

1999/2000 - 2005-0200

Site Review Pre-Application Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Applicant
J. BELLINO & R. GROSSO

Application Date
2/12/99

Applicant's Mailing Address
980 RIVERSIDE STR., PORTLAND, ME

Project Name/Description
RIVERSIDE STORAGE

Consultant Agent THE SHERIDAN CORPORATION
P. O. BOX 359, FAIRFIELD, ME 04937

Address Of Proposed Site
980 RIVERSIDE STREET

Applicant/Agent Daytime telephone and FAX
PHONE: 207-453-9277
FAX: 207-453-2820

Assessor's Reference, Chart#, Block, Lot# 360 #7

Proposed Development (Check all that apply) New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse Other(Specify) _____

2,000 S.F.

.92 ACRES

I-M

Proposed Building Square Footage and or # of Units

Acreage of Site

Zoning

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 7 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: <u>Kenneth S. Lamoreaux</u> KENNETH S. LAMOREAUX	Date: <u>2/12/99</u>
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DIR. OF ENGINEERING

Site Review Fee: Major \$500.00 Minor 400.00

THE SHERIDAN CORPORATION

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.



The Sheridan Corporation

February 9, 1999

Code Enforcement Department
City of Portland
389 Congress Street
Portland, ME 04101

Re: Site Plan Review

**Development: 980 Riverside Street, Portland
Self-Storage Expansion
Known as Riverside Storage**

Planning Staff:

Per Article V of Portland Land Use Ordinance, we provide the following written statement:

Mr. John Bellino and Mr. Robert Grosso, the owners of a self-storage business located at 980 Riverside Street in Portland, Maine, have authorized The Sheridan Corporation to provide design services required to submit the site review application for the expansion of this existing business.

The estimated cost of this expansion is **ninety thousand dollars (\$90,000)**.

Riverside Mini-Warehouse has been in business at 980 Riverside Street for several years. They rent clean, secure, accessible self-storage units to the public for a variety of storage needs. The office building houses two other businesses; Bellino Plumbing & Heating and Gross Co., Mechanical Contractors.

The owner's are proposing to add to the number of available storage units by adding a new 25' x 80' multi-unit storage facility and related access areas. No additional office space will be added.

This qualifies as a minor site review.

The property is located in the I-M industrial zone and the existing and proposed uses are permitted per Section 14.47 of the Zoning Ordinance.

The lot is 0.92 acres or 39,877 s.f. The existing office and storage units consist of 8,750 s.f. of one-story buildings. The new one-story storage building will add 2,000 s.f.



Riverside Mini-Warehouse has obtained a letter of financial commitment from their bank. The Sheridan Corporation has been retained as technical advisor and project designer. Sheridan has staff engineers to handle the design. They have successfully completed numerous projects of similar nature in the Portland area and throughout the State of Maine. A copy of Sheridan's qualification statement and the financial letter are attached.

There are no unusual natural areas, wildlife and fisheries habitats, or archeological sites at the proposed site to the best of our knowledge.

Parking requirements for the building are as follows:

Existing Business:	2,400 s.f. ÷ 400 s.f. per space = 6 spaces
Existing Self-Storage:	6,350 s.f. ÷ 1,000 s.f. per space = 7 spaces
Proposed Building:	2,000 s.f. ÷ 1,000 s.f. per space = <u>2</u> spaces
	15 required spaces

The office has four spaces at the front and six at the rear. No other spaces are provided for the mini storages but there is adequate spacing along all sides of the storage units. We believe this meets the intent of the code.

No new landscaping other than loam or seeding is proposed.

This zone has an impervious area ratio of 75%, the plan proposes to remove pavement at area A and replace it with grass. Also, area B at the rear gravel lot area. With these changes the site will have an impervious ratio of 74%.

Site lighting is shown on the lighting plan as are the details on the type and specifications for the fixtures used as well as a photometric plan. The intent is to provide adequate lighting for safety and site security while holding glare and offsite intensity to a minimum and being within city standards.

Sincerely,

Kenneth S. Lamoreaux
Director of Engineering

KSL/mak

Attachment

ref:k\ bellino ptld ltr.

