

## DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND BUILDING PERMIT



This is to certify that C PAUL LABRECOUE

Located At 1350 RIVERSIDE ST

Job ID: 2012-03-3588-ALTCOMM

CBL: 357- C-005-001

has permission to Modify/upgrade existing wireless communication tower and site equipment, 3 additional antennas/equip provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED. A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

**Fire Prevention Officer** 

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY PENALTY FOR REMOVING THIS CARD

#### City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-03-3588-ALTCOMM	Date Applied: 3/21/2012		CBL: 357- C-005-001			
Location of Construction: 1350 RIVERSIDE ST	Owner Name: C. PAUL LABRECQUE		Owner Address: 55 BROOK RD FALMOUTH, ME (	94105		Phone:
Business Name:	Contractor Name: Nextink Global Services		Contractor Addre 800 MARSHALL P CONNECTICUT 0	HELPS RD, WIN	DSOR	Phone: (860) 640-4834
Lessee/Buyer's Name: AT&T Mobility- Past Use:	Phone: Peter Coore -978-39 Proposed Use:	9-8600	Permit Type: BLDG Cost of Work:			Zone: I-M CEO District:
Existing Communications Tower Proposed Project Description Modification/upgrade of wireless s		nd eless h 3 and	Signature: ACM Pedestrian Activit	Approved Denied N/A 	50 A.D.)	Inspection: Use Group: $U$ Type: $MA$ DB c - 2009 Signature: MB
Permit Taken By: Brad			L	Zoning App	roval	
<ol> <li>This permit application d Applicant(s) from meetin Federal Rules.</li> <li>Building Permits do not i septic or electrial work.</li> <li>Building permits are void within six (6) months of t False informatin may inv permit and stop all work.</li> </ol>	nclude plumbing, I if work is not started the date of issuance. alidate a building	Shorelan Wetland Flood Zc Subdivis	s prie tion See Approved Min _ Men 3/27/R	Zoning Appea Variance Miscellaneous Conditional U Interpretation Approved Denied Date:	s	istoric Preservation Not in Dist or Landmark Does not Require Review Requires Review Approved Approved Denied ate:

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE (	DF WORK, TITLE	DATE	PHONE

## 7-11-12 DWM Paul 653-2081 Final OK

### BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 874-8693 (ONLY) or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months. If the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.

**Final Inspection** 

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



Strengthening a Remarkable City, Building a Community for Life . www.portlandmaine.gov

Acting Director of Planning and Urban Development Gregory Mitchell

Job ID: 2012-03-3588-ALTCOMM

Located At: 1350 RIVERSIDE ST

CBL: 357- C-005-001

### **Conditions of Approval:**

#### **Building**

- 1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2. Equipment shall be installed in compliance with the manufacturer's specifications and the UL listing.
- 3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

# General Building Permit Application

THE SURCASE

If you or the property owner owes real estate or personal property taxes or user charges on any roperty within the City, payment arrangements must be made before permits of any kind are accepted.

		LIVI
Location/Address of Construction: /35	TO RIVERSIDE STREET	Existin Tower
Total Square Footage of Proposed Structure/A	rea N/A Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 357 C 005	Applicant * <u>must</u> be owner, <u>Lesse</u> e or Buye Name AJ+J MUBILITY Address 26 NEXLISK GUBAL BOU MANSHITLE PHENTERS City, State & Zip WINDUDE CT 060	RETER COOKE 185 978-399-8600
Lessee/DBA (If Applicable) AT+T Musiciry	Owner (if different from Applicant) Name 1442 + AUCE LASCECOVE Address 55 BROIK RD City, State & Zip FALMOST ME 04105	Cost Of         Work: \$       20000         C of O Fee: \$         Total Fee: \$       222
WIATION         Current legal use (i.e. single family)         If vacant, what was the previous use?         Proposed Specific use:         WIRELETS         Is property part of a subdivision?         Project description:         Mown = 1 CATIONS         STTE         Is property part of a subdivision?         Mown = 1 CATIONS	International       Number of Residenti         Image: Communication       If yes, please name         If yes, please name       If yes, please name         AND       UPFEADE       Offer Existing F	WINELESS COMMUNICAT
Contractor's name: <u>NEXLINK</u> GLA Address: <u>BO MALCHALL HE</u> City, State & Zip <u>WINDSOR</u> CT Who should we contact when the permit is read Mailing address: <u>POB 894</u> WOL	145 RD 06095 1 14: PETER COORE 1	BR111 PANL Telephone: <u>860-640-4834</u> Telephone: <u>978-398-8600</u>

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City-fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <u>www.portlandmaine.gov</u>, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

	1 CAA
Signature:	G ARE APPLICANT Date REGENSED
	This is not a permit; you may not commence ANY work until the permit is issued
Revised 01-20-10	Dept. of Building Inspections City of Portland Maine

357-6-5



Nexlink Global Services 800 Marshall Phelps Rd, #2A Windsor, CT 06095 (860) 640-4833



