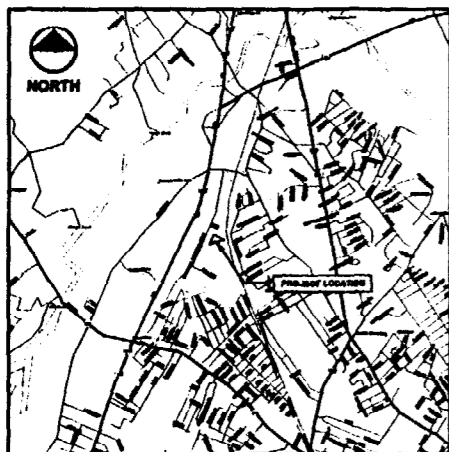


PROJECT PARCEL SITE
CITY OF PORTLAND TAX ASSESSOR'S MAP, LOT & BLOCK NUMBERS

MAP 354 LOT A BLOCK 6



LOCATION MAP
K.T.S.

INDEX

- COVER SHEET, GENERAL NOTES & LEGEND
- EXISTING CONDITIONS PLAN
- SITE LAYOUT AND UTILITIES PLAN
- GRADING, DRAINAGE AND EROSION CONTROL PLAN
- SITE DETAILS
- UTILITY, EROSION CONTROL AND STORM DRAIN DETAILS
- EROSION CONTROL NOTES
- STORM WATER SYSTEM DETAILS

PREPARED BY

CIVIL ENGINEER:
DeLuca-Hoffman Associates, Inc.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, MAINE 04106
(207) 775-1121

SURVEYOR:
Stephen Martin, Inc., p/s
36 STRAW ROAD
GORHAM, MAINE 04038
(207) 839-8131

OWNER:
GRINGOLET ASSOCIATES
ATTN: ROBERT J. GAUDREAU
45 BRIDGETON ROAD
WESTBROOK, MAINE 04092

APPLICANT:
THIRSTY TURF IRRIGATION
ATTN: JOSH DOUCETTE
1 INDUSTRIAL WAY
PORTLAND, MAINE 04103

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

WAREHOUSE/OFFICE AT RICE STREET OFF RIVERSIDE INDUSTRIAL PARKWAY PORTLAND, MAINE

UTILITIES

SEWER
ATTN: FRANK BRANCELY
PORTLAND PUBLIC WORKS
55 PORTLAND STREET
PORTLAND, MAINE 04104
(207) 874-8300

WATER
ATTN: DAVE COFFIN
PORTLAND WATER DISTRICT
225 DOUGLAS STREET
P.O. BOX 3553
PORTLAND, MAINE 04102-3553
(207) 774-5961

ELECTRIC
ATTN: MARK KREIDER
CENTRAL MAINE POWER COMPANY
162 CANCO ROAD
P.O. BOX 1801
PORTLAND, MAINE 04104
(207) 828-2683

GAS
ATTN: RICK BELLEMAIRE
NORTHERN UTILITIES, INC.
1075 FOREST AVENUE
PORTLAND, MAINE 04103
(207) 797-8002, EXT.6247

TELEPHONE
ATTN: COREY MCDONALD
VERIZON
5 DAVIS FARM ROAD
PORTLAND, MAINE 04103
(207) 797-1788

CABLE
ATTN: DEBRA PAIEMENT AND/OR
DON JOHNSON
TIME WARNER CABLE
118 JOHNSON ROAD
PORTLAND, MAINE 04102
(207) 253-2262 (DEBRA)
(207) 253-2291 (DON)

FIRE ALARM
ATTN: LT. GAYLEN McDOUGAL
PORTLAND FIRE DEPT.
CENTRAL FIRE STATION
CONGRESS STREET
PORTLAND, MAINE 04101
(207) 8874-8300

DIG SAFE
1-800-225-4977

PERMITS

LOCAL
SITE PERMIT APPROVAL

BUILDING PERMIT/DEMOLITION PERMIT/
CERTIFICATE OF OCCUPANCY

GOVERNING BODY
DIRECTOR OF PLANNING AND
ECONOMIC DEVELOPMENT
CITY OF PORTLAND PLANNING AUTHORITY
CITY HALL
CONGRESS STREET
PORTLAND, MAINE 04102
(207)879-330
ATTN: SARAH HOPKINS

BUILDINGS AND CODE ENFORCEMENT OFFICE
CITY OF PORTLAND, CITY HALL
CONGRESS STREET
PORTLAND, MAINE 04102
(207)874-8300
ATTN: MIKE NUGENT

STATUS
APPROVED SEPTEMBER 11, 2003
SEE "CONDITIONS OF APPROVAL
ON FILE WITH OWNER"

TO BE SUBMITTED BY
OWNER/GENERAL CONTRACTOR

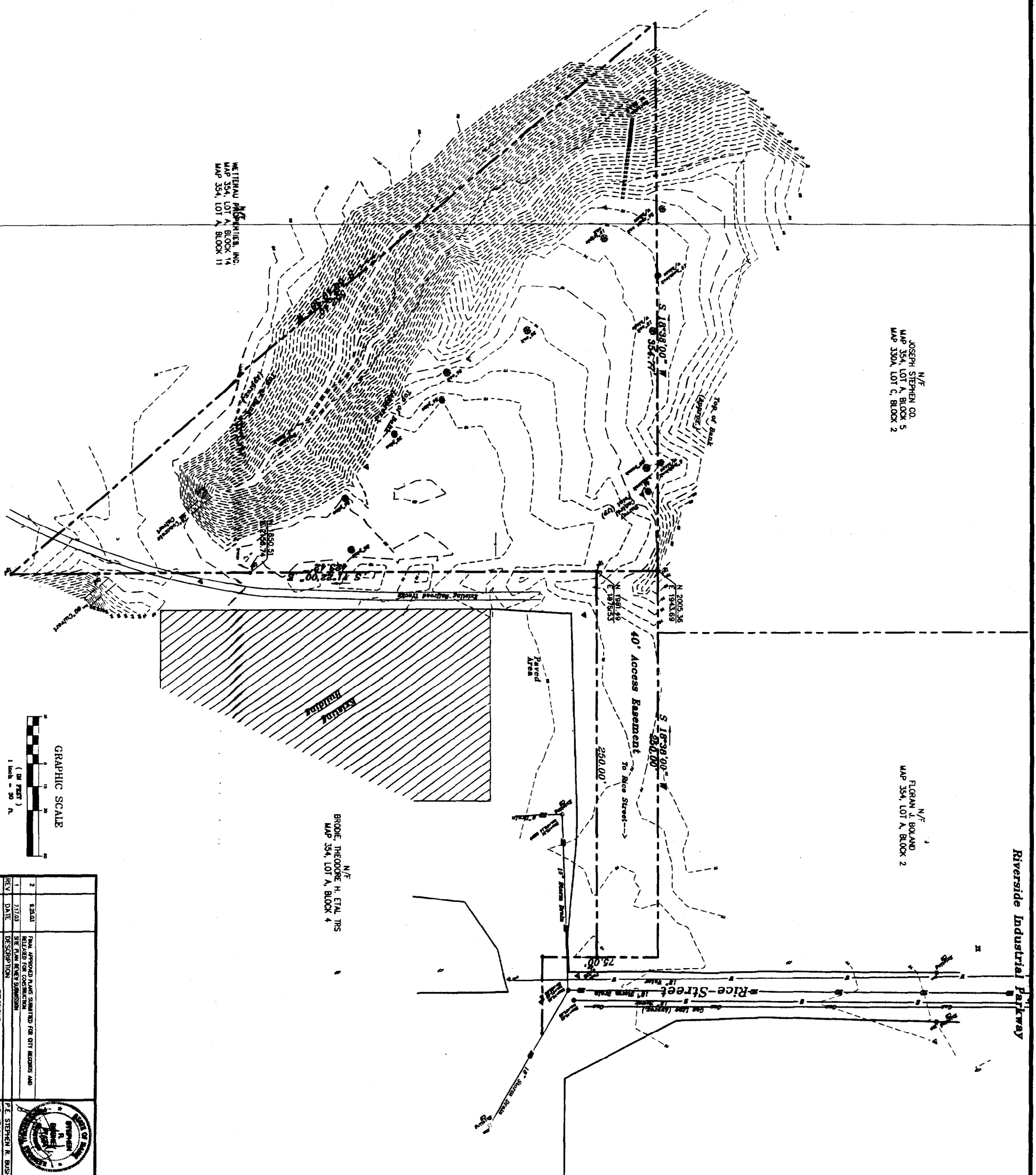
LEGEND

EXISTING	PROPOSED
IRON PIPE FOUND	CONTOUR LINE
MONUMENT FOUND NOW OR FORMERLY	BITUMINOUS SIDEWALK WITH MONOLITHIC CURB
UTILITY POLE SIGN	EDGE OF PAVEMENT
TELEPHONE MANHOLE	SILT FENCE
SEWER MANHOLE	UTILITY LINE
DRAIN MANHOLE	BUILDING
CURB	SIGN
WATER VALVE	BOLLARD
TREELINE	CATCH BASIN
LIGHT POLE (UNLESS NOTED)	STONE SEDIMENT BARRIER
EXISTING BUILDING	STORM DRAIN MANHOLE
CATCH BASIN	STORM DRAIN LINE
EXISTING CONTOUR	EXISTING TREE TO BE REMOVED
SEWER LINE	EXISTING TREE TO REMAIN
STORM DRAIN LINE	PROPOSED DECIDUOUS TREE
WATER LINE	PROPOSED EVERGREEN TREE
GAS LINE	TIMBER GUIDE RAIL
EDGE OF PAVEMENT	
STREAM	
SURVEY CONTROL POINT	

GENERAL NOTES:

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAINE DEPARTMENT OF TRANSPORTATION, LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL OR DESIGN-BUILD PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
- ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, THE PROJECT SPECIFICATIONS, AND THE CITY OF PORTLAND TECHNICAL STANDARDS.
- EXISTING CONDITIONS AND TOPOGRAPHIC SURVEYS WERE PERFORMED BY STEPHEN MARTIN, INC., PLS OF GORHAM, MAINE.
- THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED ON THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL REPRESENTATIONS MADE BY THE APPLICANT CONCERNING THE DEVELOPMENT AND USE OF THE PROPERTY WHICH APPEAR IN THE RECORD OF THE PLANNING BOARD PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.

		PROJECT: WAREHOUSE/OFFICE-RICE STREET PORTLAND, MAINE	
CLIENT: THIRSTY TURF IRRIGATION		DESIGNED BY: SRB SCALE: AS NOTED CHECKED BY: SRB JOB NO.: 2189.01 FILE NAME: 218901-COV SHEET: 1	
REVISIONS		DRAWN: CMW DATE: APR 2003 DESIGNED: SRB SCALE: AS NOTED CHECKED: SRB JOB NO.: 2189.01 FILE NAME: 218901-COV SHEET: 1	



N/E
JOSEPH STEPHEN CO.
MAP 354, LOT A, BLOCK 5
MAP 350A, LOT C, BLOCK 2

N/E
FLORAN J. BOLAND
MAP 354, LOT A, BLOCK 2

N/E
BRODIE THEODORE H. ET AL TRS
MAP 354, LOT A, BLOCK 4

N/E
WESTERN PACIFIC RAILROADS, INC.
MAP 354, LOT A, BLOCK 14
MAP 354, LOT A, BLOCK 11



Total Area = 76,180 square feet
= 1.73 acres

- Notes:**
1. Dimensions and spot elevations shown are based on N.G.M. 754 used as datum in Utility Plot File 754 and is referenced to a datum for the Survey through O. by 2002 dated September 1983.
 2. Property lines shown are based on maintenance found and recorded plan entitled 'Plan of Property, made for Greater Portland Building Fund Composite Plan Formed by Industrial Plant of E.L. & E.C. Jones Co. Industrial Plant 1974, recorded in Plan Book 168, Page 6.
 3. Approximate lot boundaries based on Tax Assessor's Map.
 4. Utilities shown are approximate only. For exact location contact the appropriate utility company.
 5. Utilities not shown on plan due to the resolution of the data.



REV	DATE	DESCRIPTION	REVISIONS
2	5/24/03	FINAL APPROVED PLANS SUBMITTED FOR CITY RECORDS AND	
1	3/17/03	SEE PLAN REVISIONS	



PROJECT		WAREHOUSE/OFFICE-RICE STREET	
SHEET TITLE		EXISTING CONDITIONS PLAN	
CLIENT		THIRSTY TURF IRRIGATION	
DATE	APR 2003	DRAWN	DALUCA-HOFFMAN
CHECKED	SM	DESIGNED	ASSOCIATES INC.
FILE NAME	218901-04-02	SCALE	1"=30'
SHEET	2	JOB NO.	2189-01

Riverside Industrial Parkway

N/F
JOSEPH STEPHEN CO.
MAP 354, LOT A, BLOCK 5
MAP 330A, LOT C, BLOCK 2

N/F
FLORAN J. BOLAND
MAP 354, LOT A, BLOCK 2

N/F
BRODIE, THEODORE H. ETAL TRS
MAP 354, LOT A, BLOCK 4

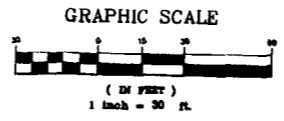
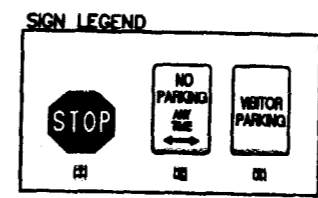
N/F
WETHERAU PROPERTIES, INC.
MAP 354, LOT A, BLOCK 14
MAP 354, LOT A, BLOCK 11

SITE LAYOUT NOTES:

- ALL SIGNAGE SHALL CONFORM TO THE STANDARDS LOCATION, AND REFLECTIVITY SET FORTH IN THE M TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PARKING STALLS SHALL BE MARKED OFF BY 4 LINES EXCEPT AS SHOWN ON THE LAYOUT PLAN.
- ALL CURB SHALL CONFORM TO THE FOLLOWING SPI NOTED ON THE PLANS:
GRANITE AND BITUMINOUS CONCRETE CURB REQUIREMENTS OF MAINE DEPARTMENT OF SPECIFICATIONS 608.03 AND 608.04
- ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO CURB OR FACE OF BUILDING.
- EXCEPT WHERE INDICATED OTHERWISE, THE PAVEMENT STANDARD DUTY PAVEMENT.
- BUILDING SUMMARY: PROPOSED 6,000 S.F.
- ZONING DATA
IN INDUSTRIAL-MODERATE IMPACT ZONE
SPACE AND BULK REGULATIONS

REQUIRE	REQUIRE
MINIMUM LOT AREA	NONE
MINIMUM STREET FRONTAGE	80'
MINIMUM PAVEMENT SETBACKS	10'
MINIMUM STRUCTURE SETBACKS	
FRONT YARD	75'
SIDE/REAR YARD	25'
MAXIMUM IMPERVIOUS SURFACE RATIO	75%
MAXIMUM BUILDING HEIGHT	75'

 OFF-STREET PARKING
 PARKING STALL DIMENSION 9'x19'
- THE FACILITY IS SERVICED BY CITY SEWER, PUBLIC W/ GAS, AND OVERHEAD UTILITIES.
- ALL METHODS AND MATERIALS USED IN THE CONSTRU IMPROVEMENTS IDENTIFIED HEREIN SHALL CONFORM TO PORTLAND CONSTRUCTION AND TECHNICAL STANDARDS SPECIFICATIONS AND/OR CURRENT MOORE STANDARDS A SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NO PORTLAND PUBLIC WORKS INSPECTION SERVICES DIVISION EXT. 8838). CODE ENFORCEMENT OFFICE AND DEVELOP COORDINATOR IN WRITING THREE (3) DAYS PRIOR TO 1 OF CONSTRUCTION. SHOULD THE IMPROVEMENTS BE OF CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCT BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORK OR DEVELOPMENT REVIEW COORDINATOR.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPE AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES CONSTRUCTION.
- WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN W EMPLOYED ON RIVERSIDE INDUSTRIAL PARKWAY AS NECE
- CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND I ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE CHAPTER 12.
- ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULT CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
- PROPERTY MARKERS AND STREET LINE MONUMENTS SHA PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCT. IF DISTURBED THEY SHALL BE REPLACED BY REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
- ALL SANITARY SERVICES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND BE THE CITY OF PORTLAND PUBLIC WORKS DEVEN DIVISION
- A STREET OPENING PERMIT MUST BE OBTAINED FROM THE PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGIN WITHIN THE CITY RIGHT-OF-WAY.



REV	DATE	DESCRIPTION	REVISIONS
2	8.04.03	ELIMINATED ONE PARKING SPACE AND RESUBMITTED TO PLANNING AUTHORITY	
1	7.17.03	SITE PLAN REVIEW SUBMISSION	

P.E. STEPHEN R. BUSHEY
LIC. #7429

PROJECT: WAREHOUSE/OFFICE-RICE STREET
PORTLAND, MAINE

SHEET TITLE: SITE LAYOUT AND UTILITIES PLAN

CLIENT: THIRSTY TURF IRRIGATION

D&L ASSOC
78 W. BROAD ST.
PORTLAND, ME 04101

DRAWN: CMW
DESIGNED: SRS
CHECKED: SRS
FILE NAME: 210801-8
SHEET 3

S:\210801-8\210801-8\SITE LAYOUT AND UTILITIES PLAN, 9/25/2003 10:56:53

Riverside Industrial Parkway



N/F
JOSEPH STEPHEN CO.
MAP 354, LOT A, BLOCK 5
MAP 330A, LOT C, BLOCK 2

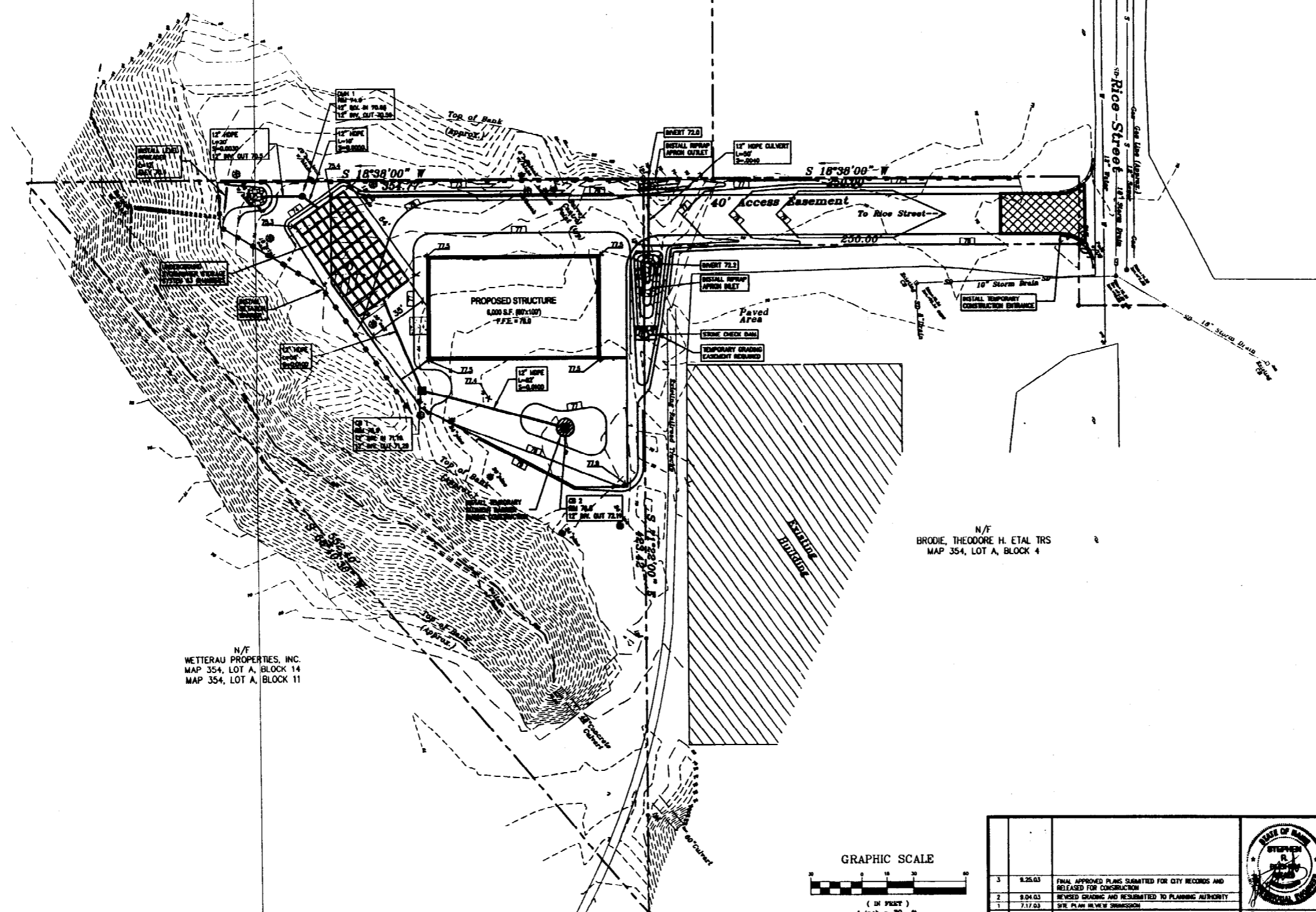
N/F
FLORAN J. BOLAND
MAP 354, LOT A, BLOCK 2

GRADING & DRAINAGE NOTES:

1. ALL STORM DRAIN PIPE SHALL BE SMOOTH BORE INTERIOR PROVIDING A MANNINGS ROUGHNESS COEFFICIENT OF $n = 0.013$ OR LESS, UNLESS A SPECIFIC PIPE MATERIAL IS CALLED FOR ON THE CONTRACT DRAWINGS. CPP AND PVC PIPE SHALL NOT BE USED IN AREAS OF EXPOSED SUNLIGHT.
2. ALL SLOPES STEEPER THAN 3:1 ARE TO RECEIVE RPPAP SLOPE PROTECTION ON TURF REINFORCEMENT.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING EARTHWORK OPERATIONS TO INSURE THAT THE STEEP SLOPE AREAS ARE NOT DISTURBED. THE LIMITS OF CLEARING SHALL BE 1' BEYOND THE GRADING LIMITS AS SHOWN ON THE SITE LAYOUT PLAN AND AS WELL AS ON THIS PLAN SHEET.

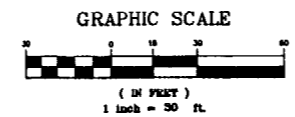
EROSION CONTROL NOTES:

1. LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
2. PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES AND THE STABILIZED CONSTRUCTION ENTRANCES.
3. ALL GROUND AREAS DISTURBED DURING CONSTRUCTION WILL BE GRADED, LOAMED AND SEEDED AS SOON AS POSSIBLE.
4. SILT BARRIERS SHALL BE INSPECTED, REPAIRED AND CLEANED AS NOTED IN THE EROSION CONTROL NOTES SHOWN ON THE EROSION CONTROL DETAIL SHEET.
5. THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCES AS THEY BECOME SATURATED WITH MUD TO INSURE THAT THEY WORK AS PLANNED DURING CONSTRUCTION AND SHALL KEEP RICE STREET AND RIVERSIDE INDUSTRIAL PARKWAY CLEAR OF DIRT AND MUD.
6. SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
7. CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST THREE (3) BUT NOT MORE THAN (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3300-A.
8. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL SERVICES IN CONJUNCTION WITH LIGHTING, COMPUTERS WITH APPLICABLE COOLERS. COORDINATE WITH OWNER AND ARCHITECTURAL AND MEP PLANS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFIRM WITH GEP, CABLE AND TELEPHONE COMPANIES INDIVIDUAL UTILITY REQUIREMENTS FOR INSTALLATION AND LOCATIONS OF UTILITIES.
9. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
10. FILL AREAS UNDER PAVEMENT SHALL BE GRANULAR BORROW. ALL OTHER FILL AREAS SHALL BE A COMMON BORROW MATERIAL, SUITABLE FOR EMBANKMENT CONSTRUCTION, FREE FROM FROZEN MATERIAL, PERISHABLE RUBBLE, PEAT, ORGANIC WOODS LARGER THAN 12" IN DIAMETER, VEGETATION AND OTHER MATERIAL UNSUITABLE FOR ROADWAY AND SUBGRADE CONSTRUCTION. EXCAVATED ON-SITE MATERIALS MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE FROM UNSUITABLE MATERIAL. DESCRIBED IN THIS NOTE AND UPON APPROVAL OF THE ENGINEER GRANULAR BORROW AND COMMON BORROW SHALL COMPLY WITH THE MOOT SPECIFICATIONS.
11. ALL FILLS SHALL BE PLACED LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTOR EQUIPMENT. MINIMUM COMPACTOR SHALL BE 85% OF MAXIMUM DENSITY ASTM 1587, MODIFIED FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).
12. IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AS SPECIFIED ON PLANS.



