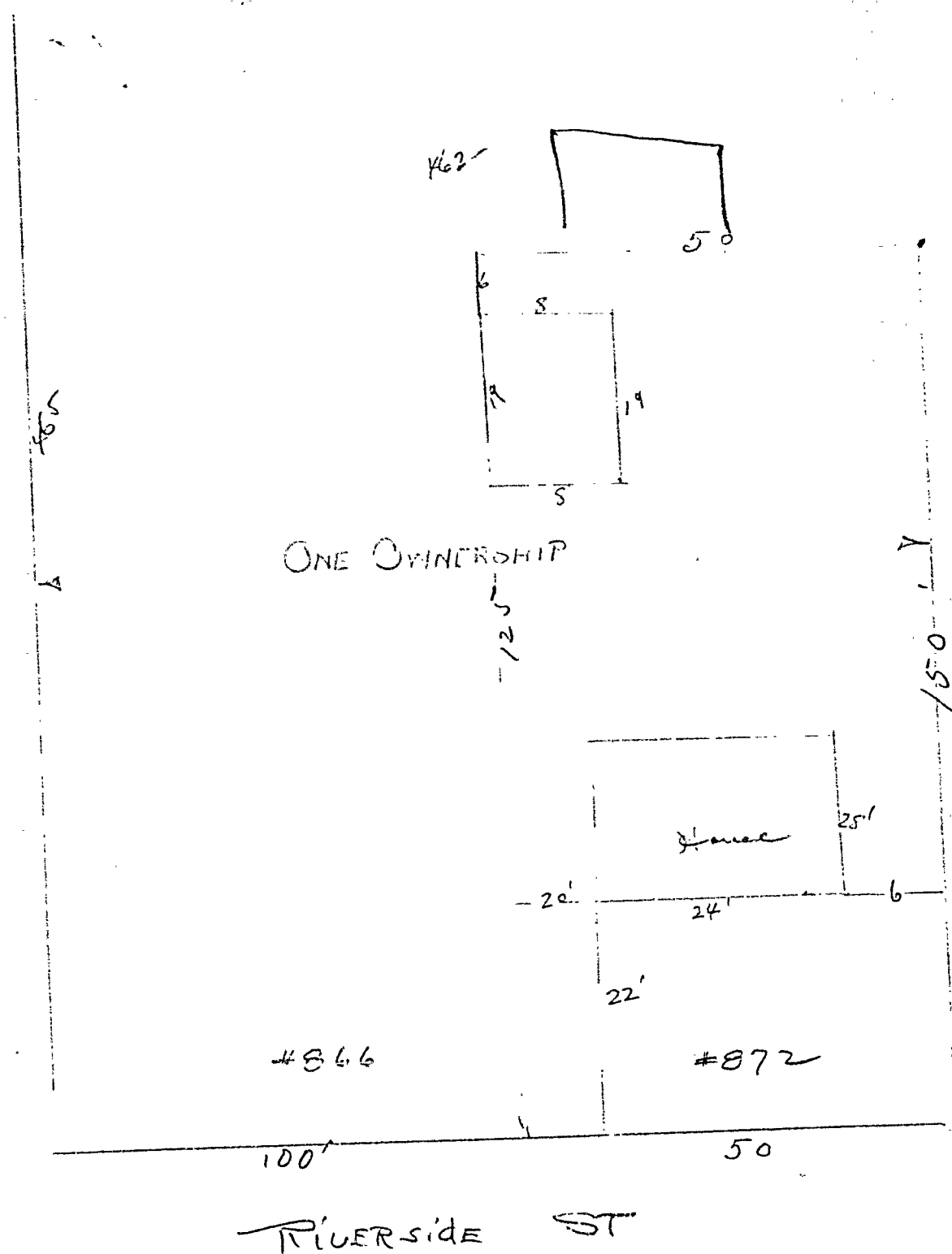
As per our discussion of this date we will be unable to issue a building permit to raise the front portion of the garage as per your application until arrangements can be made to inspect this structure and to have information as to how Building Code requirements are to be met.

