

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

**PERMIT**

Permit Number: 070047

This is to certify that UNIFIRST CORPORATION MAX DEPT/Benchmark

has permission to Close-in loading dock to increase warehouse space

AT 414 RIVERSIDE IND PKWY

354 B002001

**PERMIT ISSUED**

FEB - 9 2007

provided that the person or persons who apply for and accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. Craig CLASS

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Jeannie Bouke 2/8/07*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

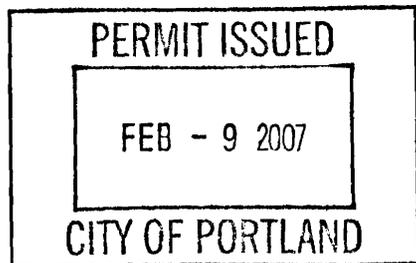
Permit No: 07-0047	Issue Date:	CBL: 354 B002001
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Location of Construction: 414 RIVERSIDE IND PKWY	Owner Name: UNIFIRST CORPORATION TAX	Owner Address: 68 JONSPIN RD	Phone:
Business Name:	Contractor Name: Benchmark	Contractor Address: 34 Thomas Dr. Westbrook	Phone: 2075917600
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: IM

Past Use: Commerical / warehouse	Proposed Use: Commerical / warehouse Close-in existing loading dock to increase warehouse space	Permit Fee: \$1,110.00	Cost of Work: \$108,210	CEO District: 5
Proposed Project Description: Close-in loading dock to increase warehouse space		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: F <sub>2</sub> Type: 2B IBC-2003 Signature: JMB 2/8/07	
		Signature: Corey Cross		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 01/12/2007	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> or w/ conditions Date: 1/12/07 AM	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

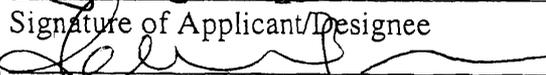
If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

  
\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

29.07

  
\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

CBL: 354-B2

Building Permit #: 070047

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0047	Date Applied For: 01/12/2007	CBL: 354 B002001
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Location of Construction: 414 RIVERSIDE IND PKWY	Owner Name: UNIFIRST CORPORATION TAX	Owner Address: 68 JONSPIN RD	Phone:
Business Name:	Contractor Name: Benchmark	Contractor Address: 34 Thomas Dr. Westbrook	Phone (207) 591-7600
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commerical / warehouse (Unifirst Corporation Close-in existing loading dock to increase warehouse space	Proposed Project Description: Close-in loading dock to increase warehouse space
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 01/18/2007**Note:** Increased warehouse space leads to need for three more parking spaces. Property has plenty of parking.      **Ok to Issue:** 

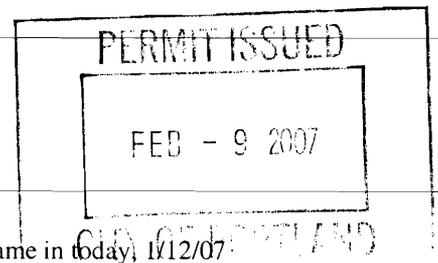
- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 02/08/2007**Note:**      **Ok to Issue:** 

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:** 01/19/2007**Note:**      **Ok to Issue:** 

- 1) No means of egress details are are given on plans submitted.  
All means of egress shall comply with NFPA 101

**Comments:**

- 1/12/2007-dmartin: Application came in on 1/05/2007 it's been on hold waiting for check which came in today, 1/12/07
- 1/16/2007-amachado: Spoke to Brad Fries at Benchmark. Need site plan.
- 1/16/2007-amachado: Received site plan. Called Barbara to see if it needed minor site plan review or exemption.
- 1/18/2007-amachado: Spoke to Barbara Barnhydt. Filled out site plan exemption for applicant.
- 1/26/2007-gg: received granted site exemption 1/26/07. /gg
- 2/6/2007-jmb: Left msgs. W/Brad F.@ Benchmark and Aaron J. Struct. Eng. Need more architectural including elevation, and any interior layout, also what is the Use of building. Also not sure where the existing brace modifications are, roof detail and soils report.
- 2/8/2007-jmb: Brad Fries called to clarify the work. The area of infill is already an enclosed loading dock. The doors to the 4 bays will be framed with steel studs. The 2 partition walls on either side will now be steel framed on extended concrete footers and walls. The bracing change is only from the double column on the exterior wall to the interior wall. Ok to issue



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>430 RIVERSIDE INDUSTRIAL PKWY</u>		
Total Square Footage of Proposed Structure <u>3,120 SF</u>	Square Footage of Lot <u>163,641 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>35A</u> Block# <u>B</u> Lot# <u>2</u>	Owner: <u>UNIFIRST CORPORATION</u>	Telephone: <u>(207) 797-4006</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>BENCHMARK</u> <u>34 THOMAS DR.</u> <u>WESTBROOK, ME 04092</u> <u>(207) 591-7600</u>	Cost Of Work: \$ <u>108,210</u> Fee: \$ <u>1,102</u> C of O Fee: \$ <u>0</u>
Current Specific use: <u>EXTERIOR LOADING DOCK</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>NEW INTERIOR WAREHOUSE SPACE</u>		
Project description: <u>RENOVATIONS TO EXISTING LOADING DOCK AREA BY</u> <u>ENCLOSING APPROXIMATE 40' x 78' BAY WITH NEW</u> <u>3120 SF</u> <u>WALLS FOR WAREHOUSE USE.</u>		
Contractor's name, address & telephone:  Who should we contact when the permit is ready: <u>BRAD FRIES, BENCHMARK</u> Mailing address: <u>34 THOMAS DR.</u> Phone: <u>(207) 591-7600</u> <u>WESTBROOK, ME 04092</u>		

Please submit all of the information outlined in the Commercial Application Checklist.  
Failure to do so will result in the automatic denial of your permit.

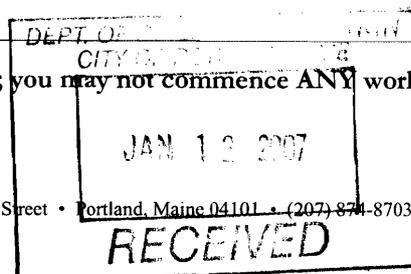
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Date:

This is not a permit; you may not commence ANY work until the permit is issued.





## Certificate of Design

Date: 12/4/2006

From: Aaron C. Jones, P.E.

These plans and / or specifications covering construction work on:

Existing brace changes and loading dock in #1 @ Uni First, 230 Riverside  
Industrial Parkway, Portland, ME (NOTE: STRUCTURE ONLY!)

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: Aaron C. Jones

Title: President

Firm: Structural Integrity, Inc.

