

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 477170
PERMIT ISSUED
OCT 19 2007
CITY OF PORTLAND

This is to certify that Rich Robinov & Scott Court Grass Properties/All Season Home I
has permission to Install a 165 lb wind generator tower app on concrete slab (4' x 6')
AT 376 Riverside Ind Pkwy 354 B001001
provided that the person or persons firm or person accepting this permit shall comply with all
of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating
the construction, maintenance and use of buildings and structures, and of the application on file in
this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is loaded or service closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. 11/19/07 10/5/07
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jamie Burke 10/19/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1170	Issue Date:	CBL: 354 B003001
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Location of Construction: 376 Riverside Ind Pkwy (400)	Owner Name: Rich Robinov & Scott Couture/Gras	Owner Address: PO Box 10109	Phone:
Business Name:	Contractor Name: All Season Home Improvement	Contractor Address: 823 Church Hill Road Augusta	Phone 8004643039
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: IM

Past Use: Commercial - Parking wholesale warehouse	Proposed Use: Commercial Install a 165 lb wind generator power appliance on concrete slab (6' x 6')	Permit Fee: \$150.00	Cost of Work: \$13,000.00	CEO District: 5
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>	INSPECTION: Use Group: U Type: wind generator on Footing FB 2003	

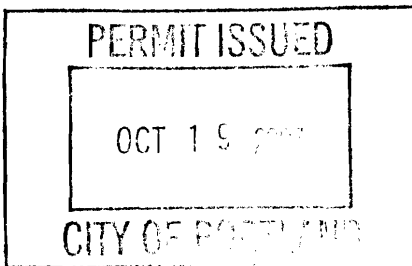
Proposed Project Description:
Install a 165 lb wind generator pwr appliance on concrete slab (6' x 6')

Signature: *M. Shutes* 10/19/07
Signature: *JMB* 10/19/07
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: 09/20/2007	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>Exemption</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/conditions</i> Date: 9/28/07 <i>ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1170	Date Applied For: 09/20/2007	CBL: 354 B003001
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Location of Construction: 376 Riverside Ind Pkwy (400)	Owner Name: Rich Robinov & Scott Couture/Gras	Owner Address: PO Box 10109	Phone:
Business Name:	Contractor Name: All Season Home Improvement	Contractor Address: 823 Church Hill Road Augusta	Phone (800) 464-3039
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial Install a 165 lb wind generator power appliance on concrete slab (6' x 6')	Proposed Project Description: Install a 165 lb wind generator pwer appliance on concrete slab (6' x 6')
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 09/28/2007
Note: Spoke to Scott Couture. Wind generator is to provide power for the building, so it is considered an accessory use. Ok to Issue: <input checked="" type="checkbox"/>			
1) The required rear setback is twenty-five feet. The pad for the generator must be located at least twenty-five feet from the rear setback.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 10/19/2007
Note: Ok to Issue: <input checked="" type="checkbox"/>			
1) Contractor will be responsible for replacing unstable soils as required by code.			
2) Separate permits are required for any electrical installation.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Deputy Chief Shutts	Approval Date: 10/05/2007
Note: Ok to Issue: <input checked="" type="checkbox"/>			
1) build to manufacturer's specifications, according to spec sheet provided with application.			

Comments:
9/28/2007-amachado: Gave site plan exemption to planning.
10/10/2007-gg: received site plan exemption as of 10/05/07. Filed with permit (Jeanie) /gg
10/17/2007-jmb: spoke with Bob Greig about details on mounting the pole, he will submit



