

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DEPARTMENT

## PERMIT

Permit Number: 031371

Please Read Application And Notes, If Any, Attached

This is to certify that Jd Building Llc /n/a  
has permission to Build New 6000 sq. Ft. Office Warehouse  
AT 19 Rice St R 354 A006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**  
Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

[Signature] 12/3/03  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1371	Issue Date: 11/11/03	CBL: 354 A006001
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<b>Location of Construction:</b> 19 Rice St R	<b>Owner Name:</b> Jd Building Llc	<b>Owner Address:</b> 125 Brighton Rd	<b>Phone:</b>
<b>Business Name:</b> n/a	<b>Contractor Name:</b> n/a	<b>Contractor Address:</b> n/a Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> Commercial	<b>Zone:</b> 1M
<b>Past Use:</b> Vacant	<b>Proposed Use:</b> Build New 6000 sq. Ft. Office / Warehouse	<b>Permit Fee:</b> \$2,604.00	<b>Cost of Work:</b> \$261,930.00
<b>Proposed Project Description:</b> Build New 6000 sq. Ft. Office/ Warehouse		<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: B/S2 Type: 2c 12/31/03
		Signature: <i>[Signature]</i>	
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.):</b>			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature: _____ Date: _____			

<b>Permit Taken By:</b> gg	<b>Date Applied For:</b> 11/05/2003	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MMD Date: 11/25/03	<b>Zoning Appeal</b> <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:	
	<i>Separate permits required for new sign</i> <i>Panel 1 zone c</i>			<i>[Signature]</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

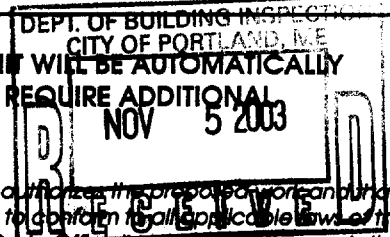
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Rice St - Rear 19 Portland ME</u>		
Total Square Footage of Proposed Structure <u>6000 sq ft</u>	Square Footage of Lot <u>75,180</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>354</u> Block# <u>A</u> Lot# <u>000</u>	Owner: <u>J.D. Building LLC.</u> <u>Josh Doncett - President.</u>	Telephone: <u>207-797-3461</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>J.D. Building LLC.</u> <u>1 Industrial Way #4</u> <u>Portland, ME 04103</u>	Cost Of Work: \$ <u>261,936</u> Fee: \$ <u>2340.00</u> <u>2379</u>
Current use: <u>Raw land</u>		<u>3 Cop OS = 225</u> <u>\$ 2604.00</u>
If the location is currently vacant, what was prior use: <u>Raw land</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>office / Warehouse 6000 sq ft new bldg.</u> Project description: <u>3 tenants eventually</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Josh Doncett</u>		
Mailing address: <u>J.D. Building LLC.</u> <u>1 Industrial Way - #4</u> <u>Portland, ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-797-3461</u> .		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described by this application is issued, I certify that the Code Officers authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>11-4-03</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

1/1 P **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

30 P **Footing/Building Location Inspection:** Prior to pouring concrete

30 P **Re-Bar Schedule Inspection:** Prior to pouring concrete

30 P **Foundation Inspection:** Prior to placing ANY backfill

30 P **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

30 P **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

30 P **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

30 P **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]  
Signature of applicant/designee

1/2/04  
Date

[Signature]  
Signature of Inspections Official

1/2/04  
Date

CBL: 354A006 Building Permit #: 03 1371

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Fire Copy**

2003-0149

Application I. D. Number

7/22/2003

Application Date

Warehouse Building

Project Name/Description

Thirsty Turf Irrigation

Applicant

1 Industrial Way, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 797-3461 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

19 - 19 Rice St R, Portland, Maine

Address of Proposed Site

354 A006001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

6,000 s.f.