MEMORANDUM

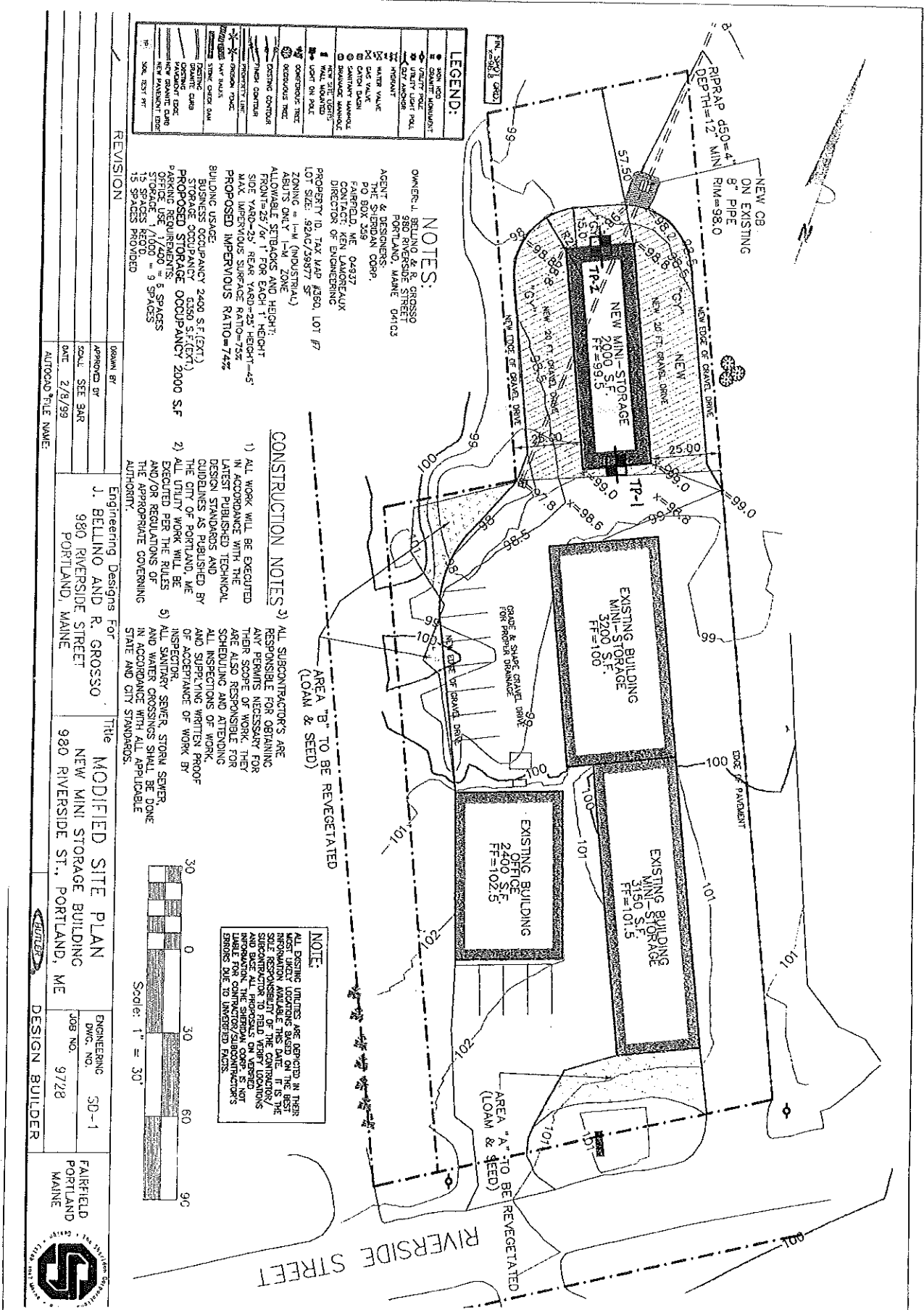
TO: Kandi Talbot, Planner
FROM: Jim Wendel, PE, Development Review Coordinator
DATE: February 22, 1999
RE: Site Plan Review
Riverside Storage
980 Riverside Street

Review of the plan submission dated 2/8/99 has been completed. Our comments are as follows:

1. We recommend that additional grading detail be provided on the plan; the plan is not fully clear where the runoff is intended to go. Also the existing contour in the northwesterly corner of the gravel surface suggests that ponding will occur and will not enter the storm drain system; this condition should be eliminated.
2. We recommend that some runoff analysis be provided to show that the existing system has the capacity to take the increase. This analysis should include the abutting property that drains into the lower catch basin; the outlet pipe to this system is larger than the pipe on site. The use of the rational method would be appropriate.
3. The plan suggests that the area around the catch basin will be riprapped; there is no detail for it.