Address: 77 OAK Street

Portland, ME 04101

Phone: 207-724-4614

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: Aaron C. Jones, P.E.

RE: Certificate of Design

DATE: 8.14.2006

These plans and / or specifications covering construction work on:

UNIT FIRST LOADING DOCK IN FULL AND SUMP TANK @ 430 Riverside Industrial  
Pkwy, Portland, ME

(Note: Structure Only)

Have been designed and drawn up by the undersigned, a Maine registered ~~Professional~~  
Engineer according to the 2003 International Building Code and local amendments.

(SEAL)



Signature: Aaron C. Jones

Title: President

Firm: Structural Integrity

Address: 180 Beacon St.  
Portland, Maine  
04103

As per Maine State Law:

\$50,000.00 or more in new construction, repair  
expansion, addition, or modification for  
Building or Structures, shall be prepared by a  
registered design Professional.

FROM DESIGNER: Aaron C Jones / STRUCTURAL INTEGRITY  
 DATE: 8-14-2006  
 Job Name: 06-0023 UNIFNS + LOADING DOCK ENFAC + SUMP TANK  
 Address of Construction: 430 Riverside Industrial Pkwy, Port Head ME

**2003 International Building Code**

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 IBC Use Group Classification(s) II

Type of Construction N/A

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC N/A

Is the Structure mixed use? \_\_\_\_\_ if yes, separated or non separated (see Section 302.3) \_\_\_\_\_

Supervisory alarm system? \_\_\_\_\_ Geotechnical/Soils report required? (See Section 1802.2) N/A

STRUCTURAL DESIGN CALCULATIONS

\_\_\_\_\_ Submitted for all structural members (106.1, 106.1.1) N/A

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)

Uniformly distributed floor live loads (7603.11, 1607)

Floor Area Use	Loads Shown
Sump Platform	100psf
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

\_\_\_\_\_ Design option utilized (1609.1.1, 1609.5) N/A

\_\_\_\_\_ Basic wind speed (1609.3)

\_\_\_\_\_ Building category and wind importance factor,  $I_w$  (Table 1604.5, 1609.5)

\_\_\_\_\_ Wind exposure category (1609.4)

\_\_\_\_\_ Internal pressure coefficient (ASCE 7)

\_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2) N/A

\_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earthquake design data (1609.1.5, 1614-1623)

\_\_\_\_\_ Design option utilized (1614.1)

\_\_\_\_\_ Seismic use group ("Category") (Table 1604.5, 1616.2)

\_\_\_\_\_ Spectral response coefficients,  $S_{ps}$  &  $S_{D1}$  (1615.1)

\_\_\_\_\_ Site class (1615.1.5)

N/A Live load reduction (1603.1.1, 1607.8, 1607.10)

N/A Roof live loads (1603.1.2, 1607.11)

\_\_\_\_\_ Roof snow loads (7603.7.3, 1608)

\_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)

\_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load,  $P_f$  (1608.3)

\_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$  (Table 1608.3.1)

\_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$  (Table 1604.5)

\_\_\_\_\_ Roof thermal factor,  $C_t$  (Table 1608.3.2)

\_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)

\_\_\_\_\_ Seismic design category (1616.3)

\_\_\_\_\_ Basic seismic-force-resisting system (Table 1617.6.2)

\_\_\_\_\_ Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (Table 1617.6.2)

N/A Analysis procedure (1616.6, 1617.5)

\_\_\_\_\_ Design base shear (1617A, 1617.6.1)

Flood loads (1603.1.6, 1612)

\_\_\_\_\_ Flood hazard area (1612.3)

\_\_\_\_\_ Elevation of structure

Other loads

\_\_\_\_\_ Concentrated loads (1607.4)

\_\_\_\_\_ Partition loads (1607.5)

\_\_\_\_\_ Impact loads (1607.8)

\_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.19, 1610, 1611, 2404)



# Statement of Special Inspections

Project: UNI FIRST LOADING DOCK INFILL AND SUMP TANK

Location: 430 RIVERSIDE INDUSTRIAL PKWY, PORTLAND, ME

Owner: UNI FIRST CORP.

Design Professional in Responsible Charge: Aaron C. Jones, P.E.

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Special Inspection Coordinator and the identity of other approved agencies to be retained for conducting these inspections and tests. This *Statement of Special Inspections* encompass the following disciplines:

Structural       Mechanical/Electrical/Plumbing  
 Architectural       Other: \_\_\_\_\_

The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Design Professional in Responsible Charge.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

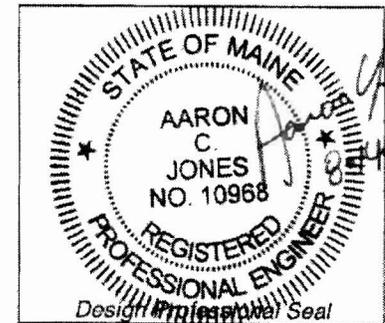
Interim Report Frequency:

or  per attached schedule.

Prepared by:

Aaron C. Jones  
(type or print name)

Aaron C. Jones      8.14.06  
Signature      Date



Owner's Authorization:

Building Official's Acceptance:

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

## Schedule of Inspection and Testing Agencies

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- |  |  |
|--|--|
| <input type="checkbox"/> Soils and Foundations             | <input type="checkbox"/> Spray Fire Resistant Material         |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input type="checkbox"/> Wood Construction                     |
| <input type="checkbox"/> Precast Concrete                  | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry                           | <input type="checkbox"/> Mechanical & Electrical Systems       |
| <input checked="" type="checkbox"/> Structural Steel       | <input type="checkbox"/> Architectural Systems                 |
| <input type="checkbox"/> Cold-Formed Steel Framing         | <input type="checkbox"/> Special Cases                         |

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Special Inspection Coordinator <i>To Be Determined</i>		
2. Inspector <i>Aaron C. Jones</i>	<i>Structural Integrity, Inc.</i>	<i>180 Beacon St. Portland, ME 207-774-4614 aaron@structuralinteg.com</i>
3. Inspector		
4. Testing Agency		
5. Testing Agency		
6. Other		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

## Quality Assurance Plan

### Quality Assurance for Seismic Resistance

Seismic Design Category

Quality Assurance Plan Required (Y/N)

Description of seismic force resisting system and designated seismic systems:

### Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust)

Wind Exposure Category

Quality Assurance Plan Required (Y/N)

Description of wind force resisting system and designated wind resisting components:

### Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility.