Jason Cheronis 520 S. Main Street, Suite 2531 Akron, OH 44311 (330) 572-2137 jcheronis@gpdgroup.com

GPD# 2012801.10 April 24, 2012

#### **RIGOROUS STRUCTURAL ANALYSIS REPORT**

AT&T DESIGNATION:	Site USID: Site FA: Site Name: AT&T Project:	4340 10096382 North Portland Mod Lte W3 012312
ANALYSIS CRITERIA:	Codes:	TIA-222-G, 2009 IBC & ASCE 7-05 1(10-mph 3-second gust with 0" ice 4(1-mph 3-second gust with 1" ice
SITE DATA:		13:40 Riverside Street, Portland, ME 04103, Cumberland County Latitude 43° 42' 59.831" N, Longitude 70° 18' 18.936" W Market: New England 17'7.5' PiROD Monopole

Mr. Mark Roberts,

GPD is pleased to submit this Structural Analysis Report to determine the structural integrity of the aforementioned tower. The purpose of the analysis is to determine the suitability of the tower with the existing and proposed loading configuration detailed in the analysis report.

#### **Analysis Results**

Tower Stress Level with Proposed Equipment:	82.1%	Pass
Foundation Ratio with Proposed Equipment:	58.1%	Pass

We at GPD appreciate the opportunity of providing our continuing professional services to you and NexLink. If you have any questions or need further assistance on this or any other projects please do not hesitate to call.

E OF MAIL Respectfully submitted S John RECEIVED APR 26 2012 N 1 Kabek John Kabak, P.E. 10,08Dept. of Building Inspections Maine #: 12708 STONAL EN SESSIONAL VIA



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**Receipts Details:** 

**Tender Information:** Check , Check Number: 1574 **Tender Amount:** 220.00

Receipt Header:

Cashier Id: bsaucier Receipt Date: 3/26/2012 Receipt Number: 42168

Receipt Details:

Referance ID:	5801	Fee Type:	BP-Constr			
Receipt Number:	0	Payment Date:				
Transaction Amount:	220.00	Charge Amount:	220.00			
	2-03-3588-ALTCOMM - Modification/upgrade of	wireless site				
Additional Comments: 1350 Riverside						

Thank You for your Payment!

## 1350 Riverside St



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### Administrative Authorization Application

Portland, Maine Planning and Urban Development Department, Planning Division

#### PROJECT NAME: AT&T MOBILITY WIRELESS INSTALLATION LTE UPGRADE 50

PROJECT ADDRESS: 1340 Riverside Street

CHART/BLOCK

045

\$50.00 **APPLICATION FEE:** (\$50.00)

#### PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Installation of 3 additional antennas, and addition of associated equipment to existing monopole facility

#### **CONTACT INFORMATION:**

#### **OWNER/APPLICANT**

#### **CONSULTANT/AGENT**

AT&T Mobility	Name:	Peter Cooke
c/o Nexlink Global Services	Address:	POB 874
800 Marshall Phelps Rd		Wolfeboro, NH 03894
Windsor, CT 06095	Work #:	978-399-8600
860-420-8562	Cell #:	978-399-8600
	Fax #:	888-
	Home #:	
Mark Roberts <robertsm@nexdinkgs.com></robertsm@nexdinkgs.com>	E-mail:	pcooke@wellmanassociates.net
	c/o Nexlink Global Services 800 Marshall Phelps Rd Windsor, CT 06095 860-420-8562	c/o Nexlink Global ServicesAddress:800 Marshall Phelps RdWork #:Windsor, CT 06095Work #:860-420-8562Cell #:Fax #:Home #:

#### Criteria for an Administrative Authorization:

(see section 14-523(4) on pg .2 of this appl.)

a)	Is the proposal within existing structures?	Yes			
b)	Are there any new buildings, additions, or demolitions?	No			
c)	Is the footprint increase less than 500 sq. ft.?	Yes			
d)	Are there any new curb cuts, driveways or parking areas?	No			
e)	Are the curbs and sidewalks in sound condition?	N/A			
f)	Do the curbs and sidewalks comply with ADA?	N/A			
g)	Is there any additional parking?	No			
h)	Is there an increase in traffic?	No			
i)	Are there any known stormwater problems?	No			
j)	Does sufficient property screening exist?	Yes			
k)	Are there adequate utilities?	Yes			
I)	Are there any zoning violations?	No			
m)	Is an emergency generator located to minimize noise?	N/A			
n)	Are there any noise, vibration, glare, fumes or other impacts?	No RECEIVED			
Sig	Signature of Applicant: Date:				
	Agent for Applicant 2/29/	12 FEB 2 9 2012			

City of Portland Planning Division

**Applicant's Assessment Planning Division** 

Y(yes), N(no), N/A

Y(yes), N(no), N/A

obtain all required City Permits, including building permits 4-8703)) prior to the start of any construction.
obtain all required City Permits, including building permits 4-8703)) prior to the start of any construction.
Date
of an Administrative Authorization to exempt a developmen from other required approvals or permits, nor is it an k with the Building Inspections Office, Room 315, City Hal such as a building permit, will be required.
į