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>400 Riverside Industrial Parkway, Portland, Me. 04103</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>354 B 003</u> <u>320 A 004</u>	Applicant *must be owner, Lessee or Buyer* Name: <u>Rich Robinson & Scott Couture</u> Address: <u>400 Riverside St</u> City, State & Zip: <u>Portland, ME</u>	Telephone: <u>797-7950</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name: _____ Address: _____ City, State & Zip: _____	Cost Of Work: \$ <u>13000.00</u> C of O Fee: \$ <u>N/A</u> Total Fee: \$ <u>150</u>
Current legal use (i.e. single family) <u>Commercial</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Wind Generator power appliance</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Install a 165lb Wind Generator power appliance on concrete base</u>		
Contractor's name: <u>All Season Home Imp. Co.</u> Address: <u>823 Church Hill Rd</u> City, State & Zip: <u>Augusta, Me. 04330</u> Telephone: <u>207-626-3039</u> Who should we contact when the permit is ready: <u>Bob Greig</u> Telephone: <u>207-626-3039</u> Mailing address: <u>Same as above</u>		

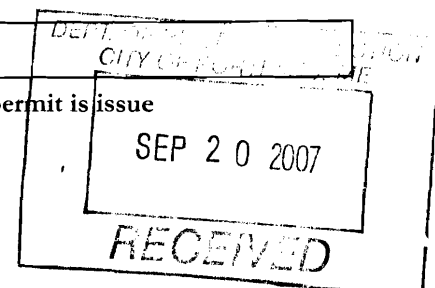
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

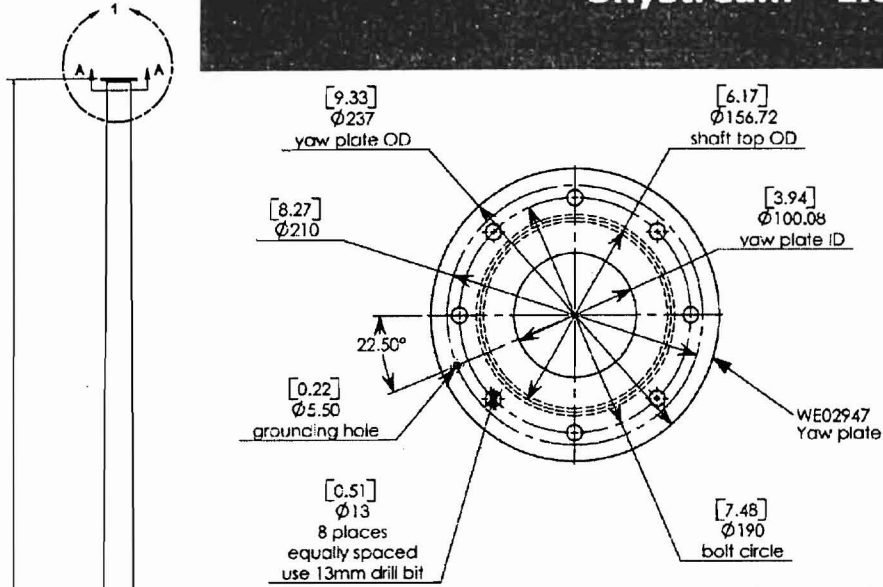
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] - All Season Date: 9/17/07

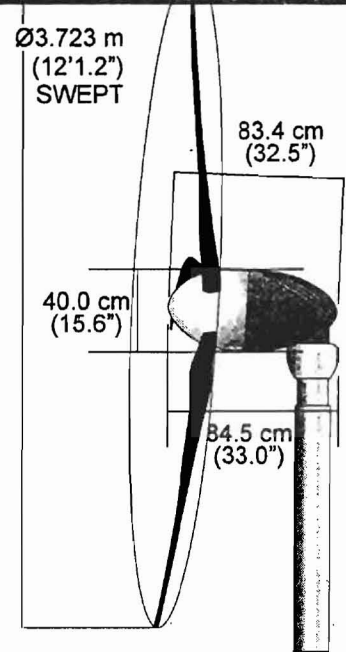
This is not a permit; you may not commence ANY work until the permit is issued



