

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2004-0206
Application I. D. Number

10/5/2004
Application Date

Paradigm Window Solutions
Applicant
374 Riverside Ind. Parkway, Portland, ME 04101
Applicant's Mailing Address

Amendment to Plan - Paradigm Bld. A
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 878-9701 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

374 - 374 Riverside Street, Portland, Maine
Address of Proposed Site
354 B003
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **Amendment to Plan**

53,000 s.f. _____
Proposed Building square Feet or # of Units _____ Acreage of Site _____
IM
Zoning

Check Review Required:

- | | | | |
|--|--|--|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____
Reviewer _____

Planning Approval Status:

- Approved Approved w/Conditions See Attached Denied
- Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
- OK to Issue Building Permit _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issue	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	



PORTLAND MAINE

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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director
November 18, 2004

Jeffrey R. Perry
Sebago Technics, Inc.
1 Chabot Street
P.O. Box 1339
Westbrook, ME 04098-1339

Dear Mr. Perry:

RE: Application for Amended Minor Site Plan, Paradigm Window Solutions
(CBL#354B003)

This letter is to confirm the revision to the approved plan of the project located at 400 Riverside Industrial Parkway. The approved revision is the removal of the proposed building and reconfiguration of the parking spaces. The revised plan has been reviewed and approved by the project review staff including representatives of the Planning, Public Works, Building Inspections, Fire and Parks Departments.

If there are any questions, please contact Jay Reynolds at 874-8632.

Sincerely,

Alexander Jaegerman
Planning Division Director



September 30, 2004
97041

Jay Reynolds, Planner
City of Portland Planning Department
389 Congress Street
Portland, ME 04101

Paradigm Windows - Amended Site Plan

Dear Jay:

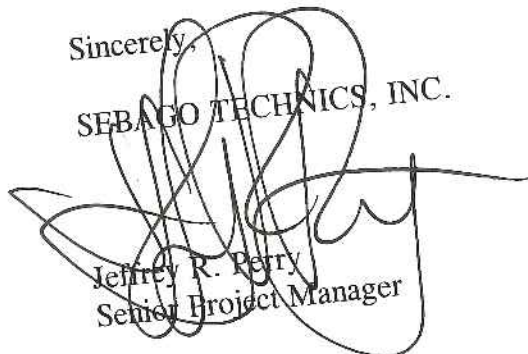
On behalf of Paradigm Windows, please find enclosed the Amended Site Plan Application for improvements to their site on Riverside Industrial Parkway. As discussed, the applicant, after approval of the site plan, elected not to construct the building. The parking lot, stormwater infrastructure, lighting and landscaping were installed, with the exception of a landscaped (and lighted island) near the Turnpike side of the parking lot. This was done to facilitate truck maneuvers to the existing loading docks on the south side of the building. In addition the parking lot was striped with a row of 13 parallel parking spaces. This did not result in an increase in the amount of pavement.

The owners understand that in the future, should they construct the building as originally approved, an amendment to this site plan will need to be filed with the City.

After your review of the enclosed, please contact me with any questions or comments.

Sincerely,

SEBAGO TECHNICS, INC.



Jeffrey R. Perry
Senior Project Manager

JRP:jrp/jc
Enc.

cc: Gary Koocher, Paradigm Windows
Tom Perry, Allied/Cook Construction