N/A

Cast-in-Place Concrete

Item	Agency # (Qualif.)	Scope
1. Mix Design <i>Prior to Conc. Placement</i>	2 ACI-CCI ICC-RCSI	Review concrete batch tickets and verify compliance with approved mix design. Verify that water added at the site does not exceed that allowed by the mix design.
2. Material Certification		
3. Reinforcement Installation <i>Prior to Conc. Placement</i>	2 ACI-CCI ICC-RCSI	Inspect size, spacing, cover, positioning and grade of reinforcing steel. Verify that reinforcing bars are free of form oil or other deleterious materials. Inspect bar laps and mechanical splices. Verify that bars are adequately tied and supported on chairs or bolsters
4. Post-Tensioning Operations <i>N/A</i>	ICC-PCSI	Inspect placement, stressing, grouting and protection of post-tensioning tendons. Verify that tendons are correctly positioned, supported, tied and wrapped. Record tendon elongations.
5. Welding of Reinforcing <i>N/A</i>	AWS-CWI	Visually inspect all reinforcing steel welds. Verify weldability of reinforcing steel. Inspect preheating of steel when required.
6. Anchor Rods <i>N/A</i>		Inspect size, positioning and embedment of anchor rods. Inspect concrete placement and consolidation around anchors.
7. Concrete Placement <i>Continuous</i>	2 ACI-CCI ICC-RCSI	Inspect placement of concrete. Verify that concrete conveyance and depositing avoids segregation or contamination. Verify that concrete is properly consolidated.
8. Sampling and Testing of Concrete <i>Not Required if mix designs are approved</i>	ACI-CFTT ACI-STT	Test concrete compressive strength (ASTM C31 & C39), slump (ASTM C143), air-content (ASTM C231 or C173) and temperature (ASTM C1064).
9. Curing and Protection <i>periodic</i>	2 ACI-CCI ICC-RCSI	Inspect curing, cold weather protection and hot weather protection procedures.
10. Other:		

**Structural Steel**

Item	Agency # (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures <input type="checkbox"/> Fabricator Exempt <i>N/A</i>	AWS/AISC- SSI ICC-SWSI	<i>Review shop fabrication and quality control procedures.</i>
2. Material Certification <i>N/A</i>	AWS/AISC- SSI ICC-SWSI	<i>Review certified mill test reports and identification markings on wide-flange shapes, high-strength bolts, nuts and welding electrodes</i>
3. Open Web Steel Joists <i>N/A</i>		<i>Inspect installation, field welding and bridging of joists.</i>
4. Bolting <i>At Completion</i>	2 AWS/AISC- SSI ICC-SWSI	<i>Inspect installation and tightening of high-strength bolts. Verify that splines have separated from tension control bolts. Verify proper tightening sequence. Continuous inspection of bolts in slip-critical connections.</i>
5. Welding <i>N/A</i>	AWS-CWI  ASNT	<i>Visually inspect all welds. Inspect pre-heat, post-heat and surface preparation between passes. Verify size and length of fillet welds.  Ultrasonic testing of all full-penetration welds.</i>
6. Shear Connectors <i>N/A</i>	AWS/AISC- SSI ICC-SWSI	<i>Inspect size, number, positioning and welding of shear connectors. Inspect studs for full 360 degree flash. Ring test all shear connectors with a 3 lb hammer. Bend test all questionable studs to 15 degrees.</i>
7. Structural Details <i>At Completion</i>	2 PE/SE	<i>Inspect steel frame for compliance with structural drawings, including bracing, member configuration and connection details.</i>
8. Metal Deck <i>N/A</i>	AWS-CWI	<i>Inspect welding and side-lap fastening of metal roof and floor deck.</i>
9. Other:		



#07 0047

## APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Beachmark  
Applicant

1/16/12  
Application Date

3417 1/2 Ave SW, NW, Portland, OR 97201  
Applicant's Mailing Address

Urban Village  
Project Name/Description

Bob [unclear] 503-700-7000  
Consultant/Agent/Phone Number

10 Riverside Dr, NW, Portland, OR  
Address of Proposed Site

CBL: 2014-0-2

### Description of Proposed Development:

Removal of existing building to make way for new building  
4,500 sq ft building with 2 units

### Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:  
See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment  
(Yes, No, N/A)

Planning Office  
Use Only

yes

yes

yes

yes

yes

✓

✓

✓

Planning Division Use Only



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>430 RIVERSIDE INDUSTRIAL PKWY</u>		
Total Square Footage of Proposed Structure <u>3,120 SF</u>	Square Footage of Lot <u>163,641 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>35A</u> Block# <u>B</u> Lot# <u>2</u>	Owner: <u>UNIFIRST CORPORATION</u>	Telephone: <u>(207) 797-4006</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>BENCHMARK</u> <u>34 THOMAS DR.</u> <u>WESTBROOK, ME 04092</u> <u>(207) 591-7600</u>	Cost Of Work: \$ <u>108,210</u> Fee: \$ <u>1,102</u> C of O Fee: \$ <u>ES</u>
Current Specific use: <u>EXTERIOR LOADING DOCK</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>NEW INTERIOR WAREHOUSE SPACE</u>		
Project description: <u>RENOVATIONS TO EXISTING LOADING DOCK AREA BY</u> <u>ENCLOSING APPROXIMATE 40' x 78' BAY WITH NEW</u> <u>3120# WALLS FOR WAREHOUSE USE.</u>		
Contractor's name, address & telephone:  Who should we contact when the permit is ready: <u>BRAD FRIES, BENCHMARK</u> Mailing address: <u>34 THOMAS DR.</u> Phone: <u>(207) 591-7600</u> <u>WESTBROOK, ME 04092</u>		

Please submit all of the information outlined in the Commercial Application Checklist.  
Failure to do so will result in the automatic denial of your permit.

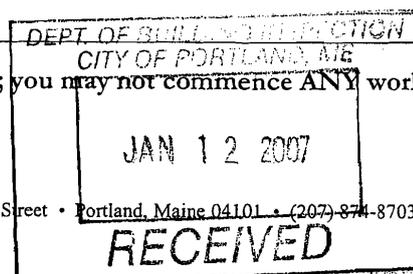
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Date:

This is not a permit; you may not commence ANY work until the permit is issued.