Proposed Building square Feet or # of Units

Acreeage of Site

IM

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Pla \$400.00 Subdivision \_\_\_\_\_ Engineer Review \$2,074.05 Date 11/6/2003

**Fire Approval Status:**

Reviewer Lt. MacDougal

- Approved  Approved w/Conditions  
See Attached  Denied

Approval Date 7/24/2003 Approval Expiration 7/24/2004 Extension to \_\_\_\_\_  Additional Sheets  
Attached

Condition Compliance Lt. MacDougal 7/24/2003  
signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>10/17/2003</u> date	<u>\$109,000.00</u> amount	<u>10/30/2004</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>11/4/2003</u> date	<u>\$2,180.00</u> amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

**2003-0149**

Application I. D. Number

**7/22/2003**

Application Date

**Warehouse Building**

Project Name/Description

**Thirsty Turf Irrigation**

Applicant

**1 Industrial Way, Portland, ME 04103**

Applicant's Mailing Address

**19 - 19 Rice St R, Portland, Maine**

Address of Proposed Site

**354 A006001**

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

**Applicant Ph: (207) 797-3461 Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**6,000 s.f.**

Proposed Building square Feet or # of Units

Acreeage of Site

**IM**

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Pla **\$400.00** Subdivision \_\_\_\_\_ Engineer Review **\$2,074.05** Date **11/6/2003**

**Planning Approval Status:**

Reviewer **Sarah Hopkins**

- Approved**  **Approved w/Conditions**  
See Attached  **Denied**

Approval Date **9/11/2003** Approval Expiration **9/11/2004** Extension to \_\_\_\_\_  Additional Sheets Attached

- OK to Issue Building Permit** **Sarah Hopkins** **11/25/2003**  
signature date

**Performance Guarantee**  **Required\***  **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<b>10/17/2003</b> date	<b>\$109,000.00</b> amount	<b>10/30/2004</b> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<b>11/4/2003</b> date	<b>\$2,180.00</b> amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	_____ date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	signature	

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 03-1371	<b>Date Applied For:</b> 11/05/2003	<b>CBL:</b> 354 A006001
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<b>Location of Construction:</b> 19 Rice St R	<b>Owner Name:</b> Jd Building Llc	<b>Owner Address:</b> 125 Brighton Rd	<b>Phone:</b>
<b>Business Name:</b> n/a	<b>Contractor Name:</b> n/a	<b>Contractor Address:</b> n/a Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> Additions - Commercial	

<b>Proposed Use:</b> Build New 6000 sq. Ft. Office / Warehouse	<b>Proposed Project Description:</b> Build New 6000 sq. Ft. Office/ Warehouse
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<b>Dept:</b> Zoning	<b>Status:</b> Approved	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 11/25/2003
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		

<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Mike Nugent	<b>Approval Date:</b> 12/31/2003
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
<p>1) A statement of Special Inspections is required to be submitted' reviewed and approved for the Steel erection prior to the commencement of that phase of construction.          Stamped plans for the masonry element of the building must be submitted, reviewed and approved prior to the commencement of that phase of construction.          Fire wall assembly details must be submitted, reviewed and approved prior to the commencement of that phase of construction.</p>			

<b>Dept:</b> Fire	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Lt. MacDougal	<b>Approval Date:</b> 11/25/2003
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
<p>1) any chemical storage will require a seperate permit from the Portland Fire Department          2) fire extinguishers shall be installed in accordance with NFPA 10 standards          3) means of egress shall be illuminated</p>			

<b>Comments:</b>
<p>11/25/2003-mjn: Advised Ron from Patco that a :          1) geo thechnical report is required ✓          2) Stamped engineering plans ✓          3) Statement of special inspections .</p> <p>11/26/2003-kwd: site plan received 11/25/2003 from planning. Kwd</p> <p>12/10/2003-mjn: Received PDF's of stamped engineered plans, requested full size set and reminded Patco of items 1 &amp; 3 (Jason Gardiner via email)</p>



CITY OF PORTLAND, MAINE  
389 Congress St., Rm. 315  
Portland, ME 04103  
Tel. - 207-874-5700  
Fax - 207-874-5700

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: JOHN W. EINSIEDLER  
140 SEA ROAD KAMENACK, ME

DATE: November 3, 2003

Job Name: Thirsty Tuff

Address of Contractor: Rice St., Portland, ME 04103

THE BOCA NATIONAL BUILDING CODE. Fourteenth EDITION  
Construction project was designed according to the  
code criteria listed below 6/32