N/F
WETTERAU PROPERTIES, INC.
MAP 354, LOT A, BLOCK 14
MAP 354, LOT A, BLOCK 11

N/F
BRODIE, THEODORE H. ETAL TRS
MAP 354, LOT A, BLOCK 4



REV	DATE	DESCRIPTION
3	8.25.03	FINAL APPROVED PLANS SUBMITTED FOR CITY RECORDS AND RELEASED FOR CONSTRUCTION
2	9.04.03	REVISED GRADING AND RESUBMITTED TO PLANNING AUTHORITY
1	7.17.03	SITE PLAN REVIEW SUBMISSION



PROJECT
WAREHOUSE/OFFICE-RICE STREET
PORTLAND, MAINE

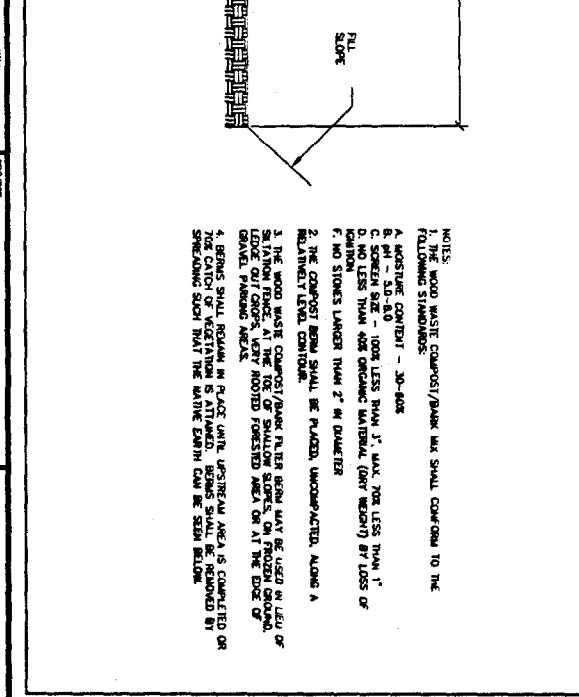
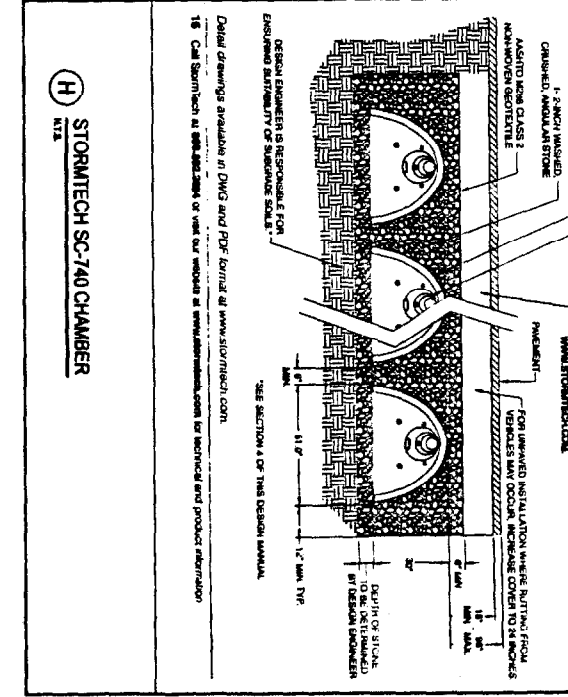
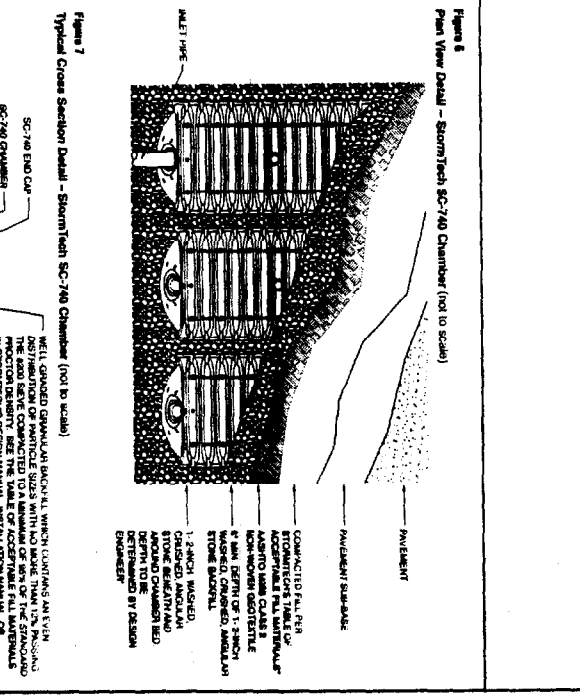
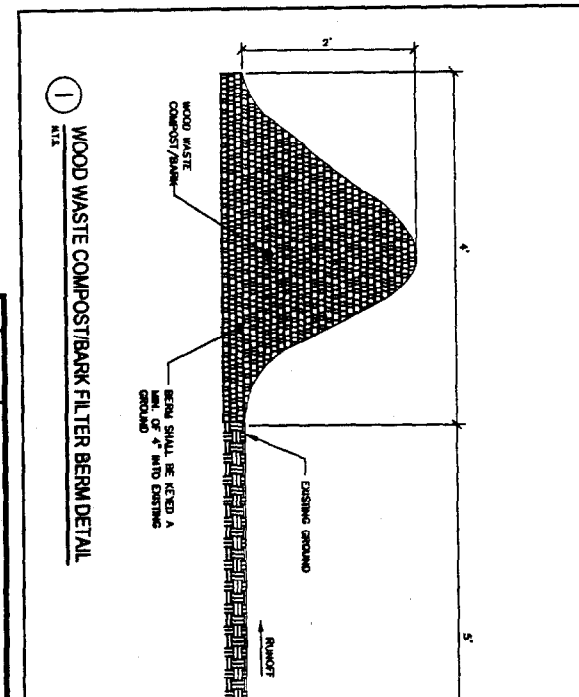
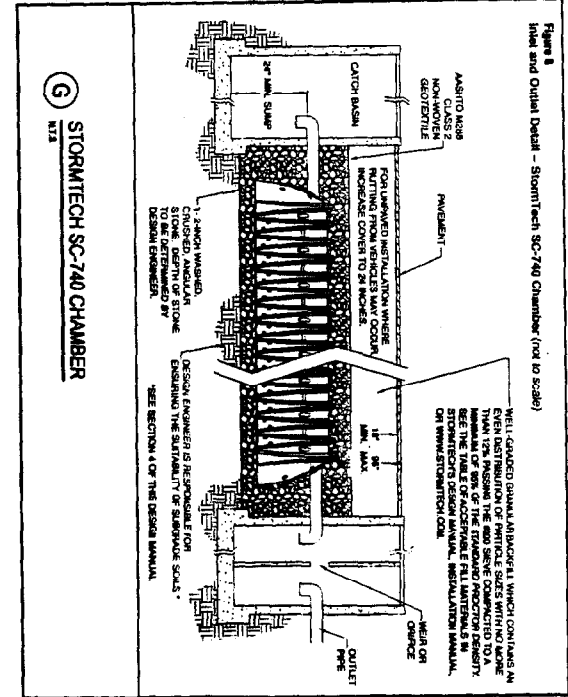
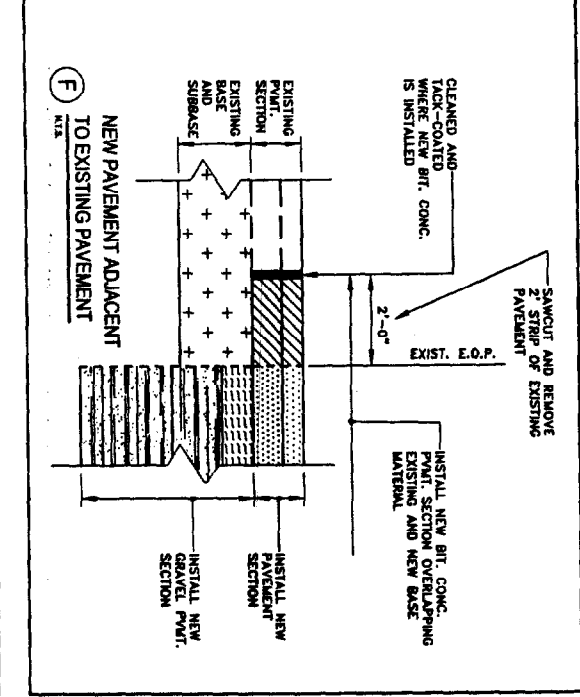
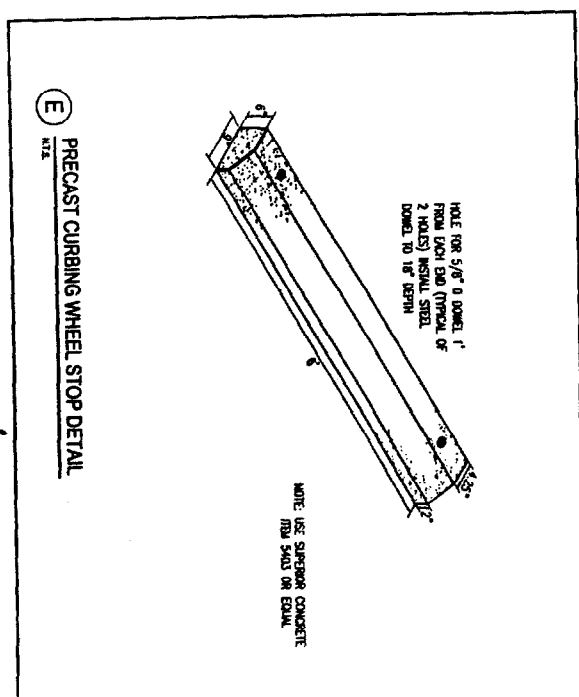
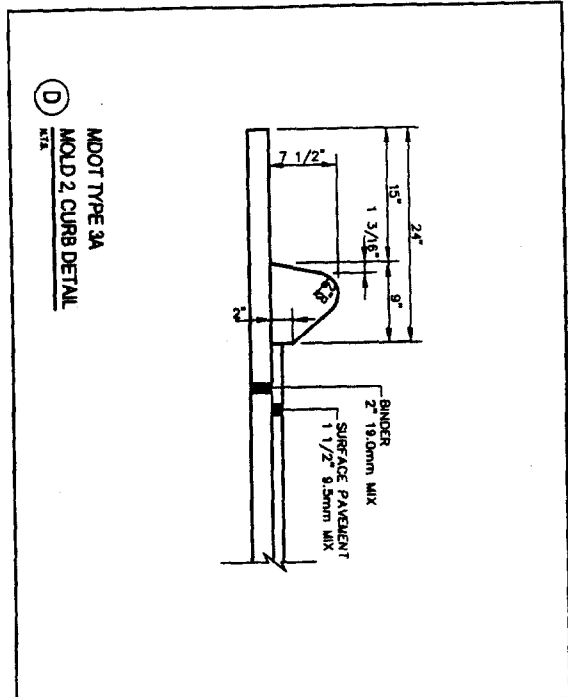
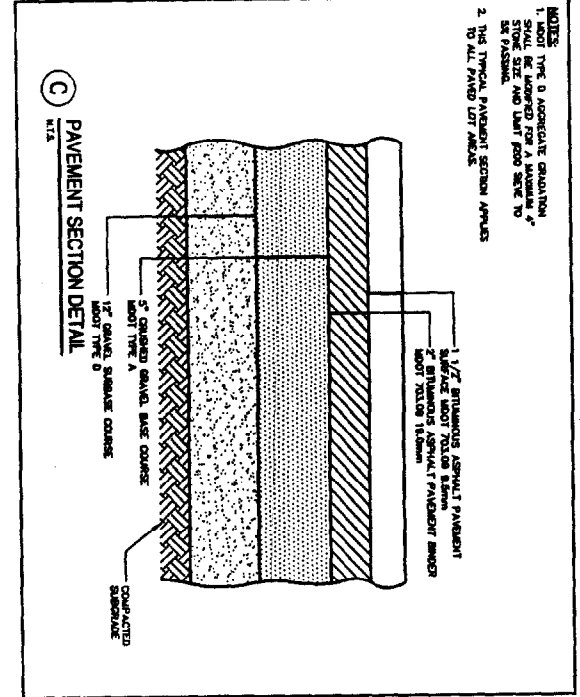
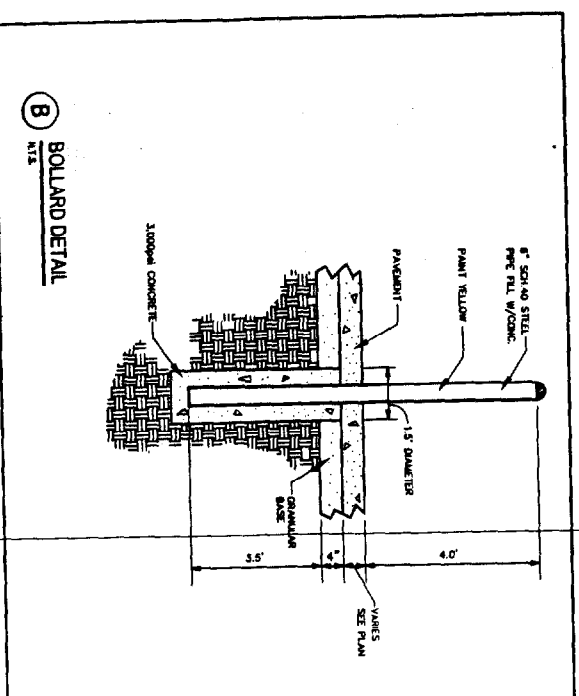
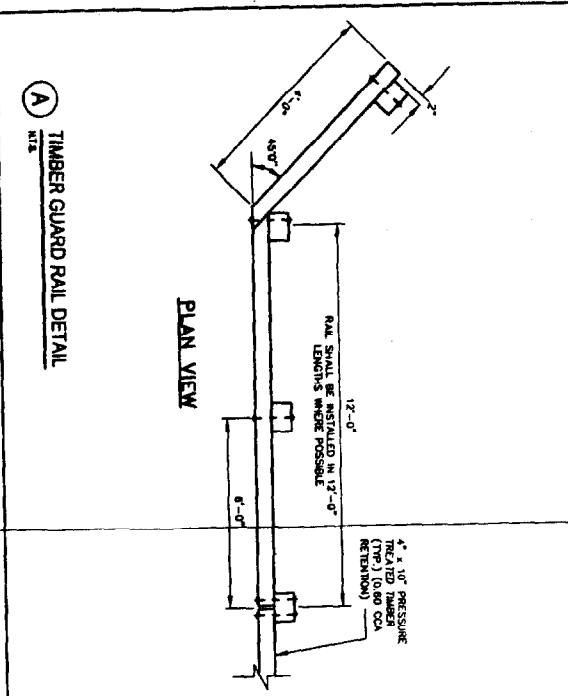
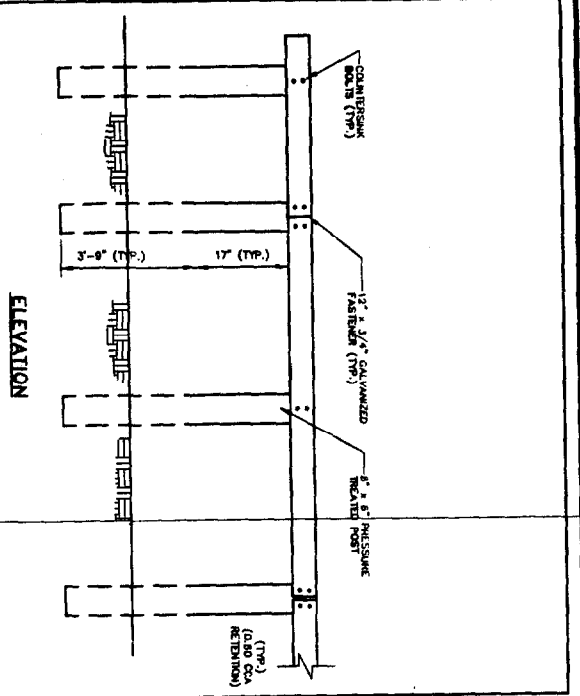
SHEET TITLE
GRADING, DRAINAGE AND
EROSION CONTROL PLAN

CLIENT
THIRSTY TURF IRRIGATION

DH
DOLUCA-HOFFMAN
ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
(603) 776-1131
DH@DOLUCAHOFFMAN.COM

DRAWN: CMW DATE: APR 2003
DESIGNED: SRB SCALE: 1"=30'
CHECKED: SRB JOB NO: 218001
FILE NAME: 218001-BASE
SHEET: 4

2:12189.01.1218901-BASE.dwg; GRADING AND EROSION CONTROL PLAN, 9/25/2003 8:34:06 AM, cwhettermil



REV	DATE	DESCRIPTION	REVISIONS
2	8/23/01	FINAL APPROVED PLANS SUBMITTED FOR CITY RECORDS	
1	3/13/01	REVISED PER CONSTRUCTION	
1	3/13/01	REVISED PER CONSTRUCTION	

STATE OF MAINE
STEPHEN P. BISKAMP
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 10001
 10001

PROJECT:
 WAREHOUSE/OFFICE-RICE STREET
 PORTLAND, MAINE

SHEET TITLE:
 SITE DETAILS

CLIENT:
 THIRSTY TURF IRRIGATION

DATE:
 APR 2001

DRAWN:
 SNOB SCALE AS NOTED

CHECKED:
 SNOB SCALE AS NOTED

FILE NAME:
 218901-DET-SITE

SHEET:
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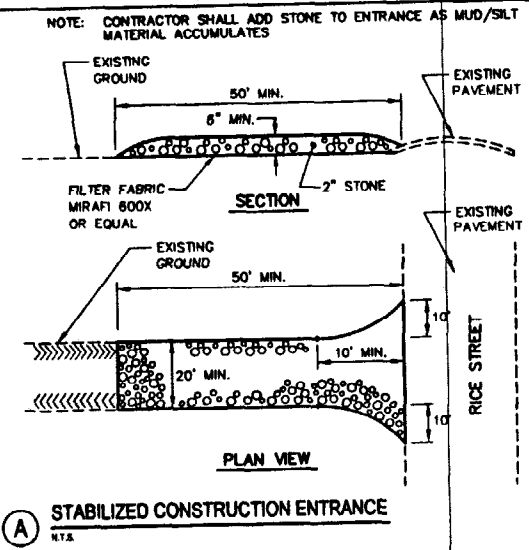
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 APR 2001

SCALE:
 AS NOTED

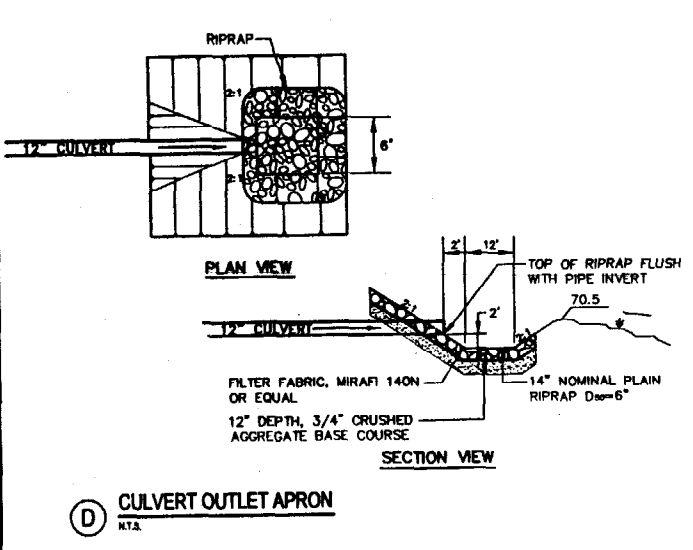
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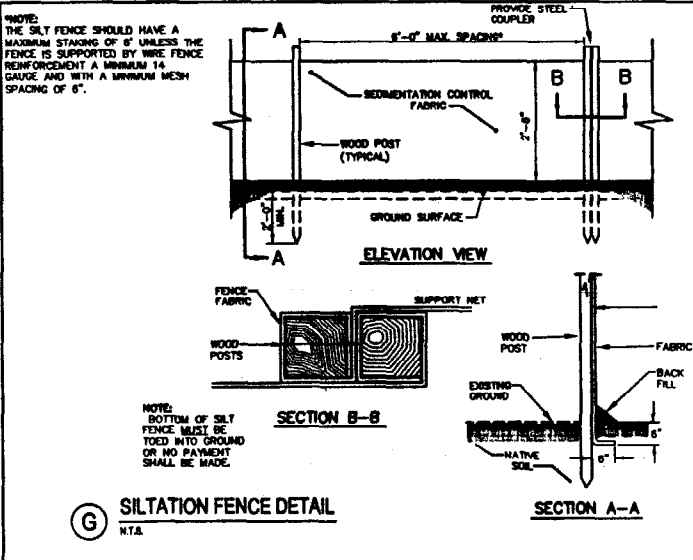
DI
DALLACHOFFEN
ASSOCIATES, INC.
 700 BROADWAY
 PORTLAND, MAINE 04101
 TEL: 603.761.1111
 WWW.DIASSOCIATES.COM



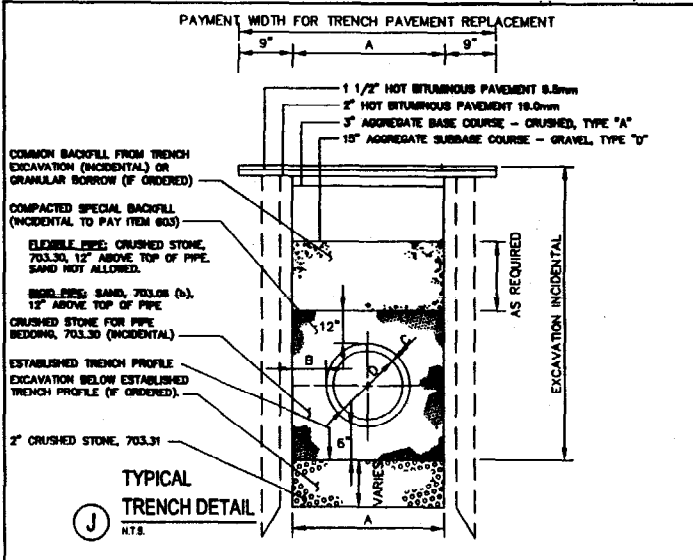
A STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



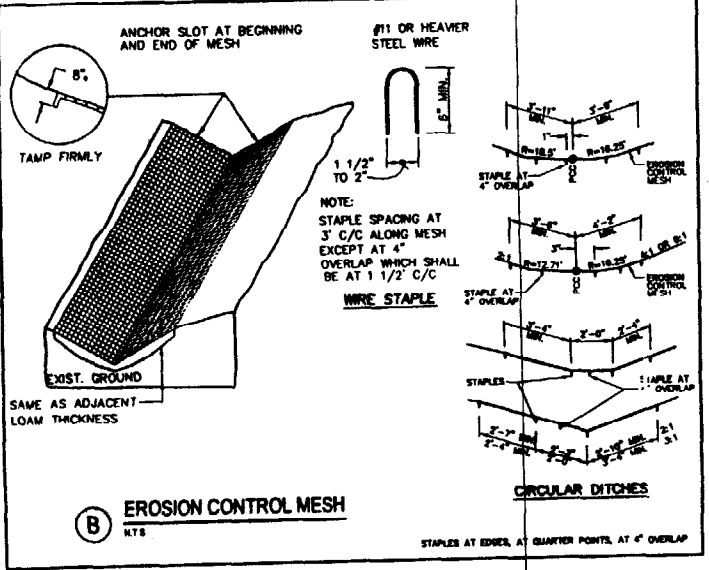
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N.T.S.



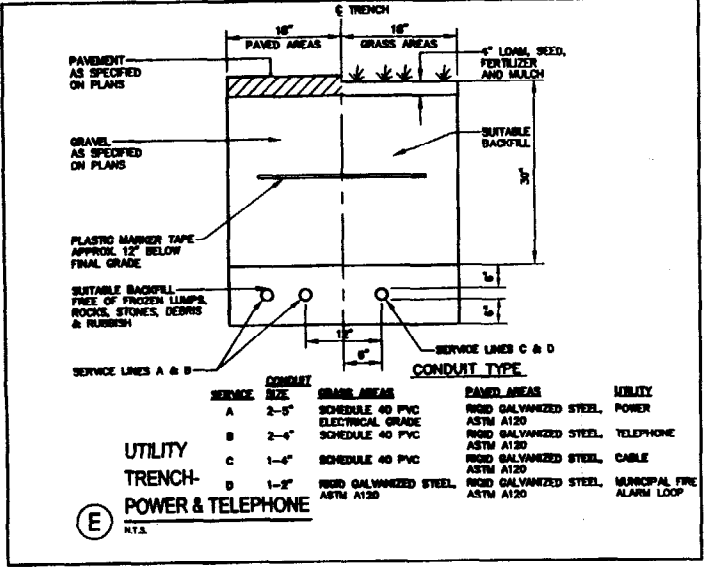
G SILTATION FENCE DETAIL
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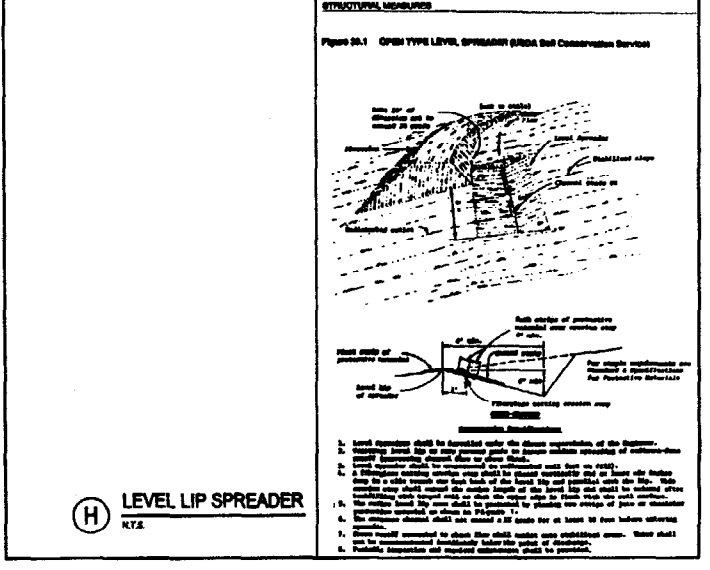
J TYPICAL TRENCH DETAIL
N.T.S.



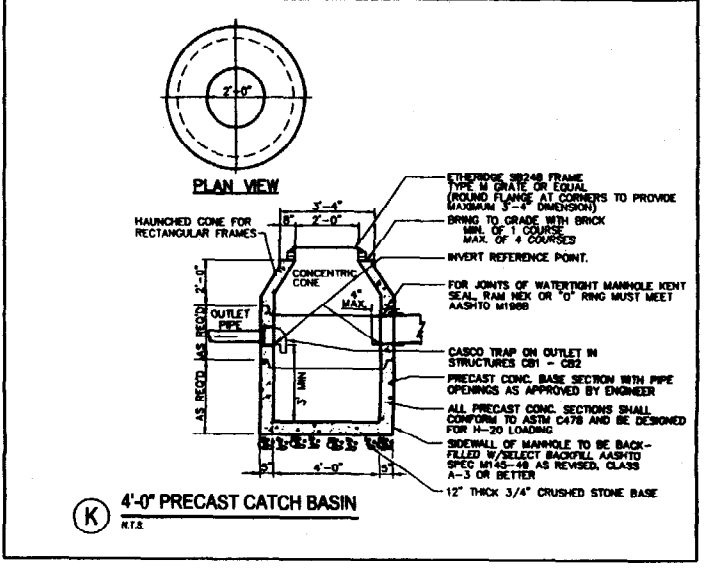
B EROSION CONTROL MESH
N.T.S.



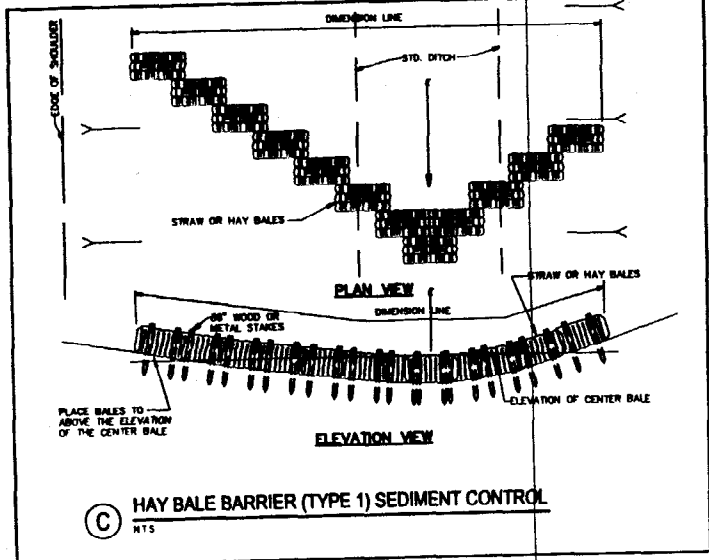
E UTILITY TRENCH- POWER & TELEPHONE
N.T.S.



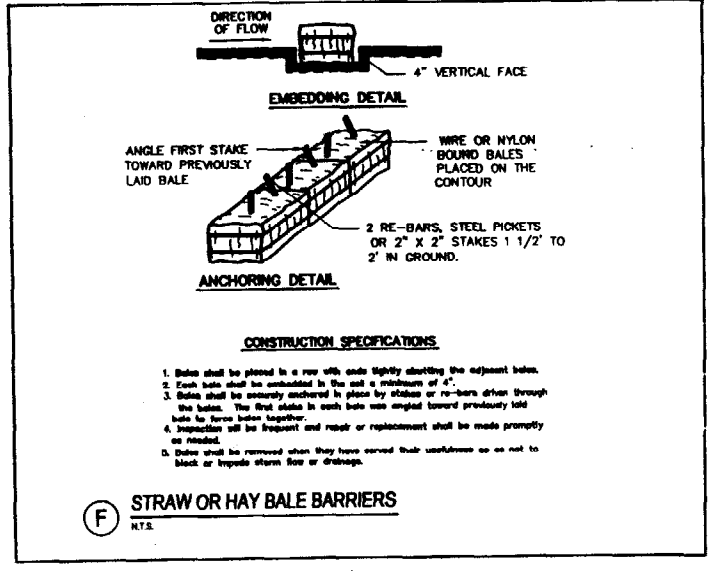
H LEVEL LIP SPREADER
N.T.S.