**DESIGN LOADS:**

INTERNATIONAL BUILDING CODE, IBC 2003 EDITION, EXCEPT AS NOTED  
OCCUPANCY CATEGORY, TABLE 1604.5 II STANDARD

ROOFS:					
GROUND SNOW, PG		50 PSF	(USED FOR DRIFTING CALCULATIONS)		
FLAT ROOF SNOW, PF		42 PSF			
SNOW EXPOSURE FACTOR, CE	TABLE 1608.3.1	0.9			
SNOW IMPORTANCE FACTOR, IS	TABLE 1804.5	1.0			
SNOW THERMAL FACTOR, CT	TABLE 1608.3.2	1.0			

**LATERAL**

WIND	IBC 1603.1.4, ASCE 7-02	ANALYTIC METHOD
3 SECOND GUST VELOCITY	90 MPH	
IMPORTANCE FACTOR	1.0	
EXPOSURE	C	

**SEISMIC**

USE GROUP	II	
IMPORTANCE FACTOR	1.0	
SPECTRAL RESPONSE	ACCELERATION	COEFFICIENT
SHORT PERIOD	SS 0.37 G	S05 0.5G
ONE SECOND	S1 0.1 G	S01 0.2 G

SOILS SITE CLASS	TABLE 1615.1.1	D
DESIGN CATEGORY <th>TABLE 1616.3C</th> <td></td>	TABLE 1616.3C	
ANALYSIS PROCEDURE <td>SIMPLIFIED</td> <td></td>	SIMPLIFIED	

**FOUNDATION DESIGN:**

REFER TO SOILS REPORT NO. 06-0203 BY S.W. COLE, DATED 4-28-06.  
SOILS ENGINEER SHALL VERIFY SOIL CONDITIONS AND TYPES DURING EXCAVATION AND PRIOR TO CONCRETE PLACEMENT.

**FOOTINGS---**

DESIGN OF FOOTINGS IS BASED ON  
MAXIMUM ALLOWABLE BEARING PRESSURE 2,000 PSF  
BEAR ON ROCK BLANKET ON THE NATURAL UNDISTURBED SOIL, OR COMPACTED STRUCTURAL FILL, BELOW FROST DEPTH.

**RETAINING STRUCTURES---**

EARTH EQUIVALENT FLUID LATERAL PRESSURE:	
RESTRAINED WALLS (AT REST)	63 PCF
PASSIVE RESISTING	200 PCF

**REINFORCED CONCRETE:**

DESIGN IS BASED ON "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318-02). CONCRETE WORK SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE" (ACI 301-99).  
STRUCTURAL CONCRETE SHALL HAVE THE FOLLOWING PROPERTIES:

INTENDED USE	F <sub>c</sub> , PSI 28 DAY	MAX W/C RATIO	MAX AGGREGATE	SUMP INCHES	ENTRAINED AIR PERCENT ±1.5%	CEMENT TYPE	ADMITTURES COMMENTS
WALLS, FOOTING, VAULTS, SLAB	4,000	.55	1.5" STONE	7	5%	I/II	

DETAILING, FABRICATION, AND PLACEMENT OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315-89).  
REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.

EXCEPT TIES OR BARS SHOWN TO BE FIELD-BENT, WHICH SHALL BE GRADE 40.

AT SPLICES, LAP BARS 50 DIAMETERS UNLESS NOTED OTHERWISE.  
AT CORNERS AND INTERSECTIONS, MAKE HORIZONTAL BARS CONTINUOUS OR PROVIDE MATCHING CORNER BARS.  
IN CONTINUOUS MEMBERS, SPLICE TOP BARS AT MID-SPAN AND SPLICE BOTTOM BARS OVER SUPPORTS.  
EXCEPT AS NOTED ON THE DRAWINGS, CONCRETE PROTECTION FOR REINFORCEMENT IN CAST-IN-PLACE CONCRETE SHALL BE AS FOLLOWS:

A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"  
ALL CONCRETE WORK IS SUBJECT TO INSPECTION BY A QUALIFIED SPECIAL INSPECTOR EMPLOYED BY THE OWNER IN ACCORDANCE WITH IBC SECTION 1704.4.

**STRUCTURAL STEEL:**

STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH AISC SPECIFICATIONS, 1989, AND CODE OF STANDARD PRACTICE, 2000.

STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A992.

OTHER ROLLED SHAPES, INCLUDING PLATES, CHANNELS, AND ANGLES SHALL CONFORM TO ASTM A36.

PIPE SHAPES SHALL CONFORM TO ASTM A53 GRADE B.

EXCEPT AS NOTED, FRAMED BEAM CONNECTIONS SHALL BE BEARING-TYPE WITH 3/4" DIAMETER, SLUG TIGHT, A325-N BOLTS, DETAILED IN CONFORMANCE WITH PART 4, TABLES II AND III, FOR 0.6 TIMES THE ALLOWABLE UNIFORM LOADS TABULATED IN PART 2 OF THE AISC MANUAL, 9TH EDITION. INSTALL BOLTS IN ACCORDANCE WITH AISC

"SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", 1985.

ALL BEAMS SHALL HAVE FULL DEPTH WEB STIFFENERS EACH SIDE OF WEBS ABOVE AND BELOW COLUMNS.  
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ALL STEEL AND CONNECTORS EXPOSED TO THE ENVIRONMENT SHALL BE HOT DIP GALVANIZED, OR SHALL RECEIVE A 3 COAT 100% SOLIDS EPOXY PAINT SYSTEM, APPROVED BY THE OWNER.

**FIELD VERIFICATION OF EXISTING CONDITIONS:**

CONTRACTOR SHALL THOROUGHLY INSPECT AND SURVEY EXISTING STRUCTURE TO VERIFY CONDITIONS THAT AFFECT THE WORK SHOWN ON THE DRAWINGS.  
CONTRACTOR SHALL REPORT ANY VARIATIONS OR DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING.