Building Code and Year: BOCA 1999 (Use Other) ATTORNEY/STATE

Type of Construction: 2C Bldg Height: ONE 20' / RAISE 24'-2" Side Sq. Footage: 6000 SF

Building Type: 2 Group Class: GROUP 1

Roof Snow Load Per Sq. Ft.: 44 PSF Dead Load: VARIABLES

Main Wind Speed (mph): 90 mph Effective Velocity: 84.75 PSF

Roof Live Load Per Sq. Ft.: 0/16

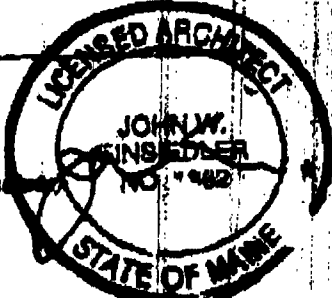
Is automatic fire suppression system? Yes No / No Yes  
Automatic fire suppression must be installed according to BOCA and  
Portland Fire Department. Standards with approval from S.

Is structure being considered unimpaired area building? Yes NO

Structure use, what subsection of 313 is being considered: 313.1.1.

List equipment loading for each room or space designed into this Project:

TENANT SPACES A & B = 1500 SF EACH  
DEAD LOAD TO BE DETERMINED W/TENANT  
Thirsty Tuff 2500 SF STORAGE = 8 PSF  
700 SF OFFICE = 7 PSF





**Robert T. Gore, Jr., P.E.**  
**Consulting Structural Engineer**

**TEL: 207-477-2671**  
**FAX: 207-477-2671**  
**E-MAIL: rtgore@metrocast.net**

**MAILING ADDRESS:**  
**P.O. BOX 190**  
**ACTON ME 04001-0190**

**STREET ADDRESS:**  
**406 NEW BRIDGE RD.**  
**ACTON, MAINE 04001**

December 12, 2003

Attn: Gregg Paterson  
Patco Construction Co.  
1293 Main St.  
Sanford, ME 04073

Re: Thursty Turf project, Special Inspections

Dear Gregg:

This letter replaces in total a draft (unsigned) letter I sent to you on 12/12/2003 concerning construction inspection on the above referenced project. I have discussed the required inspection process with Mike Nugent at the office of CEO for Portland and he has indicated that the office requires special inspection in strict compliance with BOCA '99 ed., specifically Chapter 17.

It is my understanding that the scope of work you have requested from me includes and is limited to special inspection of installation of high strength bolts (Section 1705.3.3.1), concrete forming (Section 1705.4.3) and installation of concrete reinforcing (Section 1705.4.2). Inspection reporting shall comply with Section 1705.1.2 of BOCA '99 ed. Other special inspections will be conducted by others.

In accordance with Section 1705.1.1 of the Code, it is my obligation to specify the required special inspection for the foundation. In accordance with this provision, the following special inspections will be required:

1. The first piers formed and reinforced as illustrated in Sections A, B, C and E on the plan, prior to pouring concrete. The footing reinforcing for these piers will not require special inspection. The footing dimensions do require special inspection, and that will be done at the time the piers are inspected.
2. If deficiencies are found in any of the inspections conducted as required by 1. above, a follow up inspection will be required.
3. The first footing formed and reinforced as illustrated in Section D on the plan, prior to pouring concrete.
4. If deficiencies are found in the inspection conducted as required by 3. above, a follow up inspection will be required.
5. The forming and reinforcing of the slab on grade must be inspected prior to pouring of

- concrete.
6. If deficiencies are found in inspection conducted as required by 5. above, a follow up inspection will be required.

It is unclear to me whether the inspection requirement for bolts should be applied to all bolts or only a sample of bolts. The code requires that Varco-Pruden specify the required special inspection. I have a call in to Mike Nugent for clarification on this point.

Thank you.

Very truly yours,

Robert T. Gore, Jr.

11:11 PM THIRSTY TURF IRRIGATION 207 797 3463

**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE**  
385 Congress St., Portland  
Portland, ME 04101

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** John W. Einsiedler, R.A.