Skystream - 1.8 kW Wind Turbine

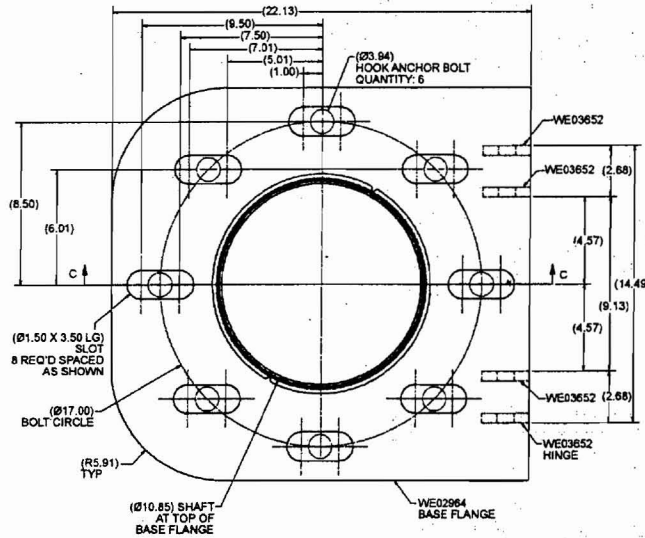


Tower Top



Dimensions

Prop Tip to Center of Tower: 780mm/30.7 in.
 Minimum Tip Clearance: 690mm/27.16 in.
 Max Tower Diameter at Tip: 171mm/6.75 in.



Tower Base

Wiring

Recommended Wire:
 90C (UL) Water Resistant or equivalent

Tower & Wind Generator Loading Specifications

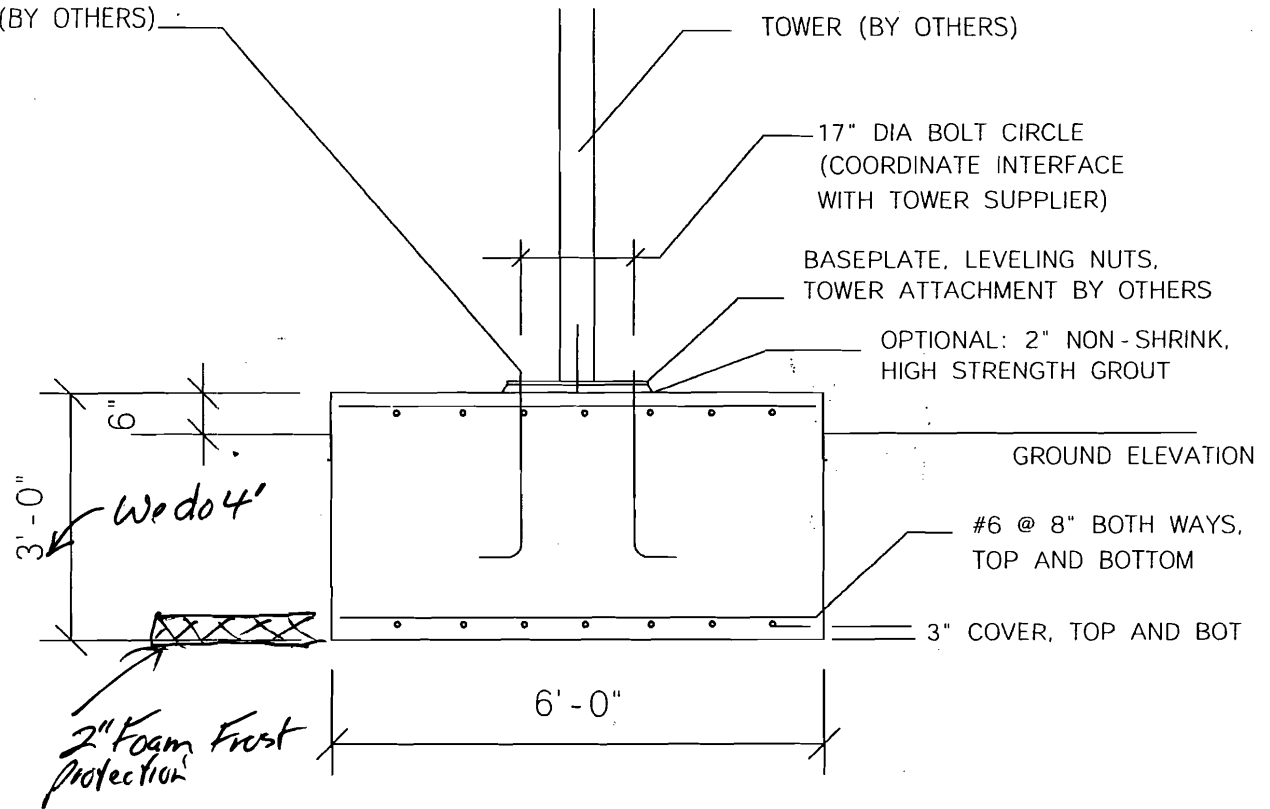
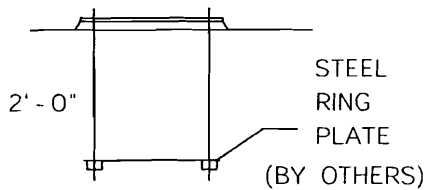
Tower:	Freestanding Tapered Tubular Steel with Galvanized Finish
Tower Weight:	549 lbs/249.2 kg
Bottom of Tower Forces	
Center of Gravity:	400mm from center of tower
Axial Force:	3376 N (force due to tower and generator weight)
Overturing Bending Moment:	35611 Nm (includes wind loads)
Shear Force:	3851 N (includes wind loads)
Top of Tower Forces	
Thrust Load:	Average: 704
Design Shear Force:	2802 N (top of tower)
Peak Bending Moment:	1532 Nm
Downward Axial Force:	932 N (top of tower)