Should you have any questions, please call.

JN1359.53/1350.10disk10/rivrstor



LEGEND:

- 1. LOT LINE
- 2. EASEMENT
- 3. UTILITY LINE
- 4. UTILITY LIGHT POLE
- 5. GAS MAIN
- 6. WATER MAIN
- 7. SEWER MAIN
- 8. SANITARY MANHOLE
- 9. SEWER MANHOLE
- 10. NEW SIDE DRIVE
- 11. NEW DRIVE
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NOTES:

OWNER: J. BELLINO AND R. GROSSO
 980 RIVERSIDE STREET
 PORTLAND, MAINE 04103
 AGENT & DESIGNER:
 THE SHERIDAN CORP.
 PO BOX 258
 FAIRFIELD, ME 04937
 CONTACT: KEN LAMOREAUX
 DIRECTOR OF ENGINEERING
 PROPERTY ID: TAX MAP #380, LOT #7
 LOT SIZE: 92AC/29877 SQ FT
 ZONING: 1-M (INDUSTRIAL)
 ALLOWABLE SETBACKS AND HEIGHT:
 FRONT: 25' OR 1' FOR EACH 1' HEIGHT
 SIDE YARD: 25' HEAVY YARD: 25' HEIGHT=4.5'
 MAX. IMPERVIOUS SURFACE RATIO=75%
 PROPOSED IMPERVIOUS RATIO=74%
 BUILDING USAGE:
 BUSINESS OCCUPANCY 2400 S.F.(EXT.)
 STORAGE OCCUPANCY 6350 S.F.(EXT.)
 PROPOSED STORAGE OCCUPANCY 2000 S.F.
 PARKING REQUIREMENTS:
 STORAGE 15 SPACES
 STORAGE 15 SPACES
 15 SPACES PROVIDED

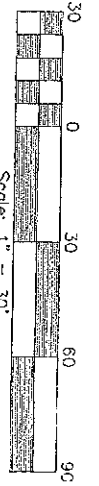
CONSTRUCTION NOTES:

- 1) ALL WORK WILL BE EXECUTED IN ACCORDANCE WITH THE LATEST PUBLISHED TECHNICAL DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE CITY OF PORTLAND, ME
- 2) ALL UTILITY WORK WILL BE EXECUTED PER THE RULES AND/OR REGULATIONS OF THE APPROPRIATE COVERING STATE AND CITY STANDARDS AUTHORITY.
- 3) ALL SUBCONTRACTORS ARE RESPONSIBLE FOR OBTAINING ANY PERMITS NECESSARY FOR THEIR SCOPE OF WORK. THEY ARE ALSO RESPONSIBLE FOR SCHEDULING AND ATTENDING ALL INSPECTIONS OF WORK AND SUPPLYING WRITTEN PROOF OF ACCEPTANCE OF WORK BY INSPECTOR.
- 4) ALL SANITARY SEWER, STORM SEWER AND WATER CROSSINGS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE STATE AND CITY STANDARDS.

AREA "A" TO BE REVEGETATED (LOAM & SEED)

AREA "B" TO BE REVEGETATED (LOAM & SEED)

NOTE:
 ALL EXISTING UTILITIES ARE SHOWN IN THEIR ORIGINAL LOCATION ON THE BEST INFORMATION AVAILABLE THIS DATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



REVISION:

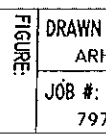
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Engineering Designs For
 J. BELLINO AND R. GROSSO
 980 RIVERSIDE STREET
 PORTLAND, MAINE

The
 MODIFIED SITE PLAN
 NEW MINI STORAGE BUILDING
 980 RIVERSIDE ST., PORTLAND, ME

DESIGN BUILDER

FAIRFIELD
 PORTLAND
 MAINE



DRAWN BY: ARH	TITLE: EXPLORATION LOCATION PLAN	DATE: 8/11/05		REVISION	DATE
	PROJECT: NEW MINI-STORAGE BUILDING	SCALE: 1" = 30'			
JOB #: 7975	CLIENT: BELLINO AND GROSSO				