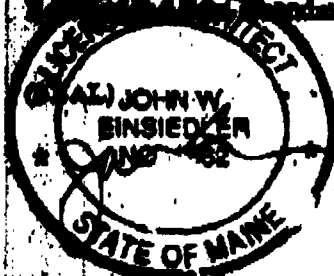
**RE:** Certificate of Design

**DATE:** November 3, 2003

These plans and/or specifications covering construction work on:

THIRSTY-TURF  
RICE ST, Portland ME 04103

Have been designed and drawn up by the undersigned, a Maine registered professional engineer according to the BOCA National Building Code/1999 Foundation and other amendments.



Signature John W. Einsiedler  
Title OWNER  
Firm JOHN W. EINSIEDLER, R.A.  
Address 148 5th FORD  
KENNEBUNK, ME 04043

**Under Maine State Law**

For construction of \$50,000.00 or more in new construction, repair, addition, addition, or modification for Building or Structures, shall be prepared by a registered design



**S.W. COLE**  
ENGINEERING, INC.

• Geotechnical Engineering • Field & Lab Testing • Scientific & Environmental Consulting

03-1189

December 23, 2003

J.D. Building, LLC  
C/O Thirsty Turf  
Attn: Josh Doucette  
1 Industrial Way  
Portland, ME 04103

Subject: Bearing Capacity Assessment  
Proposed Thirsty Turf Building  
Rice Street  
Portland, Maine

Dear Mr. Doucette:

In accordance with our Agreement dated December 17, 2003, we have observed test pits explorations and made a bearing capacity assessment of the subsurface soils for foundation support of the proposed building at the above referenced site. The contents of this report are subject to the limitations set forth in Attachment A.

### **PROPOSED CONSTRUCTION**

Based upon plans and information provided by you, we understand the new building will consist of a one-story, steel-framed and metal-sided structure measuring about 60 x 100 feet in plan dimension. The proposed finished floor elevation is 78.0 feet (project datum) and the existing grades are between elevation 76 and 79 feet.

### **EXPLORATION WORK**

Two test pits were made at the site on December 23, 2003 by Gorham Sand & Gravel of Gorham, Maine. The test pit locations were selected by S.W.COLE ENGINEERING, INC. based on a site plan prepared by DeLuca-Hoffman Associates (project civil engineer). The test pits were established in the field based on measurements from staked building corners. The approximate test pit locations are shown on the "Exploration Location Plan" attached as Sheet 1. Logs of the test pits are attached as Sheet 2. A key to the notes and symbols used on the logs is attached as Sheet 3.

GRAY, ME OFFICE

286 Portland Road, Gray, ME 04039-9586 ■ Tel (207) 657-2866 ■ Fax (207) 657-2840 ■ E-Mail [infogray@swcole.com](mailto:infogray@swcole.com) ■ [www.swcole.com](http://www.swcole.com)

Other offices in Augusta, Bangor, and Caribou, Maine & Somersworth, New Hampshire

**SUBSURFACE CONDITIONS**

The test pits generally encountered a soil profile consisting of about 0.5 feet of brown-orange silty sand with roots overlying 0 to 1.0 feet of gray silty sand overlying very stiff to stiff olive brown silty clay. Free groundwater was not observed within the test pits at the time of exploration work. The surface soils were frozen to a depth of about 6 inches and the olive-brown clays appear wet of the optimum moisture content needed for compaction. Groundwater should be expected to fluctuate seasonally and during periods of heavy precipitation or snow melt. The test pits were terminated at depths of 7.5 and 9.0 feet, respectively, below the ground surface.

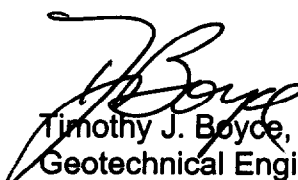
**EVALUATION AND RECOMMENDATIONS**

Based on the subsurface findings, the proposed construction appears feasible from a geotechnical standpoint. The very stiff to stiff undisturbed native olive brown clay encountered at the test pit locations has good bearing characteristics for shallow spreading footings and appears suitable for an allowable soil bearing pressure of at least 3.0 ksf as given on the project foundation plans prepared by Robert T. Gore, Jr. (project structural engineer) of Acton, Maine. We recommend that the excavation to subgrade be completed with a smooth-edged bucket to preclude disturbance of the olive-brown clays anticipated at footing grade. We recommend that the footings be placed at least 4.5 feet below exterior finish grade in order to provide frost protection and that a perimeter underdrain be installed at footing grade. The underdrain must have a gravity outlet. We recommend that a S.W. COLE ENGINEERING, INC. observe subgrades prior to placement of foundation concrete.