Tower

1 1/4" DIA ANCHOR BOLTS (BY OTHERS)
(8 PLACES)

2' - 4"

ALTERNATE ANCHOR
BOLT CONFIGURATION:



MAT FOUNDATION SECTION

By accepting and utilizing these plans, the end user agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify and hold the engineer harmless from any and all liability, real or alleged, in conjunction with the performance of work on this project, excepting for liability arising from the sole negligence of the engineer. The client agrees to limit the engineer's liability to the total fee charged for services rendered on this project.

THE LEPETOS GROUP, INC
11 BIRCH LITTLETON CO. 80127

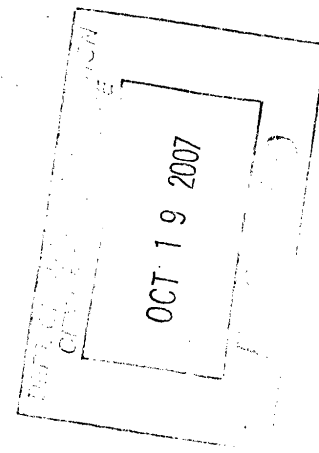
Prepared for
SOUTHWEST WINDPOWER
1801 W. Route 66
Flagstaff, Arizona 86001

REV	BY	CL	DESCRIPTION	DATE
0	JHL		MAT FOUNDATION - FORM 1 AND 2	2-14-06

DWG. NO.	S-1	REV	1/02
DRAWN BY -	JHL	JOB NO. -	10-C5-75
CHECKED BY -	PM	DATE -	2-14-06



823 Church Hill Road
Augusta, ME 04330
Call 1-800-464-3039
www.all-season.com



FAX TRANSMITTAL COVER LETTER

TO: Code Enforcement
ATTN: Jeanne Bourke
DATE: 10/19/07
RE: _____

ANY QUESTIONS REGARDING THIS TRANSMITTAL - PLEASE CONTACT:

Engineer approval for ~~Styrene~~ AT (207) 626-3039 or
FAX (207) 626-0751

NUMBER OF PAGES - INCLUDING COVER LETTER 2

NOTES:

Please find copy of drawing of
base detail with engineer stamp.
If you have any problem in
reading please fax your e-mail
address and I will forward
Stephen Kwell - Me # 4305, Mass #
33456

Although approved for a 3' depth,
we pour at 4' depth

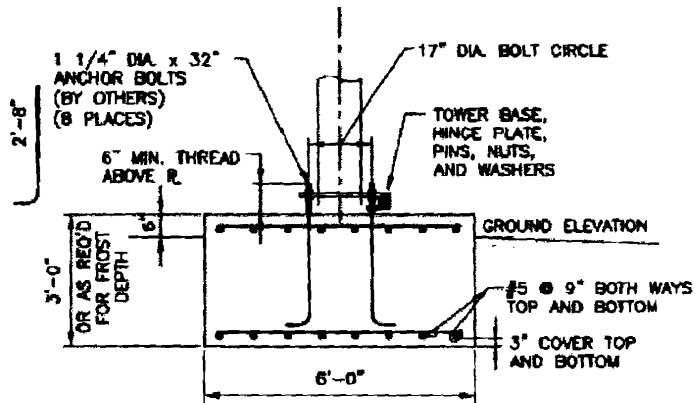
Sincerely,
Bob Gray

Garages, Home Additions, Vinyl Siding, Vinyl Replacement Windows
Decks, Porches, Metal & Asphalt Roofing
Residential & Commercial Construction

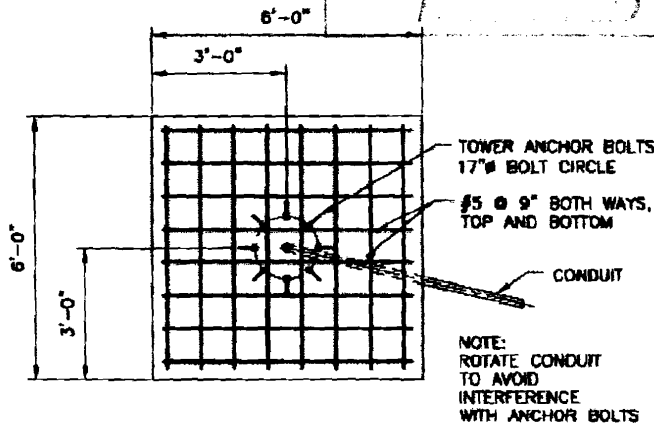
OCT 19 2007

NOTES:

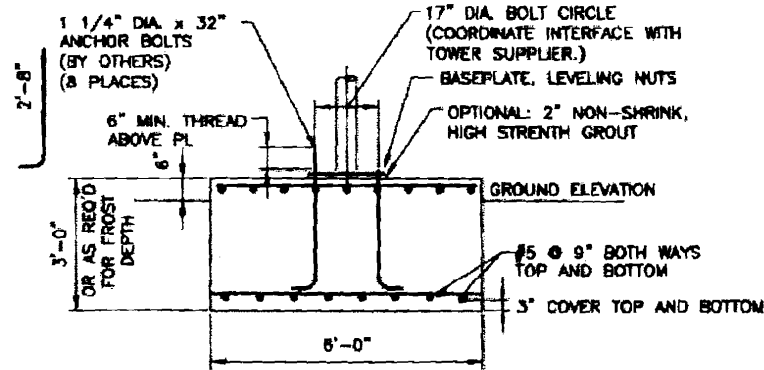
1. THE MAT FOUNDATION WAS DESIGNED IN ACCORDANCE WITH THE IBC 2003.
2. A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED SHALL ASSUME RESPONSIBILITY FOR THE SITE-SPECIFIC DESIGN. THE P.E. SHALL ASSURE DESIGN SUITABILITY FOR VARYING SITE AND SOIL CONDITIONS SUCH AS SOIL CLASSIFICATIONS, WATER TABLE EXISTENCE OF EXPANSIVE/ COLLAPSIBLE SOILS, SUSCEPTIBILITY TO LIQUEFACTION, FROST DEPTH, ETC.
3. THE MAT FOUNDATION IS DESIGNED FOR AN ALLOWABLE VERTICAL BEARING PRESSURE OF 2,000 PSF (IBC CLASS 4 SOIL PER TABLE 1804.2).
4. ALL FOUNDATION ELEMENTS SHALL BEAR ON PROPERLY PREPARED SOIL. SOIL UNDER FOOTING SHALL BE FIRM, DRY AND UNDISTURBED BY EXCAVATION. BOTTOM SHALL BE CLEANED BY HAND TO REMOVE MUD, LOOSE SOIL, AND SOFT MATERIAL, PRIOR TO PLACING CONCRETE.
5. SOIL TYPES AND PROPERTIES SHALL BE VERIFIED BY THE PROJECT P.E.
6. CONCRETE WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS SET FORTH IN ACI 301/318.
7. CONCRETE SHALL HAVE MIN. 2,500 PSI 28-DAY STRENGTH
SAND %
% AIR ENTRAINMENT ±1%
CONCRETE UNIT WEIGHT SHALL NOT EXCEED 150 LBS/FT³.
8. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 DEFORMED BARS.
9. ALL REINFORCING STEEL SHALL BE CONTINUOUS, NO SPLICES ALLOWED.
10. WIND LOADS PER IEC 200X WERE CALCULATED BY OTHERS:
BASE MOMENT: 34,000 FT-LBS.
BASE SHEAR: 1380 LBS.
AXIAL LOAD: 570 LBS.