**STRUCTURAL ERECTION AND BRACING REQUIREMENTS:**

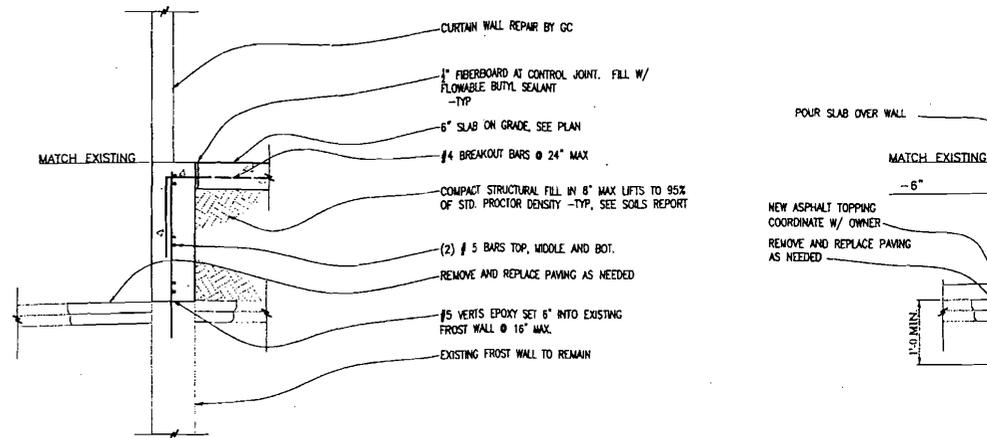
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THESE CONSTRUCTION DOCUMENTS CONTAIN TYPICAL AND REPRESENTATIVE DETAILS TO ASSIST THE CONTRACTOR.  
ALL PROPRIETARY CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS.  
ALL WORK SHALL BE ACCOMPLISHED IN A WORKMANLIKE MANNER AND IN ACCORDANCE WITH THE APPLICABLE CODE AND LOCAL ORDINANCES.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK, INCLUDING LAYOUT AND DIMENSION VERIFICATION, MATERIALS COORDINATION, SHOP DRAWING REVIEW, AND THE WORK OF SUBCONTRACTORS.  
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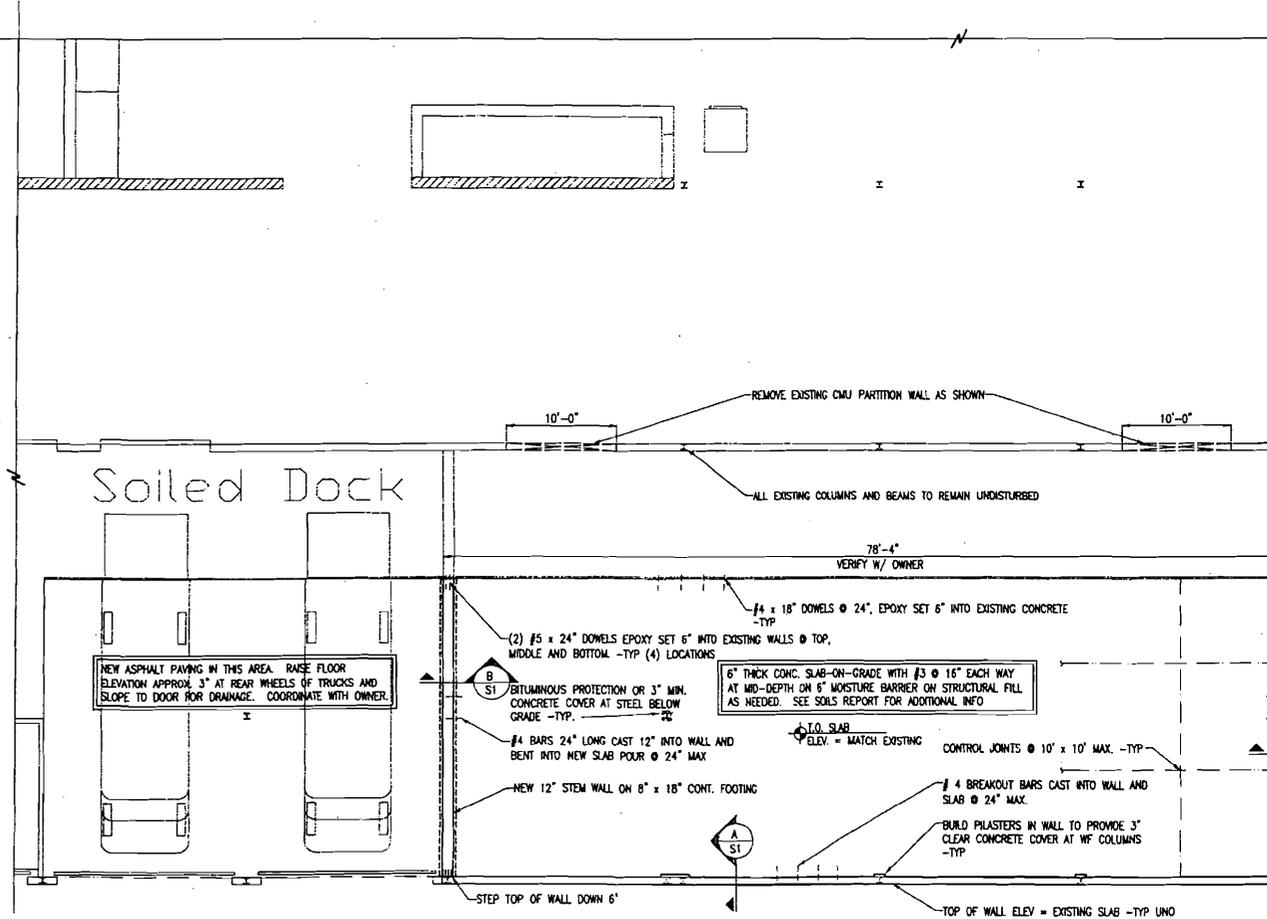
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**A** **LOADING DOCK INFILL SECTION**  
SCALE: 3/4" = 1'-0"