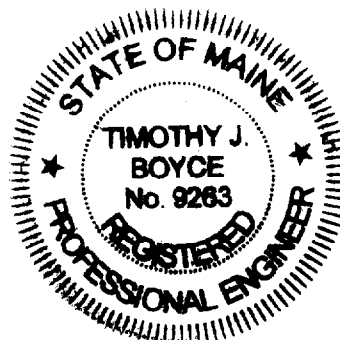
As discussed, S.W. COLE ENGINEERING, INC. is available to provide geotechnical observations and testing of soil, concrete, asphalt and structural steel construction materials during construction if necessary. If you have any questions or need additional information, please do not hesitate to contact us.

Sincerely,

**S. W. COLE ENGINEERING, INC.**



Timothy J. Boyce, P.E.  
Geotechnical Engineer



**Attachment A**  
**Limitations**

This report has been prepared for the exclusive use of J.D. Building L.L.C. for specific application to the Proposed Thirsty Turf Building on Rice Street in Portland, Maine described herein. S.W.COLE ENGINEERING, INC. has endeavored to conduct the work in accordance with generally accepted soil and foundation engineering practices. No other warranty, expressed or implied, is made.

The soil profiles described in the report are intended to convey general trends in subsurface conditions. The boundaries between strata are approximate and are based upon interpretation of exploration data and samples.

The analyses performed during this investigation and recommendations presented in this report are based in part upon the data obtained from subsurface explorations made at the site. Variations in subsurface conditions may occur between explorations and may not become evident until construction. If variations in subsurface conditions become evident after submission of this report, it will be necessary to evaluate their nature and to review the recommendations of this report.

Observations have been made during exploration work to assess site groundwater levels. Fluctuations in water levels will occur due to variations in rainfall, temperature, and other factors.

S.W.COLE ENGINEERING, INC.'s scope of work has not included the investigation, detection, or prevention of any Biological Pollutants at the project site or in any existing or proposed structure at the site. The term "Biological Pollutants" includes, but is not limited to, molds, fungi, spores, bacteria, and viruses, and the byproducts of any such biological organisms.