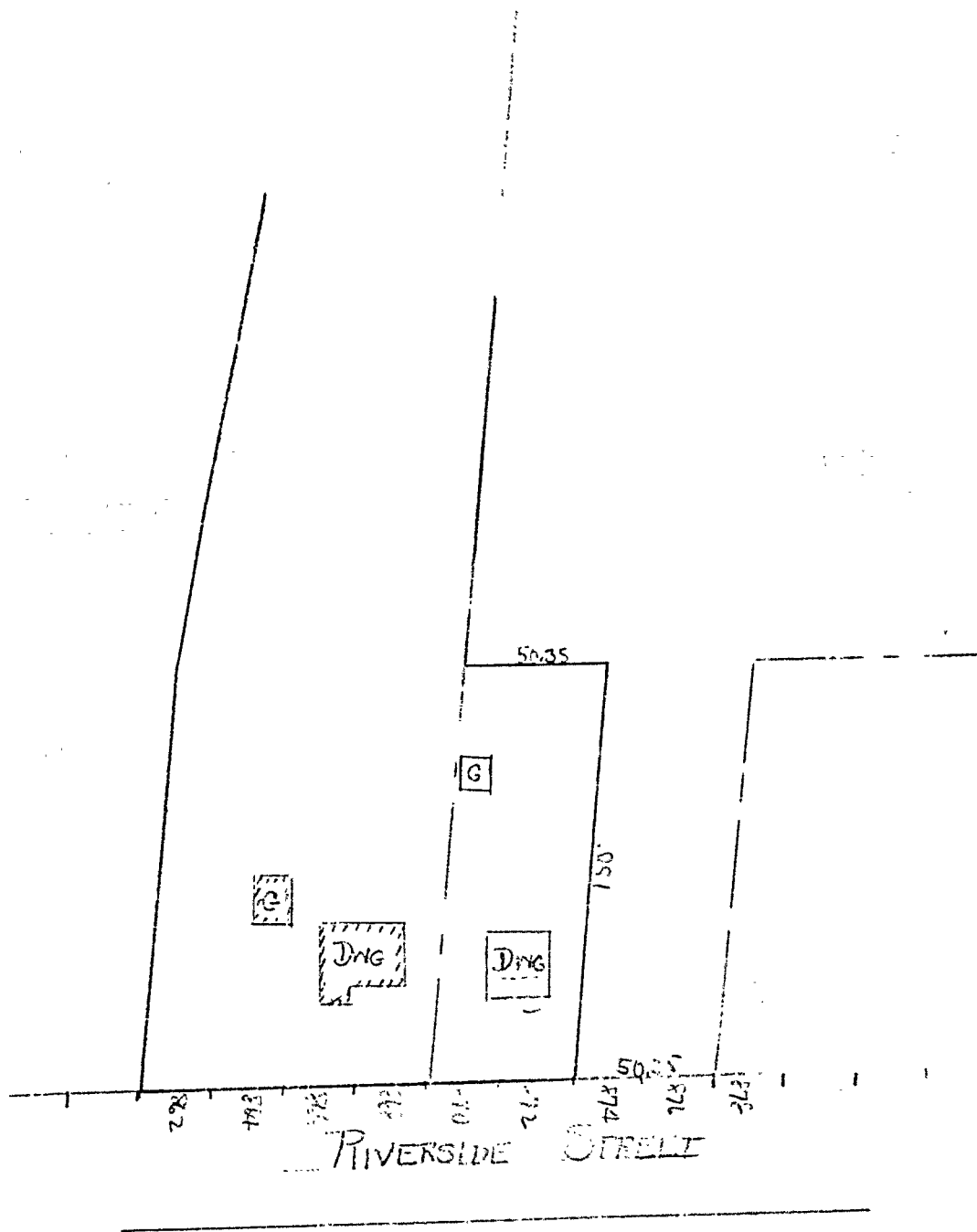
Very truly yours,

Gerald E. Mayberry
Deputy Director of
Building Inspection

GLM/h

CS-27







RESIDENTIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, May 7, 1963

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 872 Riverside Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Philip C. ^{Roberts} ~~Roberts~~, 872 Riverside St. Telephone 31449
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building 1 car garage No. families _____
 Last use _____ No. families _____
 Material frame No. stories 1 Heat _____ Style of roof pitch Roofing _____
 Other buildings on same lot welling _____
 Estimated cost \$ 200. _____ F. _____ 22 _____

General Description of New Work

To raise front portion of garage roof approx. 6' .
(front portion only about 4' high now and about 2' of that will be removed)

12/27/63 - Permit never issued. Work probably done but lack of time made it impossible to follow up.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate 8'11" Height average grade to highest point of roof 8'12"
 Size, front _____ depth _____ No. stories 1 solid or filled land? solid earth or rock? earth
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof pitch Rise per foot _____ Roof covering asphalt roofing Class C Und. Lab.
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x4 Sills 4x4
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 4x4
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof 10"
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 8'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 1, to be accommodated 1 number commercial cars to be accommodated 0
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner

Philip C. Roberts

PK

NOTES

5/18/63 - Sills settled.
 2x4 corner posts with
 round posts at 1/2 ft
 down into ground.
 2x4 studs 24-30 c.
 2x4 w/ top cut 16" o.c.
 Sills pretty well settled
 on sides.
 Tar paper + asphalt paper
 on rear end of garage.

Looks like it may have
 been from hen house

Permit No. 63/

Location 873 Riverside Dr

Owner Philip A. Pfeiffer

Date of permit 5/18/63

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, September 4, 1933

RECEIVED
01505
SEP 4 1933
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location _____ Use of Building _____ No. Stories _____ New Building Existing "
Name and address of owner of appliance _____
Installer's name and address _____ Telephone _____

General Description of Work

To install _____

IF HEATER, OR POWER BOILER

Location of appliance _____ Any burnable material in floor surface or beneath? _____
If so, how protected? _____ Kind of fuel? _____
Minimum distance to burnable material, from top of appliance or casing top of furnace _____
From top of smoke pipe _____ From front of appliance _____ From sides or back of appliance _____
Size of chimney flue _____ Other connections to same flue _____
If gas fired, how vented? _____ Rated maximum demand per hour _____
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? _____

IF OIL BURNER

Name and type of burner _____ Labeled by underwriter's laboratories? _____
Will operator be always in attendance? _____ Does oil supply line feed from top or bottom of tank? _____
Type of floor beneath burner _____
Location of oil storage _____ Number and capacity of tanks _____
If two 275-gallon tanks, will three-way valve be provided? _____
Will all tanks be more than five feet from any flame? _____ How many tanks fire proofed? _____
Total capacity of any existing storage tanks for furnace burners _____

IF COOKING APPLIANCE

Location of appliance _____ Any burnable material in floor surface or beneath? _____
If so, how protected? _____ Kind of fuel? _____
Minimum distance to wood or combustible material from top of appliance _____
From front of appliance _____ From sides and back _____ From top of smokepipe _____
Size of chimney flue _____ Other connections to same flue _____
Is hood to be provided? _____ If so, how vented? _____ Forced or gravity? _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