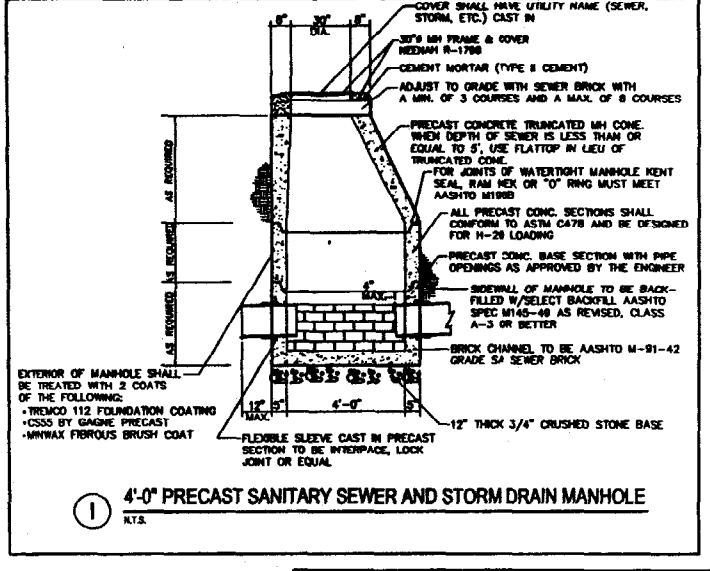
K 4'-0" PRECAST CATCH BASIN
N.T.S.



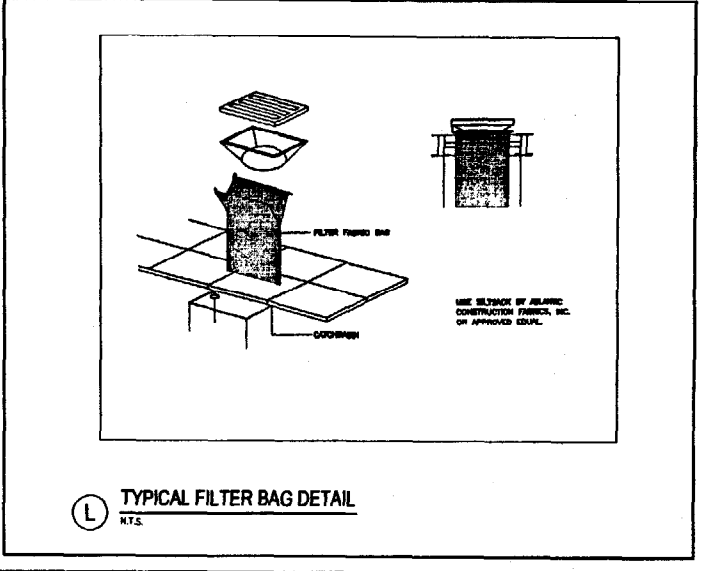
C HAY BALE BARRIER (TYPE 1) SEDIMENT CONTROL
N.T.S.



F STRAW OR HAY BALE BARRIERS
N.T.S.



I 4'-0" PRECAST SANITARY SEWER AND STORM DRAIN MANHOLE
N.T.S.



L TYPICAL FILTER BAG DETAIL
N.T.S.

2:12:09 01218901-DET-EROS.dwg, 6, 9/25/2003 8:38:18 AM, C:\BENTLEY

REV	DATE	DESCRIPTION	REVISIONS
2	8.25.03	FINAL APPROVED PLANS SUBMITTED FOR CITY RECORDS AND RELEASED FOR CONSTRUCTION	
1	7.17.03	SITE PLAN REVIEW SUBMISSION	



PROJECT: WAREHOUSE/OFFICE-RICE STREET
PORTLAND, MAINE
SHEET TITLE: UTILITY, EROSION CONTROL & STORM DRAIN DETAILS
CLIENT: THIRSTY TURF IRRIGATION

DALUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
WWW.DALUCAHOFFMAN.COM
DRAWN: CMW DATE: APR 2003
DESIGNED: SRB SCALE: AS NOTED
CHECKED: SRB JOB NO. 2189-01
FILE NAME: 218901-DET-EROS
SHEET 6

EROSION AND SEDIMENT CONTROL NOTES

The primary emphasis of the erosion/sedimentation control plan to be implemented for this project are as follows:
 Development of a careful construction sequence. Rapid revegetation of denuded areas to minimize the period of soil exposure. Rapid stabilization of drainage paths to avoid rill and gully erosion. The use of onsite measures to capture sediment (hay bales/silt fence, etc.) The provisions for long term erosion/sediment and pollutant treatment by the incorporation of permanent Best Management Practices.

24.0
 Description and Location of Limits of All Proposed Earth Movements
 The construction of the development will require the following on-site improvements.

Earthwork activity including cuts and fills to bring the paved and gravel areas to subgrade.

Construction of stormwater measures.
 Construction of parking lots, drive aisles, walkways and installation of underground utilities and storm drains for the building.

24.1
 Erosion/Sedimentation Control Devices
 The following erosion and sediment control devices will be implemented by the Contractor as part of the site development. These devices shall be installed as indicated on the plans or as described within this report. For further reference, see the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices.

Siltation fence shall be installed downstream of any disturbed areas to trap runoff borne sediments until the site is revegetated. The silt fence shall be installed per the detail provided in the plan set and inspected immediately after each rainfall and at least daily during prolonged rainfall. Repairs shall be made immediately by the Contractor if there are any signs of erosion or sedimentation below the fence line. Proper placement of stakes and fabric into the ground is critical to the fence's effectiveness. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind the fence, the barrier shall be replaced with a stone check dam.
 Straw or hay mulch including hydroseeding is intended to provide cover for denuded or seeded areas until revegetation is established. Mulch placed on slopes of less than 10 percent shall be anchored by applying water; mulch placed on slopes steeper than 10 percent shall be covered with a fabric netting and anchored with staples in accordance with the manufacturer's recommendations. Slopes steeper than 3:1 which are to be revegetated shall receive curlex blankets by American Excelsior or equal. Mulch application rates are provided in Attachment A of this section. Hay mulch shall be available on site at all times in order to provide immediate temporary stabilization when necessary.
 Riprap slopes, ditch linings, stone check dams, hay bale barriers and culvert outlet aprons are intended to reduce runoff velocities and protect denuded soil surfaces from concentrated flows. Installation details and stone sizes are provided in the construction plan set on the erosion control detail sheets.
 A construction entrance will be constructed at all access points onto the site to prevent tracking of soil onto Rice Street.
 Stone sediment traps or a premanufactured SiltSack™ will be installed at catch basin inlets to prevent silt from entering the storm drain system. Installation details are provided in the plan set on the erosion control detail sheets.
 Loam and seed is intended to serve as the primary permanent revegetative measure for all denuded areas not provided with other erosion control measures, such as riprap. Specific areas as shown on the landscape plan will receive sod. Application rates are provided at the end of this section for temporary and permanent seeding in non-wetland areas.

24.2
 Temporary Erosion/Sedimentation Control Measures
 The following are planned as temporary erosion/sedimentation control measures during construction:

A crushed stone stabilized construction entrance(s) shall be placed at the site access onto Rice Street.

Siltation fence or an organic filter barrier shall be installed along the downgradient side of the parking areas and of all fill sections. The siltation barrier will remain in place and properly maintained until the site is acceptably revegetated.

Temporary stockpiles of stumps, grubblings, or common excavation will be protected as follows:

Temporary stockpiles shall not be located within 100 feet of the wetlands or 25' from the top of bank and shall be located away from drainage swales.

Stockpiles shall be stabilized within 7 days by either temporarily seeding the stockpile with a hydroseed method containing an emulsified mulch tackifier or by covering the stockpile with mulch.

All denuded areas that are within 100 feet of a wetland which have been rough graded and are not located within the building pad or pavement subbase area, shall receive mulch or erosion control mesh fabric within 7 days of initial disturbance of soil. In other areas, the time period may be extended to 14 days.

For work which is conducted between November 1 and April 15 of any calendar year, all denuded areas will be covered with hay mulch, applied at twice the normal application rate and anchored with a fabric netting. The time period for applying mulch shall be limited to 7 days for all areas or immediately in advance of a predicted rainfall event.

Rice Street shall be swept to control mud and dust as necessary. A street sweeper shall be available on immediate notice.

During grubbing operations stone check dams or hay bale barriers will be installed at any evident concentrated flow discharge points.

Silt fencing with a maximum stake spacing of 6 feet should be used, unless the fence is supported by wire fence reinforcement of minimum 14 gauge and with a maximum mesh spacing of 6 inches, in which case stakes may be spaced a maximum of 10 feet apart. The bottom of the fence should be properly anchored a minimum of 6" per the plan detail and backfilled. Any silt fence identified by the owner or reviewing agencies as not being properly installed during construction shall be immediately repaired in accordance with the installation details.

Storm drain catch basin inlet protection shall be provided through the use of stone sediment barriers or a premanufactured SiltSack™ as distributed by A. H. Harris. Stone sediment barrier installation details are provided in the plan set. The barriers shall be inspected after each rainfall and repairs made as necessary. Sediment shall be removed and the barrier restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the barrier. The barrier shall be removed when the tributary drainage area has been stabilized.

24.3
 Vacant

24.4
 Permanent Erosion Control Measures
 The following permanent erosion control measures have been designed as part of the Erosion/Sedimentation Control Plan:

All storm drain pipes shall have riprap aprons and plunge pools at their outlet to protect the outlet and receiving channel of the culverts from scour and deterioration. Installation details are provided in the plan set. The aprons and plunge pools shall be installed and stabilized prior to directing runoff to the tributary pipe or culvert.

The stormwater detention system will discharge through a riprap outlet apron and level lip spreader which will direct sheet flow toward the existing drainageway within the southwestern corner of the site.

All areas disturbed during construction, but not subject to other restoration (paving, riprap, etc.) will be loamed, limed, fertilized, mulched, and seeded. Fabric netting, anchored with staples, shall be placed over the mulch in areas where the finish grade slope is greater than 10 percent. All areas within 100' of a wetland shall receive protection within 7 days. Native topsoil shall be stockpiled temporarily stabilized with seed and mulch and reused for final restoration when it is of sufficient quality.

Catch basins will be provided with 2' sediment sumps and Casco traps over the outlet pipe.

24.5
 Timing and Sequence of Erosion/Sedimentation Control Measures
 The following construction sequence shall be required to insure the effectiveness of the erosion and sedimentation control measures are optimized. The sequence applies to all phases of construction.

Note: For all grading activities, the contractor shall exercise extreme caution not to overexpose the site by limiting the disturbed area.

Install crushed stone stabilized construction entrance at Rice Street.

Install perimeter siltation barrier as indicated on the plans.

Clear and grub areas necessary for the stormwater system.

Begin excavation.

Excess material shall be stockpiled and stabilized for use as fill for later grading operations. Install silt barrier at toe of berm for erosion protection.

Perform earthwork to bring pavement areas to subgrade.

Begin installation of drainage appurtenances and piping.

Foundation preparation area shall be excavated for installation of the building footings.

Commence additional earthwork in fill areas of the parking area.

Complete earthwork and grading to subgrade as necessary for parking areas.

Complete installation of storm drainage appurtenances within paved areas.

Structures within the parking area shall be temporarily set to subgrade and shall be reset upon placement of gravel and asphalt during a future phase.

Commence installation of utilities from the street.

Commence installation of remaining portions of sanitary sewer and other utilities.

Commence installation of underground power, telephone, and cable utilities.

Complete installation of underground utilities to within 5' of building.

Install dumpster pad.

Complete all remaining earthwork operations including fine grading of slopes.

Install subbase and base gravels within paved and gravel areas.

Install base course paving for parking area.

Loam, lime, fertilize, seed and mulch disturbed areas, retail parking area and complete all landscaping.

Install surface course paving for pavement areas. Stripe per plans.

Remove accumulated sediment from ahead of any sediment barriers as necessary.

Once the site is stabilized and a 75% catch of vegetation has been obtained, remove all temporary erosion control measures.

Touch up loam and seed.

Note: All denuded areas not subject to final paving, riprap or gravel, shall be revegetated.

Due to the timing and size of the project, completion of the facility within a summer construction season may not occur. For all work which will be conducted between November 1 and April 15 of the calendar year, the Contractor shall submit a schedule which will satisfy the following criteria:

Limit the amount of exposed area to those areas in which work is expected to be undertaken during the preceding 15 days.

During the construction process, all disturbed areas shall be covered with mulch within 7 days of final grading.

Once final grade has been established, the contractor may choose to dormant seed the disturbed areas prior to placement of mulch and placement of fabric netting anchored with staples.

If dormant seeding is used for the site, all disturbed areas shall receive 4" of loam and seed at an application rate of 5#/1000 s.f.

All areas seeded during the winter months will be inspected in the spring for adequate catch. All areas sufficiently vegetated (less than 75 percent catch) shall be revegetated by replacing loam, seed and mulch.
 If dormant seeding is not used for the site, all disturbed areas shall be revegetated in the spring.

The area of denuded non-stabilized construction shall be limited to the minimum area practicable. An area shall be considered to be denuded until the subbase gravel is installed in parking areas, the base slab gravel is installed in building areas, or the areas of future loam and seed have been loamed, seeded, and mulched. The mulch rate shall be twice the rate specified in the seeding plan. [For example, 115#/1,000 s.f. x 2 = 230#/s.f.]
 Within the exposed work area, temporary sedimentation sumps shall be provided at the interface between parking areas and graded slopes. This shall be accomplished by creating an area 18" below adjacent temporary grades. The sedimentation area shall have a bottom width of 3' and 3:1 side slopes. Culverts to allow access shall be installed by the Contractor. Along the sedimentation sumps, barriers shall be provided at sufficient intervals to permit runoff to be accumulated to a minimum depth of 12" before overflowing.
 The schedule shall be subject to the approval of the Owner.

The Contractor must install any added measures which may be necessary to control erosion/sedimentation from the site dependent upon the actual site and weather conditions.

The Contractor shall note that no area within 100 feet of a wetland shall remain denuded for a period of over 7 days before it is temporarily stabilized. Temporary stabilization shall be the installation of gravel or mulching. All other areas shall be stabilized within 14 days. For construction between November 1 and April 15 of any calendar year, all areas shall be temporarily stabilized within 7 days or prior to a forecasted rainfall event.

PERMANENT SEEDING PLAN NON-WETLAND AREAS
 Project Rice Street
 Site Location Portland, Maine

- | | | | |
|--|---|-------------------|-------------------|
| | X | Permanent Seeding | Temporary Seeding |
|--|---|-------------------|-------------------|
- Area to be seeded: <1 acre, OR M Sq. Ft.
 - Instructions on preparation of soil: Prepare a good seed bed for planting method used.
 - Apply lime as follows: #/acres, OR 138#/M Sq. Ft.
 - Fertilize with pounds of N-P-K/oc. OR 18.4 pounds of 10 - 20 - 20 N-P-K/M Sq. Ft.
 - Method of applying lime and fertilizer: Spread and work into the soil before seeding.
 - Seed with the following mixture:
 45% Kentucky Bluegrass
 45% Creeping Red Fescue
 10% Perennial Ryegrass
 When using small grain as nurse crop seed it at one-half the normal seeding rate.
 - Mulching instructions: Apply at the rate of tons per acre. OR 115 pounds per M. Sq. Ft.
 Amount Unit #, Tons, Etc.
 - TOTAL LIME .138 #/1000 sq. ft.
 - TOTAL FERTILIZER .184 #/1000 sq. ft.
 - TOTAL SEED 1.03 #/1000 sq. ft.
 - TOTAL MULCH 115 #/1000 sq. ft.
 - TOTAL other materials, seeds, etc.

13.REMARKS
 Spring seeding is recommended, however, late summer (prior to September 1) seeding can be made. Permanent seeding should be made prior to August 5 or as a dormant seeding after the first killing frost and before the first snowfall. If seeding cannot be done within these seeding dates, temporary seeding and mulching shall be used to protect the site. Permanent seeding shall be delayed until the next recommended seeding period.

Fertilizer requirements shall be subject to actual test results of the topsoil used for the project. The Contractor shall be responsible for providing topsoil test results for pH and recommended fertilizer application rates to the owner.

TEMPORARY SEEDING PLAN NON-WETLAND AREAS
 Project Rice Street
 Site Location Portland, Maine

- | | | | |
|--|---|-------------------|-------------------|
| | X | Permanent Seeding | Temporary Seeding |
|--|---|-------------------|-------------------|
- Area to be seeded: <1 acre, OR M Sq. Ft.
 - Instructions on preparation of soil: Prepare a good seed bed for planting method used.
 - Apply lime as follows: #/acres, OR 138#/M Sq. Ft.
 - Fertilize with pounds of N-P-K/oc. OR 18.4 pounds of 10 - 20 - 20 N-P-K/M Sq. Ft.
 - Method of applying lime and fertilizer: Spread and work into the soil before seeding.
 - Seed with the following mixture:
 50% Perennial Ryegrass
 50% Winter Rye
 When using small grain as nurse crop seed it at one-half the normal seeding rate.
 - Mulching instructions: Apply at the rate of tons per acre. OR 230 pounds per M. Sq. Ft.
 Amount Unit #, Tons, Etc.
 - TOTAL LIME .138 #/1000 sq. ft.
 - TOTAL FERTILIZER .13.8 #/1000 sq. ft.
 - TOTAL SEED 1.75 #/1000 sq. ft.
 - TOTAL MULCH 230 #/1000 sq. ft.
 - TOTAL other materials, seeds, etc.

13.REMARKS
 Recommended seeding dates after August 15.
 For areas with slopes >10%, waterways, areas within 100 feet of wetlands, and fall and winter erosion control areas, mulch netting shall be used per manufacturer's specifications.

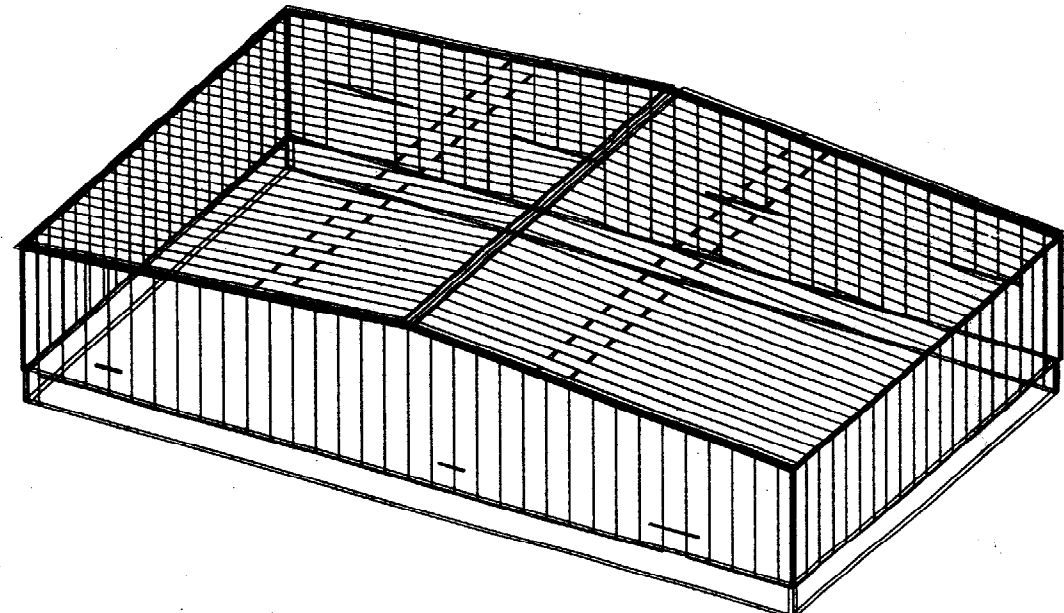
Fertilizer requirements shall be subject to actual test results of the topsoil used for the project. The Contractor shall be responsible for providing topsoil test results for pH and recommended fertilizer application rates to the owner.

		PROJECT: WAREHOUSE/OFFICE-RICE STREET PORTLAND, MAINE SHEET TITLE: EROSION CONTROL NOTES CLIENT: THIRSTY TURF IRRIGATION SHEET: 7	
2 9.25.03 FINAL APPROVED PLANS SUBMITTED FOR CITY RECORDS AND RELEASED FOR CONSTRUCTION	1 7.17.03 SITE PLAN REVIEW SUBMISSION	REV DATE DESCRIPTION REVISIONS	DRAWN: GHW DATE: APR 2003 DESIGNED: SRB SCALE: N.T.S. CHECKED: SRB JOB NO. 2189.01 FILE NAME: 2189-01-DET-EROS SHEET: 7

DRAWING RELEASE HISTORY		
TYPE	DATE	DESCRIPTION
Anchor Bolt Plan	10-13-03	FOR CONSTRUCTION
PERMIT DRAWINGS	10-13-03	FOR REVIEW
FINAL ERECTION DRAWINGS	10-29-03	FOR CONST.



DRAWING INDEX	
DRAWING TITLE	PAGES
Cover Sheet	1
Notes	2
Anchor Bolt Plan	3-4
Primary Structural	5-9
Secondary Structural	10-14
Covering	15-19
Special Drawings	NA
Standard Erection Details	20-24



VP Buildings, Inc. 3200 Players Club Circle Memphis TN 38126

GENERAL NOTES

1. MATERIALS
 STRUCTURAL STEEL PLATE A629 OR A672 OR A1911 SS
 COLD FORMED LIGHT GAGE SHAPES A1911 SS
 BRACE RODS A672
 STRUCTURAL CABLES A475
 HOT ROLLED MILL SHAPES A36 OR A572
 HOLLOW STRUCTURAL SECTION (HSS) A600
 ROOF AND WALL SHEETS A983 OR A792
 BOLTS A307 AND A325

ASTM DESIGNATION
 GRADE 60
 GRADE 65
 GRADE 68, UNLESS NOTED
 GRADE 80S
 FY= 30 KSI OR GRADE 60
 GRADE B
 GRADE 90
 A325, UNLESS NOTED

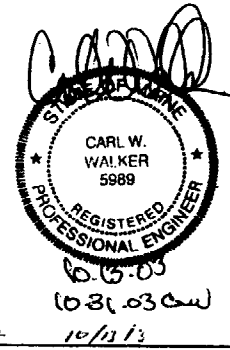
2. STRUCTURAL PRIMER
 SHOP PRIMER PAINT IS A RUST INHIBITIVE PRIMER AND IS VP BUILDINGS COLOR BRONZE. THIS PAINT IS NOT INTENDED FOR LONG TERM EXPOSURE TO THE ELEMENTS.

3. A325 BOLT TIGHTENING REQUIREMENTS
 ALL HIGH STRENGTH BOLTED CONNECTIONS EXCEPT AS NOTED OTHERWISE ON THE DRAWINGS AND DETAILS ARE SUBJECT TO AXIAL TENSION AND OR SLIP CRITICAL. AS SUCH THE BOLTS MUST BE FULLY PRE-TENSIONED AND INSPECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC/CISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" AND THE APPLICABLE BUILDING CODE. WASHERS ARE NOT REQUIRED WHEN THE "TURN-OF-NUT" TIGHTENING PROCEDURE IS USED. IF OTHER BOLT TIGHTENING PROCEDURES ARE USED, LONGER BOLTS AND WASHERS AS REQUIRED BY THE SPECIFICATION WILL BE REQUIRED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE PROPER BOLT TIGHTNESS.

4. BUILDER / CONTRACTOR RESPONSIBILITIES
 VP BUILDINGS STANDARD PRODUCT SPECIFICATIONS APPLY AND UNLESS STIPULATED OTHERWISE IN THE CONTRACT DOCUMENTS, VP BUILDINGS DESIGN, FABRICATION, QUALITY CRITERIA STANDARDS AND TOLERANCES WILL GOVERN THE WORK (A VP BUILDINGS SPECIFICATION BOOKLET IS AVAILABLE UPON REQUEST).
 IN CASE OF DISCREPANCIES BETWEEN VP BUILDINGS STRUCTURAL PLANS AND PLANS FOR OTHER TRADES, THE VP BUILDINGS PLANS SHALL GOVERN.
 IT IS THE RESPONSIBILITY OF THE BUILDER / CONTRACTOR TO OBTAIN APPROPRIATE APPROVALS AND NECESSARY PERMITS FROM CITY, COUNTY, STATE, OR FEDERAL AGENCIES, AS REQUIRED.
 APPROVAL OF VP BUILDINGS DRAWINGS CONSTITUTES THE BUILDER / CONTRACTOR'S ACCEPTANCE OF THE VP BUILDINGS INTERPRETATION OF THE CONTRACT PURCHASE ORDER.
 ONCE THE BUILDER / CONTRACTOR OR A/E FIRM HAS SIGNED VP BUILDINGS APPROVAL PACKAGE, CHANGES FROM THE PURCHASE ORDER BY THE BUILDER WILL BE BILLED TO THE BUILDER / CONTRACTOR FOR MATERIAL, ENGINEERING, AND HANDLING FEES. SUCH CHANGES MAY CAUSE THE PROJECT TO BE MOVED FROM THE FABRICATION AND / OR SHIPPING SCHEDULE. A PENALTY FEE MAY BE CHARGED IF THE PROJECT MUST BE MOVED FROM THE FABRICATION AND / OR SHIPPING SCHEDULE, AS LONG AS VP BUILDINGS DESIGN AND DETAILING APPROACH COMPLIES WITH THE PURCHASE ORDER.
 THE BUILDER / CONTRACTOR OR A/E FIRM ARE RESPONSIBLE FOR THE OVERALL PROJECT CONDITION. ALL INTERFACE AND COMPATIBILITY CONCERNING ANY MATERIALS NOT FURNISHED BY VP BUILDINGS ARE TO BE CONSIDERED AND COORDINATED BY THE BUILDER / CONTRACTOR OR A/E FIRM. UNLESS SPECIFIC DESIGN CRITERIA CONCERNING THIS INTERFACE BETWEEN MATERIALS IS FURNISHED AS PART OF THE PURCHASE ORDER, VP BUILDINGS ASSUMPTIONS WILL GOVERN.
 THE BUILDER / CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL OTHER PROJECT PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF ANY GOVERNING BUILDING AUTHORITY. SUPPLYING SEALED ENGINEERING DESIGN DATA AND DRAWINGS FOR THE VP BUILDINGS BUILDING DOES NOT IMPLY OR CONSTITUTE AN AGREEMENT THAT VP BUILDINGS OR ITS DESIGN ENGINEER IS ACTING AS THE ENGINEER OF RECORD OR DESIGN PROFESSIONAL FOR THE CONSTRUCTION PROJECT.
 THE BUILDER / CONTRACTOR IS RESPONSIBLE FOR SETTING OF ANCHOR BOLTS AND ERECTION OF STEEL BUILDING COMPONENTS IN ACCORDANCE WITH VP BUILDINGS "FOR CONSTRUCTION" DRAWINGS. TEMPORARY SUPPORTS OR BRACING REQUIRED FOR THE BUILDING ERECTION WILL BE THE RESPONSIBILITY OF THE BUILDER TO DETERMINE, FURNISH, AND INSTALL.

5. VP BUILDINGS IS AN APPROVED FABRICATOR WITH THE FOLLOWING CERTIFICATIONS:

ICBO APPROVALS							
LOCATION	CA	NC	AL	WI	MO	OH	AR
APPROVAL #	FA-348	FA-376	FA-377	FA-378	FA-388	FA-394	FA-401



THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.