#### 14-523 (SITE PLAN ORDINANCE) RE: Administrative Authorization

#### Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

- 1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
- 2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
- The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
- 4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
- 5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
- 6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
- 7. There are no evident deficiencies in existing screening from adjoining properties; and
- 8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
- 9. There are no current zoning violations;
- 10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
- 11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.
- a. Filing the Application. An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. The application must be accompanied by an application fee of \$50.
- b. Review. Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

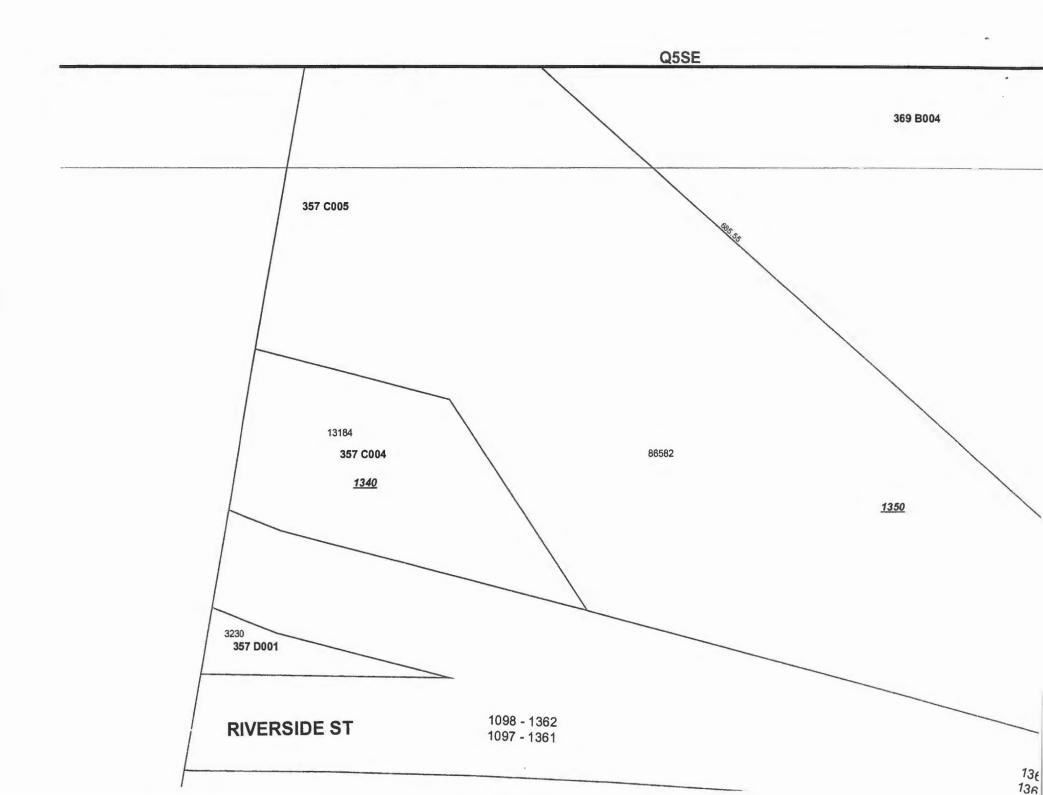
Criteria for an Adminstrative Authorizations: (See Section 14-523 (4) on page 2 of this application) Applicant's Assessment Y(yes), N(no), N/A Planning Division Use Only

Yes	Yes, on antenna and existing shelter
No	No
Yes	Yes
No	No
n/a	n/a
n/a	n/a
No	No
No	No
No	No
Yes	Yes
Yes	Yes
No	No
n/a	n/a
No	No
	NoYesNon/an/aNoNoNoYesYesNon/a

The Administrative Authorization for 1336 Riverside Street was approved by Barbara Barhydt, Development Review Services Manager on March 8, 2012 with the following Standard Condition of Approval listed below:

1. <u>Standard Condition of Approval</u>: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.