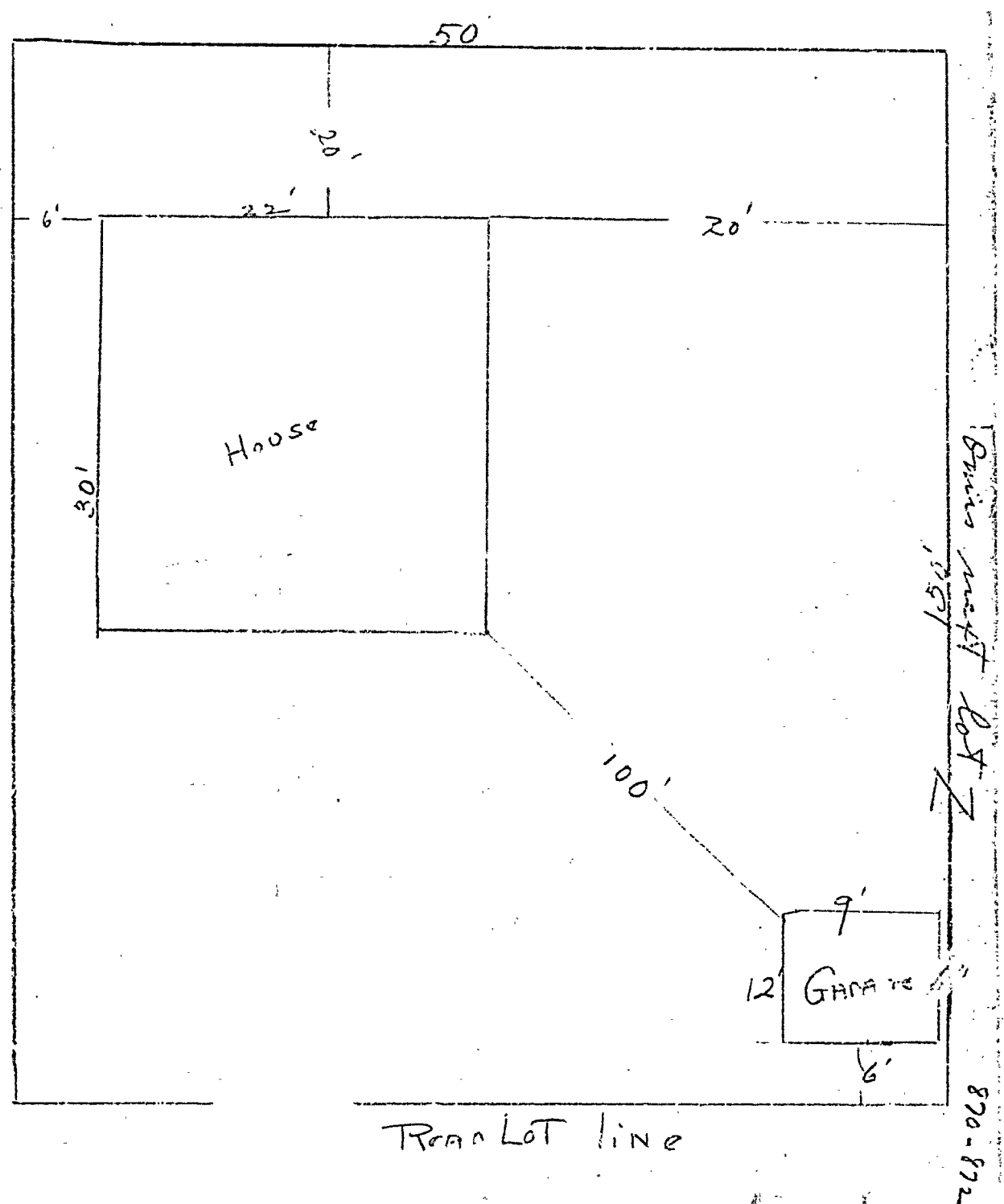
Amount of fee enclosed? \$2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

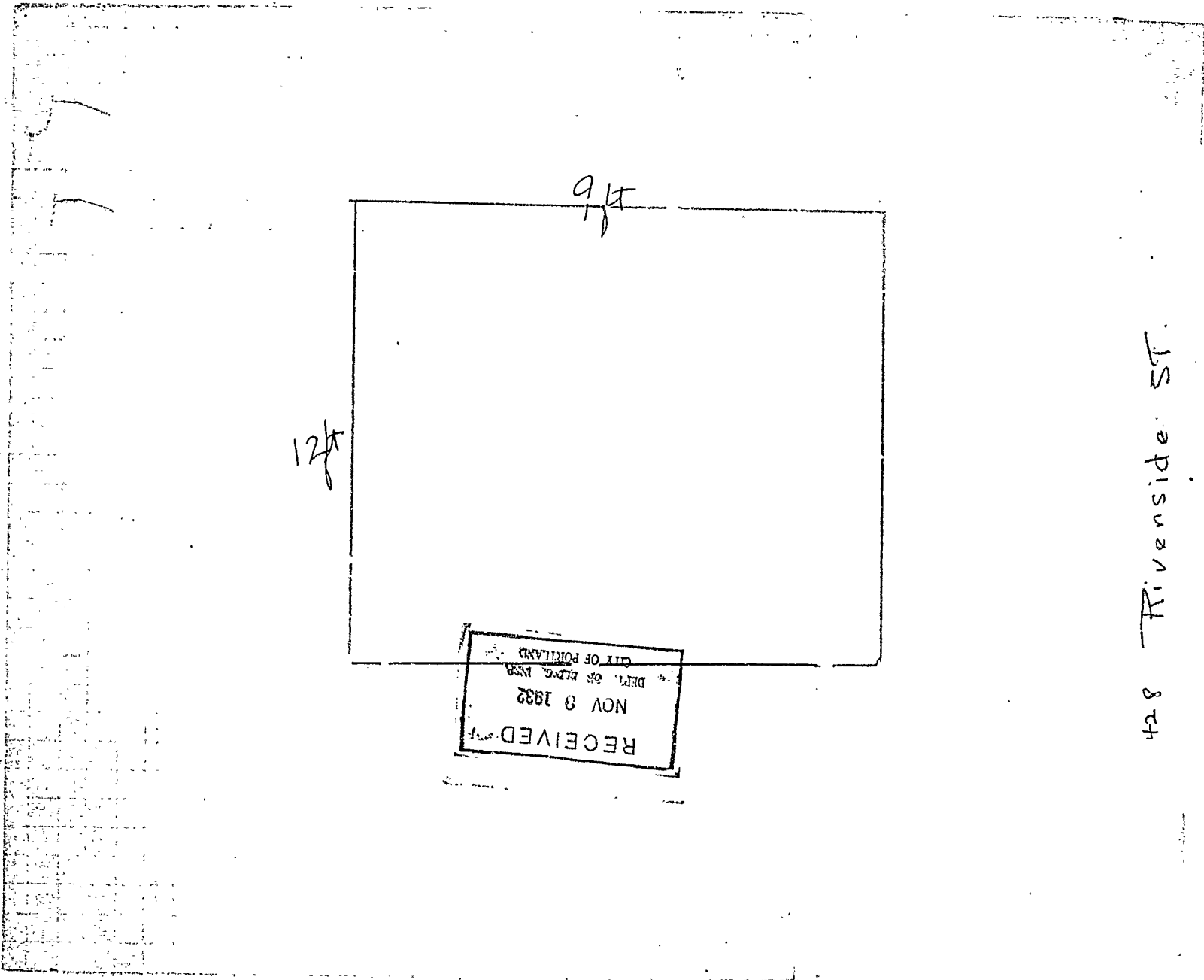
APPROVES: OK. 9.4.33. [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

