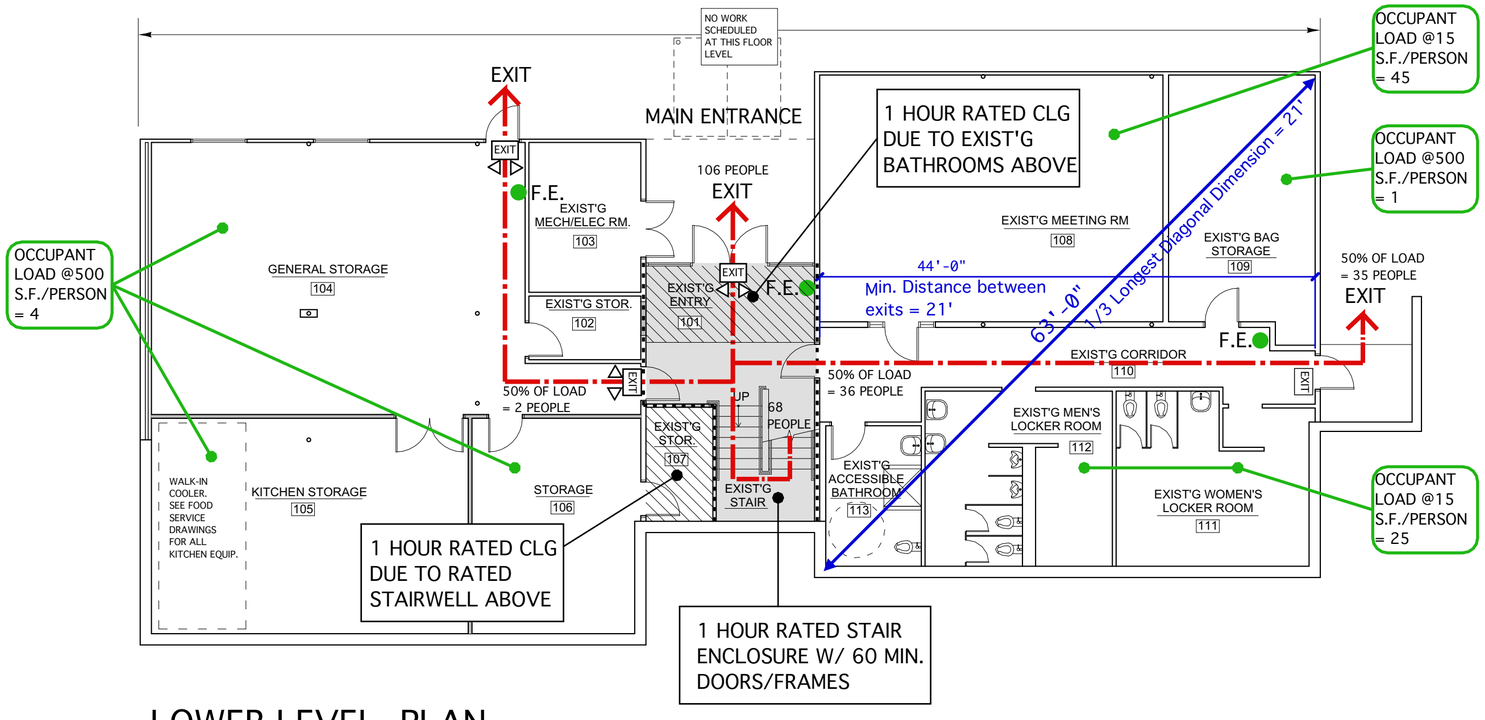
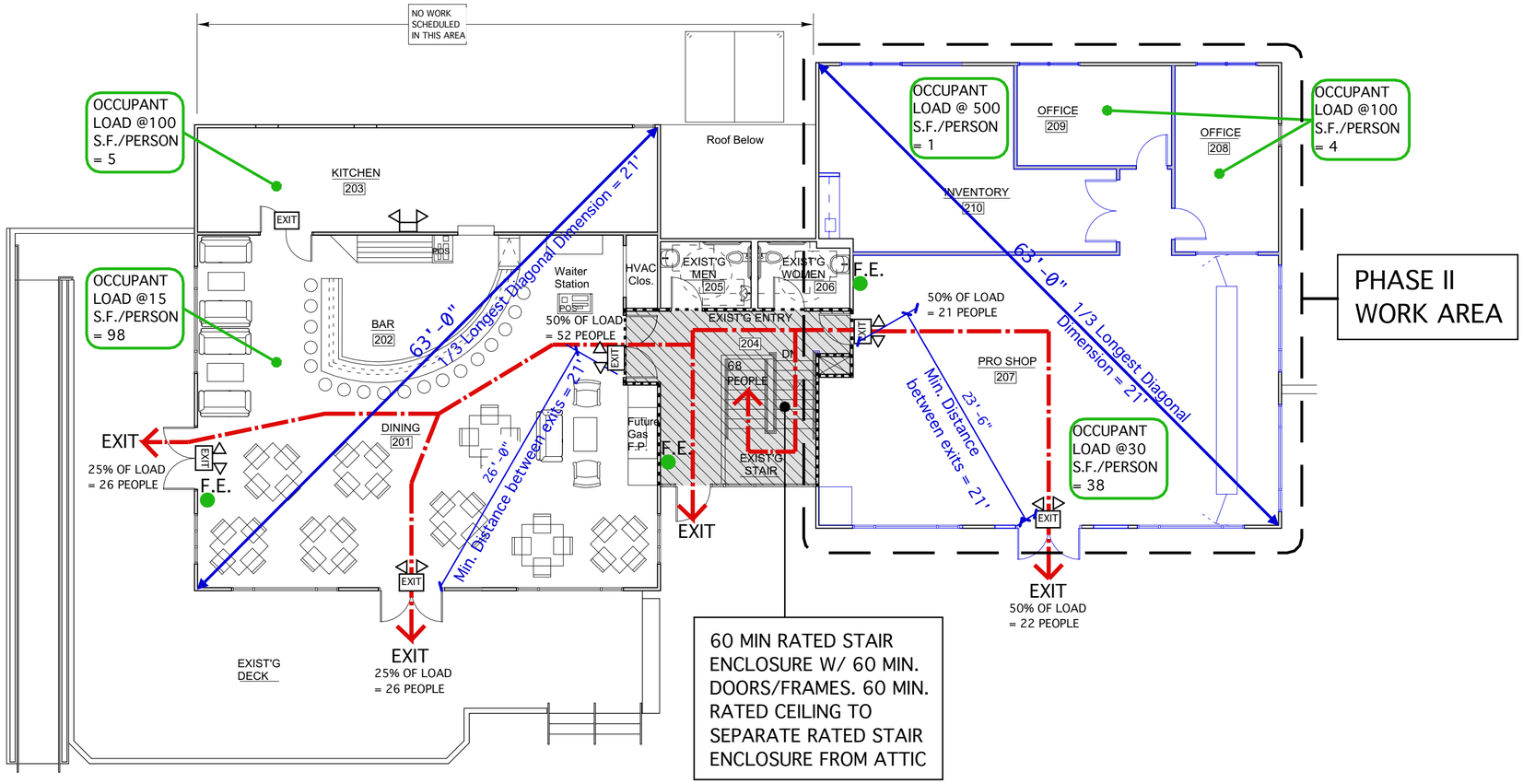