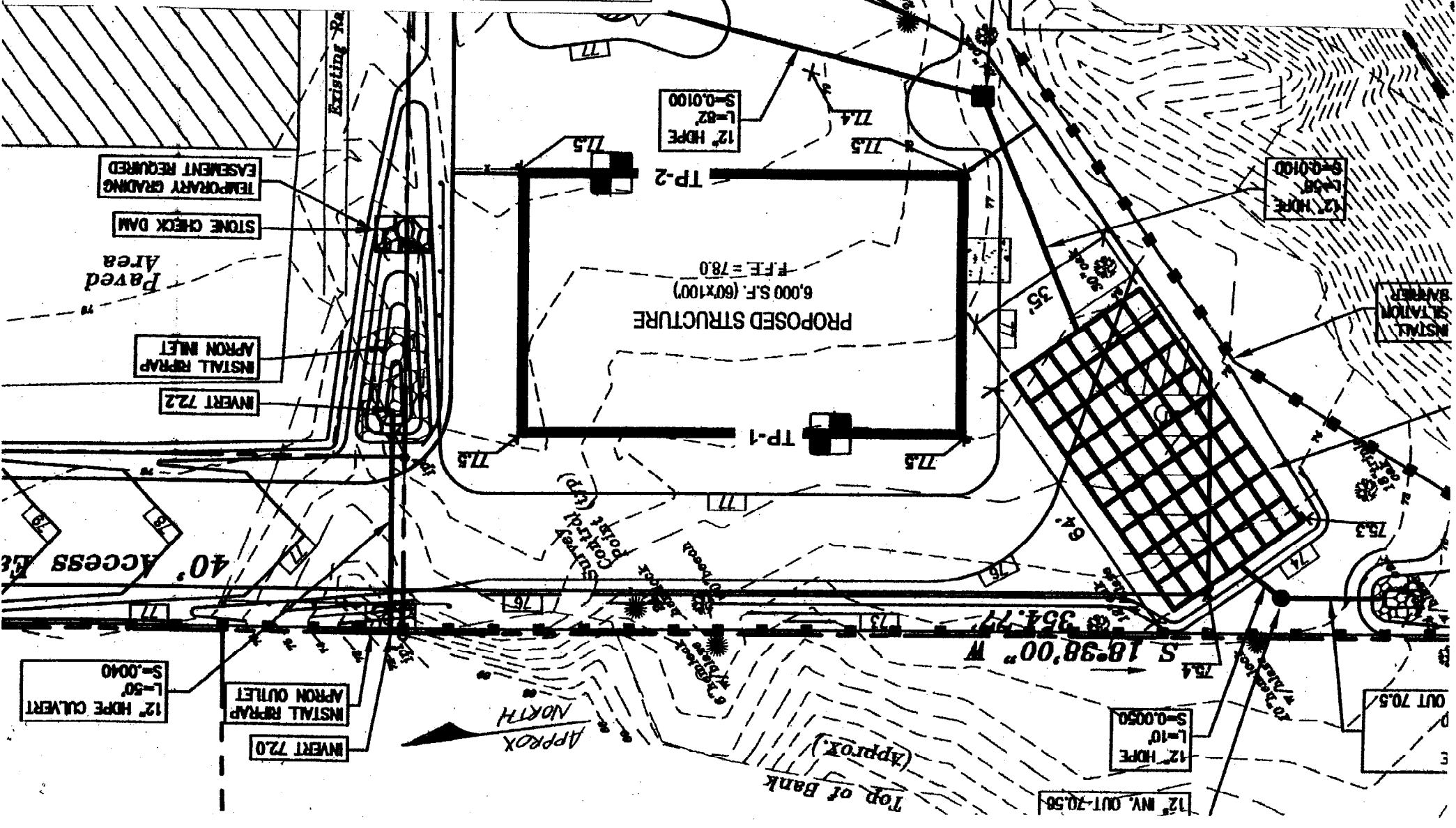
Recommendations contained in this report are based substantially upon information provided by others regarding the proposed project. In the event that any changes are made in the design, nature, or location of the proposed project, S.W.COLE ENGINEERING, INC. should review such changes as they relate to analyses associated with this report. Recommendations contained in this report shall not be considered valid unless the changes are reviewed by S.W.COLE ENGINEERING, INC.

**J.D. BUILDING L.L.C.**  
**EXPLORATION LOCATION PLAN**  
 PROPOSED THIRSTY TURF BUILDING  
 RICE STREET  
 PORTLAND, MAINE

**S.W. COLLE**  
 ENGINEERING, INC.

PROJECT NO. 03-1189  
 DATE: DEC. 23, 2003  
 SCALE: AS SHOWN  
 SHEET: 1

- NOTES**
1. Base plan provided by Deluca-Hoffman Associates
  2. Exploration locations determined in the field by taped measurements from staked building corners.





# S.W. COLE ENGINEERING, INC.

## TEST PIT LOGS

PROJECT/CLIENT: PROPOSED THIRSTY TURF BUILDING / J.D. BUILDING, LLC

LOCATION: RICE STREET, PORTLAND, MAINE

PROJECT NO. 03-1189

<b>TEST PIT TP-1</b>			
DATE: <u>12/23/03</u>		SURFACE ELEVATION: <u>76' +/-</u>	LOCATION: <u>SEE SHEET 1</u>
SAMPLE NO.	DEPTH (FT)		
	0.5'	ORANGE-BROWN SILTY SAND WITH ROOTS (FROZEN)	
		OLIVE BROWN SILTY CLAY, FISSURED ~ VERY STIFF TO STIFF ~	q <sub>p</sub> = 8.0 KSF
			q <sub>p</sub> = 6.0 KSF
		BOTTOM OF EXPLORATION @ 7.5'	
COMPLETION DEPTH: <u>7.5 FEET</u>		DEPTH TO WATER: <u>NONE OBSERVED</u>	