Signature of Installer Gordon W. Clark

INSPECTION COPY





12 ft

9 ft

RECEIVED
NOV 8 1932
DEPT. OF PUBL. ENG.
CITY OF PORTLAND

428 Riverside ST.

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for one car garage
at 428 Riverside Street

Date 11/8/34

1. In whose name is the title of the property now recorded? *Philip Roberts*
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? *iron stakes*
3. Is the outline of the proposed work now staked out upon the ground? *yes* If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced?
4. What is to be maximum projection or overhang of eaves or drip? *6 inches*
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? *yes*
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? *yes*
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? *yes*

Philip Roberts



GENERAL RESIDENCE ZONE

PERMIT ISSUED

Permit No. NOV 12 1964

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, November 8, 1964

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter-install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 428 Riverside Street Ward 3 Within Fire Limit? no Dist. No.
Owner's or Lessee's name and address P. D. Roberts 428 Riverside St. Telephone no
Contractor's name and address Owner Telephone
Architect's name and address
Proposed use of building 1 car garage No. families
Other buildings on same lot 1 family dwelling house
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 75. Fee \$.50

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing
Last use No. families

General Description of New Work

To erect 1 car garage 12' x 12'
To cover the side walls with shingles and rear wall with roofing paper

NOTIFICATION BEFORE LATHING OR CLOSING IN IS REQUIRED

It is understood that this permit does not include installation of heating apparatus which is to be taken out by and is the name of the heating contractor.

Details of New Work

Height average grade to top of plate
Size, front 12' depth 12' No. stories 1 Height average grade to highest point of roof 10'
To be erected on solid or filled land? no earth or rock? earth
Material of foundation concrete Thickness, top bottom
Material of underpinning Height Thickness
Kind of Roof flat Rise per foot Roof covering shingles
No. of chimneys no Material of chimneys of lining
Kind of heat no Type of fuel Is gas fitting involved?
Corner posts 4x6 Sills 4x6 Girt or ledger board? Size
Material columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor airt, 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof 8'
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot none, to be accommodated 1
Total number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Philip C Roberts

INSPECTION COPY

Oliver F. Smith

80-367

Ward 9 Permit No. 32/1964

Location ⁸⁷⁰428 Riverside St.

P. C. Roberts

Date of permit 11/12/32.

Notif. closing-in _____

Insp... closing-in _____

Final Notif. _____

Final Inspn. _____

Cert. of Occupancy issued _____

C.O.

NOTES

Boysed 9/24
mmg

Ward 9 Permit No. 3211964

Location 870 428 Riverside St.

P. C. Roberts

Date of permit 11/12/32.