LOWER LEVEL PLAN

Not To Scale



UPPER LEVEL PLAN

Not To Scale

5 Milk Street
Portland, Maine 04101
207 774 4811
www.wintonscott.com

Structural Engineering:
BECKER STRUCTURAL ENGINEERS, INC.

HVAC & plumbing Engineering:
MECHANICAL SYSTEMS ENGINEERS

Electrical Engineering:
SWIFT CURRENT ENGINEERING

Riverside Golf Course -
North Course
Club House
Renovations
PHASE II

Riverside Street
Portland, Maine

REVISIONS

PERMIT DOCUMENTS
JANUARY 16, 2015

Life Safety Plan

Scale: As Noted

A 001

2009 NFPA CODE SUMMARY

General Building Description: The existing Riverside Golf Course Club House is a two story wood framed structure (Type V (000)) that is built into a hillside with at grade exits at both the first and second floor.

Renovation Scenario: The building renovation is mainly focused on alterations to the existing restaurant and kitchen on the second floor and reconfiguring an existing general storage area to create separate food storage space for the restaurant at the first floor level. Additional work includes upgrades to the existing stair and its enclosure to meet fire egress requirements, as well as electrical and HVAC upgrades.

Square Footage:
First Floor: 4,308 S.F.
Second Floor: 4,308 S.F.
TOTAL AREA: 8,616 S.F.

Occupancy Classification: Mixed Use (Not separated) consisting of: Assembly (Restaurant, Meeting Room, Lockers), Mercantile (Pro-Shop), Storage (ordinary hazard).

Sprinkler & Fire Alarm: Building will be equipped with an approved automatic, supervised sprinkler system per NFPA 13 and fire alarm system.

Construction Type: Type V (000)– All construction consists of any material permitted by code.

Height & Area Requirements: Per Table 12.1.6 – Construction Type Limitations:
Assembly Use, Type V(000) can be up to two stories in height if Occupant Load is less than 1,000 & building is sprinkled.
REQUIREMENT MET.

Occupancy Loads/
Egress Capacity: Load Factors used for each space, total calculated load, and Distribution of load to exit doors is shown on the Life Safety Plans. All exit doors provide sufficient egress width (using .22" per person) for calculated loads and 50% of the assembly use spaces (Restaurant, Meeting Room, Locker Rooms) exit through the central first floor entry that is considered the Main Entrance as required by Section 12.2.3.6.1. **REQUIREMENT MET.**

The existing exit stair has a load of 68 people. Using .3"/person, the required egress width is 20.4" which is less than the minimum Clear width of 44". Existing Stair has a clear width greater than 44". **REQUIREMENT MET.**

Travel Distance Limits: Common Path Limit: 75' (sprinklered-Table A.7.6)
Dead-end Corridor: 20' (sprinklered--Table A.7.6))
Travel Distance: 250' (sprinklered--Table A.7.6))
REQUIREMENT MET.

Remoteness of Exits: Per 7.5.3.1 Remoteness of exits in portions of the building required to have two exits shall be a minimum of 1/3 the longest diagonal of the area or building apart (if sprinkled). Drawing indicates Max. diagonal and remoteness of exits at areas requiring two exits.
REQUIREMENT MET

Required Fire Resistance Rating: Per 12.2.2.3, Stairs shall comply with section 7.2.2 which states that all interior stairs serving as an exit shall comply with 7.1.3.2. 7.1.3.2.1 requires a 1 hour rating for stairs connecting three or fewer stories.

Per 7.2.2.5.1.3, In existing buildings where a two story exit enclosure connects the story of exit discharge with an adjacent story, the exit shall be permitted to be enclosed only on the story of exit discharge provided that not less than 50% of the number and capacity of exits on the story of exit discharge are independent of such enclosures.
REQUIREMENTS MET

Special Conditions: Per A7.1.3.2.1(8), doors for convenience that are unrelated to egress can only open into an exit stair enclosure if they serve a normally occupied space. At the upper level exit stair there are two existing bathrooms that open into the stair. It is proposed to Change out the existing doors with 1 hour rated doors and to upgrade the existing bathroom partitions to achieve a 1 hour rating.

2009 IBC/IEBC CODE SUMMARY

General Building Description: The existing Riverside Golf Course Club House is a two story wood framed structure (Type 5B) that is built into a hillside with at grade exits at both the first and second floor.

Renovation Scenario: The building renovation is mainly focused on alterations to the existing restaurant and kitchen on the second floor and reconfiguring an existing general storage area to create separate food storage space for the restaurant at the first floor level. Additional work includes upgrades to the existing stair and its enclosure to meet fire egress requirements, as well as electrical and HVAC upgrades.

Square Footage:
First Floor: 4,308 S.F.
Second Floor: 4,308 S.F.
TOTAL AREA: 8,616 S.F.

Occupancy Classification: Mixed Use (Not separated) consisting of: Assembly (A2) – Restaurant; Assembly (A3) -Meeting Room, Lockers; Mercantile (M) - Pro-Shop; Storage (S2).

Sprinkler & Fire Alarm: Building will be equipped with an approved automatic, supervised sprinkler system per NFPA 13 and fire alarm system.

Construction Type: Type 5B - Construction consists of any material permitted by code.

Height & Area Requirements: Per Table 503 – Construction Type Limitations:
Assembly Use, Type 5B can be up to two stories in height and 5,500 S.F. per floor (Sprinkled) **REQUIREMENT MET.**

Occupancy Loads/
Egress Capacity: Load Factors used for each space, total calculated load, and Distribution of load to exit doors is shown on the Life Safety Plans. The load factors used are per NFPA which is more restrictive in all cases than the load factors used by IBC. All exit doors provide sufficient egress width (using .2" per person) for calculated loads. The designated main entrance to the building has sufficient capacity to take 50% of the occupant load to meet NFPA Section 12.2.3.6.1 but because the total occupant load is under 300, the similar provision of IBC under section 1028.2 does not apply.
REQUIREMENT MET.