Building Code: 990CA
 Live Load: (Not Reducible) 20.00 psf
 Coll. Load: gravity 3.00, Uplift 0.00 psf
 Wind Speed: 90.00 mph
 Wind Exposure: B
 Ground Snow: 70.00 psf
 Snow Exposure Category: 2
 Seismic Hazard / Use Group: Group 1
 Building Use: Standard Occupancy Structures

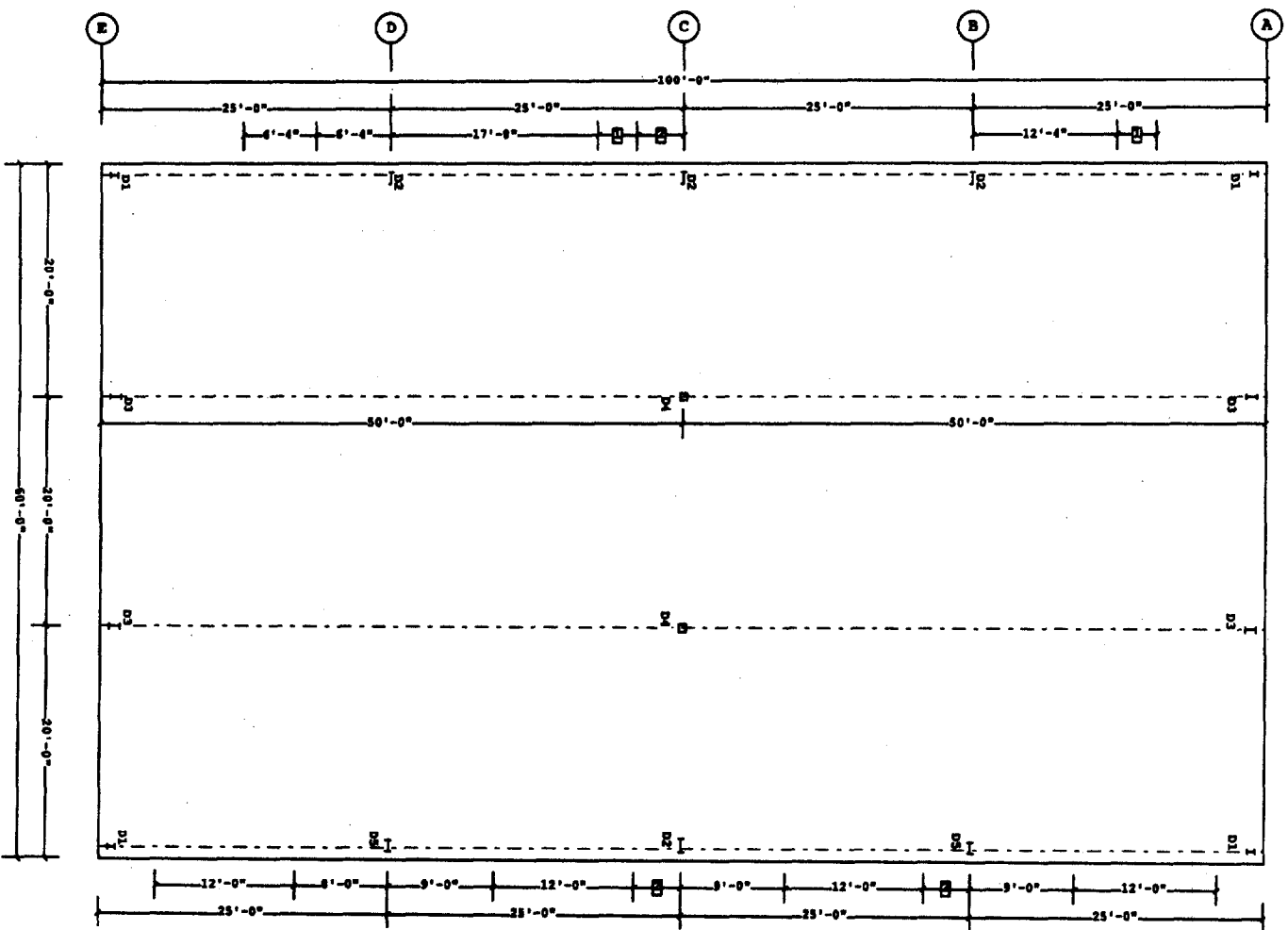
Seismic Performance / Design Category: C
 Av= 0.1500, Aa= 0.1500,
 Moment-Resisting Frame System
 Ordinary Steel Frames
 (M=1.5,Cd=1.0)
 Building Frame System
 Concentrically Braced Frames
 (M=5.0,Cd=1.5)
 Analysis Procedure 1610.4 used

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS.
 IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND SHALL NOT BE REPRODUCED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.
 THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN CONFORMANCE WITH THIS DRAWING. DESIGN (SPECIFIED IN THIS DRAWING), ALL APPLICABLE VP BUILDINGS ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.



COVER SHEET
 BUILDER PATCO CONSTRUCTION
 CUSTOMER
 LOCATION Portland, Maine
 PROJECT Thirty Turf
 BUILDING FOR 2659 [Thirty Turf 80.vpc]
 FILENAME: W10301072-01001.vpc

	JOB #	W10301072-01
	DATE	10/13/2003
	DRAWN/CHECKED	gcm/dc
	SCALE	1



ANCHOR BOLT PLAN

- 2 4'-0"
1 3'-4"
 Dimension Key

1. CONCRETE, GROUT, ANCHOR BOLTS, AND ANY OTHER EMBEDDED ITEMS ARE TO BE FURNISHED BY OTHERS.
2. ANCHOR BOLT SPACING AND DEPENDENCY AT ALTERNATE SPANS AND JOINTS OF EMBEDDED ANCHOR BOLT SHALL BE AS SHOWN ON THIS PLAN. SPACING OF EMBEDDED ANCHOR BOLT SHALL BE AS SHOWN ON THIS PLAN. SPACING OF EMBEDDED ANCHOR BOLT SHALL BE AS SHOWN ON THIS PLAN.
3. POSITION LOADS AND REINFORCEMENT ARE FURNISHED ON OTHER DOCUMENTS.
4. FOUNDATION MUST BE LEVEL, SQUARE AND SHOOT. ANCHOR BOLTS MUST BE ACCURATELY PLACED AS SHOWN ON THIS DRAWING OR STEEL WILL NOT FIT.

THE VP ENGINEER'S SEAL APPLIES TO THE DESIGN OF THE STRUCTURE AND TO THE DESIGN OF THE FOUNDATION. THE SEAL DOES NOT APPLY TO THE DESIGN OF THE FOUNDATION. THE SEAL DOES NOT APPLY TO THE DESIGN OF THE FOUNDATION. THE SEAL DOES NOT APPLY TO THE DESIGN OF THE FOUNDATION.

Building Code: 1990 IBC
Live Load: (See Schedule) 20.00 psf
Wind Speed: 90.00 mph
Ground Snow: 10.00 psf
Seismic Hazard / Use Group: Group 1
Building Classification: Occupancy Structure

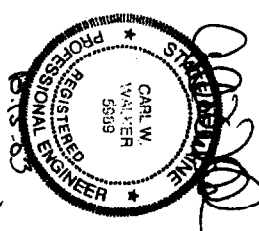
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)

THIS DRAWING IS THE PROPERTY OF THE ENGINEER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

NO.	DATE	DESCRIPTION
1	10/13/2003	VP BUILDING, INC.
2		3500 Progress Club Circle Memphis TN 38118

ANCHOR BOLT PLAN
VP BUILDING, INC.
3500 Progress Club Circle Memphis TN 38118
MEMPHIS, TENNESSEE

VP BUILDINGS
10/13/2003
1.00



10-31-03
10/13/03

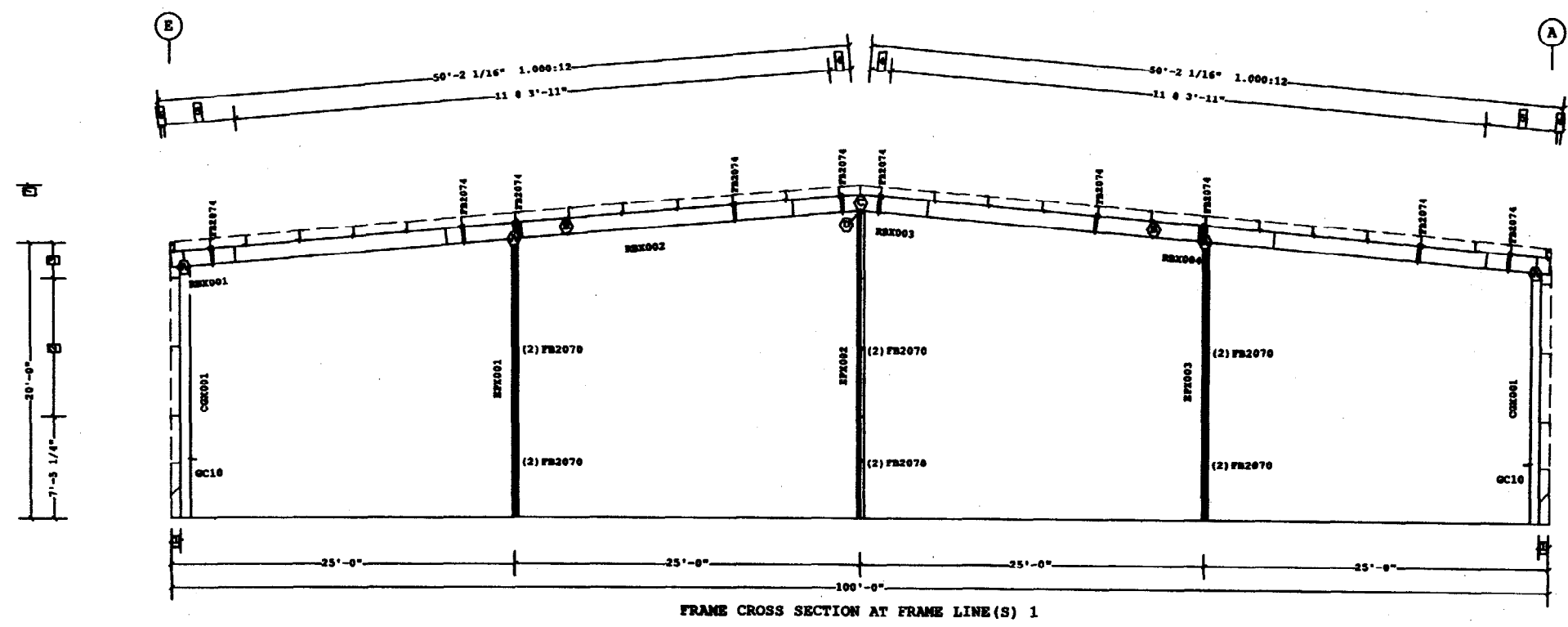
○ Frame Member Schedule

Part	Mem. Width	Thick.	Wabthk	Depth1	Depth2	Approx. Lgth
CGX001	1 5"	.0590	28.0590	8 1/2"	8 1/2"	18'-2 1/8"
RBX001	2 5"	.1875	.1644	1'-2"	1'-2"	28'-9 13/16"
	3 5"	.1875	.1644	1'-2"	1'-2"	
	4 5"	.1875	.1644	1'-2"	1'-2"	
	5 5"	.1875	.1644	1'-2"	1'-2"	
RBX002	6 5"	.1875	.1345	1'-2"	1'-2"	21'-4"
	7 5"	.1875	.1345	1'-2"	1'-2"	
RBX003	8 5"	.1875	.1345	1'-2"	1'-2"	21'-4"
	9 5"	.1875	.1345	1'-2"	1'-2"	
RBX004	10 5"	.1875	.1644	1'-2"	1'-2"	28'-9 13/16"
	11 5"	.1875	.1644	1'-2"	1'-2"	
	12 5"	.1875	.1644	1'-2"	1'-2"	
	13 5"	.1875	.1644	1'-2"	1'-2"	
CGX001	14 5"	.0590	28.0590	8 1/2"	8 1/2"	18'-2 1/8"
EPX001	15 5"	.1875	.1345	1'-1"	1'-1"	20'-2 5/8"
EPX002	16 6"	.1875	.1345	1'-1"	1'-1"	22'-3 7/16"
EPX003	17 5"	.1875	.1345	1'-1"	1'-1"	20'-2 5/8"

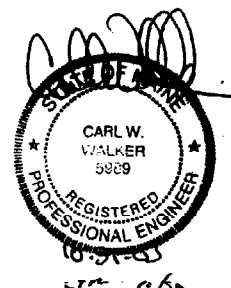
○ A325 Bolt Connection & Plate Schedule

Id	Qty Bolt	Bolt Dia.	Bolt Length	Plate Thick.	Rows		Tension Bolt	Washer
					Out	In		
A	4	1/2"	1 1/2"	3/8"	1	1		
B	4	3/4"	2"	3/8"	1	1		
C	4	3/4"	2"	1/2"	1	1		
D	4	1/2"	1 1/2"	3/8"	1	1	Yes	

Frame Clearances
 Horiz. Clearance between members 1(CGX001) and 14(CGX001): 97'-2"
 Vert. Clearance at member 1(CGX001): 18'-2 13/16"
 Vert. Clearance at member 14(CGX001): 18'-2 13/16"
 Vert. Clearance at member 15(EPX001): 20'-2 7/16"
 Vert. Clearance at member 16(EPX002): 22'-3 7/16"
 Vert. Clearance at member 17(EPX003): 20'-2 7/16"
 Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- Dimension Key
- 7 24'-2"
 - 6 3 3/8"
 - 5 2 @ 2'-7 1/2"
 - 4 1'-6 11/16"
 - 3 2'-6 3/4"
 - 2 2 @ 5'-0"
 - 1 8 1/2"



VP Ref: Shape Name - Thirsty Turf Irrigation Wall 4, Frame 1

1. USE 1/2 DIA. A325 BOLTS FOR PURLIN TO FRAME, GIRT TO FRAME, AND GIRT TO CLIP CONNECTIONS UNLESS NOTED OTHERWISE. SEE JOB DETAILS FOR BOLT LENGTHS. 2. SLOP REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.	THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.	Building Code: 99BOCA Live Load: (Not Reducible) 20.00 psf Coll. Load: Gravity 3.00, Uplift 0.00 psf Wind Speed: 90.00 mph Wind Exposure: B Ground Snow: 70.00 psf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures	THE DRAWING INCLUDES THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND SHALL NOT BE REPRODUCED, REPLICATED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS. THE GENERAL CONTRACTOR AND/OR INSPECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN CONFORMANCE WITH THE DRAWING, DETAILS REFERENCED IN THE DRAWING, AND ALL APPLICABLE VP ERECTION GUIDELINES AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	VP Buildings, Inc. 2380 Players Club Circle Memphis TN 38128		FRAME CROSS SECTION AT FRAME LINE (S) 1	
				DATE: 10/28/2003 BY: NTS DESCRIPTION: 2659 [Thirsty Turf 80.vpc]	DESIGNER: FATCO CONSTRUCTION LOCATION: Portland, Maine PROJECT: Thirsty Turf DRAWING NO: 2659 [Thirsty Turf 80.vpc]	SHEET: 4.0b DATE: 10/28/2003 SCALE: 1/4" = 1'-0"	2009 ME0301072-01 DATE: 10/28/2003 DRAWN BY: [Signature] CHECKED BY: [Signature] DATE: [Signature] PAGE: 6

10/28/2003 10:27:45
 WI0301072-01061.vpc

○ Frame Member Schedule

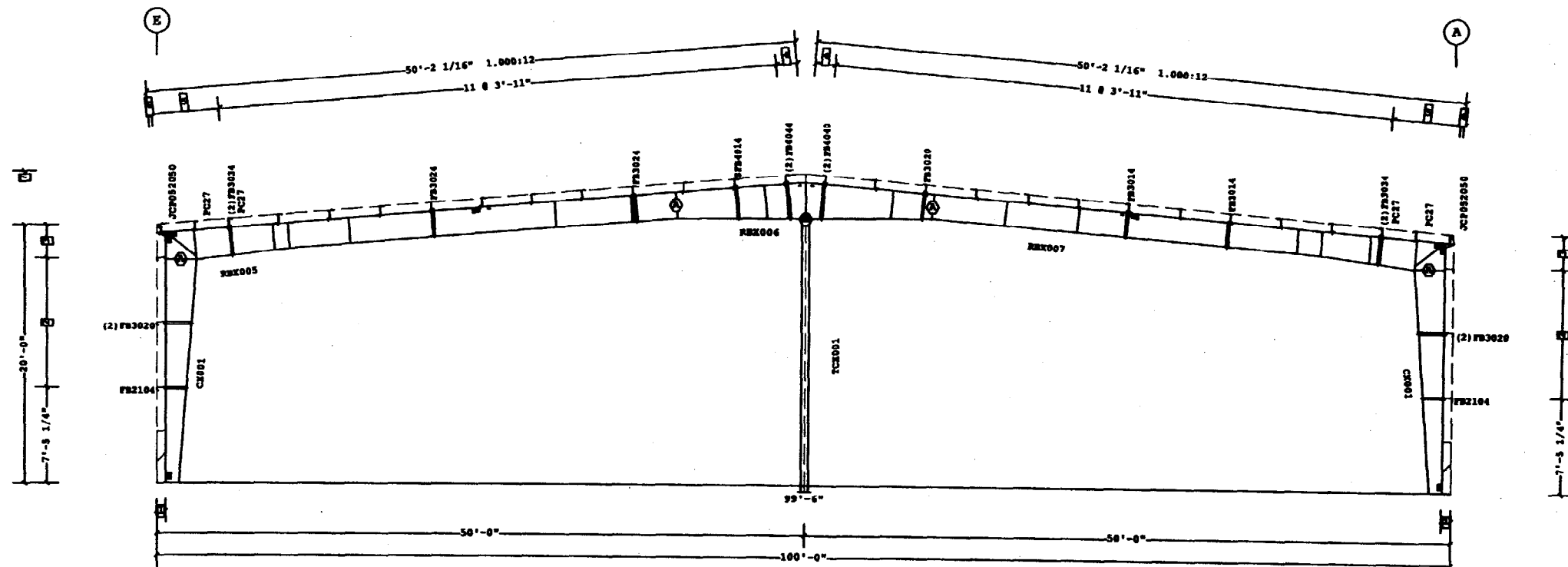
Part	Mem. Width	Thick.	Webthk	Depth1	Depth2	Approx. Lgth
CX001	15"	.2500	.1644	1'-0"	2'-4"	17'-3 7/16"
RBX005	25"	.2500	.1345	2'-3"	2'-0"	40'-1 13/16"
	35"	.3125	.1345	2'-0"	2'-0"	
RBX006	47"	.5000	.1875	2'-0"	2'-9 1/4"	20'-0"
	57"	.5000	.1875	2'-9 1/4"	1'-11"	
RBX007	65"	.3125	.1345	1'-11"	1'-11"	40'-1 13/16"
	75"	.2500	.1345	1'-11"	2'-3"	
CX001	85"	.2500	.1644	1'-0"	2'-4"	17'-3 7/16"
TCK001	9 T 7.0 x 7.0 x 0.1875		7"		7"	21'-2 1/16"

○ A325 Bolt Connection & Plate Schedule

Id	Qty	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	Tension Bolt	Washer
A	8	3/4"	2"	1/2"	3	1		
B	4	1/2"	1 3/4"	3/8"	1	1		

Frame Clearances

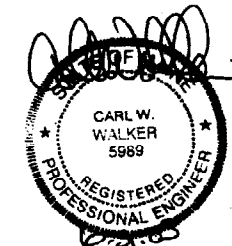
Horiz. Clearance between members 1(CX001) and 8(CX001): 93'-11"
 Vert. Clearance at member 1(CX001): 17'-3 7/16"
 Vert. Clearance at member 8(CX001): 17'-3 7/16"
 Vert. Clearance at member 9(TCK001): 20'-8 1/16"
 Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



FRAME CROSS SECTION AT FRAME LINE(S) 2

- 7 24'-2"
- 6 3 3/8"
- 5 2 @ 2'-7 1/2"
- 4 1'-6 11/16"
- 3 2'-6 3/4"
- 2 2 @ 5'-0"
- 1 8 1/2"

□ Dimension Key



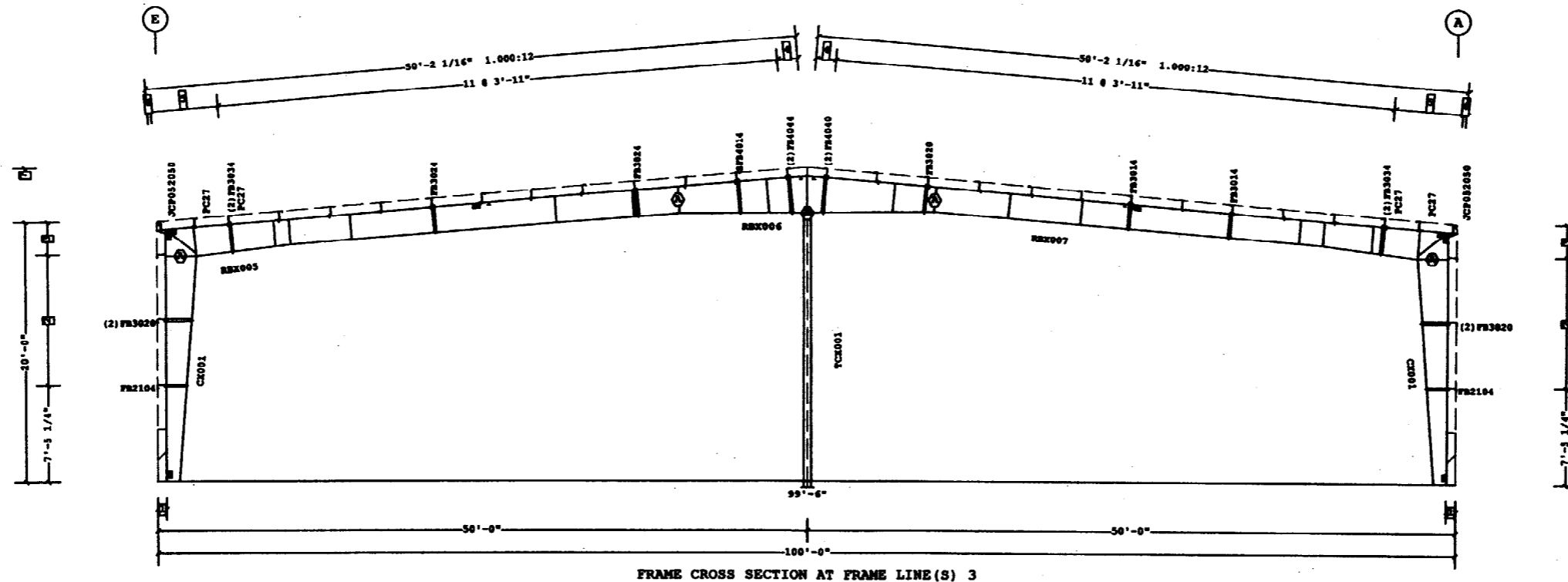
VP Ref: Shape Name - Thirsty Turf Irrigation Wall 4, Frame 2

<p>1. USE 1/2 DIA. A325 BOLTS FOR PURLIN TO FRAME, GIRTS TO FRAME, AND GIRTS TO CLIP CONNECTIONS UNLESS NOTED OTHERWISE. SEE JOB DETAILS FOR BOLT LENGTHS. 2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.</p>	<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>Building Code: 9900CA Live Load: (Not Reducible) 20.00 psf Coll. Load: Gravity 3.00, Uplift 0.00 psf Wind Speed: 90.00 mph Wind Exposure: B Ground Snow: 70.00 psf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures</p>	<p>THIS DRAWING INCLUDING THE INFORMATION HEREON REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR THE BUILDING CONTRACTOR IN THE WORKSHEED ORDER AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS. THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY INFORMATION IN ERECTING THIS BUILDING IN CONFORMANCE WITH THE DRAWINGS, DETAILS & REFERENCES IN THIS DRAWING, ALL APPLICABLE VP INSTRUCTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>	<p>VP Buildings, Inc. 2300 Players Club Circle Memphis TN 38125</p> <table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	REV	DATE	BY	DESCRIPTION					<p>FRAME CROSS SECTION AT FRAME LINE(S) 2</p> <table border="1"> <tr> <td>OWNER</td> <td>PATCO CONSTRUCTION</td> </tr> <tr> <td>LOCATION</td> <td>Portland, Maine</td> </tr> <tr> <td>PROJECT</td> <td>Thirsty Turf</td> </tr> <tr> <td>BUILDING FOR</td> <td>2659 [Thirsty Turf 80.vpc]</td> </tr> <tr> <td>FILENAME</td> <td>WI0301072-01001.vpc</td> </tr> </table> <p>DATE: 10/28/2003 10:27:46</p>	OWNER	PATCO CONSTRUCTION	LOCATION	Portland, Maine	PROJECT	Thirsty Turf	BUILDING FOR	2659 [Thirsty Turf 80.vpc]	FILENAME	WI0301072-01001.vpc
REV	DATE	BY	DESCRIPTION																				
OWNER	PATCO CONSTRUCTION																						
LOCATION	Portland, Maine																						
PROJECT	Thirsty Turf																						
BUILDING FOR	2659 [Thirsty Turf 80.vpc]																						
FILENAME	WI0301072-01001.vpc																						

Frame Member Schedule						
Part	Mem. Width	Thick.	Webthk	Depth1	Depth2	Approx. Lgth
CXK001	1 5"	.2500	.1644	1'-0"	2'-4"	17'-3 7/16"
RBX005	2 5"	.2500	.1345	2'-3"	2'-0"	40'-1 13/16"
	3 5"	.3125	.1345	2'-0"	2'-0"	
RBX006	4 7"	.5000	.1875	2'-0"	2'-9 1/4"	20'-0"
	5 7"	.5000	.1875	2'-9 1/4"	1'-11"	
RBX007	6 5"	.3125	.1345	1'-11"	1'-11"	40'-1 13/16"
	7 5"	.2500	.1345	1'-11"	2'-3"	
CXK001	8 5"	.2500	.1644	1'-0"	2'-4"	17'-3 7/16"
TCK001	9 T 7.0 x 7.0 x 0.1875			7"	7"	21'-2 1/16"

A325 Bolt Connection & Plate Schedule							
Id	Qty	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	Tension Washer
							Bolt
A	8	3/4"	2"	1/2"	3	1	
B	4	1/2"	1 3/4"	3/8"	1	1	

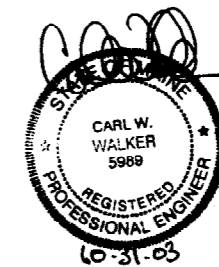
Frame Clearances
 Horiz. Clearance between members 1(CXK001) and 8(CXK001): 93'-11"
 Vert. Clearance at member 1(CXK001): 17'-3 7/16"
 Vert. Clearance at member 8(CXK001): 17'-3 7/16"
 Vert. Clearance at member 9(TCK001): 20'-8 1/16"
 Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



FRAME CROSS SECTION AT FRAME LINE(S) 3

- 7 24'-2"
- 6 3 3/8"
- 5 2 @ 2'-7 1/2"
- 4 1'-6 11/16"
- 3 2'-6 3/4"
- 2 2 @ 5'-0"
- 1 8 1/2"