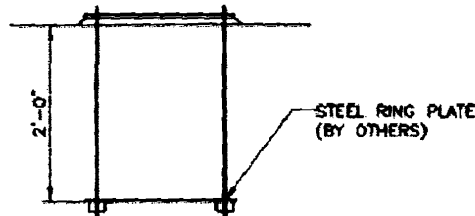
SECTION VIEW
SCALE: 3/8" = 1'-0"



FOUNDATION PLAN VIEW
SCALE: 3/8" = 1'-0"



ALTERNATE TOWER BASE - SECTION VIEW
SCALE: 3/8" = 1'-0"



ALTERNATE ANCHOR BOLT CONFIGURATION
SCALE: 3/4" = 1'-0"

PREPARED FOR:
Green Ridge Wind Farms, LLC
BELFAST, MAINE 04915

6X6 MAT FOUNDATION FOR TOWER

No.	REVISIONS	DATE	DATE:
1	REBAR & NOTE CORRECTIONS	8/18/07	7/21/07
			SITE: 11x17
			SCALE: AS SHOWN



SHEET NO.
FN-3

002

ALL SEASON HOME IMPROVEM

10/19/2007 11:07 FAX 207 626 0751

lots area 219,925 sq ft

16,494 sq ft in

OK IM - max impervious surface 75%

max height - 75' - 39' given

180' x 240' min side - 1' for each 1' of height (25')