**B** **LOADING DOCK INFILL SECTION**  
SCALE: 3/4" = 1'-0"

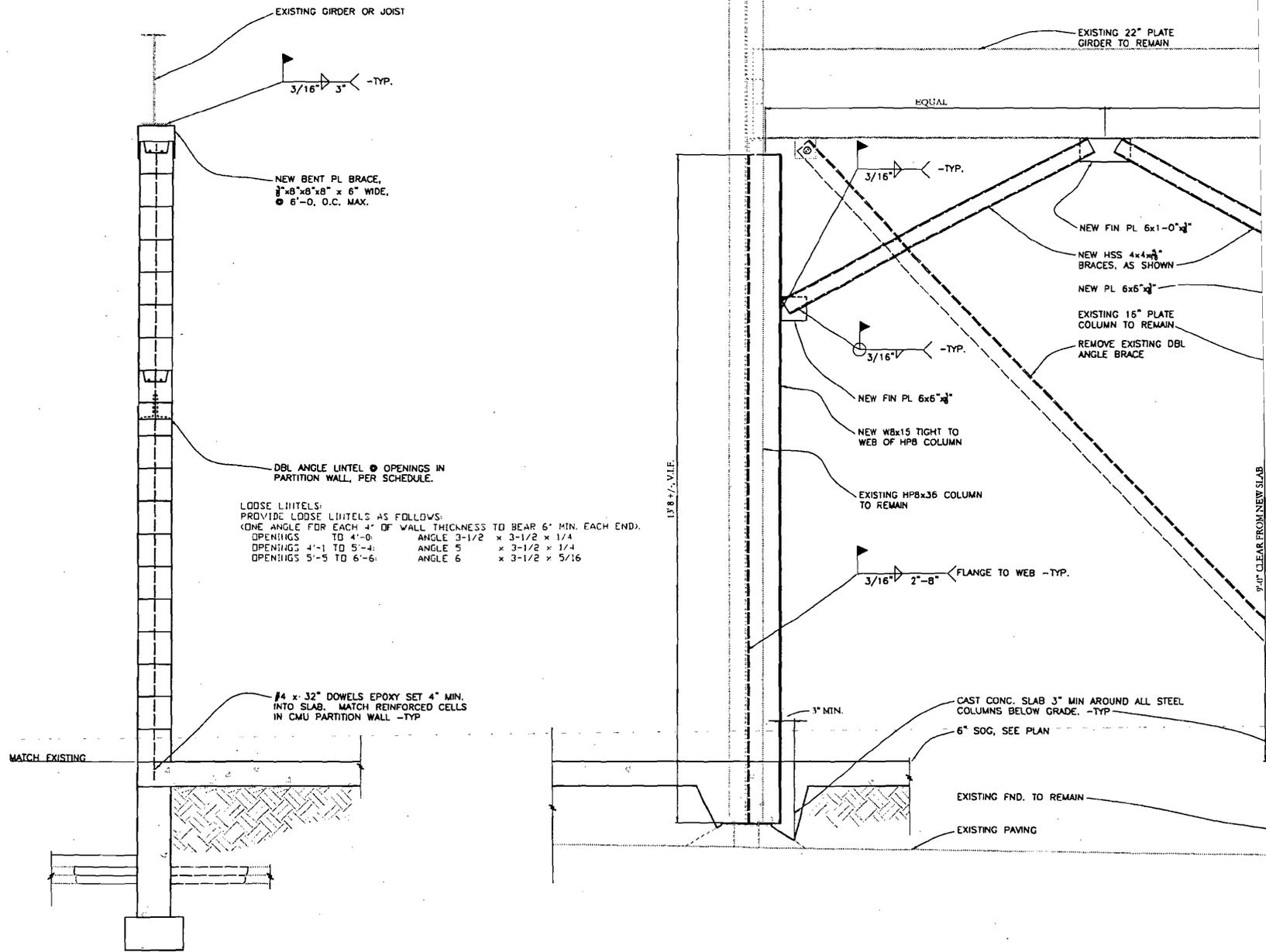


**LOADING DOCK INFILL PLAN**  
SCALE: 1/8" = 1'-0"

**NOTES:**

1. NEW FOOTINGS ARE 8" DEEP x 1'-6" WIDE x CONT.
2. STEP IN TOP OF FOUNDATION WALL IS INDICATED THUS: [Symbol], AND SHOWS LOWER SIDE OF WALL.
3. ALL EPOXY SHALL BE HILTI HY-150 OR EQUAL.





A PARTITION WALL CONSTRUCTION  
S3 SCALE: 3/4" = 1'-0"

B EXISTING BRACE MODIFICATIONS  
S3 SCALE: 3/4" = 1'-0"

Sheet 1 of 30

MAINE TURNPIKE AUTHORITY

TO REMAIN

EXISTING OUTLET  
CONTROL STRUCTURE  
AND PIPE TO REMAIN

NE'ly 368.14'

GUARDRAIL

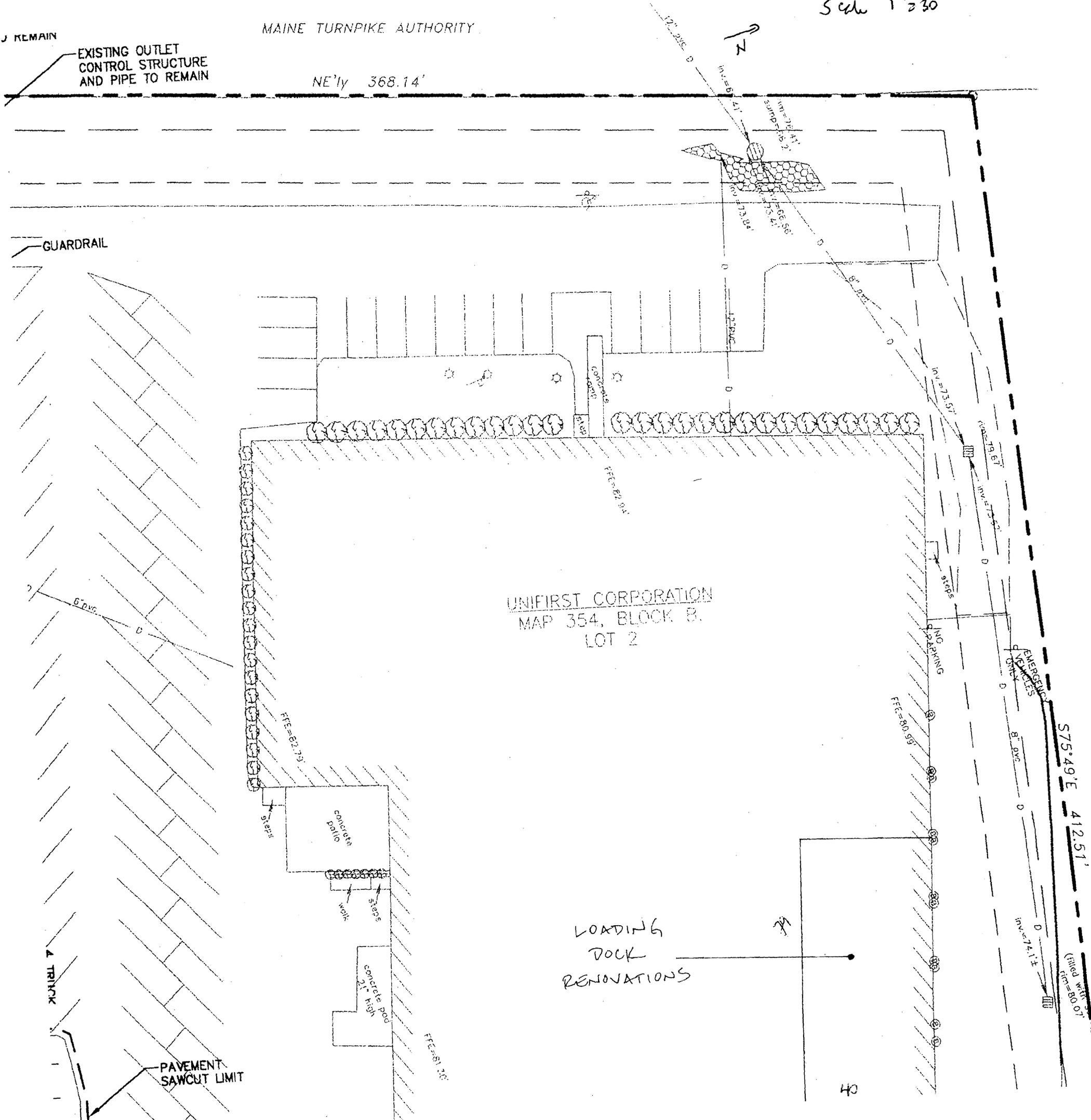
UNIFIRST CORPORATION  
MAP 354, BLOCK B.  
LOT 2

