

Permitting and Inspections Department Michael A. Russell, MS, Director

Reviewed for Code Com Permitting and Inspections Department Approved with Conditions

FAST TRACK ELIGIBLE PROJECTS

06/27/2018

SCHEDULE B

(Please note: The appropriate Submission Checklist and General Building Permit Application must be submitted with any Fast Track application.)

## Type of Work:

One/two family renovations within existing shell, including interior demolition and windows.

One/two family HVAC, including boiler, furnace, heating appliance, pellet or wood stove.

One/two family exterior propane tank.

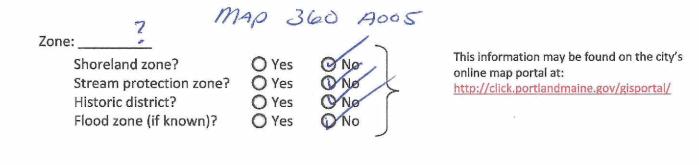
Commercial HVAC for boiler, furnace, and heating appliance.

Commercial HVAC system with structural and mechanical stamped plans.

Commercial interior demolition – no load bearing demolition.

Temporary outdoor tents and stages less than 750 square feet.

Temporary construction trailer.



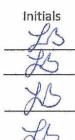
I certify that (all of the following must be initialed for this application to be accepted):

- I am not expanding the building, including footprint, floor area, or dormer.
- I am the owner or authorized owner's agent of the property listed below.
- I am aware that this application will not be reviewed for determination of the zoning legal use and the use may not be in compliance with City records.
- I assume responsibility for compliance with all applicable codes, bylaws, rules and regulations.
- I assume responsibility for scheduling inspections of the work as required, and agree that the inspector may require modifications to the work completed if it does not meet applicable codes.

Project Address: Print Name: Ance SAKE Date:

This is a legal document and your electronic initials are considered a legal signature per Maine state law.

389 Congress Street, Room 315/Portland, Maine 04101/www.portlandmaine.gov/tel: 207-874-8703/fax: 207-874-8716









Reviewed for Code Compliance Permitting and Inspections Department Approved with Conditions

Commercial Interior Alteration Checklist 06/27/2018

(Including change of use, tenant fit-up\*, amendment and/or interior demolition)

Permitting and Inspections Department

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All applications shall be submitted online via the Citizen Self Service portal. Refer to the attached documents for complete instructions. The following items shall be submitted (please check and submit all items):

- Commercial Interior Alterations Checklist (this form)
- Plot plan/site plan showing lot lines, shape and location of all structures, off-street parking areas and noting any dedicated parking for the proposed business
- Proof of Ownership or Tenancy (If tenant, provide lease or letter of permission from landlord. If owner, provide deed or purchase and sale agreement if the property was purchased within the last 6 months.)
- **Key plan showing** the location of the area(s) of renovation within the total building footprint and adjacent tenant uses
- Life Safety Plan drawn to scale, showing egress capacity, any egress windows, occupancy load, travel distances, common path distance, dead end corridor length, separation of exits, illumination and marking of exits, portables fire extinguishers, fire separations and any fire alarm or fire sprinklers systems

Existing floor plans/layouts drawn to scale, including area layout, removals, exits and stairs

**Proposed floor plans/layouts** drawn to scale, including dimensions, individual room uses and plumbing fixtures *Please note: All plans shall be drawn to a measurable scale (e.g., 1/4 inch = 1 foot) and include dimensions. Construction documents prepared and stamped by a licensed architect or engineer shall be required for certain projects in accordance with the stated <u>Policy on Requirements for Stamped or Sealed Drawings</u>.* 

Additional plans may also require the following (As each project has varying degrees of complexity and scope of work for repairs, alterations and renovations, some information may not be applicable. Please check and submit only those items that are applicable to the proposed project.):

- Code information including use classifications, occupant loads, construction type, existing/proposed fire alarm, smoke and sprinkler protection systems, egress (exits and windows), fire separation areas and fire stopping
- Demolition plans and details for each story including removal of walls and materials

Construction and framing details including structural load design criteria and/or non-structural details

- New stairs showing the direction of travel, tread and rise dimensions, handrails and guardrails
- Wall and floor/ceiling partition types including listed fire rated assemblies
- Sections and details showing all construction materials, floor to ceiling heights, and stair headroom
- New door and window schedules (include window U-factors)

Accessibility features and design details including the Certificate of Accessible Building Compliance

- Project specifications manual
- A copy of the State Fire Marshal construction and barrier free permits. For these requirements visit: http://www.maine.gov/dps/fmo/plans/about\_permits.html

**Food service occupancies** require additional plans and details for review, such as occupant load per square foot area for tables and chairs, number of fixed bar, banquet and booth seating, equipment and plumbing fixture plans with schedule, hood location and interior finish materials. Accessible seating and counter details shall be included, please refer to this site: <u>http://www.alphaonenow.org/userfiles/resto\_access\_sheet.pdf</u>

Separate permits are required for internal and external plumbing, electrical installations, heating, ventilating and air conditioning (HVAC) systems, appliances and commercial kitchen hoods.

\*Tenant fit-up: construction necessary within the demising walls of a leased space, including partitions, finishes, fixtures, lighting, power, equipment, etc. making the interior space suitable for the intended occupation.

389 Congress Street/Portland, Maine 04101/ http://portlandmaine.gov /tel: (207) 874-8703/fax: (207) 874-8716

Portland, Maine	Yes. Life's good here.					
r or carrier marine	Reviewed for Code Compliance					
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	Russell, MS, Director 06/27/2018					
Certificate of Accessible Building Compliance						
All facilities for the use of a public entity shall be readily accessible by individuals with disabilities.						
Project Name: ORKin	Project Address: 960 Riverside, Portind, Me					
Classification: O Title II (State/Local Government)	O Title III (Public Accommodation/Commercial Facility)					
O New Building						
Americans with Disabilities Act (ADA)						
🔲 Maine Human Rights Act (MHRA)						
Barrier Free Certification (\$75,000+ scope of v State Fire Marshal Plan Review Approval	vork)					
Alteration/Addition						
Existing Building Completion date:						
Original Building:						
Addition(s)/Alteration(s):						
Americans with Disabilities Act (ADA)						
Path of Travel O Yes O No						
Maine Human Rights Act (MHRA)						
Exceeds 75% of existing building replacement	cost					
Barrier Free Certification (\$75,000+ scope of v	vork)					
State Fire Marshal Plan Review Approval						
O Occupancy Change/Existing Facility						
🔲 New Ownership – Readily Achievable Barrier Removal:						
Residential Americans with Disabilities Act (ADA)						
Fair Housing Act (4+ units, first occupancy)						
Maine Human Rights Act (MHRA)						
Covered Multifamily Dwelling (4+ units)						
Public Housing (20+ units)						
Uniform Federal Accessibility Standards (UFAS)						
🔄 None, explain:						
Contact Information:						
Design Professional:	Owner:					
	Rame Baker					
Signature	Signature (This is a legal document and your electronic signature is considered a legal					
(This is a legal document and your electronic signature is considered a legal signature per Maine state law.)	(This is a legal document and your electronic signature is considered a legal signature per Maine state law.)					
Name: JASON PoHer	Paul Davis Zalala					

	Auburn, Me
Phone:	207-754-854

Name:	Paul	DAVIS	Resta	oration
Address:	390	Riesin	mpson	r st.
-		-land,	ne	
Phone:	207	- 446.	- 4406	

389 Congress Street/Portland, Maine 04101/ http://portlandmaine.gov /tel: (207) 874-8703/fax: (207) 874-8716

3/18/2018

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