The existing exit stair has a load of 68 people. Using .3"/person, the required egress width is 20.4" which is less than the minimum Clear width of 44" (Section 1009.1). Existing Stair has a clear width greater than 44". **REQUIREMENT MET.**

Travel Distance Limits: Common Path Limit: 75' (Section 1014.3)
Dead-end Corridor: 20' (Section 1018.4)
Travel Distance: 250' (sprinklered--Table 1016.1)
REQUIREMENT MET.

Remoteness of Exits: Per 1015.2.1, exception (2), Remoteness of exits in portions of the building required to have two exits shall be a minimum of 1/3 the longest diagonal of the area or building apart (if sprinkled). Drawing indicates Max. diagonal and remoteness of exits at areas requiring two exits. **REQUIREMENT MET**

IEBC –Renovation Requirements: Per Section 405.1, work is considered to be a Level 3 Alteration if more than 50% of the building is being renovated. Level 3 Alterations must comply with sections 6,7, & 8.

Per Section 602.4, all areas of new work in the renovation must meet the requirements of the IBC. **REQUIREMENT MET.**

Required Fire Resistance Rating: Per Section 703.2.1, all existing vertical openings connecting two or more floors shall be enclosed w/ rated assemblies not less than 1 hour rated. However, Exception (4) states that the minimum enclosure rating for Assembly uses shall be 30 Min.
REQUIREMENTS MET

Special Conditions: Per 1022.3, doors in exit enclosures shall be limited to those necessary for exit access to the enclosure from a normally occupied space. At the upper level exit stair there are two existing bathrooms that open into the stair. It is proposed to Change out the existing doors with 1 hour rated doors and to upgrade the existing bathroom partitions to achieve a 1 hour rating.

THIS IS THE WRITTEN CODE SUMMARY COMPLETED FOR THE ALREADY PERMITED AND COMPLETED PHASE 1.

PHASE 1 RENOVATIONS ADDRESSED LIFE SAFETY AND BUILDING CODE REQUIREMENTS FOR THE ENTIRE BUILDING.

PHASE II INVOLVES MODIFYING THE LAYOUT OF THE EXISTING PRO SHOP AND ASSOCIATED OFFICES AND STORAGE ROOM TO BETTER SERVE CURRENT NEEDS.

PHASE II RENOVATIONS DO NOT RESULT IN A CHANGE OF USE OR CHANGE ANY PARAMETERS OF THE PREVIOUSLY PERMITED EMERGENCY EGRESS COMPONENTS