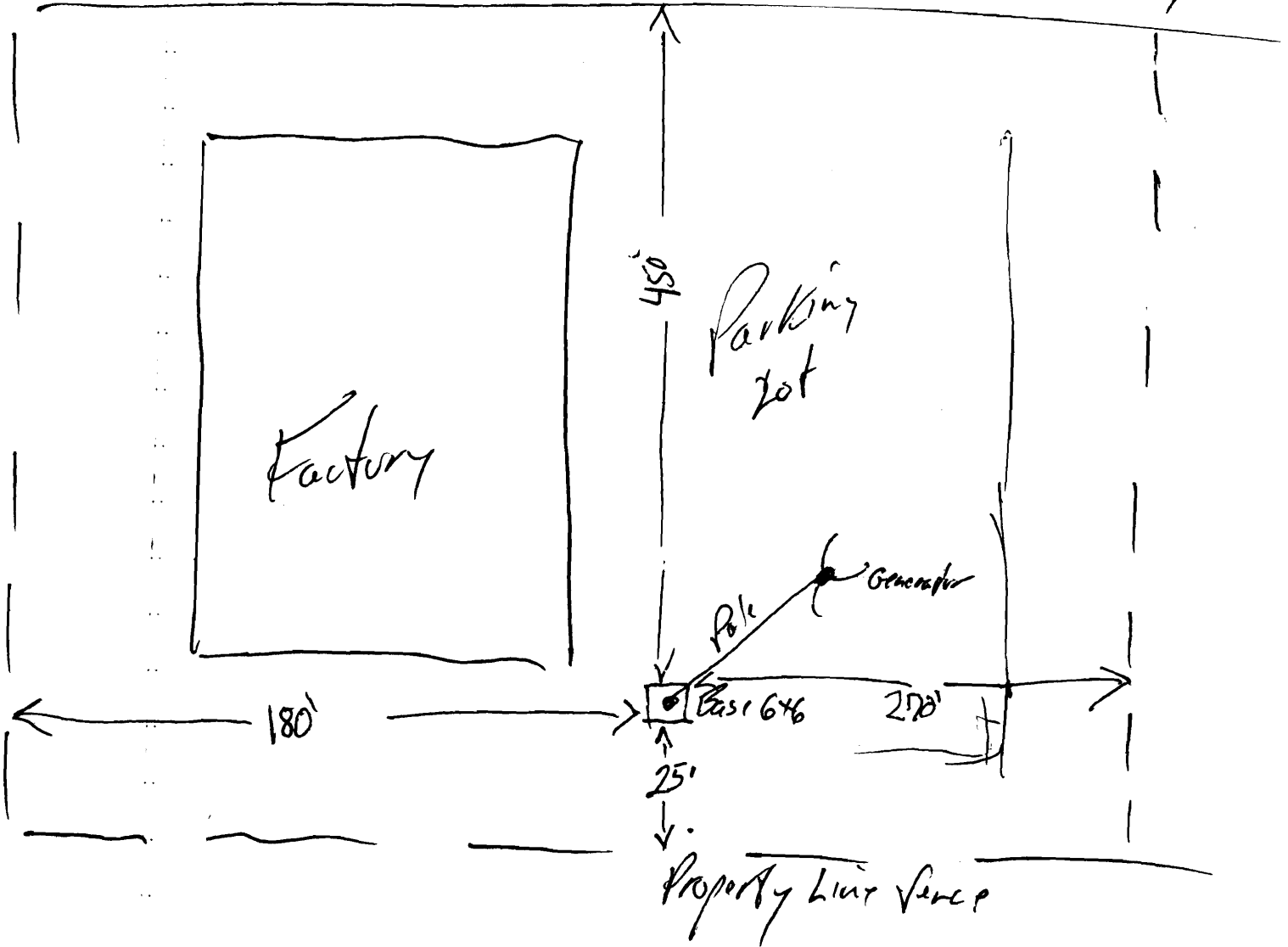
25' min rear - " (21')

400 min front - 1' for each 1' of height. (39')

Plot Plan

OK

4005 Riverside Industrial Parkway



Interstate

Location

Applicator Sales & Service
@ Paradigm Window Factory
400 Riverside Industrial Parkway
Portland, Me. 04103

Total height including 3.7 Generator 39'
Total footprint of base 36' sq. ft

Industrial area has 75' height restriction
Industrial area should be silt plan exempt, because
square footage of only 36' per Barbara Bar height

$$13000 \text{ Cost} = \$30,00 + 120 = \$150$$

Skystream 3.7

A revolutionary residential power appliance
for utility connected homes.