<b>TEST PIT TP-2</b>			
DATE: <u>12/23/03</u>		SURFACE ELEVATION: <u>79' +/-</u>	LOCATION: <u>SEE SHEET 1</u>
SAMPLE NO.	DEPTH (FT)		
	0.5'	ORANGE-BROWN SILTY SAND WITH ROOTS (FROZEN)	
	1.5'	GRAY SILTY SAND ~ LOOSE ~	
		OLIVE BROWN SILTY CLAY, FISSURED ~ VERY STIFF TO STIFF ~	q <sub>p</sub> = 8.0 KSF
			q <sub>p</sub> = 6.0 KSF
		BOTTOM OF EXPLORATION @ 9.0'	
COMPLETION DEPTH: <u>9.0 FEET</u>		DEPTH TO WATER: <u>NONE OBSERVED</u>	





**KEY TO THE NOTES & SYMBOLS**  
**Test Boring and Test Pit Explorations**

All stratification lines represent the approximate boundary between soil types and the transition may be gradual.

**Key to Symbols Used:**

w	-	water content, percent (dry weight basis)
q <sub>u</sub>	-	unconfined compressive strength, kips/sq. ft. - based on laboratory unconfined compressive test
S <sub>v</sub>	-	field vane shear strength, kips/sq. ft.
L <sub>v</sub>	-	lab vane shear strength, kips/sq. ft.
q <sub>p</sub>	-	unconfined compressive strength, kips/sq. ft. based on pocket penetrometer test
O	-	organic content, percent (dry weight basis)
W <sub>L</sub>	-	liquid limit - Atterberg test
W <sub>P</sub>	-	plastic limit - Atterberg test
WOH	-	advance by weight of hammer
WOM	-	advance by weight of man
WOR	-	advance by weight of rods
HYD	-	advance by force of hydraulic piston on drill
RQD	-	Rock Quality Designator - an index of the quality of a rock mass. RQD is computed from recovered core samples.
γ <sub>T</sub>	-	total soil weight
γ <sub>B</sub>	-	buoyant soil weight

**Description of Proportions:**

0 to 5% TRACE  
5 to 12% SOME  
12 to 35% "Y"  
35+% AND

**REFUSAL: Test Boring Explorations** - Refusal depth indicates that depth at which, in the drill foreman's opinion, sufficient resistance to the advance of the casing, auger, probe rod or sampler was encountered to render further advance impossible or impracticable by the procedures and equipment being used.

**REFUSAL: Test Pit Explorations** - Refusal depth indicates that depth at which sufficient resistance to the advance of the backhoe bucket was encountered to render further advance impossible or impracticable by the procedures and equipment being used.

Although refusal may indicate the encountering of the bedrock surface, it may indicate the striking of large cobbles, boulders, very dense or cemented soil, or other buried natural or man-made objects or it may indicate the encountering of a harder zone after penetrating a considerable depth through a weathered or disintegrated zone of the bedrock.

# THIRSTY-TURF IRRIGATION

November 5, 2004

Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

RE: Building Permit application for J.D. Building L.L.C. on 19A Rice St., Portland,  
Maine

Dear Planning and Inspections,

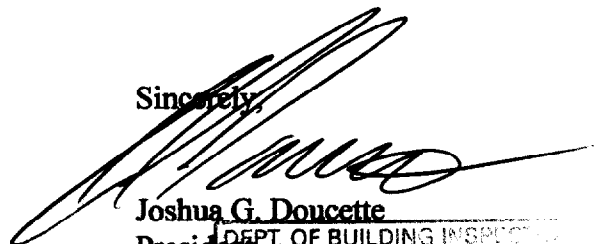
The building that I am proposing is a 6,000sf office/warehouse to be located on Rice St in Portland. The building will be metal construction and built by PATCO Construction, Inc. out of Sanford, Maine. The building is to be divided into three separate units, one 3,000sf unit that will be occupied by Thirsty-Turf Irrigation, Inc, and two 1,500sf units to be leased by other companies. All units will be divided into office/warehouse space with a restroom per unit.

The utilities to service the building will be Portland City sewer and water accompanied by Northern Utilities, Central Maine Power and Verizon.