CITY OF PORTLAND, MAINE
RESURGAM

Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/13/15

5 Milk Street
Portland, Maine 04101
207 774 4811
www.wintonscott.com

LICENSED ARCHITECT
STEPHEN W. WEATHERHEAD
No. 1948
STATE OF MAINE

HVAC & plumbing Engineering:
MECHANICAL SYSTEMS ENGINEERS

Electrical Engineering:
SWIFT CURRENT ENGINEERING

Riverside Golf Course - North Course Club House Renovations **PHASE II**

Riverside Street
Portland, Maine

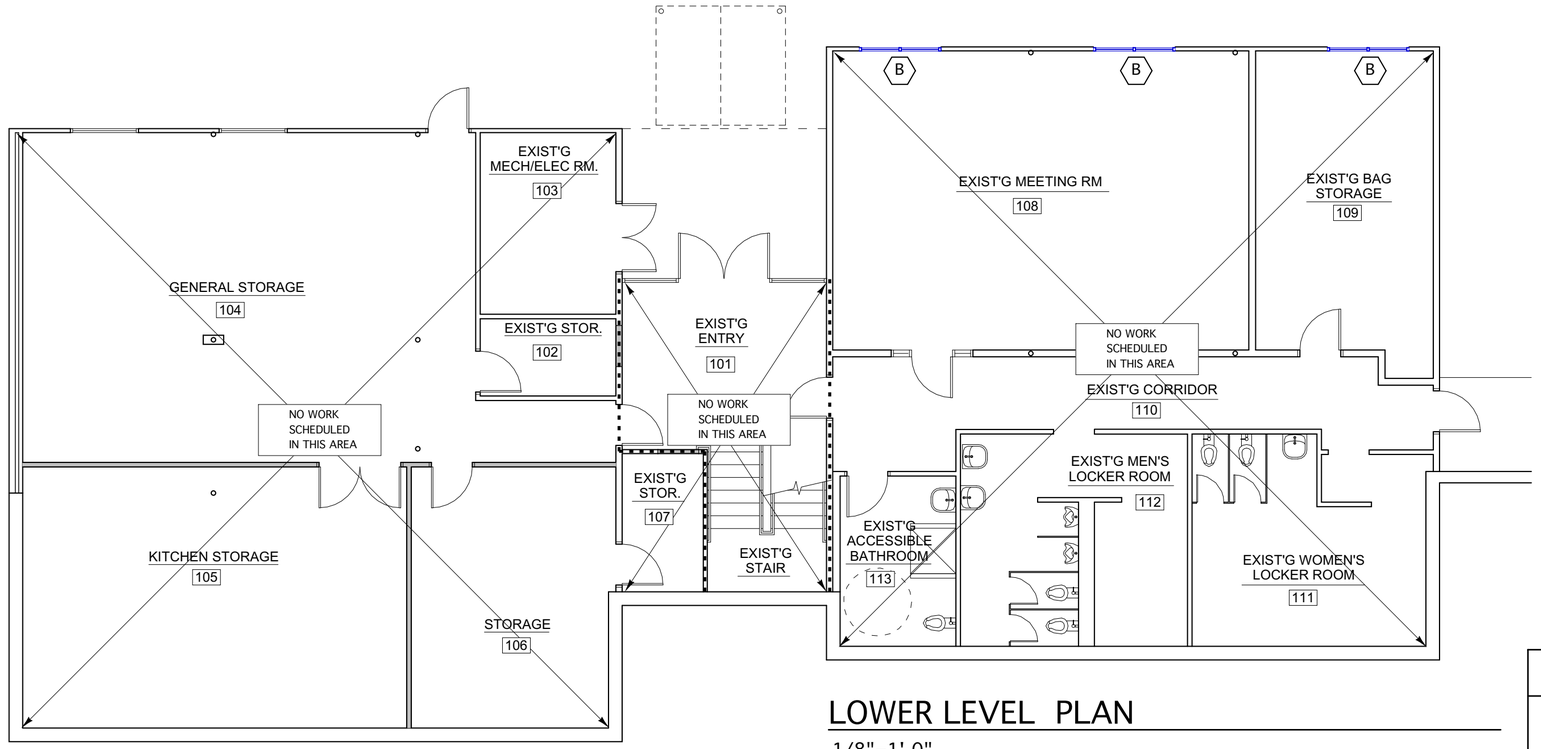
REVISIONS

PERMIT DOCUMENTS
JANUARY 16, 2015

Code Summary

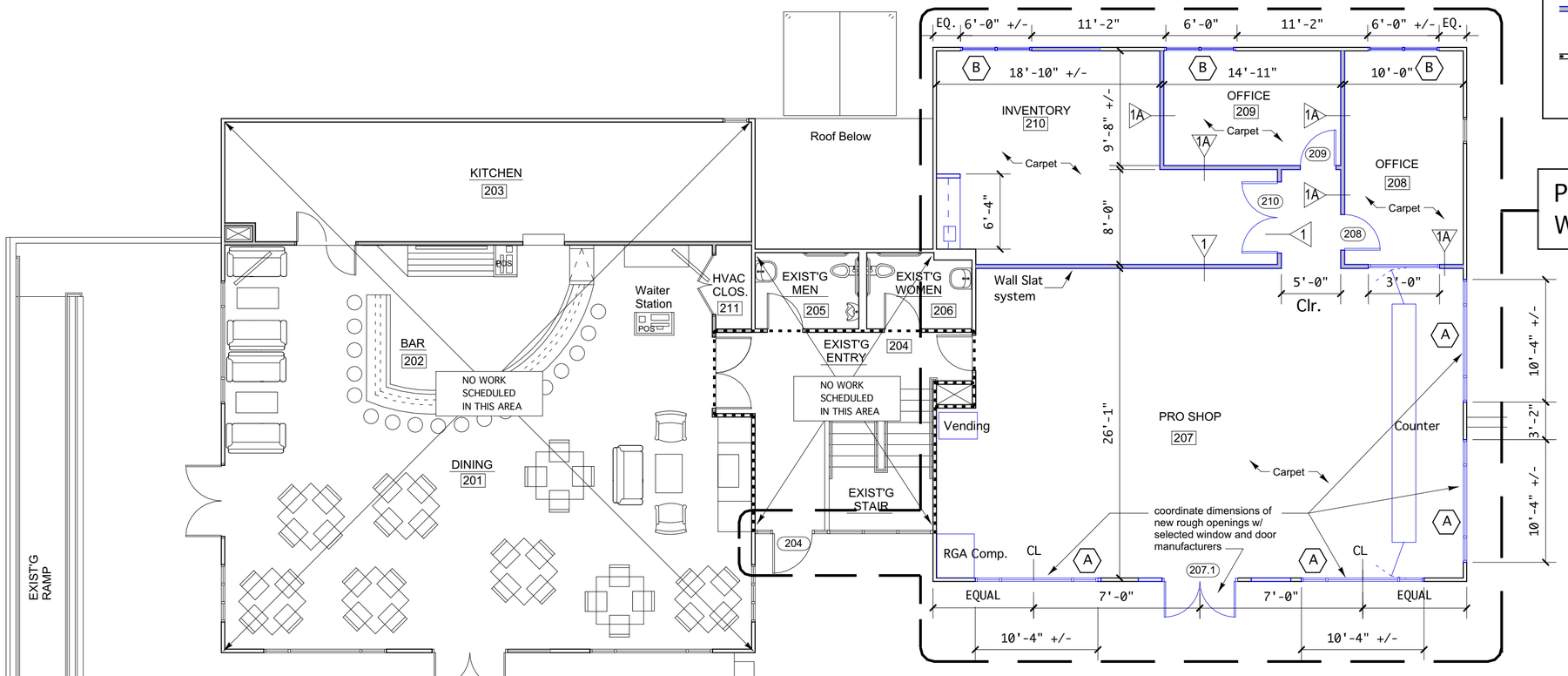
Scale: As Noted

A 002



LOWER LEVEL PLAN

1/8"=1'-0"



UPPER LEVEL PLAN

1/8"=1'-0"

LEGEND

- EXISTING PARTITION TO REMAIN
- NEW PARTITION AS SCHEDULED
- EXISTING 1 HOUR RATED PARTITION

PHASE II
WORK AREA

0' 4' 8' 12' 16'

Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/13/15

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Riverside Golf Course -
North Course
Club House
Renovations
PHASE II