Notif. closing-in _____

Insp. closing-in _____

Final Notif. _____

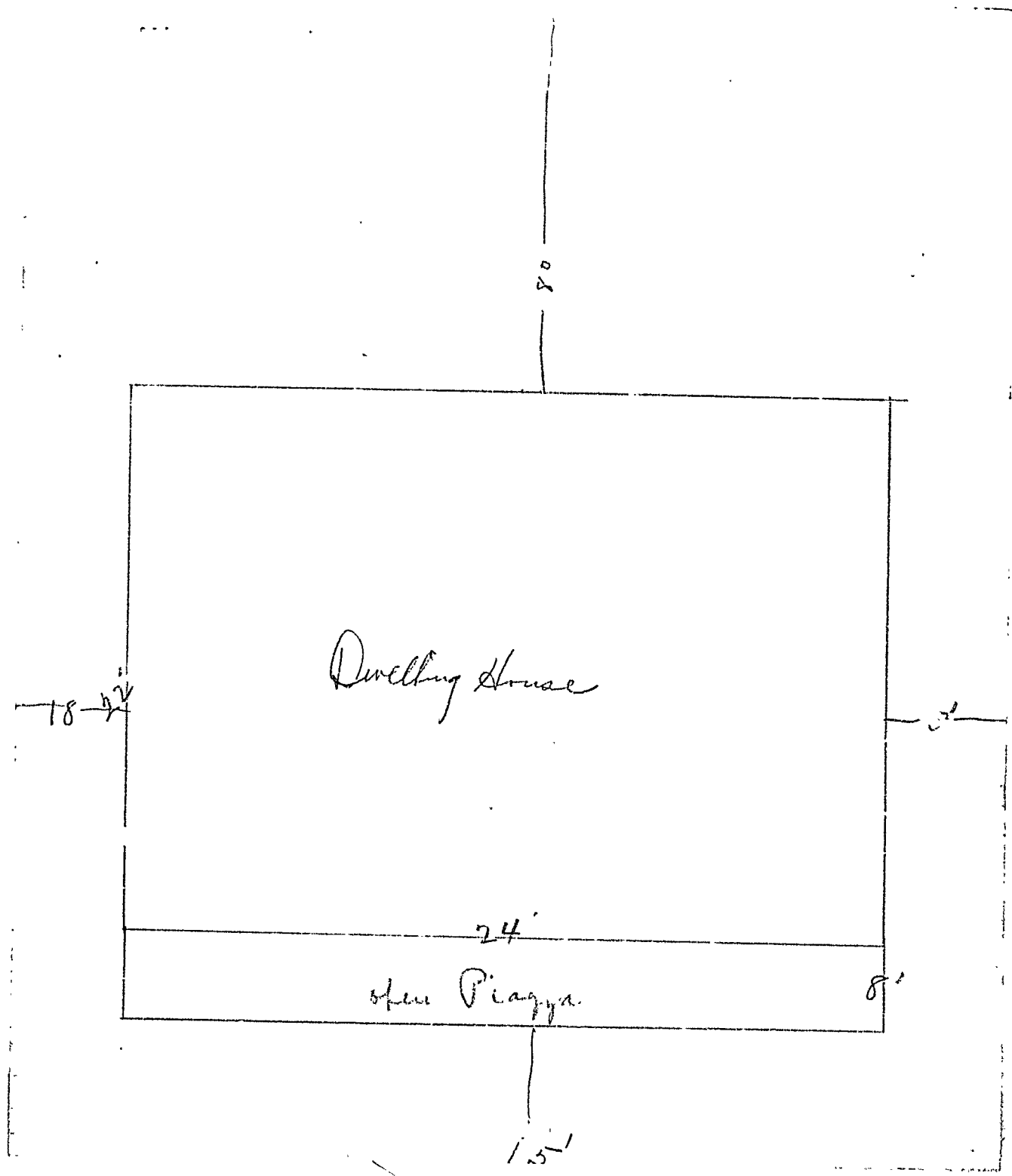
Final Inspn. _____

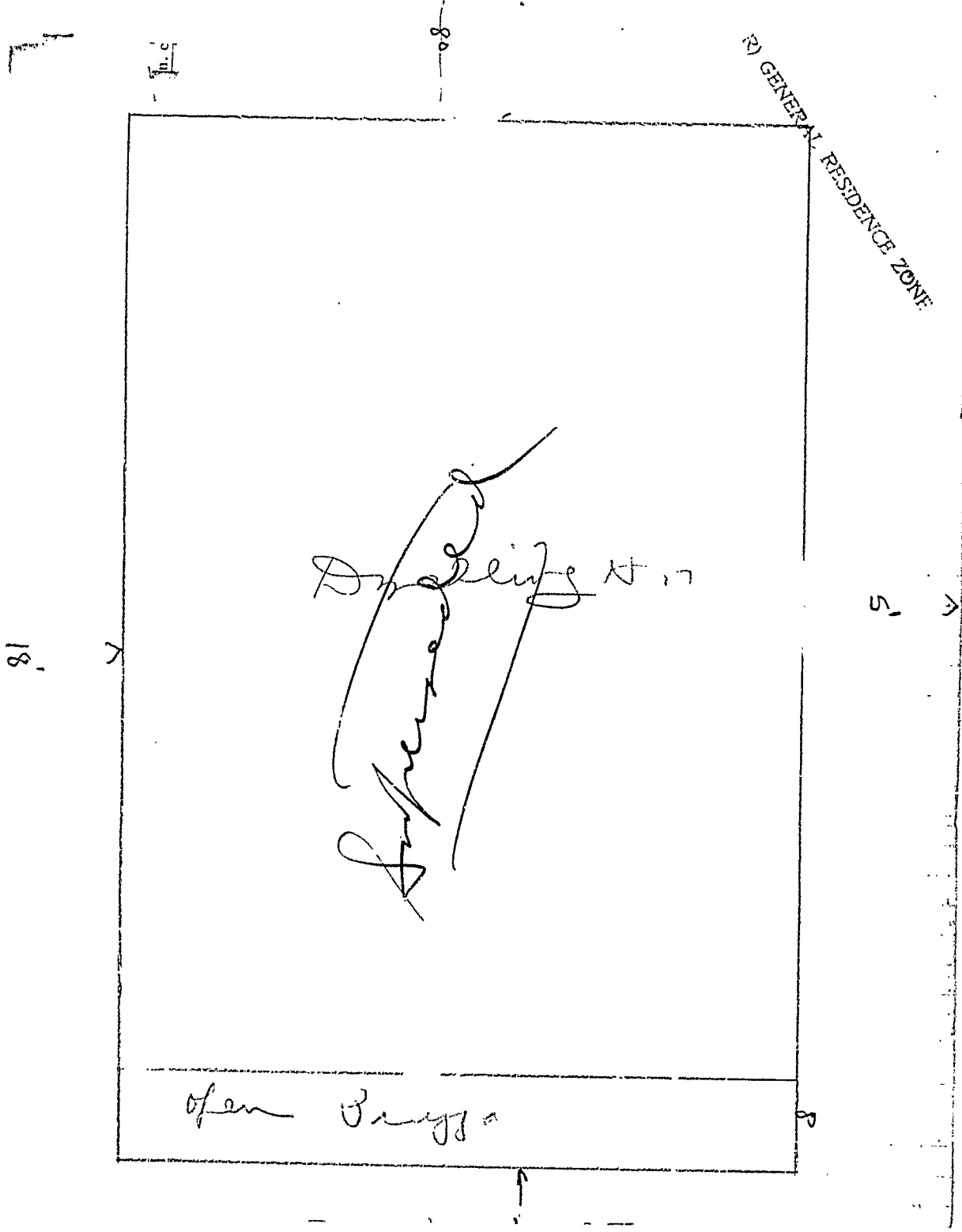
Cert. of Occupancy issued _____

C.O.

NOTES

*Behead 9/14
mm 9*





Supermarket

Shopping Area

open space

R) GENERAL RESIDENCE ZONE

18'

51'

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for one family dwelling house

at 418 Riverside Street

Date 7/5/32

1. In whose name is the title of the property now recorded? Philip Robert
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? iron stakes
3. Is the outline of the proposed work now staked out upon the ground? No If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced?
4. What is to be maximum projection or overhang of eaves or drip? 2'
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Philip Robert



APPLICATION FOR PERMIT

Permit No. **0958**

JUL 7 1932

Class of Building or Type of Structure Third Class

Portland, Maine, July 5, 1932

To the INSPECTOR OF BUILDINGS, FORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~also install~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 42 1/2 Riverside Street Yard 9 Within Fire Limits: no Dist. No. _____

Owner's or Lessee's name and address Phillip C. Roberts, Gen'l Del. Woodford's Telephone _____

Contractor's name and address (Lindley Sanborn, Windham, carpenter) Telephone _____

Architect's name and address _____

Proposed use of building dwelling house No. families 1

Other buildings on same lot none

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$ 325 x 100 = 32,500 Fee \$ 1 x 2 1/2 = 2.50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To erect one family frame dwelling house
(no dormer)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____

Size, front 24' depth 30' No. stories 1 Height average grade to highest point of roof 20'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation concrete Thickness, top 10" bottom 12"

Material of underpinning brick Height 2' Thickness 8"

Kind of Roof hip Rise per foot 8" Roof covering Asphalt shingles Class C Und. Lab.