LOADING  
DOCK  
RENOVATIONS

PAVEMENT  
SAWCUT LIMIT

S75°49'E 412.51'

(fill) P.W. 100.0'



**DESIGN LOADS:**

INTERNATIONAL BUILDING CODE, IBC 2003 EDITION, EXCEPT AS NOTED  
OCCUPANCY CATEGORY, TABLE 1604.5 # STANDARD

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**LATERAL**

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3 SECOND GUST VELOCITY IMPORTANCE FACTOR	C	90 MPH
SEISMIC	USE GROUP II	COEFFICIENT 1.0
IMPORTANCE FACTOR		
SPECTRAL RESPONSE SHORT PERIOD SS	0.37 G	SDS 0.5G
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SOILS SITE CLASS	TABLE 1615.1.1 D	
DESIGN CATEGORY	TABLE 1616.3C	
ANALYSIS PROCEDURE	SIMPLIFIED	

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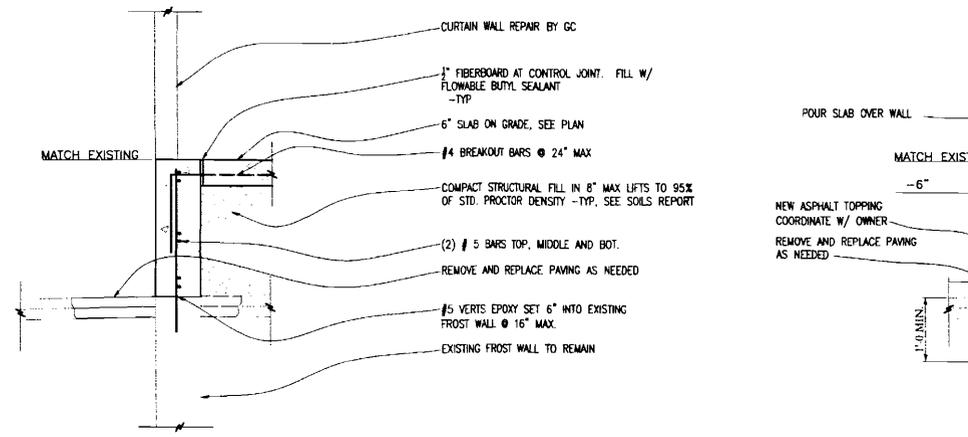
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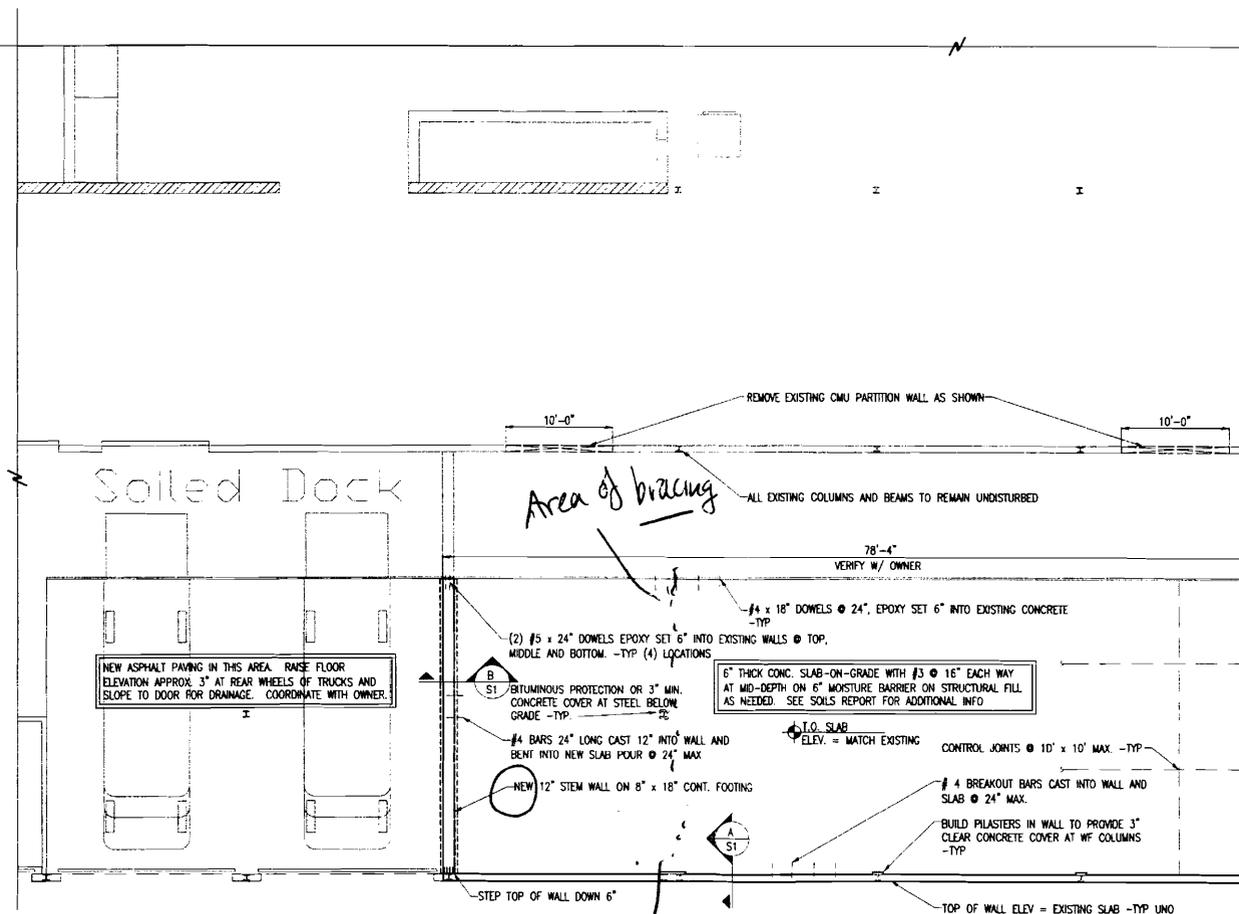
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**LOADING DOCK INFILL SECTION**  
SCALE: 3/4" = 1'-0"