Riverside Street
Portland, Maine

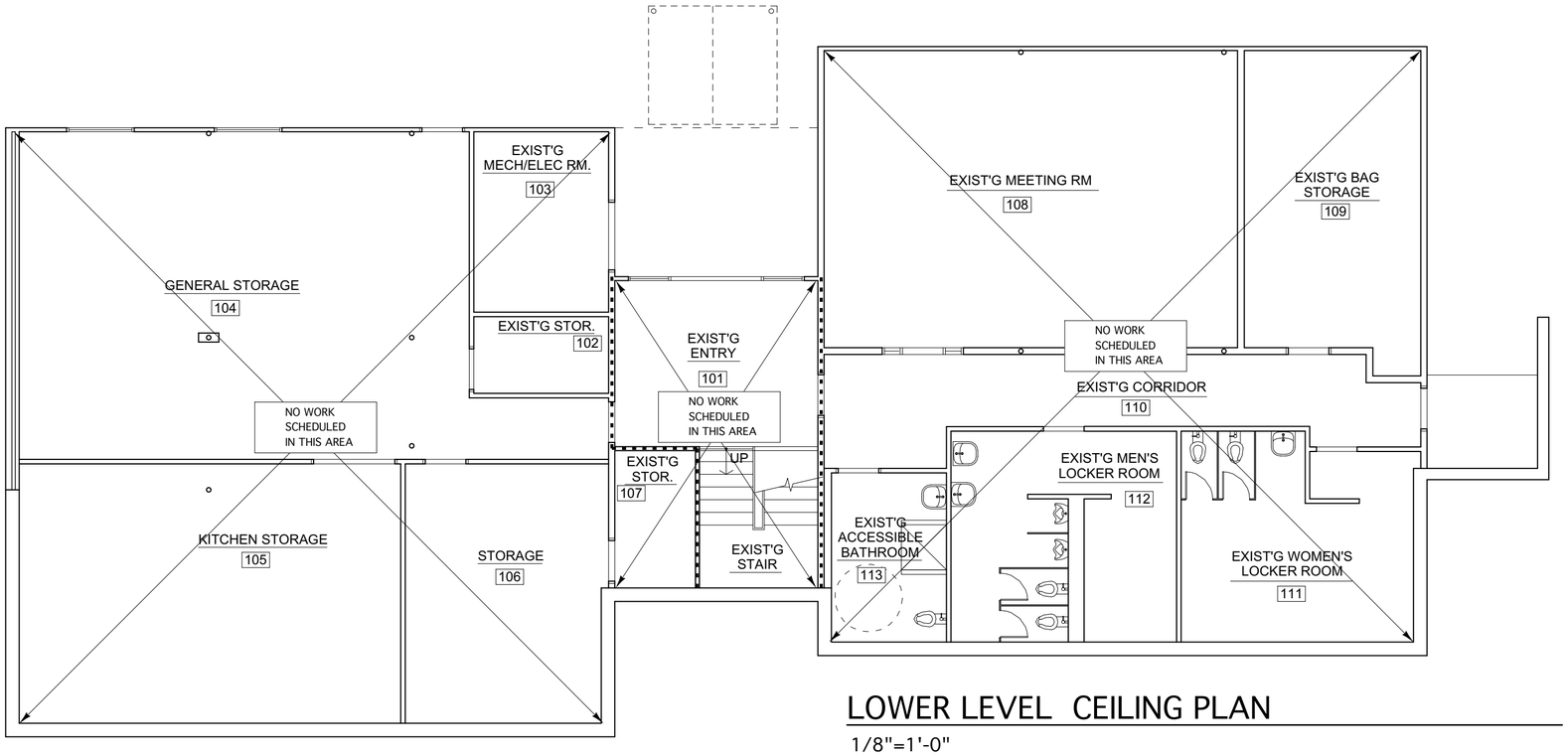
REVISIONS

PERMIT DOCUMENTS
JANUARY 16, 2015

Layout Plans

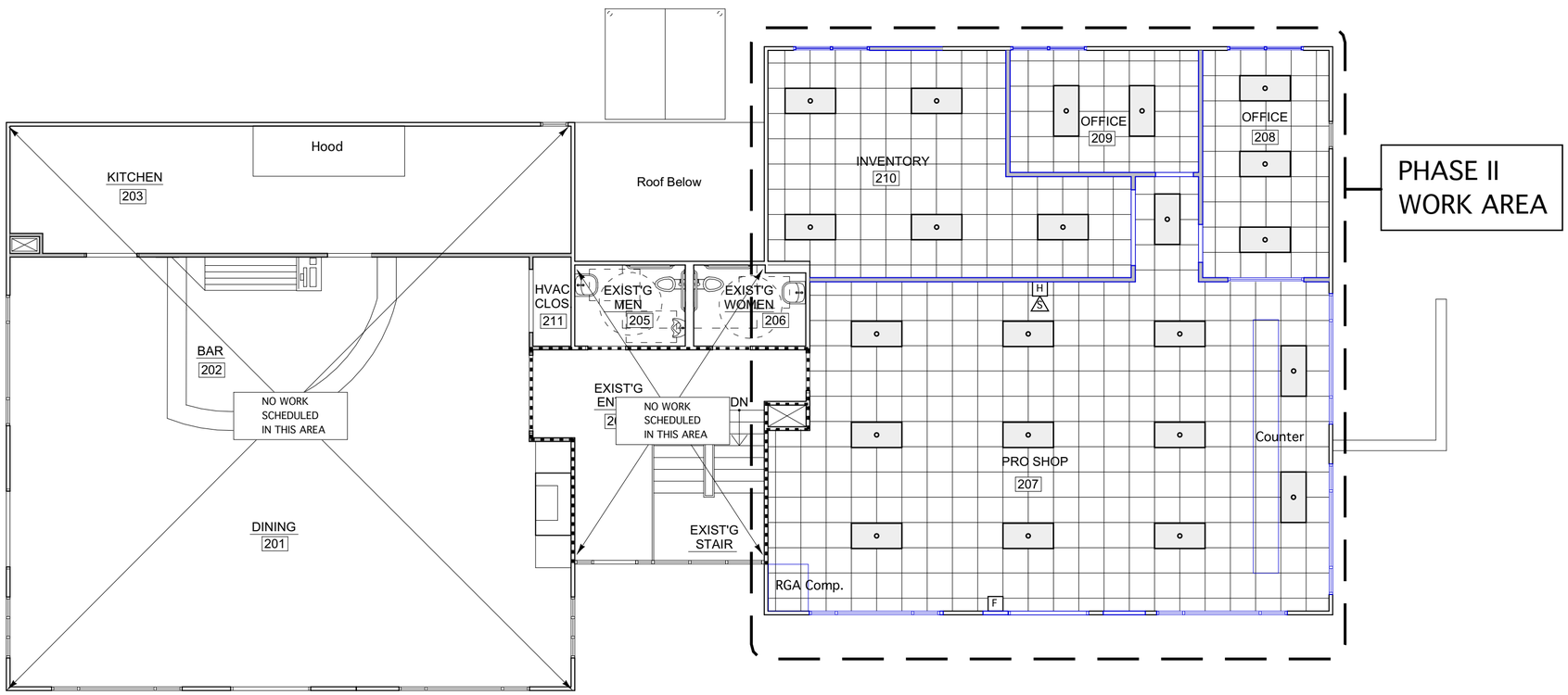
Scale: As Noted

A 101



LOWER LEVEL CEILING PLAN

1/8"=1'-0"



UPPER LEVEL CEILING PLAN

1/8"=1'-0"

0' 4' 8' 12' 16'

CEILING LEGEND

C1 / 8'-0" — Indicates ceiling type; Indicates ceiling height from finish floor to underside of ceiling finish

Suspended acoustical ceiling tiles.

Painted GWB Soffit- See details

CEILING TYPES

C1 Suspended acoustical ceiling tiles.

LIGHT FIXTURES LEGEND

FIXTURES ARE SHOWN FOR COORDINATION PURPOSES ONLY. LAYOUT IS NOT EXTENSIVE. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR MORE DETAILS.

- RECESSED, LENSED LED FIXTURE.
- SURFACE MNTD LED FIXTURE.
- PENDANT LED FIXTURE.
- RECESSED LED DOWNLIGHT FIXTURE.
- SURFACE MNTD. LED FIXTURE.