Dimension Key



VP Ref: Shape Name - Thirsty Turf Irrigation Wall 4, Frame 3

<p>1. USE 1/2 DIA. A325 BOLTS FOR PURLIN TO FRAME, GIRT TO FRAME, AND GIRT TO CLIP CONNECTIONS UNLESS NOTED OTHERWISE. SEE JOB DETAILS FOR BOLT LENGTHS.</p> <p>2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.</p>	<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>Building Code: 9900CA Live Load: (Not Reducible) 20.00 psf Coll. Load: Gravity 3.00, Uplift 0.00 psf Wind Speed: 90.00 mph Wind Exposure: B Ground Snow: 70.00 psf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures</p>	<p>VP Buildings, Inc. 3389 Plover Club Circle Memphis TN 38126</p>	<p>FRAME CROSS SECTION AT FRAME LINE(S) 3</p>	
				<p>DATE: 10/28/2003</p>	<p>TIME: 10:27:48</p>
<p>THE GENERAL CONTRACTOR AND/OR SPECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY INFORMATION IN ERECTING THIS BUILDING IN CONFORMANCE WITH THE DRAWINGS, DETAILS REFERENCED IN THE DRAWINGS, AND ALL APPLICABLE VP ERECTION STANDARDS AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>				<p>CLIENT: PATCO CONSTRUCTION</p> <p>LOCATION: Portland, Maine</p> <p>PROJECT: Thirsty Turf</p> <p>DRAWING NO: 2659 (Thirsty Turf BO.vpc)</p> <p>SCALE: 4.00</p> <p>DATE: 10/28/2003</p> <p>JOB NO: W10301072-01</p> <p>DATE: 10/28/2003</p> <p>PAGE: 8</p>	

○ Frame Member Schedule

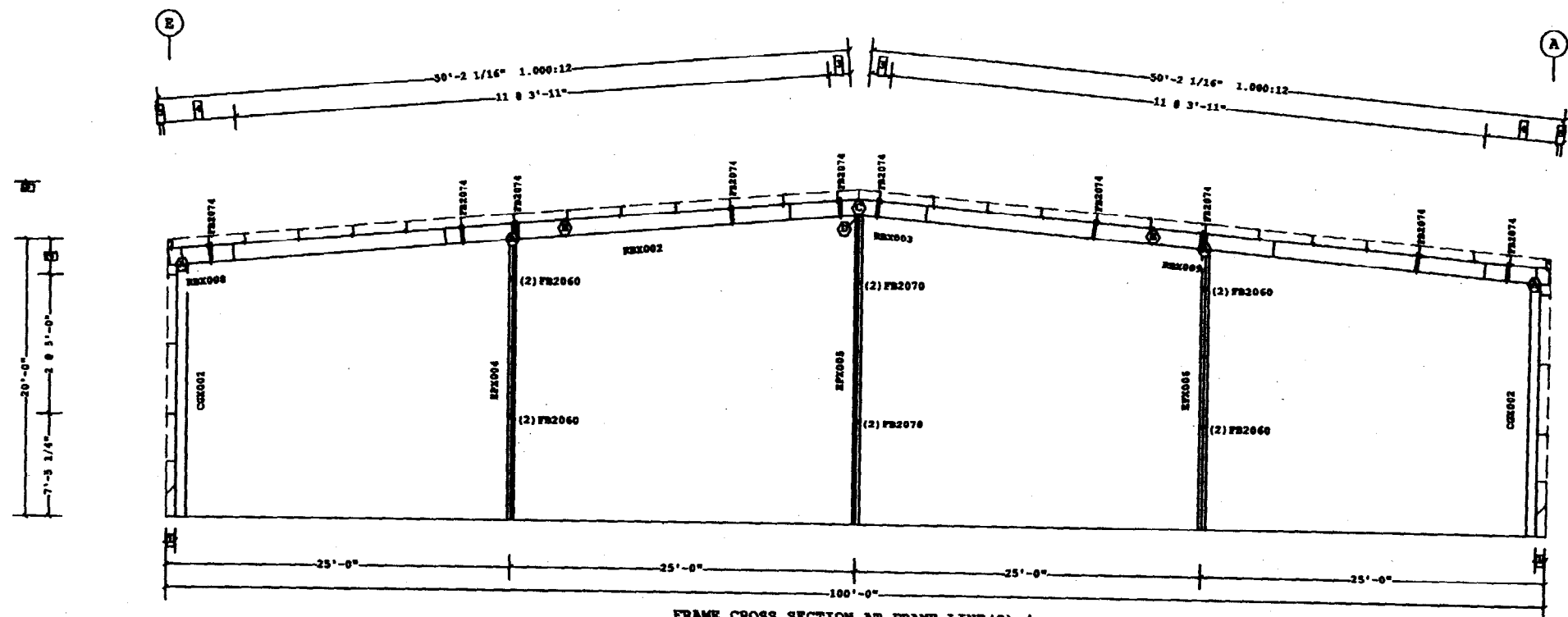
Part	Mem. Width	Thick.	Webthk	Depth1	Depth2	Approx. Lgth
CGX002	1 5"	.0590	28.0590	8 1/2"	8 1/2"	18'-2 1/8"
RBX008	2 5"	.1875	.1644	1'-2"	1'-2"	28'-9 13/16"
	3 5"	.1875	.1644	1'-2"	1'-2"	
	4 5"	.1875	.1644	1'-2"	1'-2"	
	5 5"	.1875	.1644	1'-2"	1'-2"	
RBX002	6 5"	.1875	.1345	1'-2"	1'-2"	21'-4"
	7 5"	.1875	.1345	1'-2"	1'-2"	
RBX003	8 5"	.1875	.1345	1'-2"	1'-2"	21'-4"
	9 5"	.1875	.1345	1'-2"	1'-2"	
RBX009	10 5"	.1875	.1644	1'-2"	1'-2"	28'-9 13/16"
	11 5"	.1875	.1644	1'-2"	1'-2"	
	12 5"	.1875	.1644	1'-2"	1'-2"	
	13 5"	.1875	.1644	1'-2"	1'-2"	
CGX002	14 5"	.0590	28.0590	8 1/2"	8 1/2"	18'-2 1/8"
EPX004	15 6"	.1875	.1345	11"	11"	20'-2 11/16"
EPX005	16 6"	.1875	.1345	1'-1"	1'-1"	22'-3 7/16"
EPX006	17 6"	.1875	.1345	11"	11"	20'-2 11/16"

○ A325 Bolt Connection & Plate Schedule

Id	Qty	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	Tension Bolt	Washer
A	4	1/2"	1 1/2"	3/8"	1	1		
B	4	3/4"	2"	3/8"	1	1		
C	4	3/4"	2"	1/2"	1	1		
D	4	1/2"	1 1/2"	3/8"	1	1	Yes	

Frame Clearances

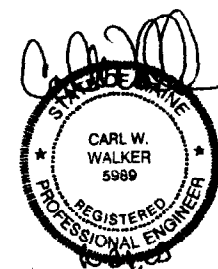
Horiz. Clearance between members 1 (CGX002) and 14 (CGX002): 97'-2"
 Vert. Clearance at member 1 (CGX002): 18'-2 13/16"
 Vert. Clearance at member 14 (CGX002): 18'-2 13/16"
 Vert. Clearance at member 15 (EPX004): 20'-2 7/16"
 Vert. Clearance at member 16 (EPX005): 22'-3 7/16"
 Vert. Clearance at member 17 (EPX006): 20'-2 7/16"
 Finished Floor Elevation - 100'-0" (Unless Noted Otherwise)



FRAME CROSS SECTION AT FRAME LINE (S) 4

- 6 24'-2"
- 5 3 3/8"
- 4 2 @ 2'-7 1/2"
- 3 1'-6 11/16"
- 2 2'-6 3/4"
- 1 8 1/2"

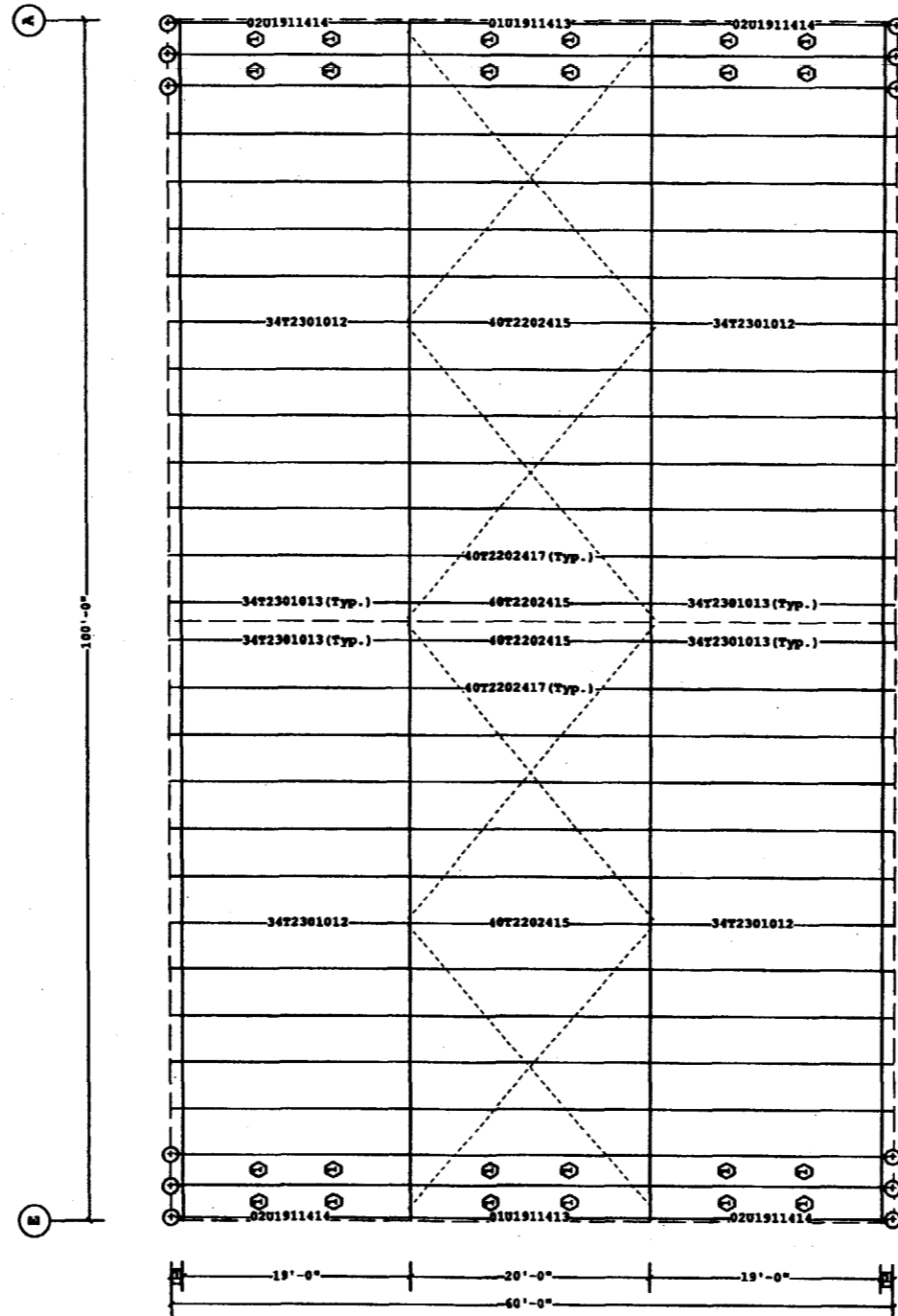
□ Dimension Key



<p>1. USE 1/2 DIA. A325 BOLTS FOR PURLIN TO FRAME, GIRT TO FRAME, AND GIRT TO CLIP CONNECTIONS UNLESS NOTED OTHERWISE. SEE JOB DETAILS FOR BOLT LENGTHS.</p> <p>2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.</p>	<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>Building Code: 99BOCA Live Load: (Not Reducible) 20.00 psf Coll. Load: Gravity 3.00, Uplift 0.00 psf Wind Exposure: B Ground Snow: 70.00 psf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures</p>	<p>VP Buildings, Inc. 2300 Players Club Circle Memphis TN 38126</p>	<p>FRAME CROSS SECTION AT FRAME LINE (S) 4</p>	
				<p>10/28/2003</p>	<p>10:27:50</p>

○ Part Mark Key
 1 SA2097
 (+) SSR Fixed Clip Location

Sag Angle Schedule
 (48)SA2097 Typ. at 2'-7 1/2" spaces
 See SED: BR09A5 for installation
 See Part Mark Key for Sag Angle X-indication



1 1'-0"
 □ Dimension Key

ROOF SECONDARY PLAN

VP Ref: Shape Name - Thirty Turf Irrigation

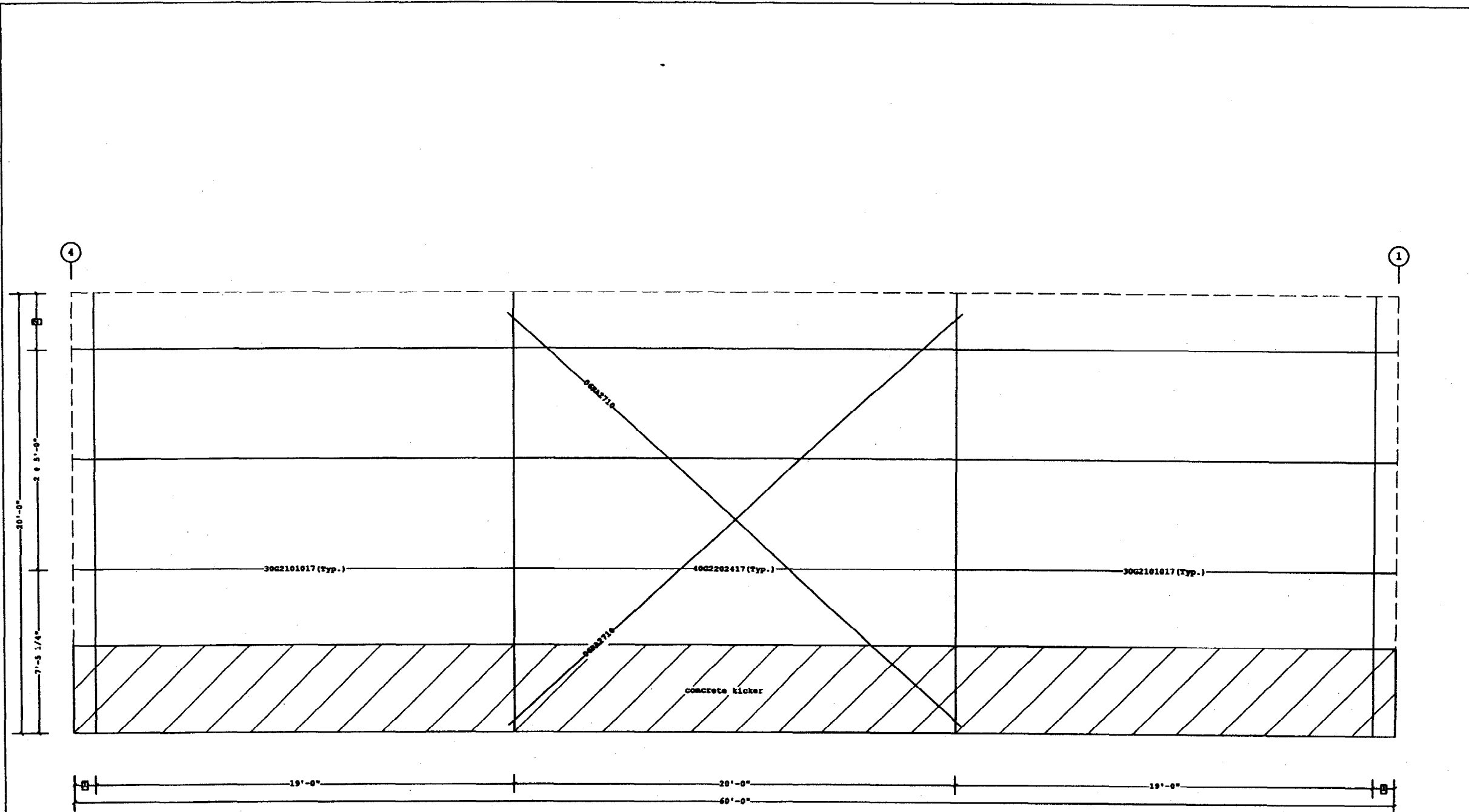


<p>1. UNLESS NOTED, USE 1/2 DIAMETER A-325 BOLTS FOR FURLIN LAP, FURLIN TO FRAME, FLANGE BRACE TO FRAME, AND FLANGE BRACE TO FURLIN CONNECTIONS. SEE JOB DETAILS FOR BOLT LENGTHS.</p> <p>2. WIND, FLANGE, AND FURLIN BRACING ARE AN INTEGRAL PART OF THE ROOF STRUCTURAL SYSTEM AND SHOULD BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS. REMOVAL OR ALTERATION OF ROOF BRACING WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.</p>	<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>Building Code: 99BOCA Live Load: (Not Reducible) 20.00 psf Coll. Load: Gravity 3.00, Uplift 0.00 psf Wind Speed: 90.00 mph Wind Exposure: B Ground Snow: 70.00 psf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures</p>	<p>THE ENGINEER INCLUDES THE SUPERVISOR'S SIGNATURE, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND SHALL NOT BE REPRODUCED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.</p> <p>THE GENERAL CONTRACTOR AND/OR INSPECTOR IS SOLELY RESPONSIBLE FOR ACCURATE READ QUALITY INFORMATION IN ERECTING THIS BUILDING IN CONFORMANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE CODES, REGULATIONS, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>	<p>VP Buildings, Inc. 2388 Players Club Circle Memphis TN 38125</p>		<p>ROOF SECONDARY PLAN</p>	
				<p>VP Buildings, Inc. 2388 Players Club Circle Memphis TN 38125</p>	<p>VP BUILDINGS 10/28/2003</p>		

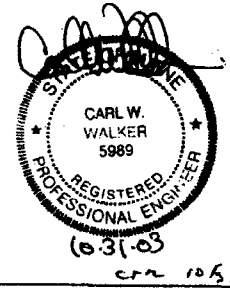
10/28/2003

10:26:52

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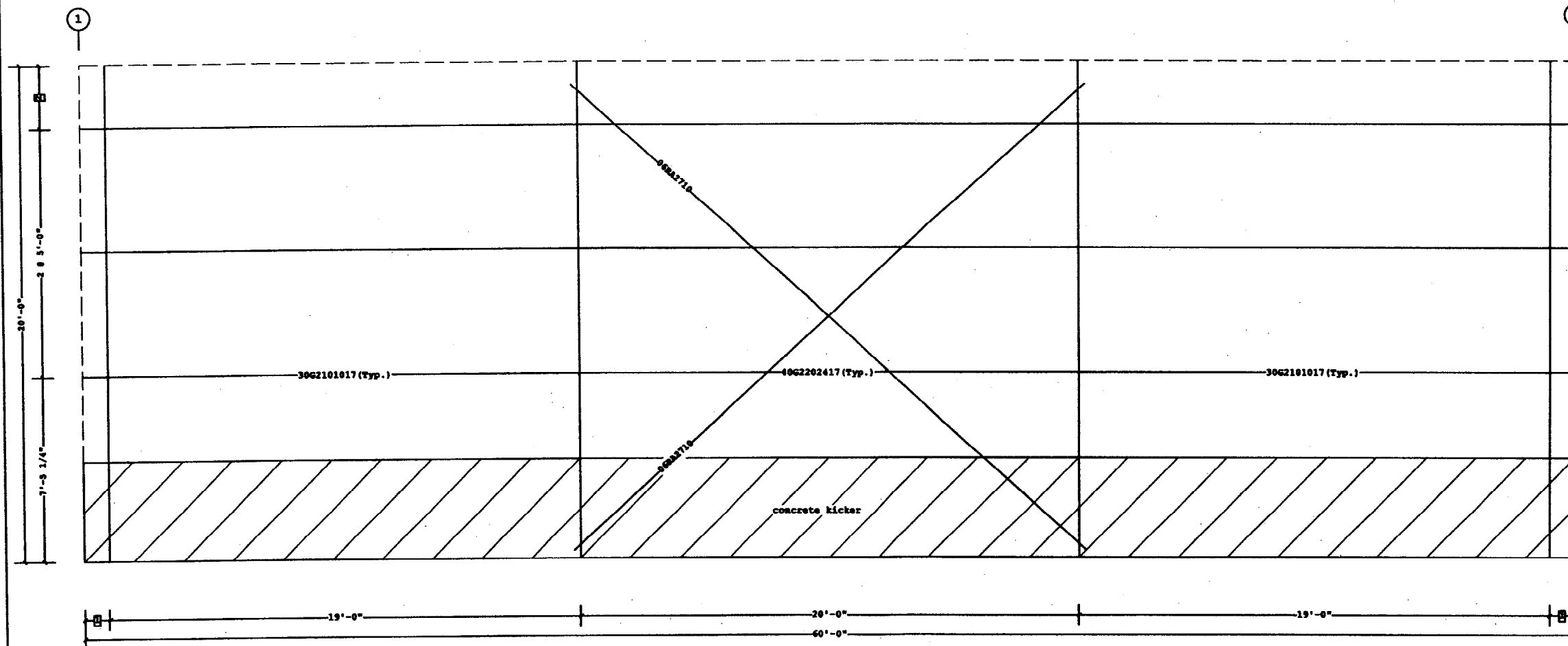
SECONDARY ELEVATION AT A



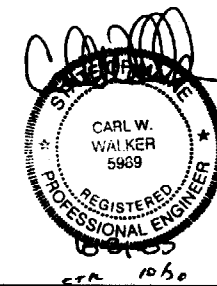
2 2'-6 3/4"
 1 1'-0"
 Dimension Key

VP Ref: Shape Name - Thirsty Turf Irrigation, Wall - 2

<p>1. UNLESS NOTED, USE 1/2 DIAMETER A-325 BOLTS FOR GIRT LAP, GIRT TO FRAME, FLANGE BRACE TO FRAME, FLANGE BRACE TO GIRT, JOIST AND BRACING CONNECTIONS. SEE JOB DETAILS FOR BOLT LENGTHS. 2. WIND AND BRACING CONNECTIONS ARE AN INTEGRAL PART OF THE WALL STRUCTURAL SYSTEM AND SHOULD BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS. REMOVAL OR ALTERATION OF WALL BRACING WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.</p>	<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>Building Code: 9900CA Live Load: (Not Reducible) 20.00 psf Coll. Load: Gravity 3.00, Uplift 0.00 psf Wind Speed: 90.00 mph Wind Exposure: B Ground Snow: 70.00 psf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures</p>	<p>THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND SHALL NOT BE REPRODUCED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS. THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN ERECTING THE BUILDING IN CONFORMANCE WITH THE DRAWING DETAILS SPECIFIED IN THE DRAWING. ALL APPLICABLE UP ERECTION STANDARDS AND RELATED STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>	<p>VP Buildings, Inc. 2800 Players Club Circle Memphis TN 38128</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	BY	DESCRIPTION													<p>SECONDARY ELEVATION AT A</p> <table border="1"> <tr> <td>ERECTOR</td> <td>PATCO CONSTRUCTION</td> </tr> <tr> <td>LOCATION</td> <td>Portland, Maine</td> </tr> <tr> <td>PROJECT</td> <td>Thirsty Turf</td> </tr> <tr> <td>DRAWING NO.</td> <td>2659 [Thirsty Turf 80.vpc]</td> </tr> <tr> <td>VP VERSION</td> <td>4.0b</td> </tr> </table> <p>DATE: 10/28/2003 DRAWN BY: [Signature] CHECKED BY: [Signature] SCALE: 1/1</p>	ERECTOR	PATCO CONSTRUCTION	LOCATION	Portland, Maine	PROJECT	Thirsty Turf	DRAWING NO.	2659 [Thirsty Turf 80.vpc]	VP VERSION	4.0b
REV	DATE	BY	DESCRIPTION																												
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VP VERSION	4.0b																														



SECONDARY ELEVATION AT E



2 2'-6 3/4"
 1 1'-0"
 Dimension Key

VF Ref: Shape Name - Thirsty Turf Irrigation, Wall - 4

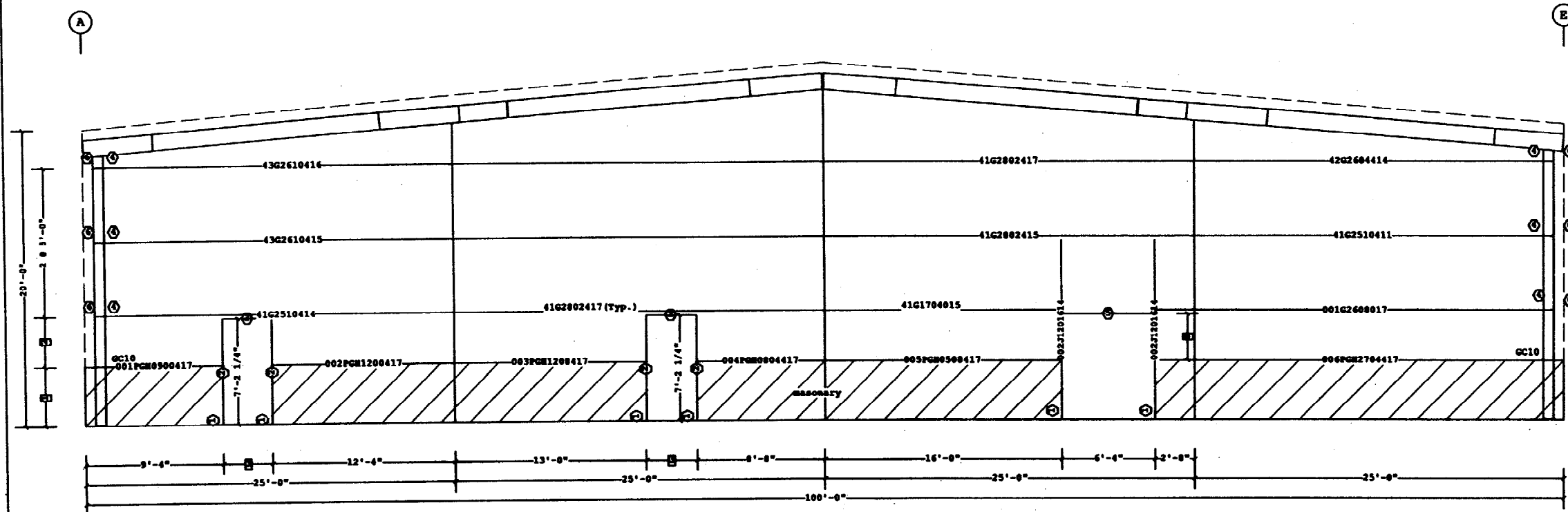
<p>1. UNLESS NOTED, USE 1/2 DIAMETER A-325 BOLTS FOR GIRT LAP, GIRT TO FRAME, FLANGE BRACK TO FRAME, FLANGE BRACK TO GIRT, JOINT AND HEADER CONNECTIONS. SEE JOB DETAILS FOR BOLT LENGTHS.</p> <p>2. WIND AND FLANGE BRACING ARE AN INTEGRAL PART OF THE WALL STRUCTURAL SYSTEM AND SHOULD BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS. REMOVAL OR ALTERATION OF WALL BRACING WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.</p>	<p>THE VF ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VF AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VF. THE VF ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VF EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VF.</p>	<p>Building Code: 9900CA Live Load: (Not Reducible) 20.00 pcf Coll. Load: Gravity 3.00, Uplift 0.00 pcf Wind Speed: 90.00 mph Wind Exposure: B Ground Snow: 70.00 pcf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures</p>	<p>THIS DRAWING INCLUDES THE INFORMATION THEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND SHALL NOT BE REPRODUCED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.</p> <p>THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN ERECTING THE BUILDING IN CONFORMANCE WITH THE DRAWING, DETAILS AND SPECIFICATIONS THEREON. ALL APPLICABLE UP ERECTION STANDARDS AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>	<p>VP Buildings, Inc. 3280 Playmate Club Circle Memphis TN 38125</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		REV	DATE	BY	DESCRIPTION					<p>SECONDARY ELEVATION AT E</p> <table border="1"> <tr> <td>OWNER</td> <td>FATCO CONSTRUCTION</td> </tr> <tr> <td>LOCATION</td> <td>Portland, Maine</td> </tr> <tr> <td>PROJECT</td> <td>Thirsty Turf</td> </tr> <tr> <td>DATE</td> <td>10/28/2003</td> </tr> <tr> <td>FILENAME</td> <td>2659 [Thirsty Turf 80.vpc]</td> </tr> </table>		OWNER	FATCO CONSTRUCTION	LOCATION	Portland, Maine	PROJECT	Thirsty Turf	DATE	10/28/2003	FILENAME	2659 [Thirsty Turf 80.vpc]
				REV	DATE	BY	DESCRIPTION																		
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FILENAME	2659 [Thirsty Turf 80.vpc]																								
<p>10/28/2003 10:16:17</p>		<p>VP BUILDINGS WOOD-PURSH 4.0b</p>		<p>12</p>																					