Barbara Sarhydt 3/8/12



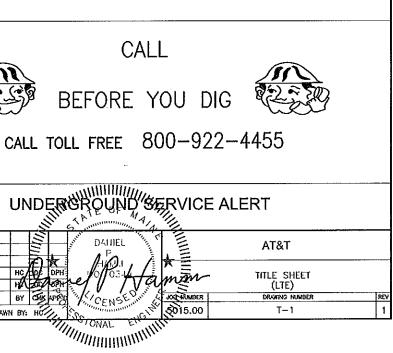
#### **PROJECT INFORMATION** at&t SCOPE OF WORK: UNMANNED TELECOMMUNICATIONS FACILITY MODIFICATIONS 1340 RIVERSIDE STREET SITE ADDRESS: PORTLAND, ME 04103 LATITUDE: 43.716855 N 43' 43' 00.68" N LONGITUDE: -70.305200 W ~70' 18' 18.72" W JURISDICTION: NATIONAL, STATE & LOCAL CODES OR ORDINANCES SITE NUMBER: ME5015 CURRENT USE: TELECOMMUNICATIONS FACILITY TELECOMMUNICATIONS FACILITY PROPOSED USE: SITE NAME: NORTH PORTLAND **GENERAL NOTES DRAWING INDEX** REV VICINITY MAP START AT 580 MAIN ST. BOLTON GOING TOWARD SUGAR RD GO 0.4 MI, TURN LEFT TO TAKE RAMP T-1 TITLE SHEET 1 ONTO 1-495 N GO 50.9 MI, MERGE ONTO 1-95 N (PORTIONS TOLL) GO 65.2 MI, TAKE EXIT #48/RIVERSIDE ST./LARRABEE RD. (ME-25) GO 0.5 MI, TURN RIGHT ON RIVERSIDE ST GO 2.9 MI, ARRIVE AT 1340 RIVERSIDE ST, PORTLAND, ON THE LEFT. 1. THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF AT&T. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. **GN-1 GENERAL NOTES** 1 ALLOWED. **COMPOUND & SHELTER PLAN** 1 A-1 2. ANTENNA LAYOUT AND ELEVATION A-2 1 GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS. DETAILS 1 A-3 З. A PLUMBING DIAGRAM & GROUNDING DETAILS G-1 1 TONECREST DR. LESTER DR. EARLA PO PROJECT SITE LESTER DR. Silve BALLPARK DR. CALL D411IEL 1 SITE NUMBER: ME5015 at&t Hudson SITE NAME: NORTH PORTLAND 1 02/24/12 ISSUED FOR CONSTRUCTION man 1340 RIVERSIDE STREET 0 02/06/12 ISSUED FOR REVIEW a UniTek GLOBAL SERVICES company PORTLAND, ME 04103 JOE WUNDER 1400 OSGOOD SUBSET 800 MARSHALL PHELPS ROAD UNIT#: 2A WINDSOR, CT 06095 NO. DATE REVISIONS 8Y 550 COCHITUATE ROAD CENS EULDERG 20 NORTH, SUITE 2-101 N. ANDOYER, MA 01845 TRL: (978) 557-5553 FAX: (978) 336-5564 CUMBERLAND COUNTY SO15.00 FRMINGHAM, MA 01701 SCALE: AS SHOWN DESIGNED BY: DC DRAWN BY: HC



DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY

THE FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE AT&T REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



#### **GROUNDING NOTES**

#### **GENERAL NOTES**

1. THE SUBCONTRACTOR SHALL REVIEW AND INSPECT THE EXISTING FACILITY GROUNDING SYSTEM AND LIGHTNING PROTECTION SYSTEM (AS DESIGNED AND INSTALLED) FOR STRICT COMPLIANCE WITH THE NEC (AS ADOPTED BY THE AHJ), THE SITE-SPECIFIC (UL, LPI, OR NFPA) LIGHTING PROTECTION CODE, AND GENERAL COMPLIANCE WITH TELCORDIA AND TIA GROUNDING STANDARDS. THE SUBCONTRACTOR SHALL REPORT ANY VIOLATIONS OR ADVERSE FINDINGS TO THE CONTRACTOR FOR RESOLUTION.

2. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE. BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.

3. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR NEW GROUND ELECTRODE SYSTEMS, THE SUBCONTRACTOR SHALL FURNISH AND INSTALL. SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.

4. NETAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.

5. EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS 2 AWG STRANDED COPPER FOR OUTDOOR BTS.

6, EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.

7. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.

8. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.

9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS

10. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.

11. METAL CONDUIT SHALL BE MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH 6 AWS COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.

Hudson

Dasion Groupped

1600 OSGOOD STREET BURDING 20 NORTH, SUITE 2-101 N. ANDOVER, MA 01845

12. ALL NEW STRUCTURES WITH A FOUNDATION AND/OR FOOTIING HAVING 20 FT. OR MORE 1/2" OR GREATER ELECTRICALLY CONDUCTIVE REINFORCING STEEL MUST HAVE IT BONDED TO THE GROUND RING USING AN EXOTHERMIC WELD CONNECTION USING #2 AWG SOLID TINNED COPPER GROUND WIRE, PER NEC 250.50

> C TEL: (978) 557-5553 FAX: (978) 336-5586

GLOBAL SERVICES a UniTek GLOBAL SERVICES company 800 MARSHALL PHELPS ROAD UNIT#: 2A WINDSOR, CT 06095

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY: CONTRACTOR - NEXLINK

SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION) OWNER - AT&T MOBILITY

PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.

3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS

DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO SHOW OUTLINE ONLY.

5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.

"KITTING LIST" SUPPLIED WITH THE BID PACKAGE IDENTIFIES ITEMS THAT WILL BE SUPPLIED BY CONTRACTOR. ITEMS NOT INCLUDED IN THE BILL OF MATERIALS AND KITTING LIST SHALL BE SUPPLIED BY THE SUBCONTRACTOR.

7. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.

IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE CONTRACTOR.

SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. SUBCONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR.

10. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS. PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF

11. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION

12. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.

13. ALL CONCRETE REPAIR WORK SHALL BE DONE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 301.

14. ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL BE AIR-ENTRAINED AND SHALL HAVE 4000 PSI STRENGTH AT 28 DAYS. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE

15. ALL STRUCTURAL STEEL WORK SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC SPECIFICATIONS. ALL STRUCTURAL STEEL SHALL BE ASTM A36 (Fy = 36 kst) UNLESS OTHERWISE NOTED. PIPES SHALL BE ASTM A53 TYPE E (Fy = 36 ksi). ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED. TOUCHUP ALL SCRATCHES AND OTHER MARKS IN THE FIELD AFTER STEEL IS ERECTED USING A COMPATIBLE ZINC RICH PAINT

16. CONSTRUCTION SHALL COMPLY WITH UMTS SPECIFICATIONS AND "GENERAL CONSTRUCTION SERVICES FOR CONSTRUCTION OF AT&T MOBILITY

17. SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.

18. THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR. ALSO, WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT

19. SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RE EXPOSURE MONITORS ARE ADVISED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.

20. APPLICABLE BUILDING CODES:

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE: IBC 2009 ELECTRICAL CODE: REFER TO ELECTRICAL DRAWINGS LIGHTENING CODE: REFER TO ELECTRICAL DRAWINGS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE;

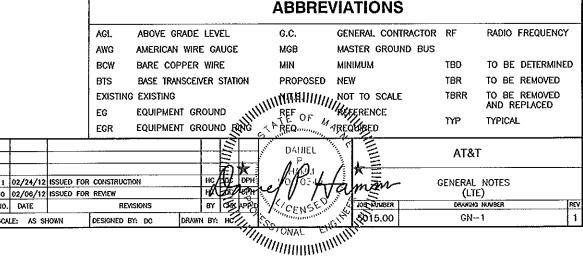
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)

MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION;

TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL

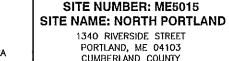
ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES; REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC ELECTRICAL STANDARDS.

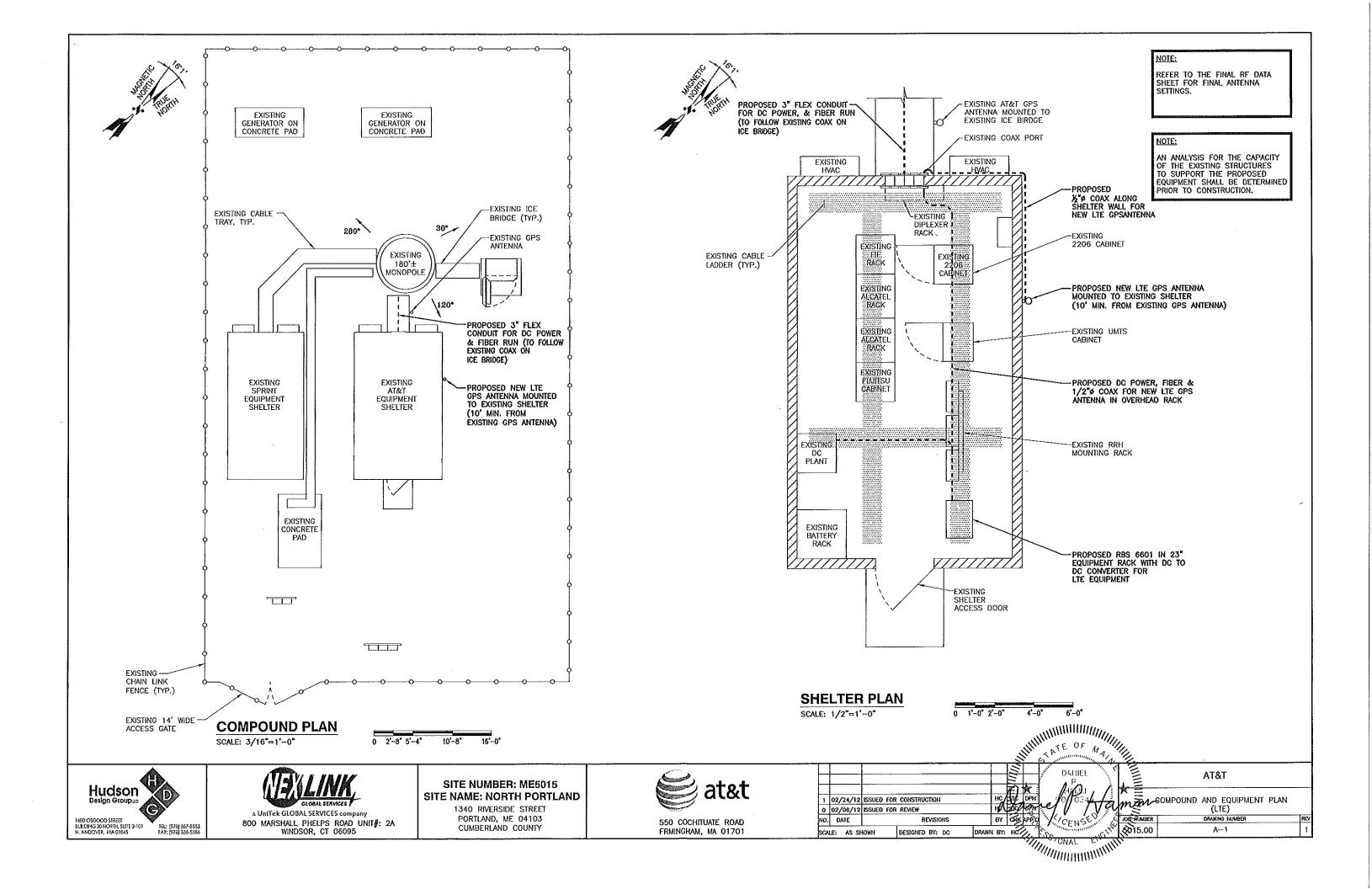
FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.