MECHANICAL LEGEND

EQUIPMENT IS SHOWN FOR COORDINATION PURPOSES ONLY. LAYOUT IS NOT EXTENSIVE. REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS FOR MORE DETAILS.

- AIR SUPPLY GRILLE OR EXHAUST REGISTER. SEE MECH.
- AIR RETURN GRILLE OR EXHAUST REGISTER. SEE MECH.

FIRE ALARM LEGEND

- V / H — FIRE ALARM AUDIBLE/VISIBLE NOTIFICATION APPLIANCE (GENERAL EVACUATION)
- F — FIRE ALARM PULL STATION

Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/13/15

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Riverside Golf Course -
North Course Club House Renovations
PHASE II

Riverside Street
Portland, Maine

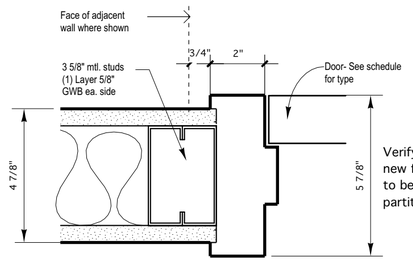
REVISIONS

PERMIT DOCUMENTS
JANUARY 16, 2015

Reflected Ceiling Plans

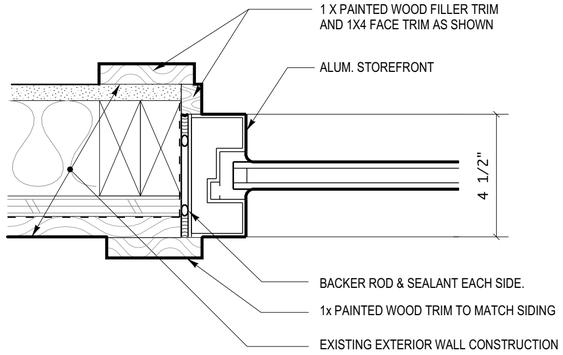
Scale: As Noted

A 102

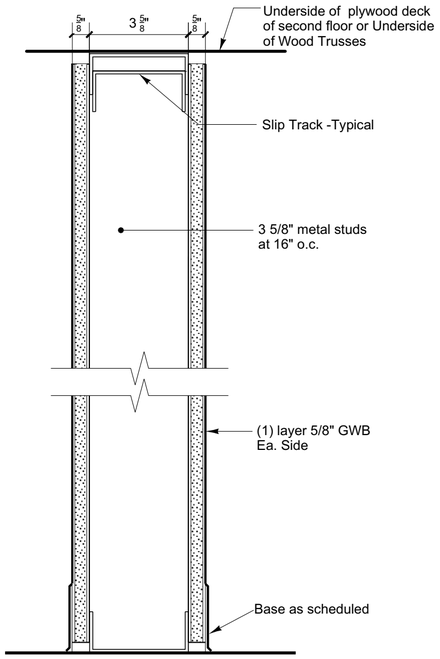


Verify frame depth at new frames scheduled to be installed in existing partitions.

H1 J1 JAMB DETAIL (Head Similar)

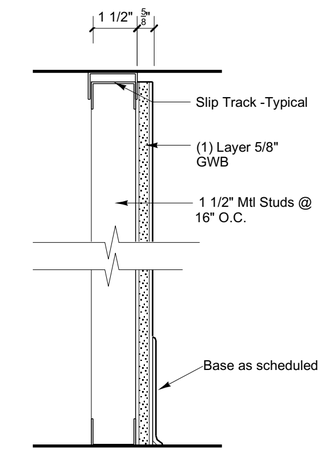


H2 J2 JAMB DETAIL (Head Similar)



1 Typical Interior Partition
As Shown

1A Typical Interior Partition - w/ acoustic batts



2 Duct Enclosure Partition
As Shown

DOOR & FRAME SCHEDULE

General			Door			Frame			Details					
Door No.	Size (W x H)	Thickness	Material	Finish	Type	Material	Finish	Type	Head	Jamb	Threshold	Hardware	Label	Remarks
SECOND FLOOR														
204	PR 3'-0" X 7'-0"	1 3/4"	ALUM	KYNAR	C	ALUM	KYNAR	F3	H2 SIM	J2 SIM	--	HDWR 1	--	
207.1	PR 3'-0" X 7'-0"	1 3/4"	ALUM	KYNAR	C	ALUM	KYNAR	F2	H2 SIM	J2 SIM	--	HDWR 1	--	
208	3'-0" X 7'-0"	1 3/4"	SCWD	CLR. F.	B	HM	PNTD.	F1	H1	J1	--	HDWR 2	--	
209	3'-0" X 7'-0"	1 3/4"	SCWD	CLR. F.	B	HM	PNTD.	F1	H1	J1	--	HDWR 2	--	
210	PR. 3'-0" X 7'-0"	1 3/4"	SCWD	CLR. F.	A	HM	PNTD.	F1	H1	J1	--	HDWR 3	--	

HARDWARE SETS:

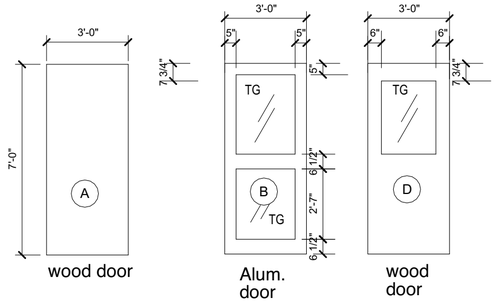
HDWR 1: Continuous Geared Hinges, closer, exit device, pull, commercial heavy duty lockset- Entry Function, weatherstripping & threshold.

HDWR 2: Hinges, Silencers, Stop, Commercial Duty Lever Lockset - Office Function.

HDWR 3: Hinges, Silencers, Stop, Commercial Duty lever Lockset - Supply Room Function, Surface bolts at inactive leaf.