Part Mark Key

1	JBC1
2	001J0701614
3	DHC0303417
4	GCC072084
5	DH0604017
6	GFA106

Non-Std Secondary Part Schedule

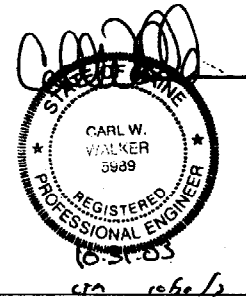
Part	Thick.	Depth	Lap
001G2608017	0.0590	8 1/2"	
001PGH0900417	0.0590	8 1/2"	
002PGH1200417	0.0590	8 1/2"	
003PGH1208417	0.0590	8 1/2"	
006PGH2704417	0.0590	8 1/2"	



SECONDARY ELEVATION AT 1

Dimension Key

5	3'-1 3/4"
4	4'-0"
3	3'-4"
2	3'-4 3/4"
1	4'-0 1/2"

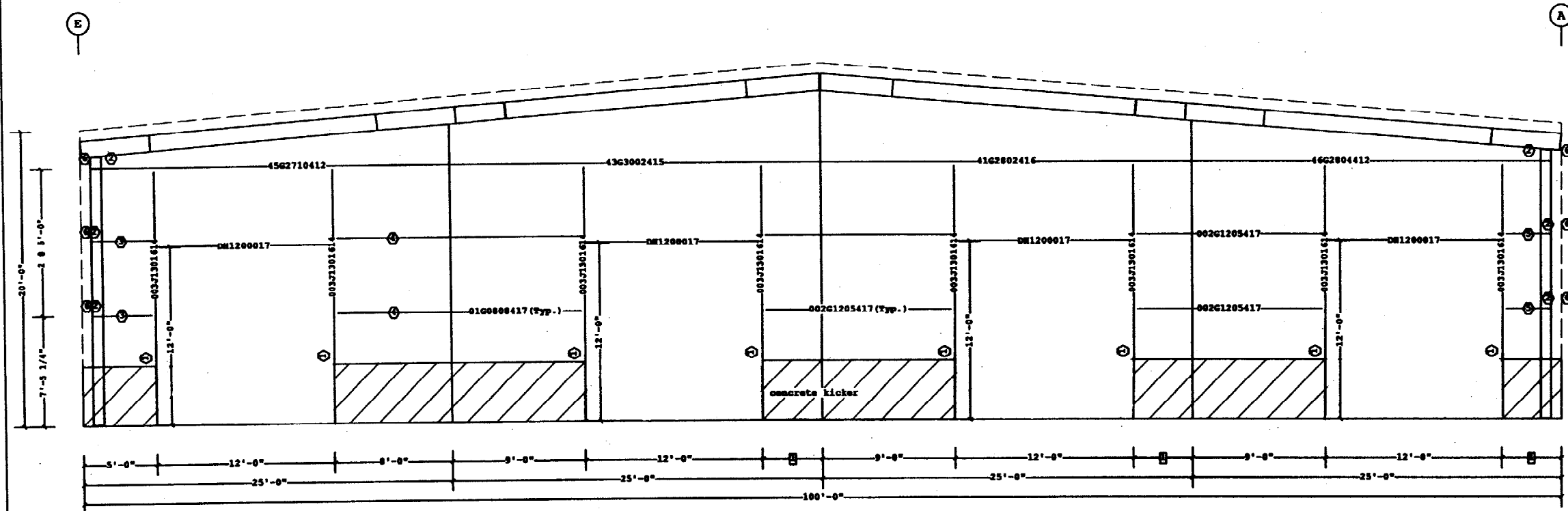


<p>1. UNLESS NOTED, USE 1/2 DIAMETER A-325 BOLTS FOR GIRT LAP, GIRT TO FRAME, FLANGE BRACE TO FRAME, FLANGE BRACE TO GIRT, JAMB AND HEADER CONNECTIONS. SEE JOB DETAILS FOR BOLT LIMITS.</p> <p>2. WIND AND FLANGE BRACING ARE AN INTEGRAL PART OF THE WALL STRUCTURAL SYSTEM AND SHOULD BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS. REMOVAL OR ALTERATION OF WALL BRACING WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.</p>	<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PROJECT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>Building Code: 9900CA Live Load: (Not Reducible) 20.00 psf Coll. Load: Gravity 3.00, Uplift 0.00 psf Wind Speed: 90.00 mph Wind Exposure: B Ground Snow: 70.00 psf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures</p>	<p>VP Buildings, Inc. 3300 Pipers Club Circle Memphis TN 38126</p>	<p>SECONDARY ELEVATION AT 1</p>	
				<p>1. UNLESS NOTED, USE 1/2 DIAMETER A-325 BOLTS FOR GIRT LAP, GIRT TO FRAME, FLANGE BRACE TO FRAME, FLANGE BRACE TO GIRT, JAMB AND HEADER CONNECTIONS. SEE JOB DETAILS FOR BOLT LIMITS.</p> <p>2. WIND AND FLANGE BRACING ARE AN INTEGRAL PART OF THE WALL STRUCTURAL SYSTEM AND SHOULD BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS. REMOVAL OR ALTERATION OF WALL BRACING WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.</p>	<p>VP Buildings, Inc. 3300 Pipers Club Circle Memphis TN 38126</p>

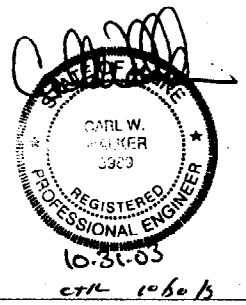
- Part Mark Key
- 1 JBC1
 - 2 GCC072084
 - 3 01G0400017
 - 4 01G0708417
 - 5 01G0300017
 - 6 GFA106

Non-Std Secondary Part Schedule

Part	Thick.	Depth	Lap
002G1205417	0.0590	8 1/2"	



SECONDARY ELEVATION AT 4



- 1 4'-0"
 Dimension Key

VP Ref: Shape Name - Thirty Turf Irrigation, Wall - 3

<p>1. UNLESS NOTED, USE 1/2 DIAMETER A-325 BOLTS FOR GIRT LAP, GIRT TO FRAME, FLANGE BRACE TO FRAME, FLANGE BRACE TO GIRT, JAMB AND HEADER CONNECTIONS. SEE JOB DETAILS FOR BOLT LENGTHS.</p> <p>2. RIND AND FLANGE BRACING ARE AN INTEGRAL PART OF THE WALL STRUCTURAL SYSTEM AND SHOULD BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS. REMOVAL OR ALTERATION OF WALL BRACING WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.</p>	<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>Building Code: 9900CA Live Load: (Not Reducible) 20.00 per Coll. Load: Gravity 3.00, Uplift 0.00 per Wind Speed: 90.00 mph Wind Exposure: B Ground Snow: 78.00 psf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures</p>	<p>THIS DRAWING INCLUDES THE INFORMATION HEREON REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND SHALL NOT BE REPRODUCED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.</p> <p>THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN ERECTING THE BUILDING IN CONFORMANCE WITH THE DIMENSIONAL DETAILS SPECIFIED IN THIS DRAWING, ALL APPLICABLE VP ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>	<p>VP Buildings, Inc. 2300 Players Club Circle Memphis TN 38125</p>		<p>SECONDARY ELEVATION AT 4</p>	
				<p>DATE: 10/28/2003</p>	<p>BY: [Signature]</p>	<p>CLIENT: PATCO CONSTRUCTION</p>	<p>LOCATION: Portland, Maine</p>

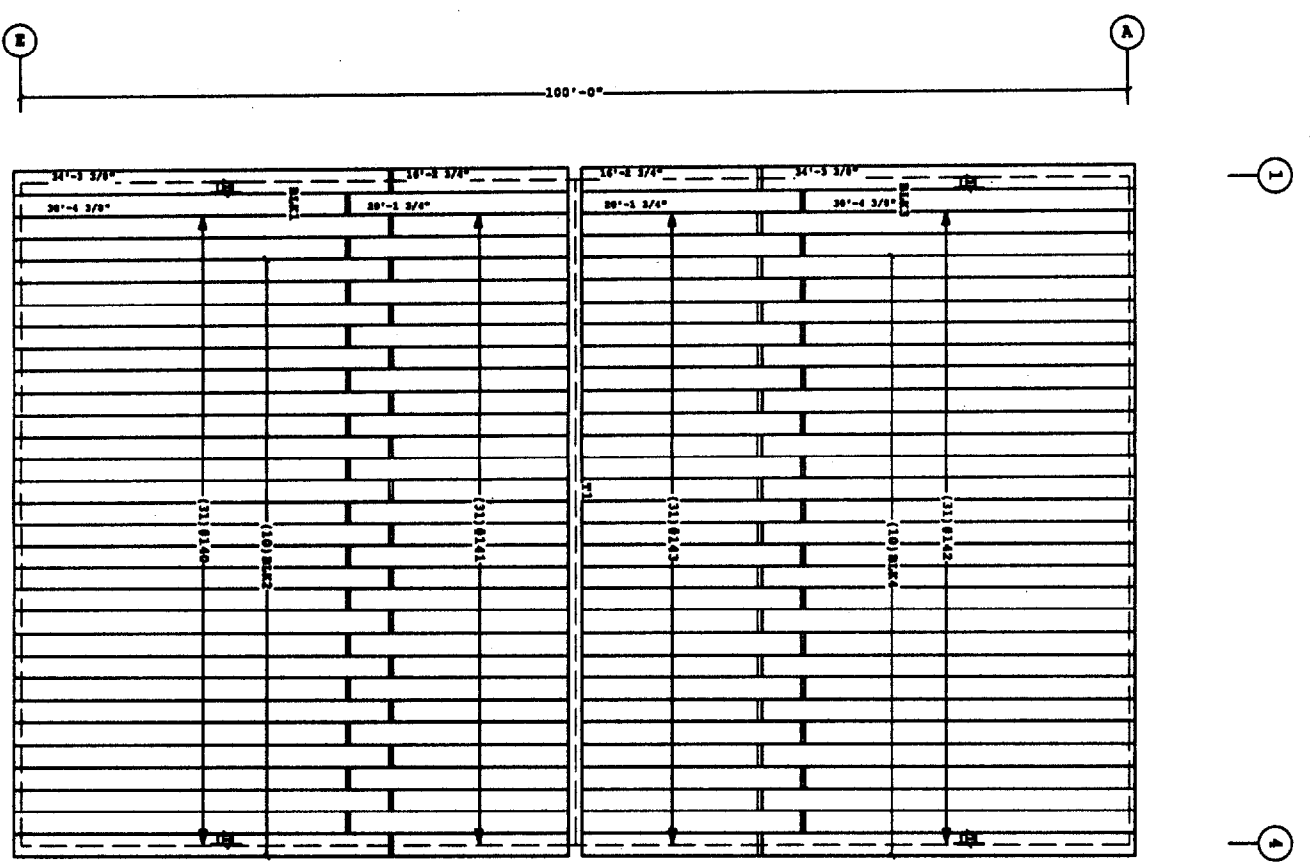
Covering Schedule	Id	Qty	Type	Length	Gage	OP	Fin.	Color
	#140	16	15	SSR	34'-3 3/8"	24	2	G
	#141	16	15	SSR	16'-2 3/4"	24	2	G
	#142	16	15	SSR	34'-3 3/8"	24	2	G
	#143	16	15	SSR	16'-2 3/4"	24	2	G

Oper. Code: 2-SQ, SO
 Finish: G-galvalume
 Color: TD-standard Color

Insulation Schedule (Install in same direction as Covering)
 Id Qty Type Start Run Last Run Thick. Facing
 BLK1 1 IB 54'-0" 54'-0" 6.00 PL
 BLK2 10 IB 54'-0" 54'-0" 6.00 PL
 BLK3 1 IB 53'-0" 53'-0" 6.00 PL
 BLK4 10 IB 53'-0" 53'-0" 6.00 PL
 Starter Width- 4'-0", Intern. Width- 6'-0", End Width- 6'-0"
 Location -Outside Secondary Structural
 Direction -Across Secondary Structural
 Type: IB-Fiberglass Blanket
 Facing: PL-polypolyethylene scrim Kraft, Light Duty

Trim Schedule
 Id Parts
 T1 SMC906, (6) SMC910, SMC906, (6) SMC910

Color
 Match Roof Color RC34A7, RC34H1, RC34H3, RC34H4



ROOF COVERING PLAN

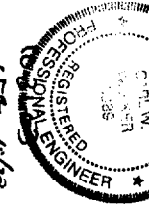
Ice Damming Conditions Exist
 - (Field Repair Fasteners)
 (1 Bags) #55308 #17-14x1" S.S. Roof Fastener
 Attention: Refer to NC02P3, RC02P2, RC02P1 on SCD Drawing
 1 1'-0" Starter Panel (Cut Dim. - 1'-1")
 Dimension Key

VP Inc. - Thalesy Turf Inspection
 Building Code: 9900CA
 Live Load: (see schedule) 20.00 psf
 Coll. Load: evenly 3.00, Splice 0.00 psf
 Wind Speed: 90.00 mph
 Wind Exposure: B
 Ground Snow: 70.00 psf
 Snow Exposure Category: 2
 Seismic Hazard / Use Group: Group 1
 Building Standardized Occupancy Structures

THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DOES NOT REPRESENT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. VP DOES NOT ACCEPT ANY LIABILITY FOR THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT PROVIDED BY ANY OTHER PARTY. THE ENGINEER'S SEAL IS SPECIFIED BY VP.

VP BUILDINGS, INC.
 2300 Payne Club Circle Memphis TN 38125
 10/23/2003 6:51:37

ROOF COVERING PLAN
 ENGINE: PATCO CONSTRUCTION
 LOCATION: Portland, Maine
 DRAWN: Thalesy Turf
 DATE: 2/5/03 [Thalesy Turf NO. VPC]



DATE: 10/28/2003
 TIME: 10:28:00
 USER: JMS
 SHEET: 15

1. THE INSTALLING 1/8" DIAMETER BOLTS FOR ROOF STRUCTURAL FASTENERS ARE TO BE INSTALLED AT 11 GAGE PURLINS, REPORT PURLINS, PURLIN LAP LOCATIONS, AND/OR SECONDARY STRUCTURAL BOLTS
 2. ROOF SHEETS ARE TO BE INSTALLED PART OF THE STRUCTURAL SYSTEM, REMOVAL OR ALTERATION WITHOUT PULCO APPROVAL IS PROHIBITED.
 3. SEE FOR DETAILS FOR SHEETING AND TRIM FASTENERS SPECIFICATION.
 4. FOR IN PANEL, PRE-DRAINING OF SIMILAR FASTENERS REQUIRED ONE TO THE ABSENCE OF A PURLIN BEARING FROM. SEE SCD NC03B1.

Covering Schedule								
Id	Qty	Type	Length	Gate	OP	Fin.	Color	Direction
#131	20	FR	16'-1 7/8"	26	F	K	AG	Left to Right
Oper. Code: F-CR, SQ								
Finish: K-XI								
Color: Ac-Ash Gray								

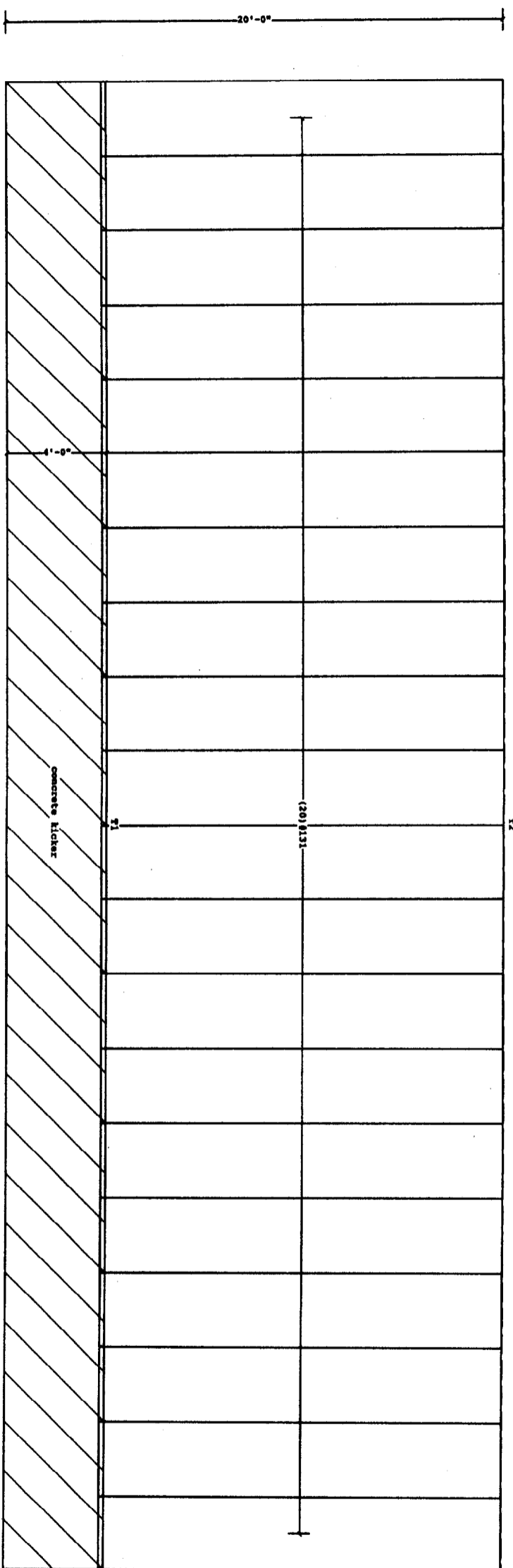
Trim Schedule		
Id	Part	Color
T1	(3) BA1	Patrician Bronze
T2	(3) EF20A, (6) RFR10	Stoney Blue

Details		
Part	Color	Material
BA1	Patrician Bronze	EN52A1, WC0101, WC04A1
EF20A, RFR10	Stoney Blue	RC03A2, RC03A1, WC04A1, WC11A1

Insulation Schedule (Install) in same direction as Covering)

Id	Qty	Type	Start Run	Last Run	Thick.	Facing
BLK1	1	IB	17'-0"	17'-0"	4.00	PL
BLK2	10	IB	17'-0"	17'-0"	4.00	PL

Starter Width- 4'-0", Intern. Width- 6'-0", End Width- 6'-0"
 Location -Outside Secondary Structural
 Direction -Across Secondary Structural
 Type: IP-fiberglass Blanket
 Facing: PR-polyplypropylene Scrim Kraft, Light Duty
 VP Ref: Shape Name = Thirsty Turf Irrigation, Wall - 4



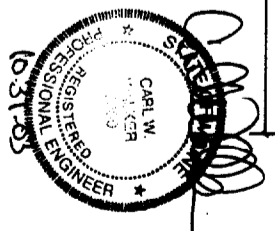
1. WALL SHEETS ARE AN INTERNAL PART OF THE STRUCTURAL SYSTEM, REMOVAL OR ALTERATION WITHOUT APPROVAL IS PROHIBITED.
2. SEE JOB DETAILS FOR SHEETING AND TRIM PARTS SPECIFICATION.
3. PRE-DRILLING 1/8" DIAMETER HOLES FOR WALL STRUCTURAL PARTS MAY BE REQUIRED BY 11 GAGE GIBBS, HESSED GIBBS, GIBB LAB LOCATIONS, AND/OR SECONDARY STRUCTURAL BEAMS

THE VP SHEETING'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF THE VP SHEETING. THE VP SHEETING'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR SYSTEM. THE VP SHEETING'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF THE VP SHEETING. THE VP SHEETING'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR SYSTEM.

Building Code: 9900A
 Live Load: (Not Specified) 20.00 psf
 Coll. Load: Gravity 3.00, DPLITE 0.00 psf
 Wind Speed: 90.00 mph
 Wind Exposure: B
 Ground Snow: 70.00 psf
 Snow Exposure Category: 2
 Seismic Risk: See Group 1
 Building Use: Standard Occupancy Structures

VP Building, Inc.
 2000 Project Code: Memphis TN 38125

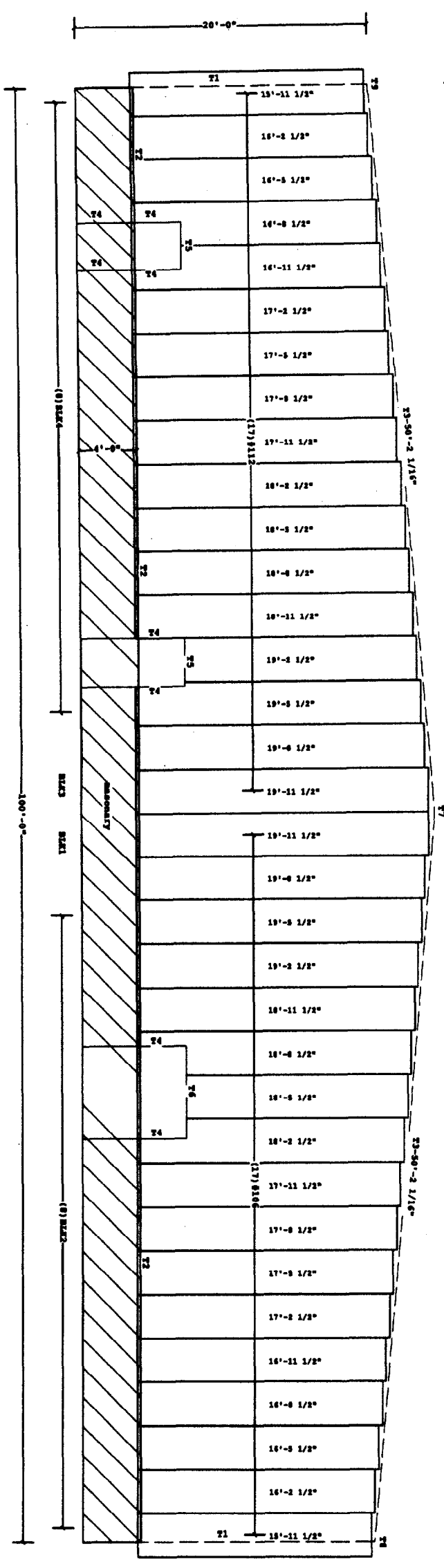
COVERING ELEVATION AT E
 SHEET NO. 17
 DATE: 10/29/2003
 TIME: 6:37:48
 PROJECT: 2659 Thirsty Turf
 DRAWING NO.: H0301072-01081.vpc



Covering Schedule	ID	QTY	Type	Length	Gage	OP	Fin.	Color	Direction
8106 17	PR	19'-11 1/2"	26	F	K	AG	MG		Left to Right From Peak
8112 17	PR	19'-11 1/2"	26	F	K	AG	MG		Right to Left From Peak

Trim Schedule	ID	Part	Color	Details
T1	CT16		Match Wall Color	MC20A1, MC01D1, MC04A1
T2	(4.4) SAI		Patrician Bronze	EN52A1, MC01D1, MC04A1
T3	(11) RNF10, (7) RNC15, (6) RNF20, (11) RSB10, (11) RSC10		Stormy Blue	RC10A1, RC30A1, RS10G1, MC10A1
T4	DP10, DT05		Ash Gray	MC24A1
T5	DP05, MDP04		Ash Gray	MC24A2
T6	DP10, RT310		Ash Gray	MC24A2
T7	SPC1, SBR2		Stormy Blue	RC34R5, RC34R6
T8	RAIR, PRF1		Stormy Blue	RC38A2
T9	RAIR, PRF1		Stormy Blue	RC38A2

Insulation Schedule (Install in same direction as covering)
 ID QTY Type Start Run Last Run Thick. Packing
 BSK1 1 IB 22'-0" 18'-0" 4.00 PL
 BSK2 8 IB 21'-0" 18'-0" 4.00 PL
 BSK3 1 IB 22'-0" 18'-0" 4.00 PL
 BSK4 8 IB 21'-0" 18'-0" 4.00 PL
 Starter Width- 4'-0", Intern. Width- 6'-0", End Width- 6'-0"
 Location -Outside Secondary Structural
 Direction -Across Secondary Structural
 Type: IB-Fiberglass Blanket
 Facing: PI-Polypropylene Scria Kraft, Light Duty
 VP Ref: Shape Name - Thirty Turf Irrigation, Wall - 1



COVERING ELEVATION AT 1

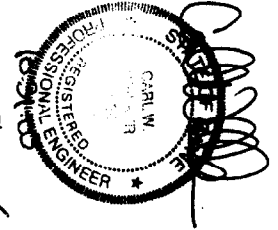
1. THIS DRAWING IS AN INTEGRAL PART OF THE STRUCTURAL SYSTEM, SUBJECT TO ALTERATION WITHOUT FURTHER NOTIFICATION IS PROHIBITED.
2. SEE THE SPECIFICATIONS FOR MATERIALS AND FOR THE SPECIFICATIONS FOR THE WORK.
3. THE INSTALLATION OF THE COVERING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND THE WORK SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ARCHITECT.