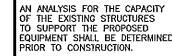
0 02/06/12 ISSUED FOR REVIEW NO. DATE 550 COCHITUATE ROAD SCALE: AS SHOWN

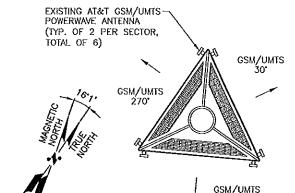
FRMINGHAM, MA 01701

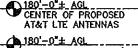


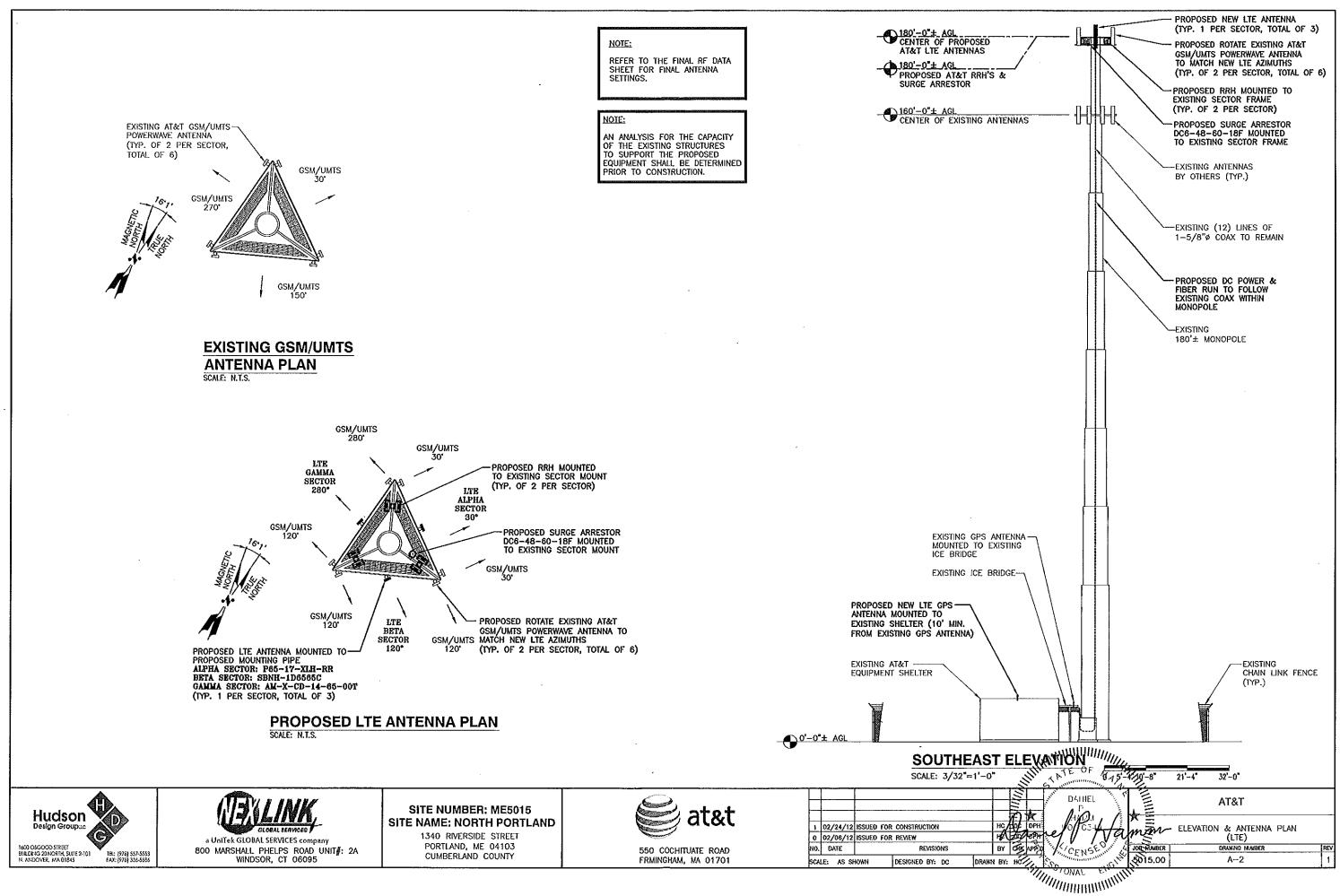


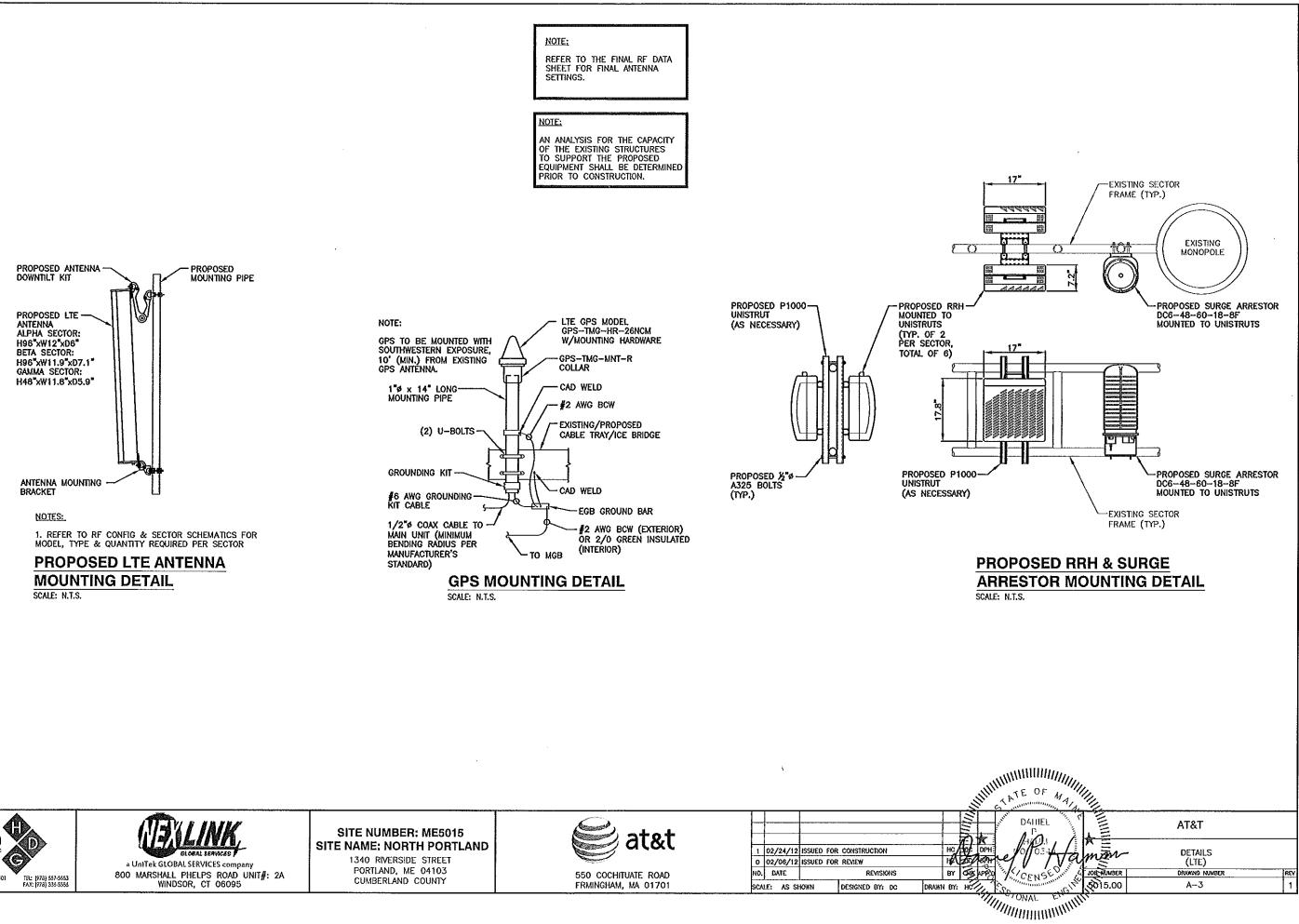
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