No. of chimneys one Material of chimneys brick of lining tile

Kind of heat hot air Type of fuel _____ Is gas fitting involved? no

Corner posts 4x6 Sills 6x6 Girt or ledger board? none Size _____

Material columns under girders iron columns Size 4" Max. on centers 8'

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x8, 2nd 2x6 ceiling, 3rd _____, roof 2x6

On centers: 1st floor 16", 2nd 16", 3rd _____, roof 2'

Maximum span: 1st floor 15' 11", 2nd 15' 11", 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Phillip C. Roberts

Ward 7 Permit No. 32/958
 Location 428 Riverside St.
 Owner Philip C. Roberts
 Date of permit 7/7/32
 Notif. closing-in
 In closing-in 8/30/32. C.C.
 Final Notif. None given
 Final Inspn. 1/13/33 C.C.
 Cert. of Occupancy issued 1/14/33

NOTES

~~Watch 2' overhang.
 7/5/32 Stair cut -
 7/7/32 Sid. clearance is about 5'-9" front yard is 24'
 7/9/32 Work not started. etc
 7/11/32 Breaking ground. Mr Roberts here today, took up matter of width of 5'-6" side yard for 24" overhang.
 7/12/32 No work being done at time, excavation nearly finished. Forms not started. Excavation more than forms should be O.K.~~

7/18/32 Mr Roberts here today. Forms being erected, side clearance looks O.K. etc.
 7/22/32 Pouring concrete. etc.
 7/25/32 Mr Roberts said they would not start framing until Thurs. morning July 27, told him I should like to go over framing with carpenter. etc.
 7/29/32 Mr Roberts called regarding girders, found one extra window which bears about 1/2 of the span of the window which is 13'-0", sill is 4x8 flat and girder will bear on this so no strength will be lost through notching. Sill iron col. in cellar will be 6'-0" from outside wall, cutting area to be supported at this point and should be O.K. etc.
 8/3/32 No work being done at this time, windows and door frames have been set and it does not look as if provision had been made in any case for jacks, left a R.T. with sketch and note re-

garding opening over 13'-0" and 4'-0" etc.
 8/4/32 Mr Roberts and a carpenter here, had not seen my R.T. left about window headers and jacks but agreed to do same. etc.
 8/8/32 - Jack studs cut in openings. About 1/2" deep and supported on board laid top of ceiling timbers. Told carpenter that a 2" piece should have been used to support rafters, but as he had nailed board edge ways onto ends of rafters and agreed to cut a 2" x 2" in between and floor timbers bearing on heel of rafters, I agreed to let board go for the time. A.J.L.
 8/11/32 - Roof boarded etc.
 8/16/32 Shingling Roof. etc.
 8/30/32 R.T. to close in, keeping clear of plumbing and elect.

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 notified
 for all
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overhang.
etc.
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more than
uld be. J.K.
R.H.

7/18/32. Mr Roberts here today.
Forms being erected, sill
clearance looks O.K. etc.
7/21/32. Pouring concrete. etc.
7/25/32. Mr Roberts said they
would not start framing
until Thurs. morning July
28. told him I should
like to go over framing
with carpenter. etc.
7/29/32. Mr Robert called
regarding girder, and
over cellar window, this
bears about 1/4 of the span
of the window which is
13'-0". sill is 4x8 flat and
girder will bear on this
so no strength will be
lost through notching
sill, iron col. in cellar
will be 6'-0" from outside
wall, cutting area to be
supported at this point
and should be O.K. etc.
8/3/32. No work being
done at this time,
windows and door
frames have be set and
it does not look as if
provision had been
made in any case for
jacks, left a P.T. with
sketch and note re-

garding openings over
13'-0" and 4'-0" etc.
8/4/32. Mr Roberts and
a carpenter here, had not
seen my P.T. left about
window headers and
jacks but agreed to do
same. etc.
8/8/32. Jack studs
cut in openings, ill and
half in. deep
and supported on
board laid top of
ceiling timbers. Told
carpenter that a
piece should have been
used to support rafters,
but as he had nailed
board edgewise onto
ends of rafters and
agreed the cut piece
of 2x6 in between and
floor timbers beneath
heel of rafters,
agreed to let board go
for the time. A.J.H.
8/11/32. Roof board
etc.
8/16/32. Shingling
Roof. etc.
8/30/32. R. J. to close
in, keeping clear of
plumbing and elect.

rical work until
inspected and then
notify this office
for closing in for a
G.T. etc.
1/13/33. This job about
done, most of finish on.
No heated at this
time in the cellar. etc.
9/13/41. man called
up about buying
this house. Told
him no permit
is needed to
finish it, if
no alterations
are made. He
said they
want in in but
not finished. To be
done. This would
be covered by permit
work.

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 0981
ZONING LOCATION PORTLAND, MAINE Sept. 1, 1985

PERMIT ISSUED

SEP 9 1985

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 872 Riverside St.
1. Owner's name and address William Fournelle - same Fire District #1 [], #2 []
2. Lessee's name and address Telephone ... 797-9548
3. Contractor's name and address Owner Telephone ...
Proposed use of building dwelling with entryway to kitchen No. of sheets ...
Last use dwelling No. families 1
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$2,700.00

FIELD INSPECTOR—Mr. @ 775-5451

Appeal Fees \$
Base Fee 35.00
Late Fee
TOTAL \$

To construct 6' x 9'4" entryway to kitchen kitchen as per plans. 1 sheet of plans.

send permit to # 1 04103

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? No Is any electrical work involved in this work? yes
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimney of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant William Fournelle Phone # same name
Type Name of above William Fournelle * 2 [] 3 [] 4 []

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 0-981

SEP 6 1965

ZONING LOCATION PORTLAND, MAINE SEPT. 5, 1965

City of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specification...