ABBREVIATIONS

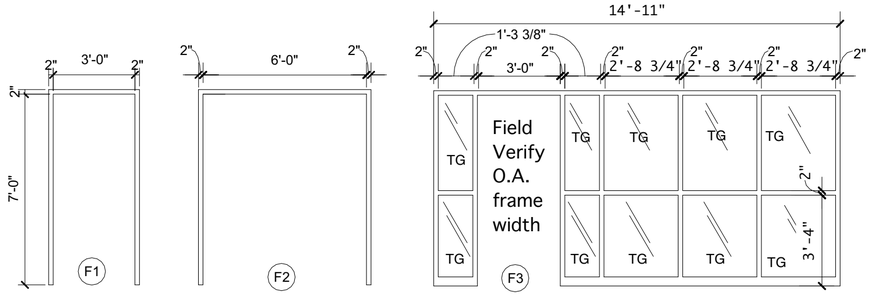
ALUM	Aluminum
SCWD	Solid Core wood door
CLR. F.	Clear Finish
HM	Hollow Metal
GHM	Galvanized Hollow Mtl.
PNTD.	Painted
F.F.	Factory Finish
HW	Hardware Set



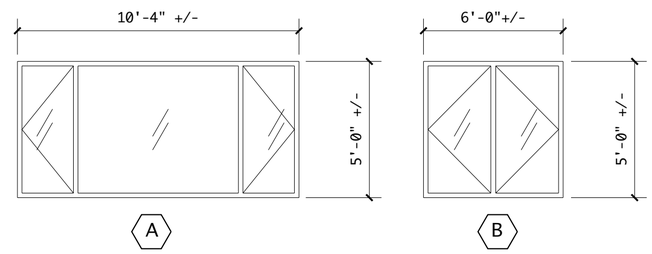
Glazing Schedule:

TG: Tempered Glass

DOOR TYPES
1/4"=1'-0"



FRAME TYPES
1/4"=1'-0"



WINDOW TYPES
1/4"=1'-0"

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Electrical Engineering:
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Riverside Golf Course -
North Course
Club House
Renovations

Riverside Street
Portland, Maine

REVISIONS

CONTRACT DOCUMENTS
FEBRUARY 03, 2014

Door Schedule / Types
Partition Types / Details
Window Types

Scale: As Noted

A 201

Accessibility Building Code Certificat

Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Designer: Stephen Weatherhead, Winton Scott Archite Date: 02/13/15

Address of Project: 1158 Riverside Street

Nature of Project: Renovation of the exist'g pro shop, offices, and storage to improve layout to meet current needs

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

(SEAL)

LICENSED ARCHITECT
STEPHEN W. WEATHERHEAD
No. 1948
STATE OF MAINE

Signature:

Title: Project Architect

Firm: Winton Scott Architects

Address: 5 Milk Street
Portland. ME 04101

Phone: 207-774-4811

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Certificate of Design Application

From Designer: Stephen Weatherhead, Winton Scott Architects

Date: 1/16/15

Job Name: Riverside Golf Course-North Course Clubhouse Renovations - PHA

Address of Construction: 1158 Riverside Street

Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 02/13/15

2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IBC Use Group Classification (s) NON-SEPARATED MIXED USE

Type of Construction 5B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IRC YES

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) NO

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

NOT APPLICABLE- NO STRUCTURAL WORK IN PROJECT

Structural Design Calculations

_____ Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)

_____ Basic wind speed (1809.3)

_____ Building category and wind importance Factor, I_w table 1604.5, 1609.5)

_____ Wind exposure category (1609.4)

_____ Internal pressure coefficient (ASCE 7)

_____ Component and cladding pressures (1609.1.1, 1609.6.2.2)

_____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)

_____ Seismic use group ("Category")

_____ Spectral response coefficients, S_{Ds} & S_{D1} (1615.1)

_____ Site class (1615.1.5)

_____ Live load reduction

_____ Roof *live* loads (1603.1.2, 1607.11)

_____ Roof snow loads (1603.7.3, 1608)

_____ Ground snow load, P_g (1608.2)

_____ If P_g > 10 psf, flat-roof snow load P_f

_____ If P_g > 10 psf, snow exposure factor, C_e

_____ If P_g > 10 psf, snow load importance factor, I_s

_____ Roof thermal factor, C_t (1608.4)

_____ Sloped roof snowload, P_s (1608.4)

_____ Seismic design category (1616.3)

_____ Basic seismic force resisting system (1617.6.2)

_____ Response modification coefficient, R_I and deflection amplification factor C_d (1617.6.2)

_____ Analysis procedure (1616.6, 1617.5)

_____ Design base shear (1617.4, 16175.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)

_____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)

_____ Partition loads (1607.5)

_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404

Certificate of Design

Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 1/16/15 Date: 02/13/15

From: Stephen Weatherhead, Winton Scott Architects

These plans and / or specifications covering construction work on:

Riverside Golf Course- North Course Clubhouse renovations

of existing pro-shop, offices, and storage room

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2009 International Building Code** and local amendments.

LICENSED ARCHITECT
STEPHEN W. WEATHERHEAD No. 1948
STATE OF MAINE

(SEAL)

Signature:

Title: Project Architect

Firm: Winton Scott Architects

Address: 5 Milk Street

Portland, ME 04101

Phone: 207-774-4811

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Riverside Golf Cours

North Course Club House Renovations

PHASE II

Riverside Street

Portland, Maine

PERMIT SET 1 / 16 / 15

DRAWING LIST

ARCHITECTURAL

D 101	DEMOLITION PLAN
A 001	LIFE SAFETY PLAN
A 002	CODE SUMMARY
A 101	LAYOUT PLANS
A 102	CEILING PLANS
A 201	DOOR SCHEDULE / TYPES / DETAILS / PARTITION TYPES / WINDOW TYPES

PLUMBING

P1	PLUMBING FIRST FLOOR PLAN /NOTES /SCHEDULE

MECHANICAL

M1	MECHANICAL DUCTWORK AND PIPING PLANS
M2	MECHANICAL DETAILS AND SCHEDULES

NOT INCLUDED IN PERMIT SET

ELECTRICAL:

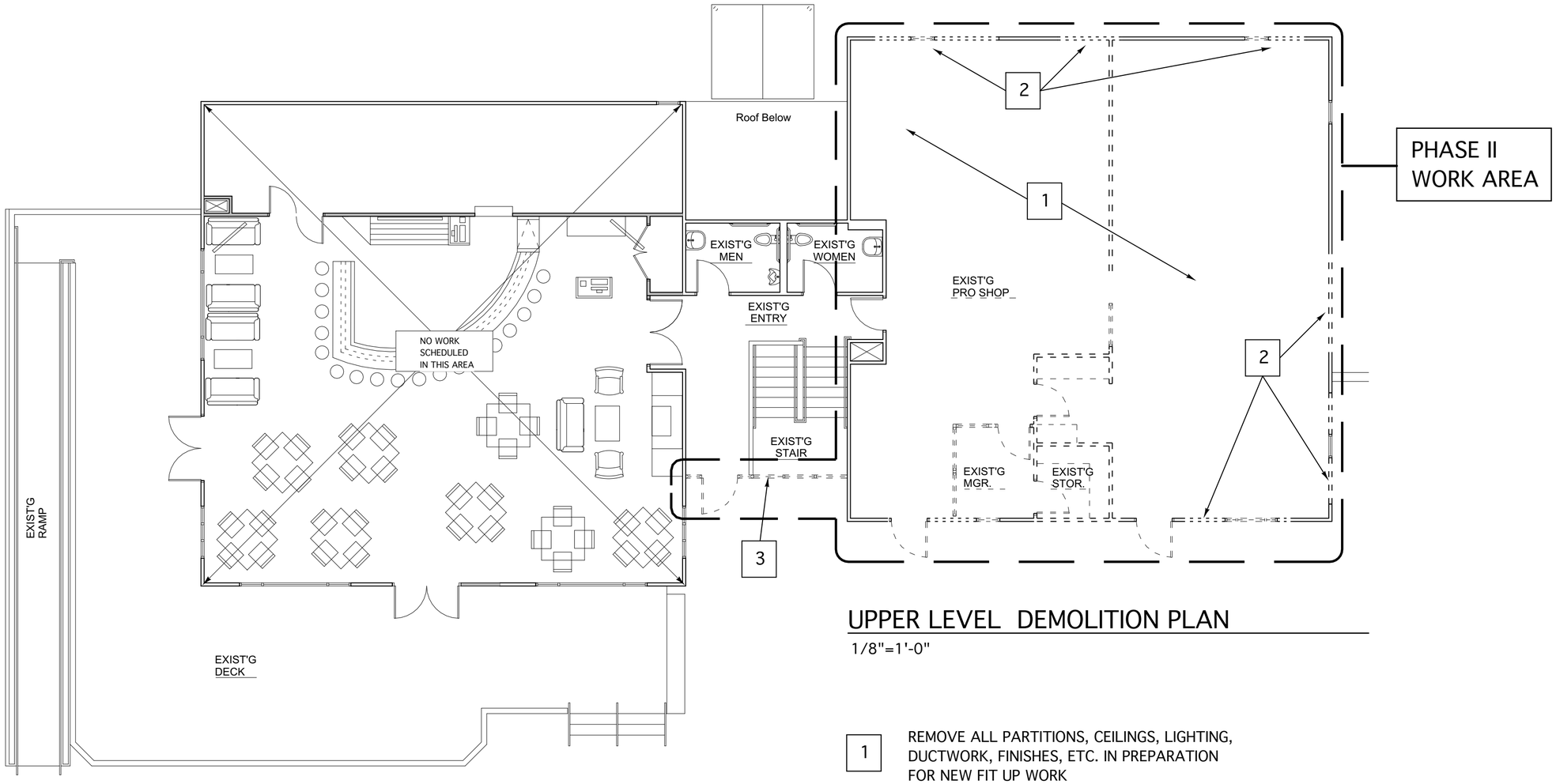
Swift Current Engineering
Royal River Center Unit #10
10 Forest Falls Drive, Yarmouth, Maine 04096
207.847.9280 I tim@swiftcurrenteng.com

MECHANICAL/PLUMBING:

Mechanical Systems Engineers
Royal River Center Unit #10
10 Forest Falls Drive, Yarmouth, Maine 04096
207.846.1441 | mechsyst@maine.rr.com

ARCHITECT:

Winton Scott Architects
5 Milk Street
Portland, Maine 04101
207.774.4811 | sweatherhead@wintonscott.com



UPPER LEVEL DEMOLITION PLAN

1/8"=1'-0"

1 REMOVE ALL PARTITIONS, CEILINGS, LIGHTING, DUCTWORK, FINISHES, ETC. IN PREPARATION FOR NEW FIT UP WORK

2 REMOVE PORTIONS OF EXTERIOR WALLS AS REQUIRED TO CREATE ROUGH OPENINGS FOR NEW WINDOW AND DOOR UNITS.

3 REMOVE EXISTING STOREFRONT FRAMING AND ENTRANCE IN PREPARATION FOR REPLACEMENT.

CITY OF PORTLAND, MAINE — RESURGAM

Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/13/15

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Riverside Golf Course -
North Course
Club House
Renovations
PHASE II

Riverside Street
Portland, Maine

REVISIONS

PERMIT DOCUMENTS
JANUARY 16, 2015

Demolition Plan

Scale: As Noted

D 101

PORTLAND M

Strengthening a Remarkable City, Building a Community for Li

Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/13/15

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a ***legal signature*** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are ***paid in full*** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

☐ to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),

☐ call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,

☐ hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,

☐ or deliver a payment method through the U.S. Postal Service, at the following address:

CITY PROJECT- FEES WAIVED

City of Portland
Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. ***After all approvals have been met and completed, I will then be issued my permit via e-mail.*** No work shall be started until I have received my permit.

Applicant Signature: _____ Date: 1/16/15

I have provided digital copies and sent them on: _____ Date: 1/16/15

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.

General Building Permit Applicatic

If you or the property owner owes real estate or personal property taxes or user cl
within the City, payment arrangements must be made before permits of any

Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Address/Location of Construction: 1158 Riverside Street (Golf Cours Date: 02/13/15

Total Square Footage of Proposed Structure:	Exist'g 8,616 s.f.	
Tax Assessor's Chart, Block & Lot Chart# 358 Block# A Lot# 001	**Applicant Name:** Address 389 Congress Street City, State & Zip Portland, ME 04101	Telephone: Aaron Shields 415-9632 Email: ads@portlandmaine.gov
Lessee/Owner Name : (if different than applicant) Address: Portland. ME 04101 City, State & Zip: Telephone & E-mail:	**Contractor Name:** (if different from Applicant) Address: City, State & Zip: Telephone & E-mail:	Cost Of Work: $ 120,000 Estimated C of O Fee: $ N/A Historic Rev $ N/A **Total Fees : $** 0.00

Current use (i.e. single family) Public golf club house (restaurant, pro shop, lockers, meeting room, storage)
If vacant, what was the previous use? _____
Proposed Specific use: Same as current uses
Is property part of a subdivision? NO _ If yes, please name _____
Project description: Interior renovation of existing pro-shop, offices, and storage room. New HVAC & Electrical, fire alarm and finishes. New windows and doors.

Who should we contact when the permit is ready: Aaron Shields

Address: 389 Congress Street

City, State & Zip: Portland, ME 04101

E-mail Address: ADS@portlandmaine.gov

Telephone: 415-9632

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [signature] **Date:** 1/16/15

This is not a permit; you may not commence ANY work until the permit is issued.