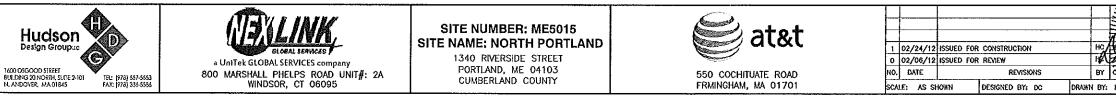


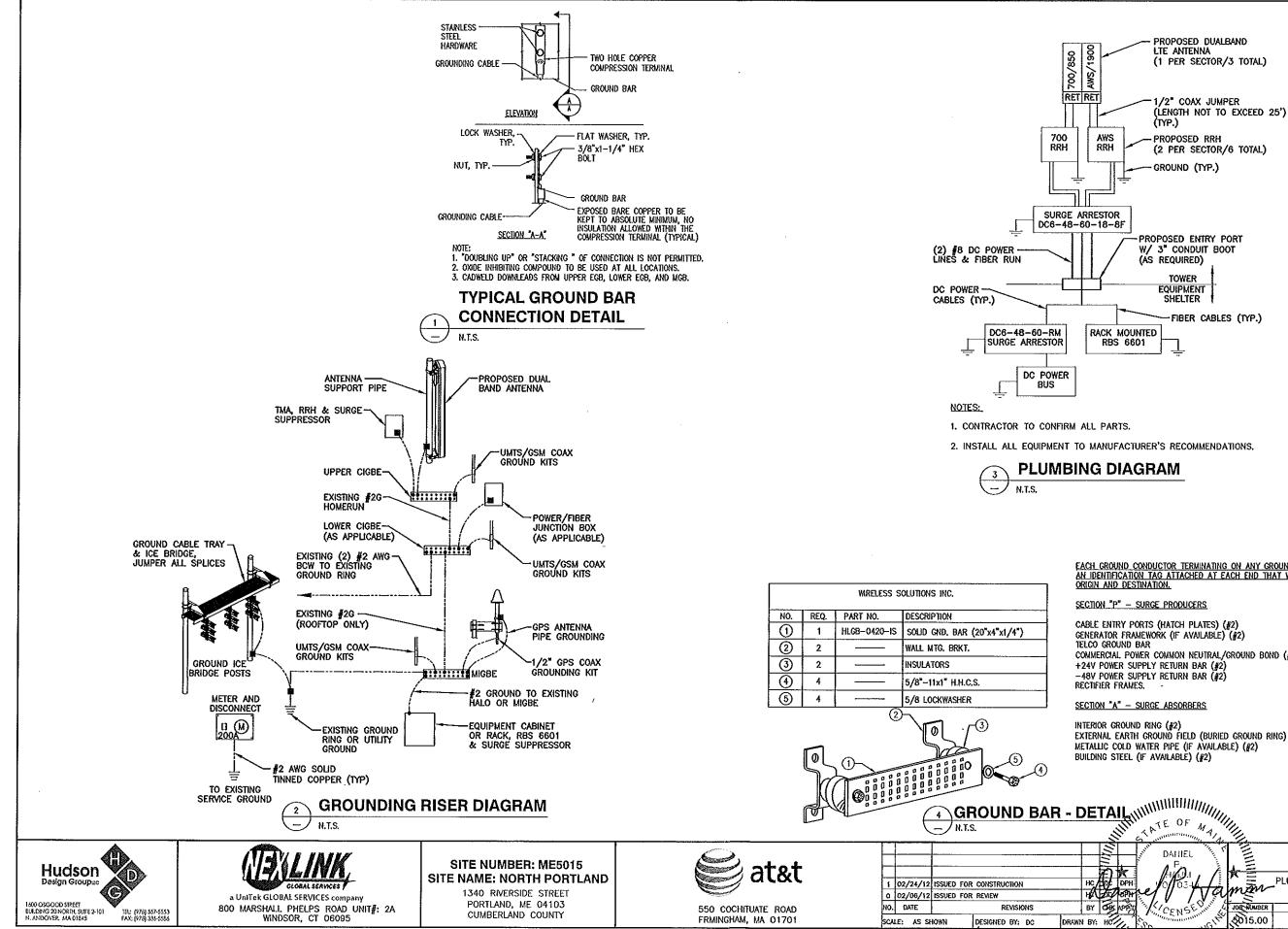












CROUND CONDUCTOR TERMINATING ENTIFICATION TAG ATTACHED AT E/ L AND DESTINATION.			
<u> "P" - Surge producers</u>			
ENTRY PORTS (HATCH PLATES) (; RATOR FRAMEWORK (IF AVAILABLE) GROUND BAR ERCIAL POWER COMMON NEUTRAL/ POWER SUPPLY RETURN BAR (#2) POWER SUPPLY RETURN BAR (#2) FIER FRAMES.	(#2)	10 (#2)	
<u>w "a" – surge absorbers</u>			
OR GROUND RING (#2) NAL EARTH GROUND FIELD (BURIED LIC COLD WATER PIPE (IF AVAILAB NG STEEL (IF AVAILABLE) (#2)	LE) (#2)	NG) (#2)	
DAHIEL T		AT&T	
FOR HOUL	★≣	PLUMBING DIAGRAM & DETAILS	
tanne 10 103 4 1a	man	(LTE)	
CENSE CENSE	JOE HUMBER	DRAVING NUMBER	8EV
HOLL FURTHER	\$015.00	G-1	1
HOLLON ONAL ENGINE			