LOCATION 872 Riverside St. Fire District #1 [] #2 []
1. Owner's name and address William Fournelle - same Telephone 797-9548
2. Lessee's name and address Telephone
3. Contractor's name and address Owner Telephone

Proposed use of building dwelling with entryway to kitchen No. of sheets
Last use dwelling No. families 1
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$2,700.00

FIELD INSPECTOR - Mr. @ 775-5451

Appeal Fees \$
Base Fee 35.00
Late Fee
TOTAL \$

To construct 6' x 9'4" entryway to kitchen as per plans. 1 sheet of plans.

Stamp of Special Conditions

send permit to # 1 04103

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? NO Is any electrical work involved in this work? YES
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories load or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION - PLAN EXAMINER
ZONING: W.A. Mad... 9/5/65
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street? NO
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant William Fournelle Phone # same
Type Name of above William Fournelle kx 2 [] 3 [] 4 []
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

[4] MR. J. BROWN

William Faguelle
872 Riverside Street &
Portland ME

ESTIMATING COST
\$ 2,700.00

ADDITION TO 872 RIVERSIDE STREET
ENTRANCE WAY TO HOUSE 6' x 9'4"

Footings 14" wide 10" deep	
Basement wall 8" concrete block	177
Sill 2x8	44 lin feet
Floor Joist 2x10x10 16" on center	10
Underlayment 3/4" mach Boards	58 sq feet
Overlayment 5/8" particle board	"
Wall studs 2x6 16" on center	"
Ceilings 2x8 16" on center	"
SPRINGS FOR ceiling 12" on center	1x3
CHIP ROOF 2x8 16" on center	
BROADWAY IN WHIT 3/4" mach Boards	

Steel to be made with Pressure treated 2x6

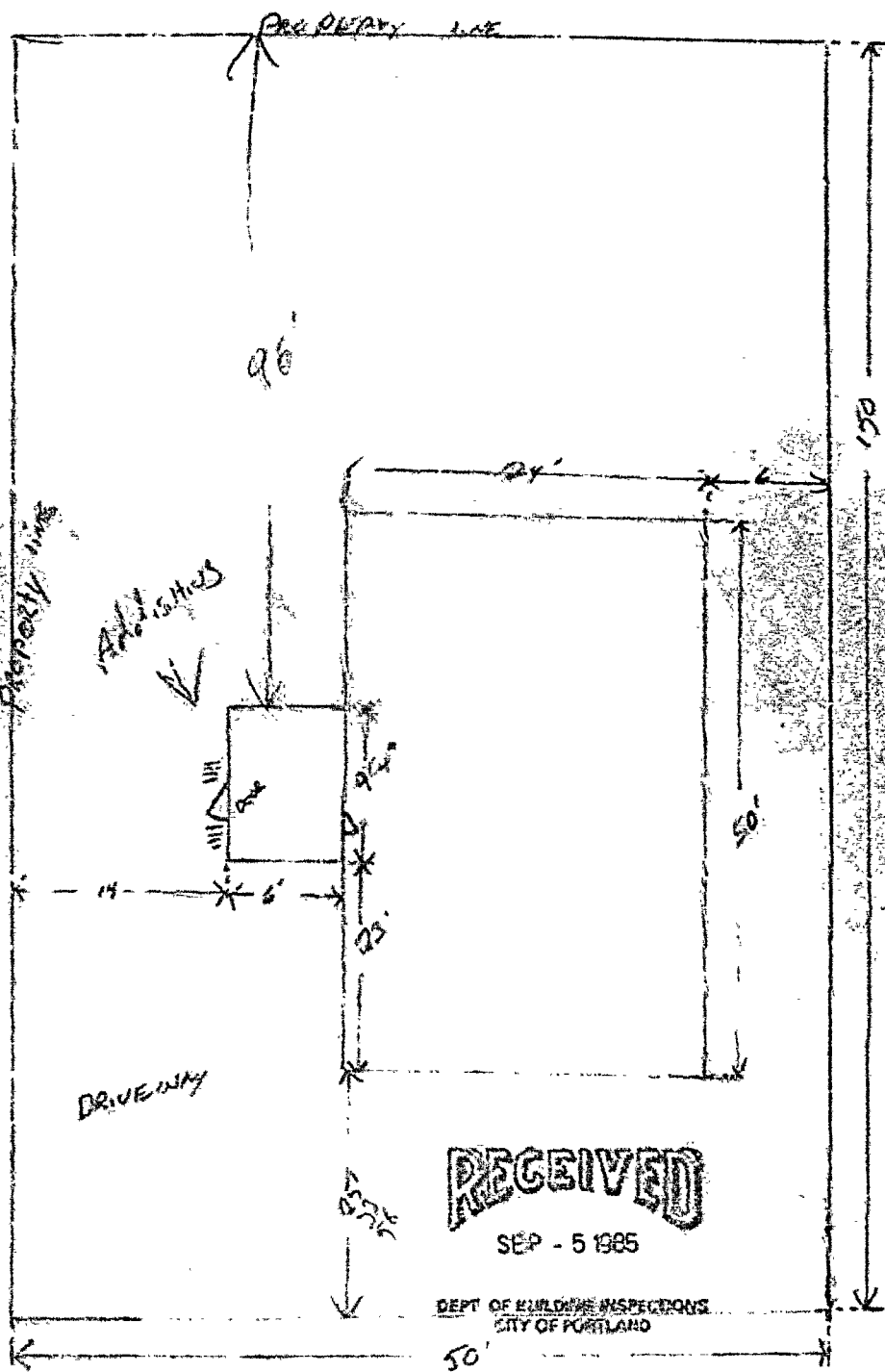
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SEP - 5 1935

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

Plot Plan 872 River side street

33



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SEP - 5 1965

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

Street

PERMIT # 000884 CITY OF Portland BUILDING PERMIT APPLICATION

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: William Fournelle
 Address: 872 Riverside Street