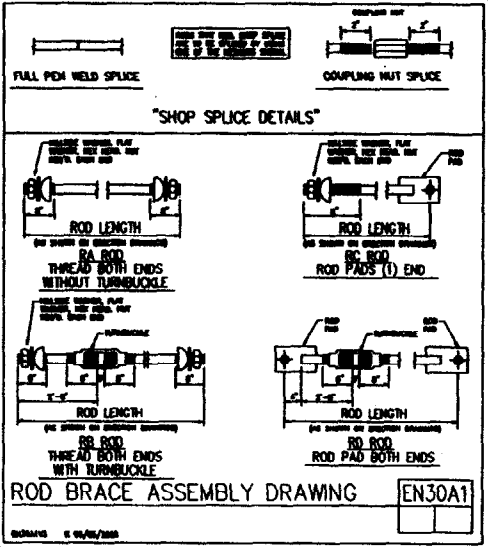
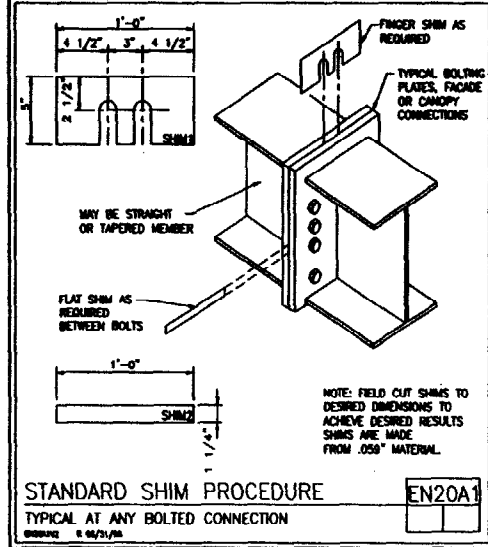
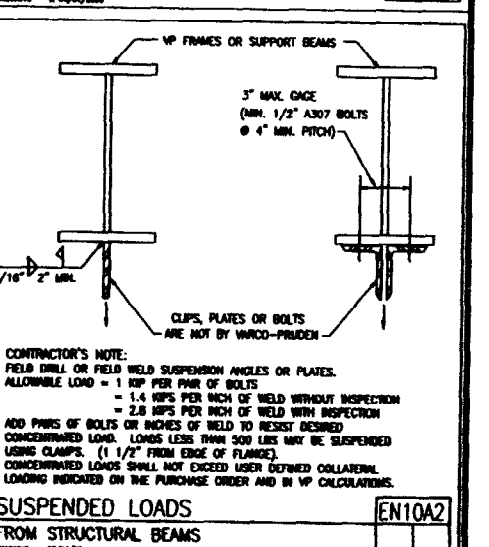
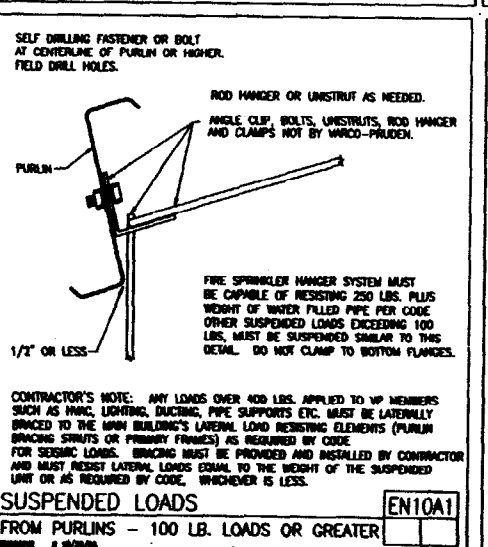
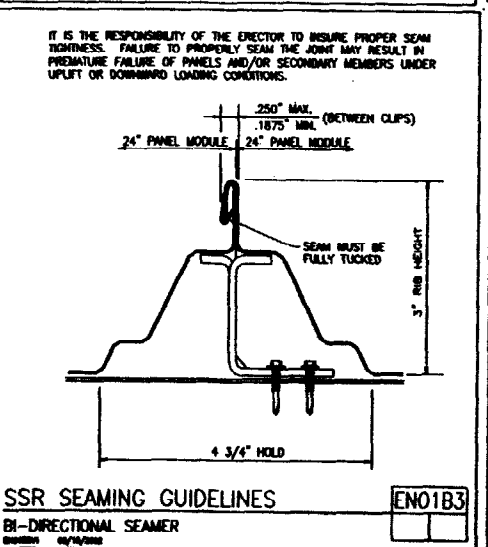
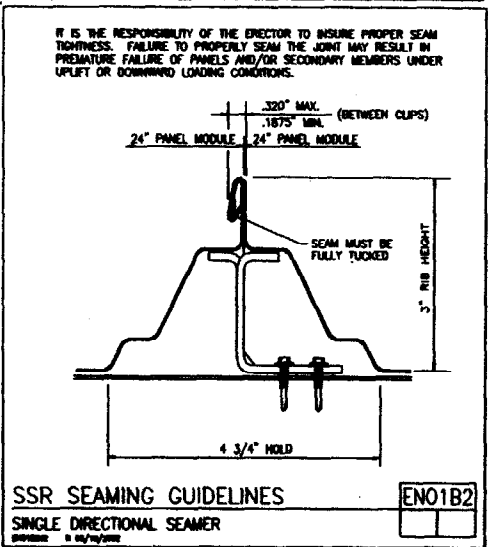
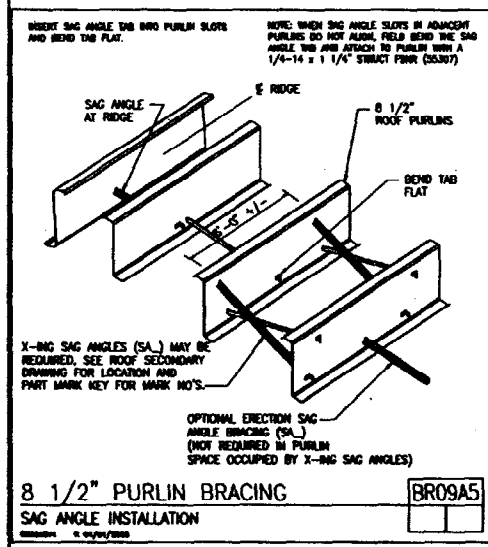
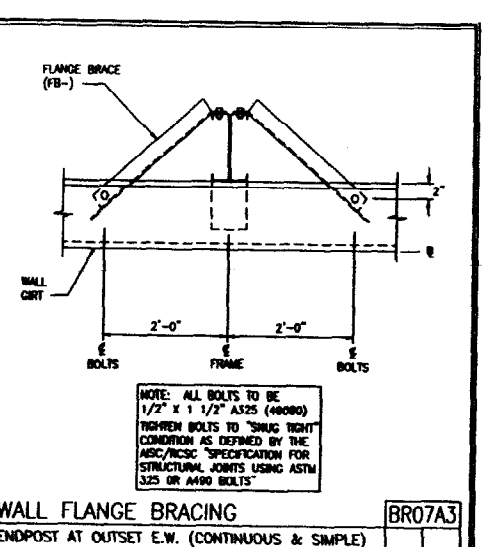
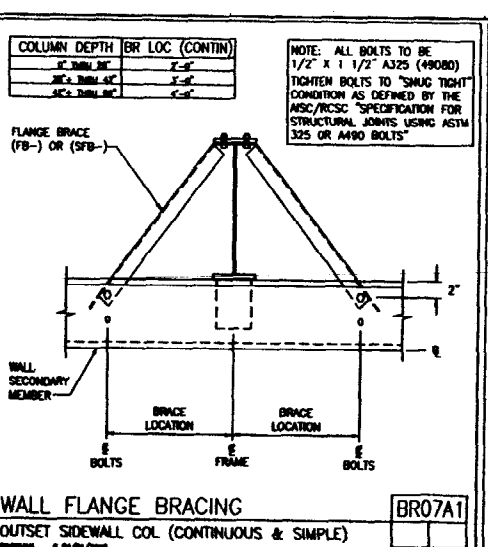
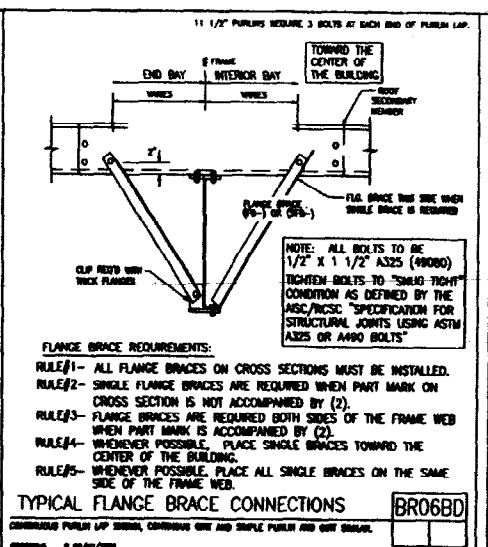
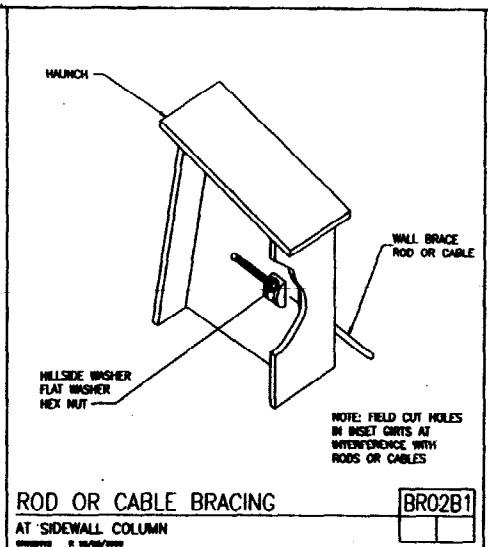
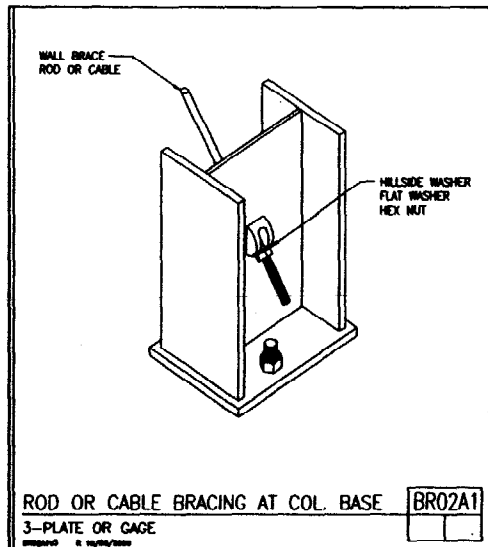
THE VP BUILDINGS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ARCHITECT. THE VP BUILDINGS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ARCHITECT. THE VP BUILDINGS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ARCHITECT.

Building Code: 1990 IBC
 Live Load: (See Schedule) 20.00 psf
 Coll. Load: (See Schedule) 2.00 psf
 Wind Speed: 90.00 mph
 Wind Exposure: 3
 Seismic Zone: 2
 Seismic Risk: 2
 Building Use: (See Schedule) Group 1
 Building Use: (See Schedule) Group 1

VP Buildings, Inc.
 3000 Regency Club Circle Memphis TN 38198
 615-714-4000

COVERING ELEVATION AT 1
 DATE: 10/29/2003
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: AS SHOWN



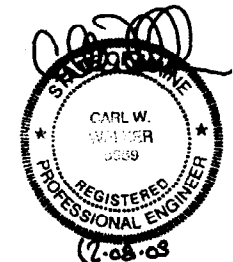


MARK NUMBER KEY (EN50A1)
COMMON GENERATED MARK NUMBERS

F = FEET	G = GAGE	1 = INCHES	B = OPERATION	E = EIGHTS	C = FIN/COLOR
W13117261KT8	W11E6GGCCC	LENGTH	CODE		
INSULATION					
1B1B01036030VV	FFFFIILIECC	LENGTH	WIDTH	THE CODE	
SECONDARY (STANDARD)					
01G1911417	FFFFIIEGG	LENGTH	CODE		
SECONDARY (SPECIAL)					
001G1911417	FFFFIIEGG	LENGTH	CODE		
ROD BRACING					
03RA2510	1EFFFF11	BIA	LENGTH		
CABLE BRACING					
04CA25100	FFFFF11E	LENGTH			

SECONDARY PUNCH PATTERNS (EN51A1)
COMMON GENERATED MARK NUMBERS

GAGE		O' ALL LENGTH	
FEET	INCHES	FEET	INCHES
PUNCH PATTERN			
01-SIMPLE INTERIOR	20'-1" END BAY, 1'-0" LAP	02-SIMPLE 1' END BAY	21'-1" END BAY, 1'-6" LAP
03-SIMPLE 6' END BAY	22'-1" END BAY, 2'-0" LAP	04-END HOLE ONLY	23'-1" END BAY, 2'-6" LAP
05-INSET NOTCH	24'-1" END BAY, 3'-0" LAP	06-NO HOLES	25'-1" END BAY, 3'-6" LAP
20'-6" END BAY, 1'-0" LAP	21'-6" END BAY, 1'-6" LAP	22'-6" END BAY, 2'-0" LAP	23'-6" END BAY, 2'-6" LAP
24'-6" END BAY, 3'-0" LAP	25'-6" END BAY, 3'-6" LAP	26'-6" END BAY, 4'-0" LAP	27'-6" END BAY, 4'-6" LAP



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Building Code: 990CA
Live Load: (Inc. Reducible) 20.00 psf
Coll. Load: Gravity 3.00, Uplift 0.00 psf
Wind Speed: 90.00 mph
Wind Exposure: B
Ground Snow: 70.00 psf
Snow Exposure Category: 2
Seismic Hazard / Use Group: Group 1
Building Use: Standard Occupancy Structures

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VP Buildings, Inc.
2380 Pleasant Club Circle Memphis TN 38128

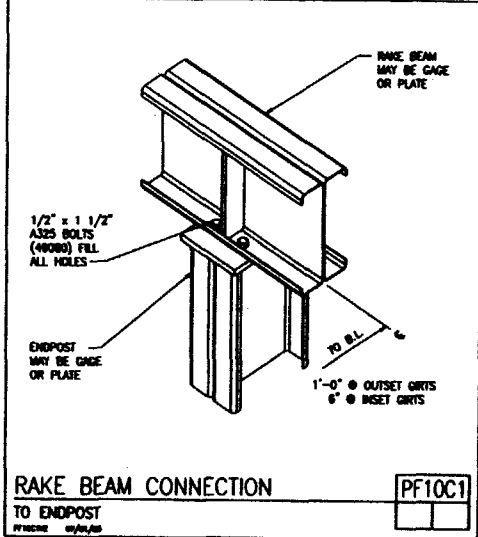
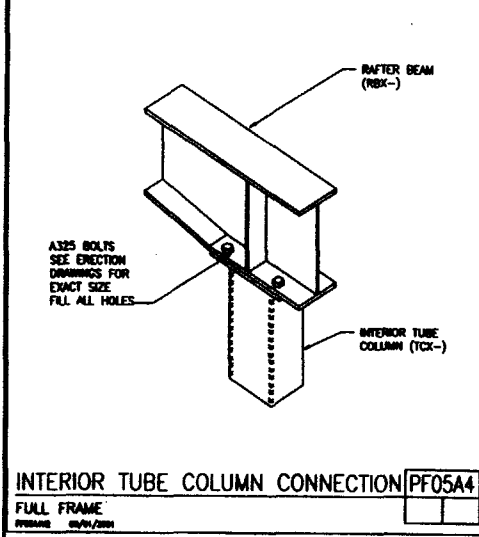
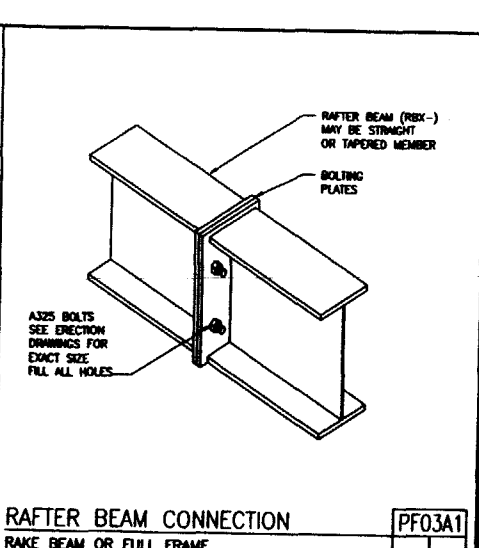
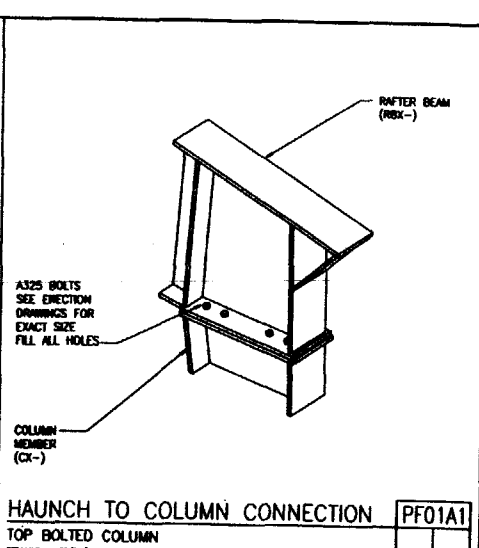
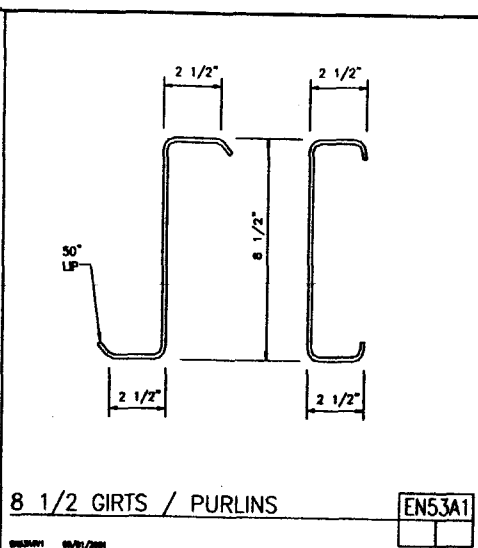
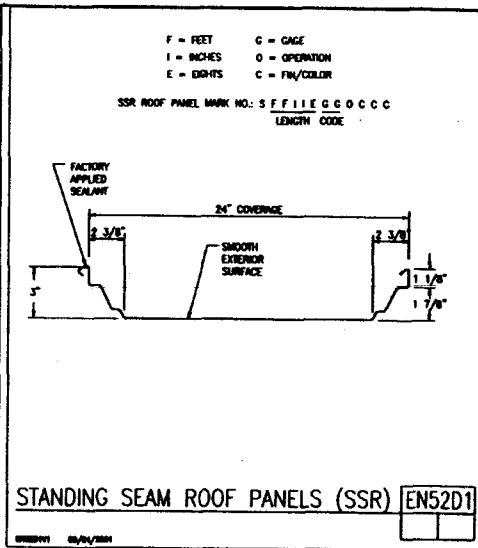
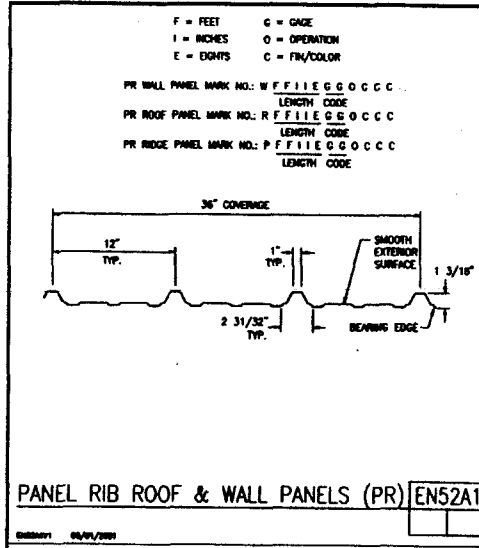
REV	DATE	BY	DESCRIPTION

CUSTOM SED'S

OWNER	PATCO CONSTRUCTION
LOCATION	Portland, Maine
PROJECT	Thirty Turf
DRAWN FOR	2659 Thirty Turf 80.vpc
DATE	10/28/2003
SCALE	AS SHOWN

DATE	10/28/2003
TIME	7:36:38

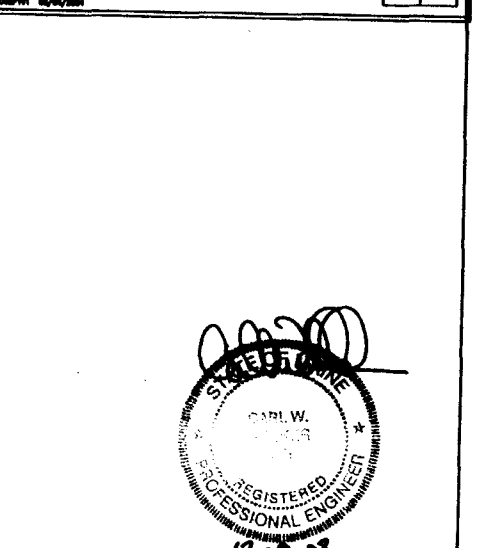
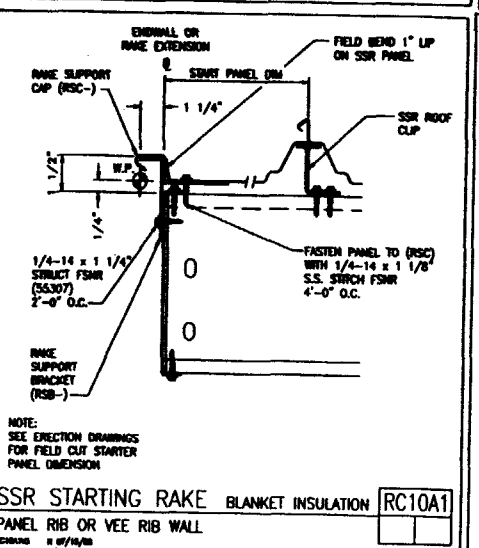
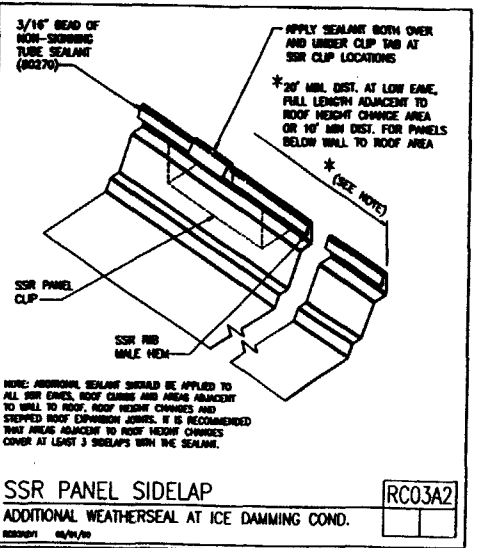
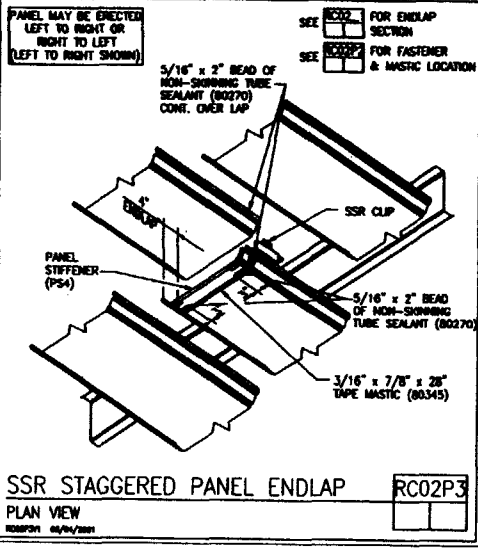
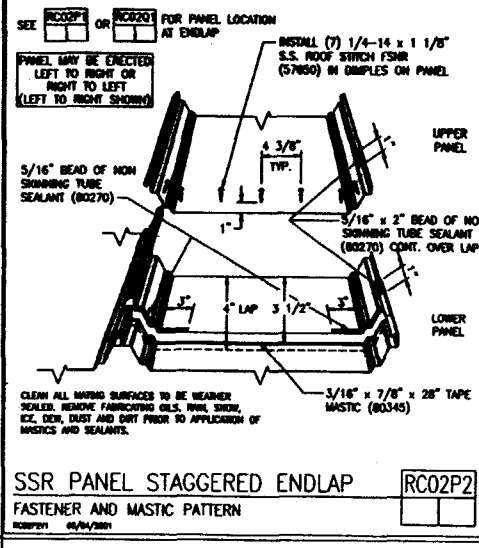
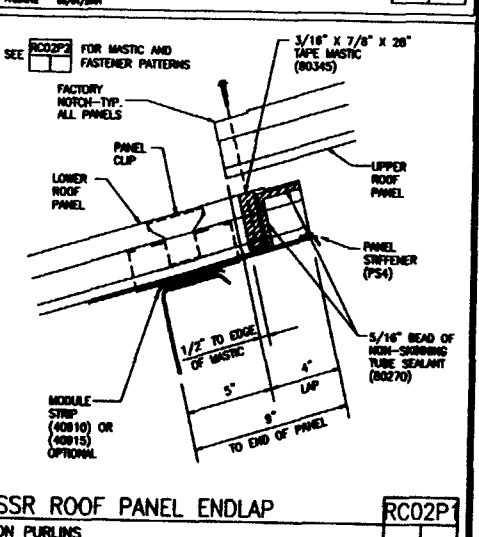
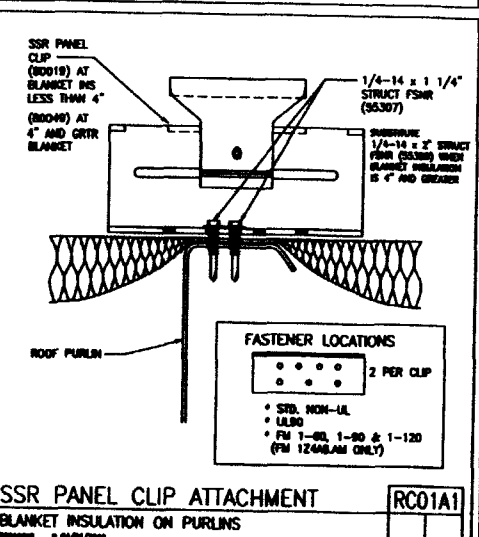
VP BUILDINGS	VP BUILDINGS
MEMBER	MEMBER
MEMBER	MEMBER
MEMBER	MEMBER



1. DETAILS SHOWN ON THIS PAGE SUPERCEDE SIMILAR DETAILS IN THE "SSR ERECTION GUIDE". REFER TO THE "SSR ERECTION GUIDE" AND "MASTER REFERENCE DRAWINGS" FOR OTHER DETAILS, INSTALLATION PROCEDURES, AND ACCESSORIES NOT DESCRIBED IN THESE DETAILS.