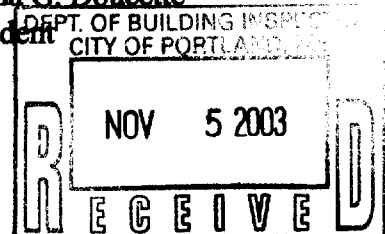
At this time city site plans have been submitted - approved and construction of the road and utilities to the edge of the proposed building is complete. All cost estimates and performance guarantees' have also been submitted and approved.

If you should have any questions or concerns please contact my office (207) 797-3461 or cell# 831-6744. Thank you for your time.

Sincerely,



Joshua G. Doucette  
President



03-1189

December 23, 2003

J.D. Building, LLC  
C/O Thirsty Turf  
Attn: Josh Doucette  
1 Industrial Way  
Portland, ME 04103

Subject: Bearing Capacity Assessment  
Proposed Thirsty Turf Building  
Rice Street  
Portland, Maine

Dear Mr. Doucette:

In accordance with our Agreement dated December 17, 2003, we have observed test pits explorations and made a bearing capacity assessment of the subsurface soils for foundation support of the proposed building at the above referenced site. The contents of this report are subject to the limitations set forth in Attachment A.

### **PROPOSED CONSTRUCTION**

Based upon plans and information provided by you, we understand the new building will consist of a one-story, steel-framed and metal-sided structure measuring about 60 x 100 feet in plan dimension. The proposed finished floor elevation is 78.0 feet (project datum) and the existing grades are between elevation 76 and 79 feet.

### **EXPLORATION WORK**

Two test pits were made at the site on December 23, 2003 by Gorham Sand & Gravel of Gorham, Maine. The test pit locations were selected by S.W.COLE ENGINEERING, INC. based on a site plan prepared by DeLuca-Hoffman Associates (project civil engineer). The test pits were established in the field based on measurements from staked building corners. The approximate test pit locations are shown on the "Exploration Location Plan" attached as Sheet 1. Logs of the test pits are attached as Sheet 2. A key to the notes and symbols used on the logs is attached as Sheet 3.

### **SUBSURFACE CONDITIONS**

The test pits generally encountered a soil profile consisting of about 0.5 feet of brown-orange silty sand with roots overlying 0 to 1.0 feet of gray silty sand overlying very stiff to stiff olive brown silty clay. Free groundwater was not observed within the test pits at the time of exploration work. The surface soils were frozen to a depth of about 6 inches and the olive-brown clays appear wet of the optimum moisture content needed for compaction. Groundwater should be expected to fluctuate seasonally and during periods of heavy precipitation or snow melt. The test pits were terminated at depths of 7.5 and 9.0 feet, respectively, below the ground surface.

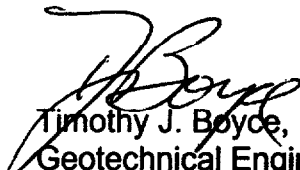
### **EVALUATION AND RECOMMENDATIONS**

Based on the subsurface findings, the proposed construction appears feasible from a geotechnical standpoint. The very stiff to stiff undisturbed native olive brown clay encountered at the test pit locations has good bearing characteristics for shallow spreading footings and appears suitable for an allowable soil bearing pressure of at least 3.0 ksf as given on the project foundation plans prepared by Robert T. Gore, Jr. (project structural engineer) of Acton, Maine. We recommend that the excavation to subgrade be completed with a smooth-edged bucket to preclude disturbance of the olive-brown clays anticipated at footing grade. We recommend that the footings be placed at least 4.5 feet below exterior finish grade in order to provide frost protection and that a perimeter underdrain be installed at footing grade. The underdrain must have a gravity outlet. We recommend that a S.W.COLE ENGINEERING, INC. observe subgrades prior to placement of foundation concrete.

As discussed, S.W.COLE ENGINEERING, INC. is available to provide geotechnical observations and testing of soil, concrete, asphalt and structural steel construction materials during construction if necessary. If you have any questions or need additional information, please do not hesitate to contact us.

Sincerely,

**S. W. COLE ENGINEERING, INC.**



Timothy J. Boyce, P.E.  
Geotechnical Engineer