SKYSTREAM^{3.7™}

- Quiet operation
- Blends into the environment
- Designed for long life
- Low cost of energy
- Rated at 1.8 kW continuous, 2.4 kW peak



SKYSTREAM 3.7™

Technical Specifications

Model	Skystream 3.7
Rated Capacity	12 kW rated, 24 kW peak
Weight	220 lbs / 97 kg
Rotor Diameter	12 feet / 3.72 meters
Swept Area	135.72 - 167.28 m ²
Type	Vertical axis, stall regulated, constant speed
Direction of Rotation	Constant, rotating tower
Blades	3
Rated Speed	30 - 350 rpm
Tip Speed	60 - 113 ft/s / 17.7 - 33 m/s
Alternator	500 VA permanent magnet brushless
Yaw Control	Passive
Grid Feeding	Continuous, 120-240 VAC, 50-60 Hz
Battery Charging	Battery Sensor available for battery charging systems
Braking System	Electric, full speed, stall, including pitch control
Cut In Wind Speed	4 mph / 1.8 m/s
Rated Wind Speed	11 mph / 4.8 m/s
User Control	Wireless 2 way interface remote system
Survival Wind Speed	140 mph / 63 m/s
Warranty	5 Year Limited Warranty

1. Based on a 12 mph (5.4 m/s) wind and utility energy cost of \$0.09/kWh
2. Taller towers are available
3. Assuming the Skystream 3.7 is producing more energy than the load is consuming

SKYSTREAM 3.7™



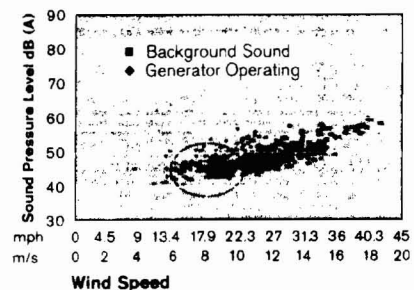
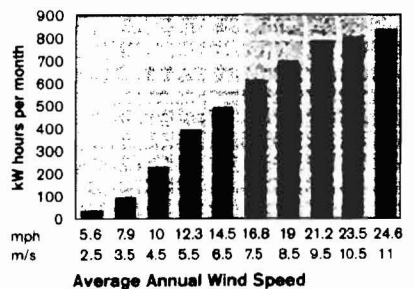
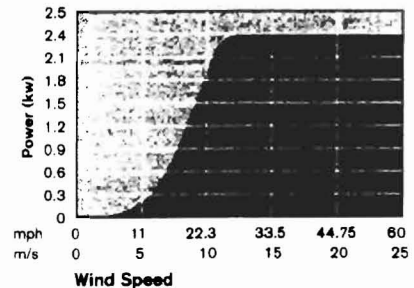
Southwest Windpower
 1801 W. Route 66 • Flagstaff, AZ 86001
 Tel 928.778.9468 • Fax 928.778.1485
www.skystreamenergy.com

Makers of
 Skystream 3.7™
 Air
 Whisper 100/200/500
 MADE IN USA

Skystream 3.7 is a breakthrough in a new generation of RPAs (Residential Power Appliances) that is changing the energy landscape of how homes and small businesses receive electricity. Skystream is the first fully integrated system that produces energy for less than the average cost of electricity in the United States and it produces usable energy in exceptionally low winds.¹

Skystream is available on towers ranging from 33 feet (10.2m) to 110 feet (33.5m)² tall. Its universal inverter delivers power compatible with any utility grid from 110-240 VAC. Skystream efficiently and quietly provides 40-90% of the energy needs for a home or small business. Any extra energy is fed into the grid spinning the meter backward.³

Performance Curves





APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

11153 1/2 SW 1st Ave
Applicant

7/28/17
Application Date

445 Russell Blvd - 1st Fl - Portland, OR
Applicant's Mailing Address

Project Name/Description

11153 1/2 SW 1st Ave - Home Improvement
Consultant/Agent/Phone Number

445 Russell Blvd - 1st Fl - Parking
Address of Proposed Site

CBL: 254-10-003

Description of Proposed Development:

11153 1/2 SW 1st Ave - Home Improvement

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
	✓
a	✓
b	✓
c	✓
d	✓
e	✓
f	✓
g	✓
h	✓