2. FIELD PAINT STAINLESS STEEL ROOF FASTENER HEADS USED AT WALL LOCATIONS WITH WALL TOUCH UP PAINT.

3. ALL SURFACES MUST BE FREE OF DIRT AND OIL AT MASTIC AND SEALANT LOCATIONS.



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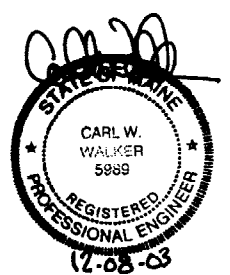
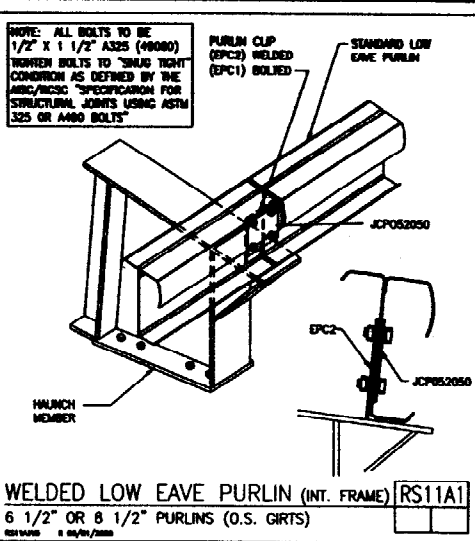
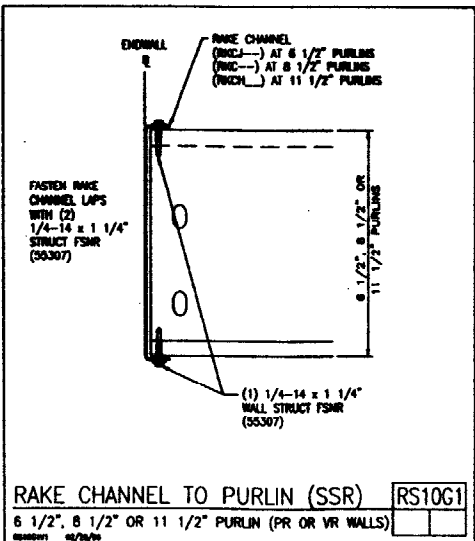
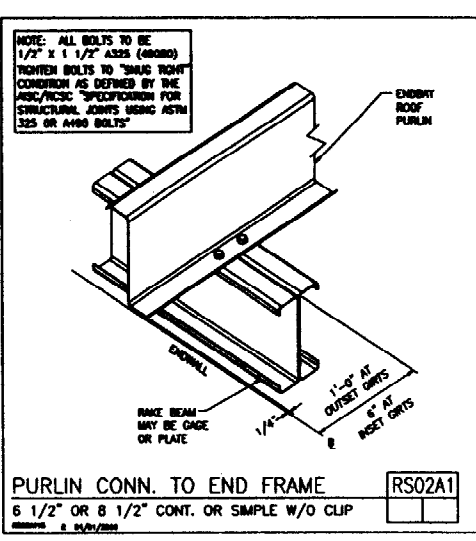
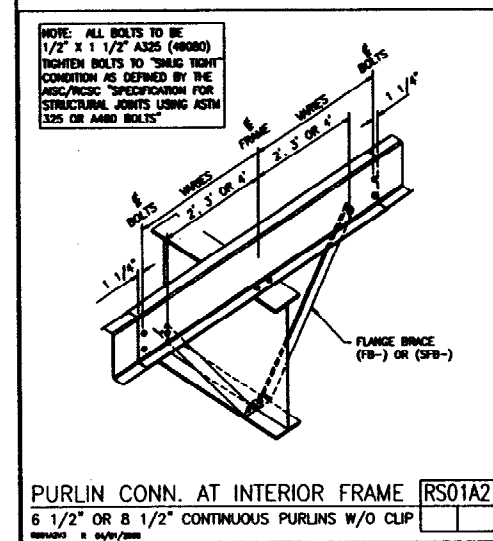
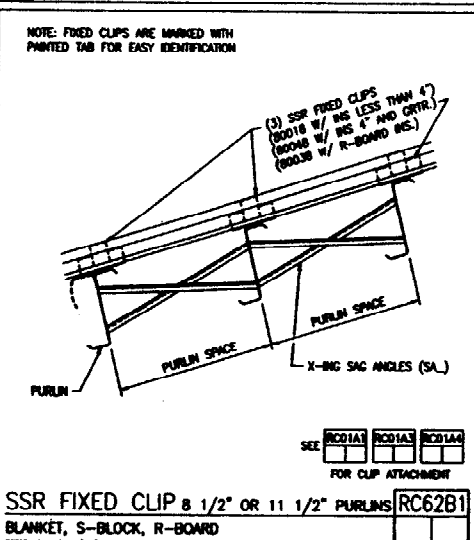
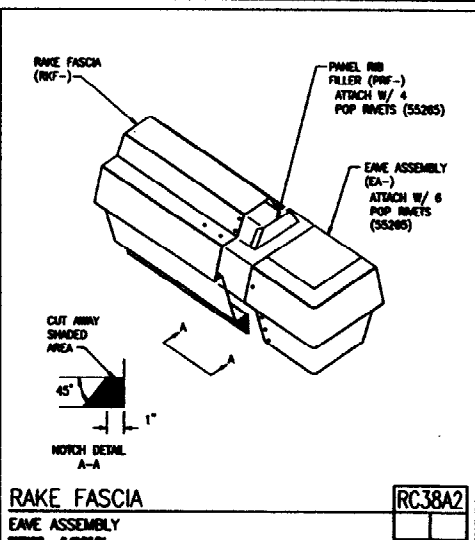
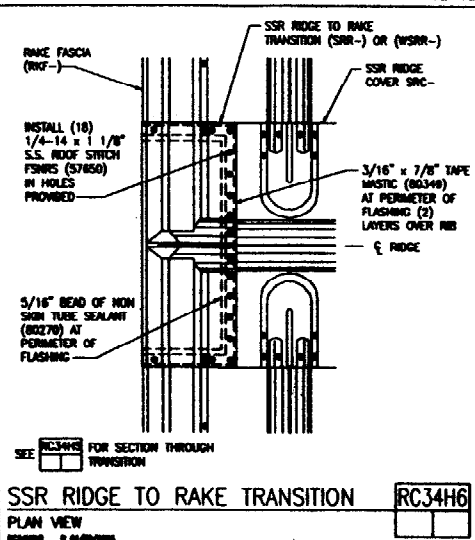
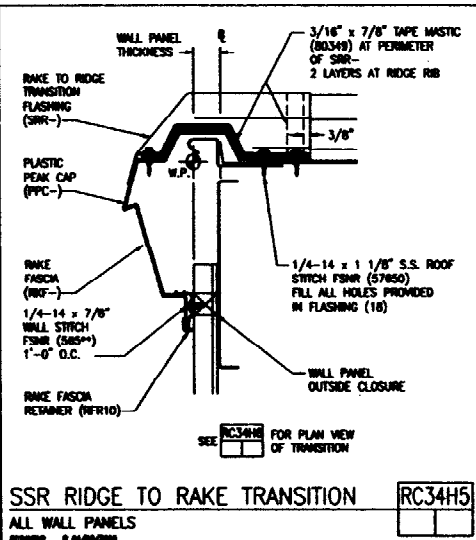
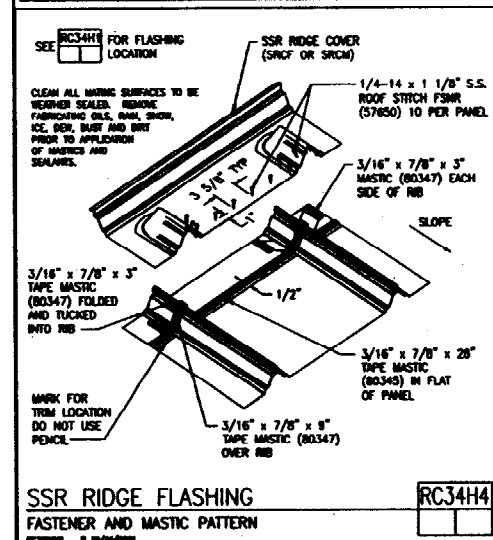
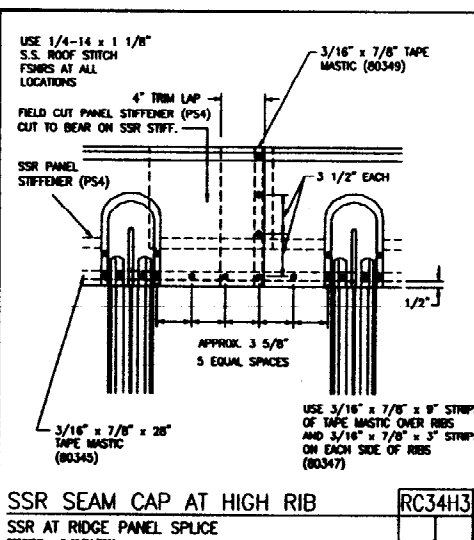
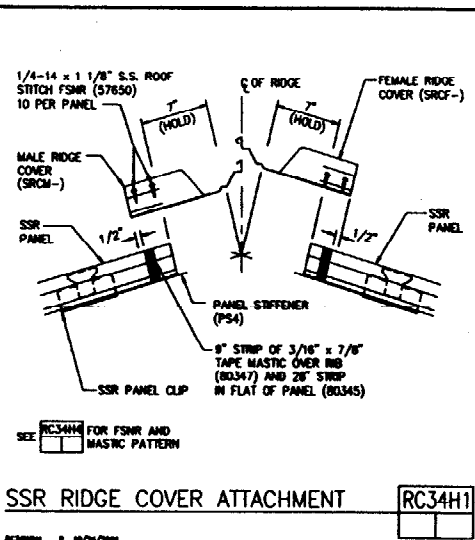
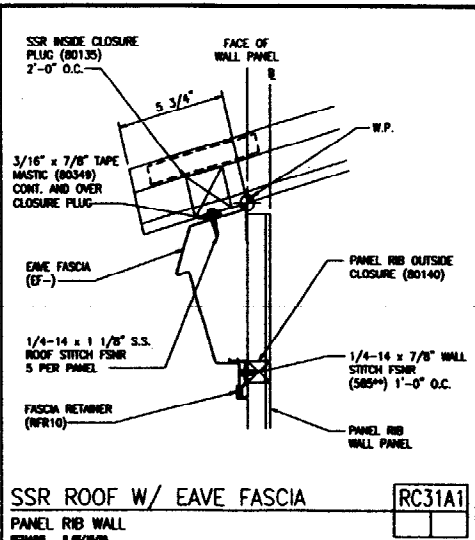
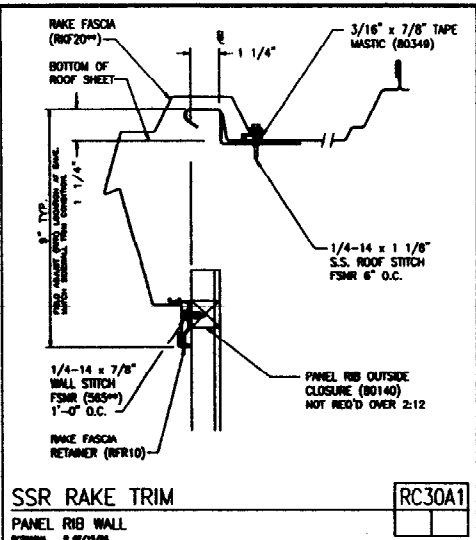
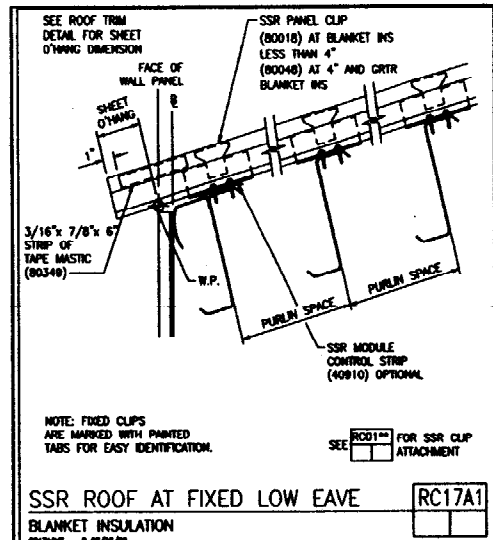
Building Code: 99BOCA
Live Load: (Not Reducible) 20.00 psf
Coll. Load: Gravity 3.00, Uplift 0.00 psf
Wind Speed: 90.00 mph
Wind Exposure: B
Ground Snow: 70.00 psf
Snow Exposure Category: 2
Seismic Hazard / Use Group: Group 1
Building Use: Standard Occupancy Structures

THIS DRAWING INCLUDES THE INFORMATION NEEDED TO REMAIN THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.

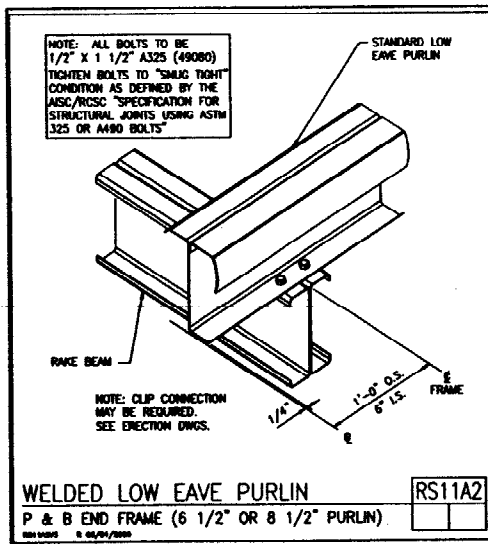
THE GENERAL CONTRACTOR AND/OR INSPECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY INFORMATION IN ERECTING THIS BUILDING IN CONFORMANCE WITH THE DRAWINGS, DETAILS SPECIFIED IN THE DRAWINGS, AND ALL APPLICABLE VP ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

REV	DATE	BY	DESCRIPTION

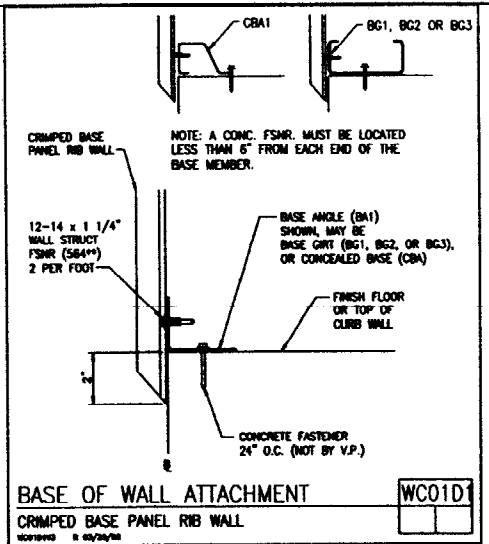
VP BUILDINGS, Inc. 2380 Players Club Circle Memphis TN 38126		CUSTOM SED'S	
OWNER: PATCO CONSTRUCTION	CONTRACTOR: VP BUILDINGS	PROJECT: Thirsty Turf	DATE: 10/28/2003
LOCATION: Portland, Maine	DRAWING NO: 2659 (Thirsty Turf 80.vpc)	SCALE: 1/8" = 1'-0"	PAGE: 11
DATE: 10/29/2003	TIME: 7:36:40	FILENAME: W10301072-01081.vpc	



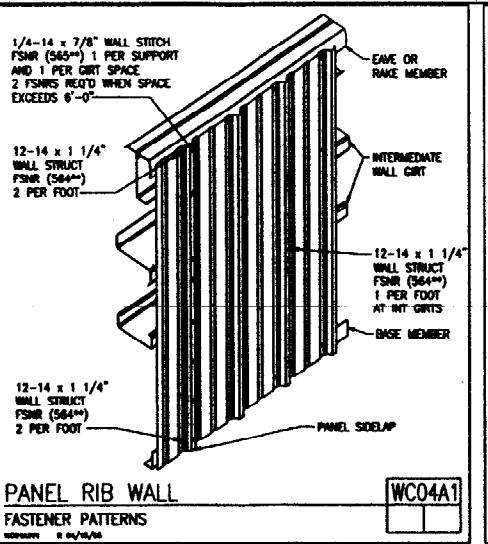
<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>Building Code: 990CA Live Load: (Not Reducible) 20.00 psf Coll. Load: Gravity 3.00, Uplift 0.00 psf Wind Speed: 90.00 mph Wind Exposure: B Ground Snow: 70.00 psf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures</p>	<p>THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND SHALL NOT BE REPRODUCED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.</p> <p>THE GENERAL CONTRACTOR AND/OR ARCHITECT IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN CONSTRUCTION OF THE BUILDING IN CONFORMANCE WITH THE DRAWINGS, DETAILS AND SPECIFICATIONS THEREON, AND ALL APPLICABLE BUILDING CODES AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>	<p>VP Buildings, Inc. 5880 Players Club Circle Memphis TN 38128</p>	<p>CUSTOM SED'S</p>																										
			<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	BY	DESCRIPTION					<table border="1"> <tr> <td>OWNER</td> <td>PARCO CONSTRUCTION</td> </tr> <tr> <td>LOCATION</td> <td>Portland, Maine</td> </tr> <tr> <td>PROJECT</td> <td>Thirsty Turf</td> </tr> <tr> <td>DRAWING NO.</td> <td>2659 (Thirsty Turf 80.vpc)</td> </tr> <tr> <td>VP NUMBER</td> <td>4.0b</td> </tr> </table>	OWNER	PARCO CONSTRUCTION	LOCATION	Portland, Maine	PROJECT	Thirsty Turf	DRAWING NO.	2659 (Thirsty Turf 80.vpc)	VP NUMBER	4.0b	<table border="1"> <tr> <td>JOB #</td> <td>WI0301072-01</td> </tr> <tr> <td>DATE</td> <td>10/28/2003</td> </tr> <tr> <td>DRAWN BY</td> <td>VP BUILDINGS</td> </tr> <tr> <td>SCALE</td> <td>AS SHOWN</td> </tr> <tr> <td>PAGE</td> <td>22</td> </tr> </table>	JOB #	WI0301072-01	DATE	10/28/2003	DRAWN BY	VP BUILDINGS	SCALE
NO.	DATE	BY	DESCRIPTION																											
OWNER	PARCO CONSTRUCTION																													
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SCALE	AS SHOWN																													
PAGE	22																													



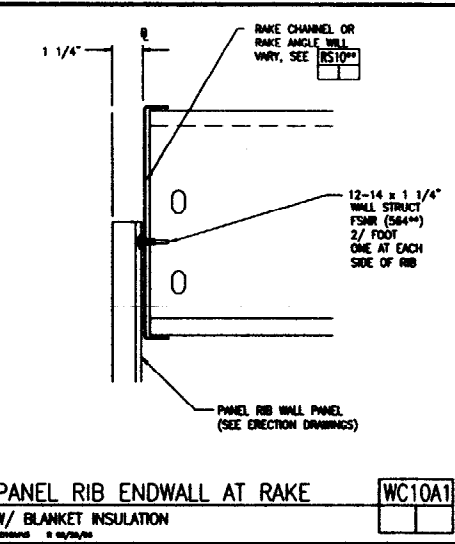
WELDED LOW EAVE PURLIN
P & B END FRAME (6 1/2" OR 8 1/2" PURLIN)
RS11A2



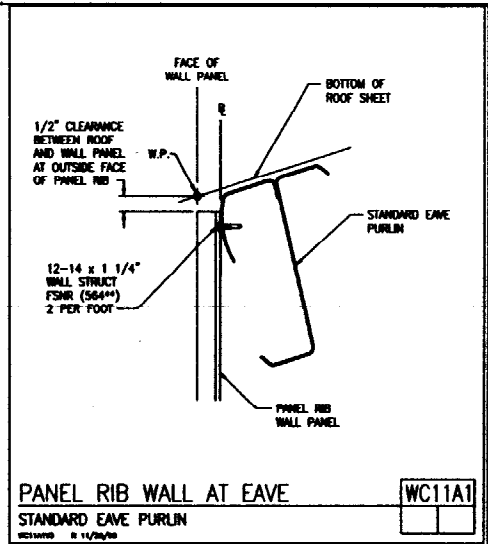
BASE OF WALL ATTACHMENT
CRIMPED BASE PANEL RIB WALL
WC01D1



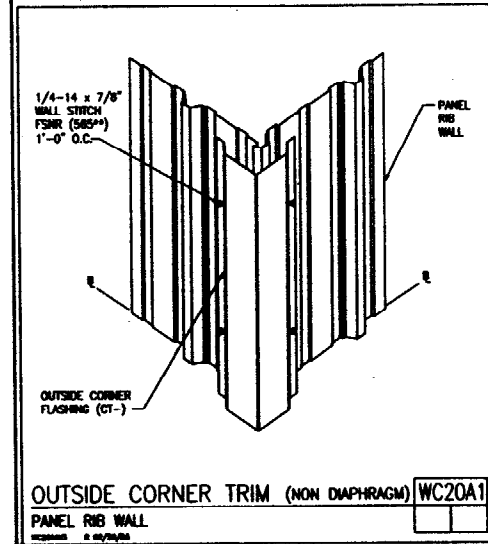
PANEL RIB WALL
FASTENER PATTERNS
WC04A1



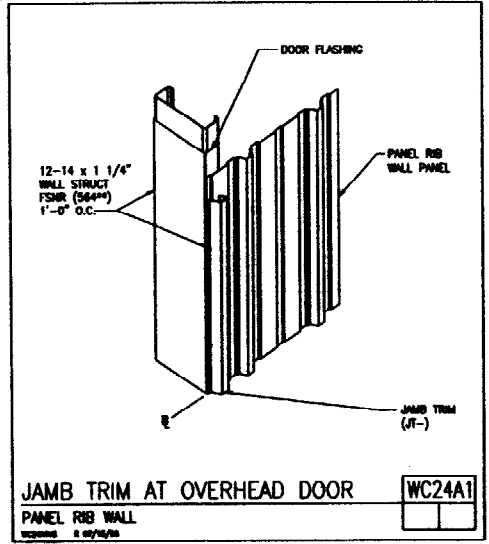
PANEL RIB ENDWALL AT RAKE
W/ BLANKET INSULATION
WC10A1



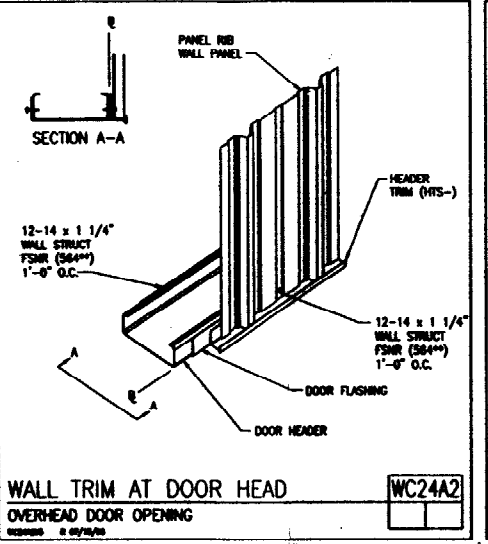
PANEL RIB WALL AT EAVE
STANDARD EAVE PURLIN
WC11A1



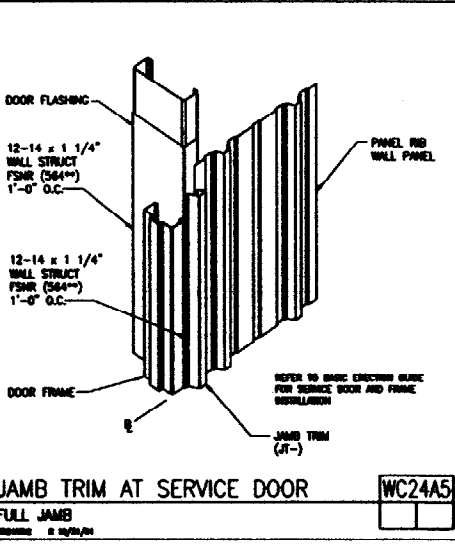
OUTSIDE CORNER TRIM (NON DIAPHRAGM)
PANEL RIB WALL
WC20A1



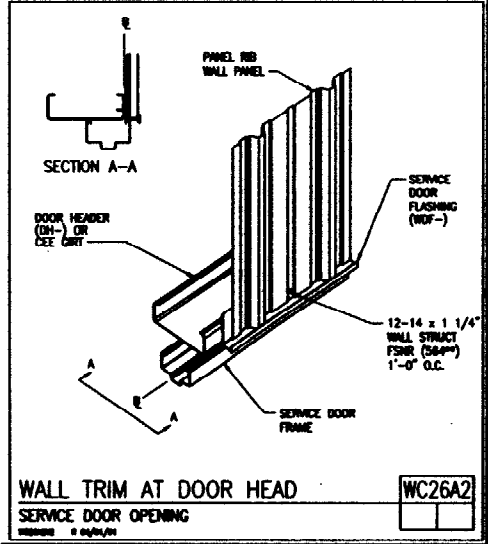
JAMB TRIM AT OVERHEAD DOOR
PANEL RIB WALL
WC24A1



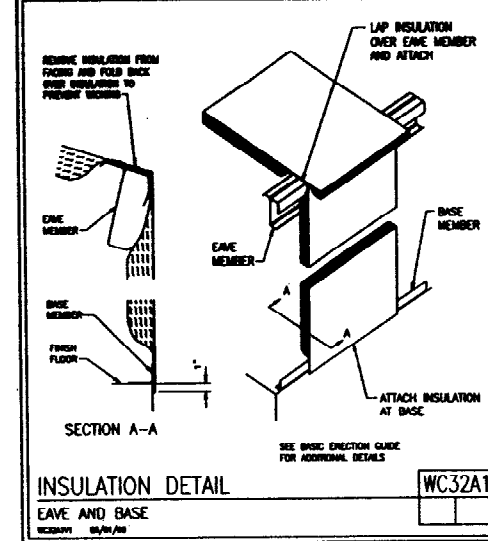
WALL TRIM AT DOOR HEAD
OVERHEAD DOOR OPENING
WC24A2



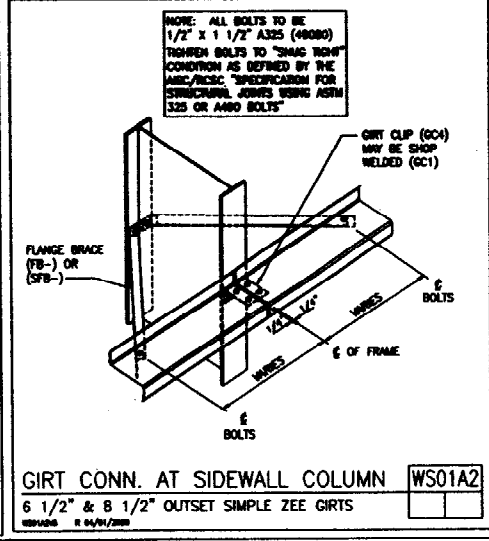
JAMB TRIM AT SERVICE DOOR
FULL JAMB
WC24A5



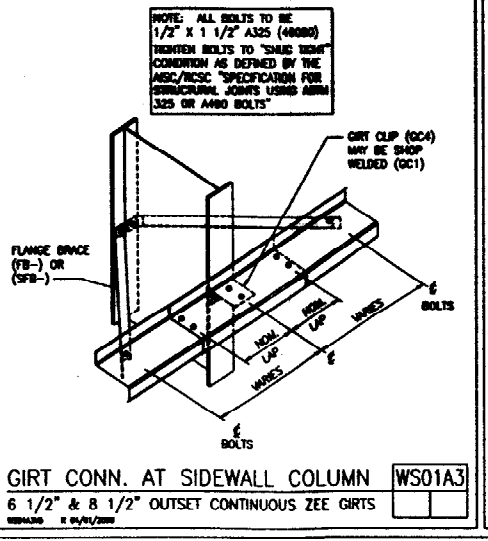
WALL TRIM AT DOOR HEAD
SERVICE DOOR OPENING
WC26A2



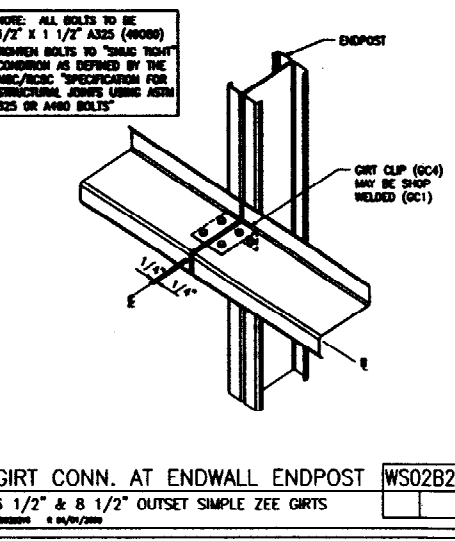
INSULATION DETAIL
EAVE AND BASE
WC32A1



GIRT CONN. AT SIDEWALL COLUMN
6 1/2" & 8 1/2" OFFSET SIMPLE ZEE GIRTS
WS01A2



GIRT CONN. AT SIDEWALL COLUMN
6 1/2" & 8 1/2" OFFSET CONTINUOUS ZEE GIRTS
WS01A3



GIRT CONN. AT ENDWALL ENDPOST
6 1/2" & 8 1/2" OFFSET SIMPLE ZEE GIRTS
WS02B2



<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>Building Code: 990CA Live Load: (Not Reducible) 20.00 psf Coll. Load: Gravity 3.00, Uplift 0.00 psf Wind Speed: 90.00 mph Wind Exposure: B Ground Snow: 70.00 psf Snow Exposure Category: 2 Seismic Hazard / Use Group: Group 1 Building Use: Standard Occupancy Structures</p>	<p>THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PREPARED SOLELY FOR THE PROJECTS DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND SHALL NOT BE REPRODUCED, REFINISHED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.</p> <p>THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN CONFORMANCE WITH THE DRAWINGS AND SPECIFICATIONS OF THE CONTRACT. ALL APPLICABLE ERECTION STANDARDS AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>	<p>VP Buildings, Inc. 3280 Playson Club Circle Memphis TN 38125</p>		<p>CUSTOM SED'S</p>																		
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