LOCATION OF CONSTRUCTION: 872 Riverside Street

CONTRACTOR: owner SUBCONTRACTORS: 1-7-9546

ADDRESS: _____
 Est. Construction Cost: 5,000 Type of Use: Residential

Building Dimensions L: _____ W: _____ Sq. Ft.: _____ # Stories: _____ Lot Size: _____
 Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____
 Conversion, Explain: To make interior renovations as per plans

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only:
 # Of Dwelling Units: _____ # Of New Dwelling Units: _____

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Sides) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other: _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____
 5. Bridging Type: _____ Spacing 16" O.C.
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____
 5. Bracing: Yes _____ No _____ Span(s) _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____
 10. Masonry Materials _____ Weather Exposure _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____
 3801 .25 x 1 1/2

MAP # _____ LOT# _____
For Official Use Only

Date: July 22, 1986
 Inside Fire Limits: _____
 Etdg Code: _____
 Time Limit: _____
 Estimated Cost: 5,000
 Value/Structure: _____
 Fee: 45.00
 Subdivision: Yes / No _____
 Name: _____
 Lot: _____
 Block: _____
 Permit Expiration: _____
 Ownership: _____ Public _____ Private _____

Ceiling:
 1. Ceiling Joist Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type _____
 5. Ceiling Height: _____ Size: SOLED

Roof:
 1. Truss or Rafter Size: _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 4. Other: _____

Chimneys:
 Type: _____ Number of Fire Places: _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required _____
 2. No. of Tubs or Showers _____ 00.25 Yes _____ No _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____ 00.05

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District: R-3 Street Frontage Req.: _____
 Required Setbacks: Front 25 Back 25 Provided Side _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: 14 14 1986
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shore and Floodplain Mgmt. _____ Special Exception _____
 Other (Explain) _____
 Date Approved _____

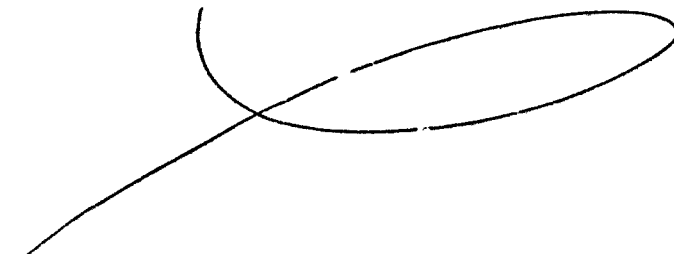
Permit Received By: Lisa Cushman
 Signature of Applicant: William Fournelle Date: July 22, 1986

Signature of CEO: _____ Date: _____
 Inspection Dates: _____

PERMIT ISSUED WITH LETTER

White-Tax Assessor Yellow-GPCOG Copyright GPCOG 1987

PLOT PLAN
 8/5/88 Foundation OK
 2/1/89 Completed ✓



N
↑

FEES (Breakdown From Front)
 Base Fee \$ 25.00
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ 20.00
 (Explain) _____
 Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /

COMMENTS

Signature of Applicant William Farwell Date July 22, 1988



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

July 25, 1988

Mr. William Fournelle
872 Riverside Street
Portland, ME 04103

Dear Sir:

Your application to make interior renovations has been reviewed and a permit is herewith issued subject to the following requirement(s):

If any additions are proposed the required setbacks for the I-1 zone are [R-3 zoning requirements] which means front yard setback of 25', back yard 25', side if one story structure of 8', if two story 14'.

If you have any questions regarding these requirement(s), please do not hesitate to contact this office.

Sincerely,

P. Samuel Hoffses
Chief, Inspection Services

PSH/jq

William Fournelle
872 River Side St
Portland ME

Tel - 797-9548

Closing in front porch on House.
Extending the front fims out.
Porch Size 24x7

Full Foundation

Footings 16" wide 10" Deep
8" Concrete Block Wall.

Floor Joist

2x8 16" ON Center

Flooring $\frac{5}{8}$ Particle Board $\frac{3}{4}$ Ply wood

Walls

2x6 16" ON Center $\frac{3}{4}$ Ply wood on
outside walls. $\frac{1}{2}$ inch Sheet Rock on
inside walls

NO construction ON Roof

Siding the whole house with
Cedar Clapboards

Estimated cost \$5000.00

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JUL 22 1988

DEPT OF BUILDINGS
CITY OF PORTLAND

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 269-3826

PROPERTY ADDRESS

Town Or Plantation: Portland, Maine

Street Subdivision Lot #: 872 Riverside St.

PROPERTY OWNERS NAME

LaFournelle First: William

Applicant Name: William LaFournelle

Mailing Address of Owner/Applicant (if Different): 872 Riverside St.

Caution: Permit Required

PORTLAND 3858 TOWN COPY

Date Permitted: 5/30/90 \$ 6.00 FEE Charged

Local Plumbing Inspector Signature: _____ L.P.I. # _____

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

William LaFournelle May 30, 1990
Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Major Plumbing Rules.

JUN 25 1990
Date Approved

Local Plumbing Inspector Signature: _____

PERMIT INFORMATION

This Application is for:

1. NEW PLUMBING
2. RELOCATED PLUMBING

Type Of Structure To Be Served:

1. SINGLE FAMILY DWELLING
2. MODULAR OR MOBILE HOME
3. MULTIPLE FAMILY DWELLING
4. OTHER - SPECIFY _____

Plumbing To Be Installed By:

1. MASTER PLUMBER
2. OIL BURNERMAN
3. MFG'D. HOUSING DEALER/MECHANIC
4. PUBLIC UTILITY EMPLOYEE
5. PROPERTY OWNER

LICENSE # _____

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Type of Fixture		Column 1 Type of Fixture	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system.		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator		Dish Washer
		Dental Cupidor		Garbage Disposal
		Bidet		Laundry Tub
Number of Hook-Ups & Relocations		Other: _____		Water Heater
\$ Hook-Up & Relocation Fee		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
				Fixtures (Subtotal) Column 2
				Total Fixtures
				Fixture Fee
			\$ 6.00	Hook-Up & Relocation Fee
			\$ 6.00	Permit Fee (Total)

TOWN COPY