**LOA**  
SCALE:

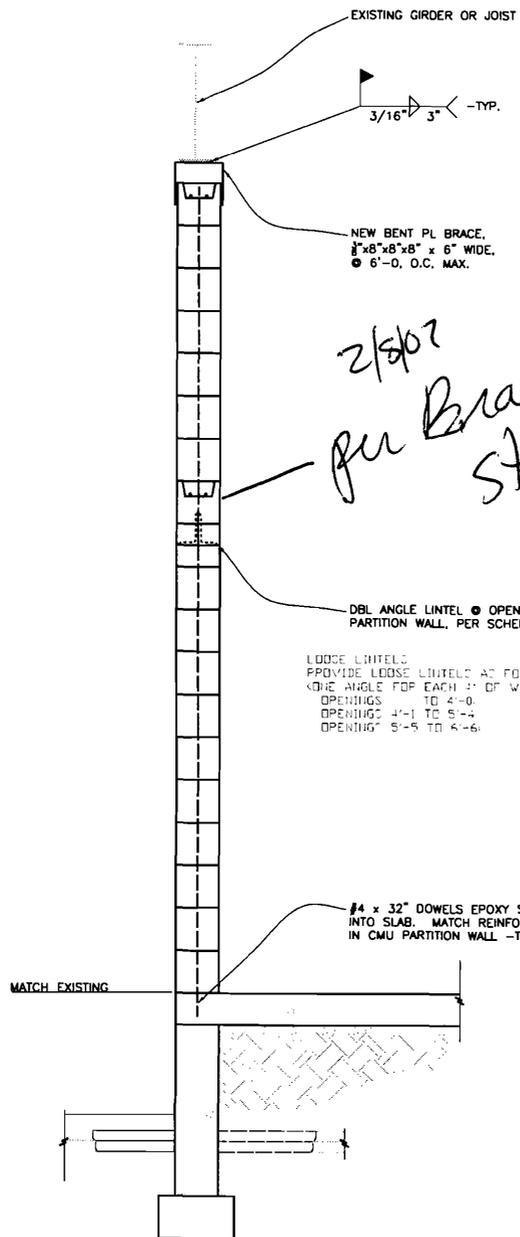


**LOADING DOCK INFILL PLAN**  
SCALE: 1/8" = 1'-0"

**NOTES:**

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3. ALL EPOXY SHALL BE HILTI HY-150 OR EQUAL.

2/8/07  
per Brad Fries  
Roof & ceiling existing and this exterior wall

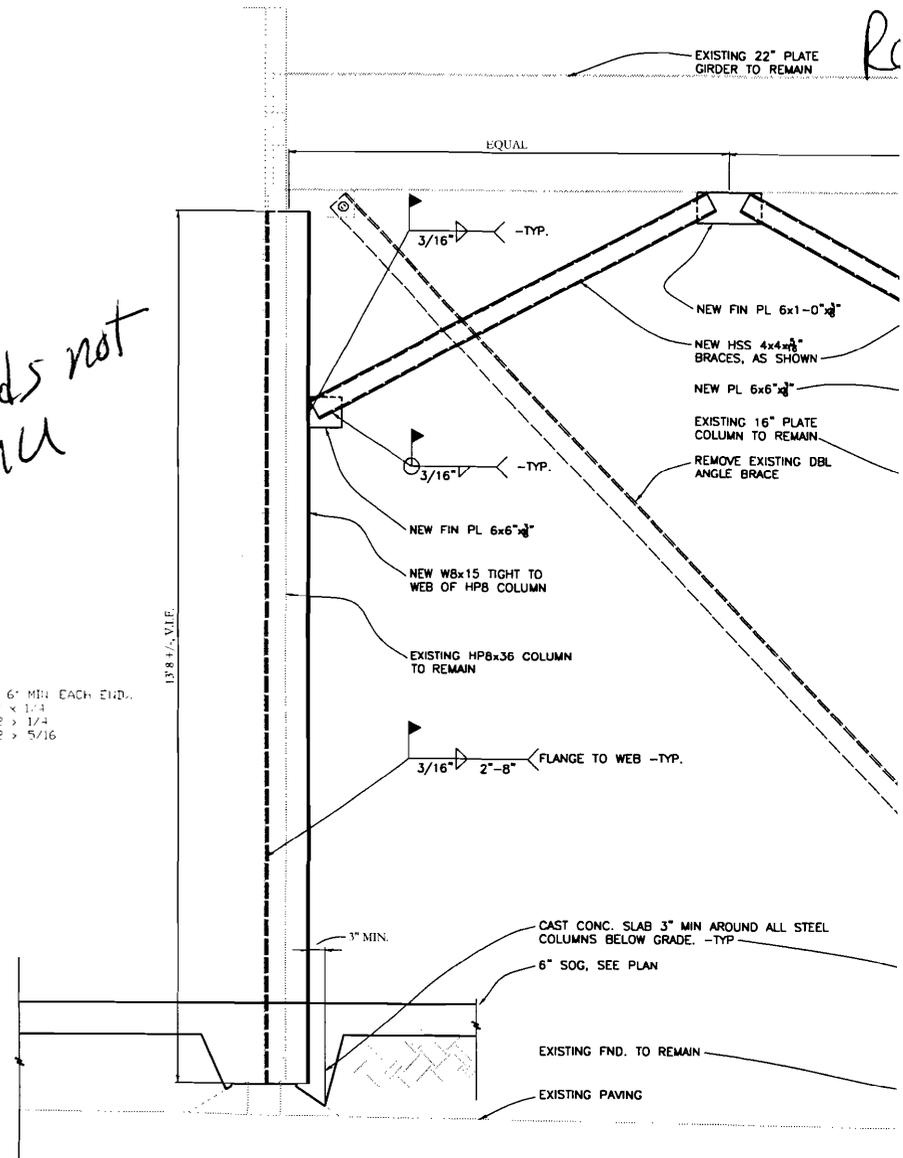


LOOSE LINTELS  
PROVIDE LOOSE LINTELS AS FOLLOWS:  
(ONE ANGLE FOR EACH 2" OF WALL THICKNESS TO BEAR 6" MIN EACH END.)

OPENINGS TO 4'-0"	ANGLE 2-1/2"	x	3-1/2"	x	1/4"
OPENINGS 4'-1" TO 5'-4"	ANGLE 5"	x	3-1/2"	x	1/4"
OPENINGS 5'-5" TO 6'-6"	ANGLE 6"	x	3-1/2"	x	5/16"

*2/5/07  
per Brad Fries  
steel studs not  
CMU*

**A PARTITION WALL CONSTRUCTION**  
SCALE: 3/4" = 1'-0"



**B EXISTING BRACE MODIFICATIONS**  
SCALE: 3/4" = 1'-0"