

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that

FOWLER-GREAVES JENNIFER /MR Brewer Fine
Wookworking

PERMIT ID: 2013-00162

Located at

106 SKYLARK RD

CBL: 349 I001001

has permission to **New 48' x 40' two story colonial with 465 sf attached garage.**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closoed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer

JR 02/29/13

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

PERMIT ID: 2013-00162

Located at: 106 SKYLARK RD

CBL: 349 I001001

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00162	Issue Date:	CBL: 349 I001001
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Location of Construction: 106 SKYLARK RD	Owner Name: FOWLER-GREAVES JENNIFER	Owner Address: 661 ALLEN AVE PORTLAND, ME 04103	Phone: (207) 831-2580
Business Name:	Contractor Name: MR Brewer Fine Wookworking	Contractor Address: 91 Bell Street Portland ME 04103	Phone (797) 797-7534
Lessee/Buyer's Name	Phone:	Permit Type: New Single Family	Zone: R3
Past Use: Vacant Land	Proposed Use: New Single Family	Permit Fee: \$2,995.00	Cost of Work: \$250,000.00
Proposed Project Description: New 48' x 40' two story colonial with 465 sf attached garage.		FIRE DEPT: w/ conditions Per Capt. Pierre <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	INSPECTION: Use Group: R3 Type: SB IRC, 2009 (MVBEC) Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: gg	Date Applied For: 01/25/2013	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>n/A</i> <input type="checkbox"/> Wetland <i>n/A</i> <input type="checkbox"/> Flood Zone <i>Panel 2 - Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>Level I Minor Res.</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/condition</i> Date: <i>2/14/13</i> <i>ARM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JRM</i>
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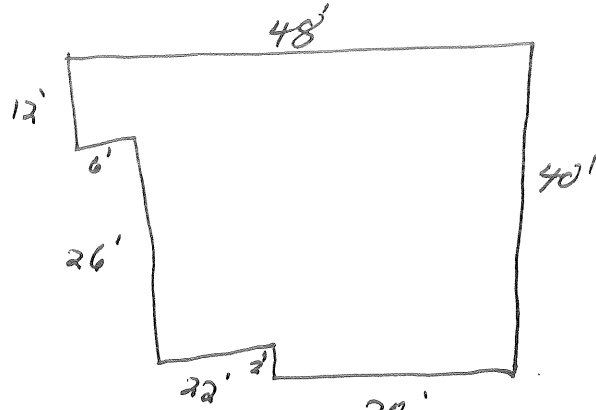
CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3-25-13 DWM Matt 939-8853 Footings poured w/o inspection.
Contractor to have foundation surveyed + will supply photos

3-28-13 DWM
Backfill OK



5-15-13 DWM/BKL Matthew 939-8853 close-in OK

Final note: Verify zoning conditions

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

REQUIRED INSPECTIONS:

Footings/Setbacks
Foundation/Backfill
Close-in Plumbing/Framing
Electrical - Residential
Certificate of Occupancy/Final

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00162	Date Applied For: 01/25/2013	CBL: 349 I001001
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Location of Construction: 106 SKYLARK RD	Owner Name: FOWLER-GREAVES JENNIFER	Owner Address: 661 ALLEN AVE	Phone: (207) 831-2580
Business Name:	Contractor Name: MR Brewer Fine Wookworking	Contractor Address: 91 Bell Street Portland	Phone: (797) 797-7534
Lessee/Buyer's Name	Phone:	Permit Type: New Single Family	

Proposed Use: New Single Family	Proposed Project Description: New 48' x 40' two story colonial with 465 sf attached garage.
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Dept: Zoning **Status:** Approved w/Conditions **Reviewer:** Ann Machado **Approval Date:** 02/14/2013

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 4) Will need copy of recorded deed required by the subdivision before the certificate of occupancy is issued.

Dept: Building **Status:** Approved w/Conditions **Reviewer:** Jon Rioux **Approval Date:** 02/27/2013

Note: **Ok to Issue:**

- 1) A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.

Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.
The maximum riser height shall be 7 3/4 inches; the minimum tread depth shall be 10 inches.
- 2) R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
- 3) Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 4) Ventilation of this space is required per ASRAE 62.2 , 2007 edition; Contractor agreed that the "building envelope" insulation will comply with the IECC, 2009 (Maine State Energy Codes).
- 5) A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.

Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level.
- 6) The garage shall be separated from the residence by not less than ½ inch gypsum board applied to the garage side, and structure (walls) supporting the separation. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8 inch Type X gypsum board or equivalent.
- 7) R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location.

Location of Construction: 106 SKYLARK RD	Owner Name: FOWLER-GREAVES JENNIFER	Owner Address: 661 ALLEN AVE	Phone: (207) 831-2580
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Lessee/Buyer's Name	Phone:	Permit Type: New Single Family	

- 8) R407.3 Structural requirements. The columns shall be restrained to prevent lateral displacement at the bottom end. Wood columns shall not be less in nominal size than 4 inches by 4 inches. Steel columns shall not be less than 3-inch-diameter Schedule 40 pipe manufactured in accordance with ASTM A 53 Grade B or approved equivalent.
- 9) This permit is approved, all of the review questions/comments have been responded to and adequately satisfy code compliance of this project.

Dept: Fire **Status:** Approved w/Conditions **Reviewer:** Chris Pirone **Approval Date:** 02/27/2013
Note: Approved per Capt. Pirone, JGR. **Ok to Issue:**

- 1) All construction shall comply with City Code Chapter 10.
A sprinkler system shall be installed.

A separate no fee One- or Two-family Fire Sprinkler Permit is required.

All smoke detectors and smoke alarms shall be photoelectric.

Hardwired Carbon Monoxide alarms with battery back up are required on each floor.

Sprinkler requirements

The sprinkler system shall be installed in accordance with NFPA 13D. A compliance letter is required.

All control valves shall be supervised in accordance with NFPA 13D. Pad locks shall only be installed on valves designed to be secured in the open position by pad lock.

Application requires State Fire Marshal approval.

Install an NFPA 13D automatic sprinkler system.

Dept: DRC **Status:** Approved w/Conditions **Reviewer:** Philip DiPierro **Approval Date:** 02/15/2013
Note: **Ok to Issue:**

- 1) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 2) A performance guarantee will be required to cover the cost of site work not completed due to seasonal conditions ie., finish grading, loaming, seeding, mulching, installation of street trees, etc. The performance guarantee must be reviewed, approved, and accepted by the Planning Authority prior to the release of a Temporary Certificate of Occupancy.
- 3) A street opening permit(s) may be required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 4) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 5) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 6) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 7) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
- 8) The site shall be developed and maintained as depicted in the approved site plan, written submission of the applicant, and these written conditions of approval. The modification of the approved site plan or alteration of a parcel which was the subject of site plan approval shall require the prior approval of a revised site plan by the Planning Authority.
- 9) Trees that are designated to be saved are to be protected during excavation and construction. Tree protection fencing is to be installed around the tree canopy drip line prior to the start of any excavation. Tree protection measures are to be inspected and maintained daily.

Location of Construction: 106 SKYLARK RD	Owner Name: FOWLER-GREAVES JENNIFER	Owner Address: 661 ALLEN AVE	Phone: (207) 831-2580
Business Name:	Contractor Name: MR Brewer Fine Wookworking	Contractor Address: 91 Bell Street Portland	Phone (797) 797-7534
Lessee/Buyer's Name	Phone:	Permit Type: New Single Family	

- 10 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 11 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 12 Prior to the issuance of a certificate of occupancy, 4 Trees must be planted along the eastern property line in compliance with the original subdivision approval. If the trees cannot be planted due to seasonal conditions, a performance guarantee will be required in an amount equal to the cost of materials and installation.
- 13 The applicant shall have a licensed surveyor install, prior to the issuance of any Certificate of Occupancy, permanent mounumentation/pins identifying property corners.
- 14 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Entered electronic file 2012 00/62

Project Address: <u>106 Skyhawk Ave Rd</u>		
Total Square Footage of Proposed Structure/Area: - <u>2826 sq FEET SE</u> - <u>1243 sq Foot Print of Home.</u>	Area of lot (total sq. ft.): <u>11,652 sq</u>	Number of Stories: <u>2</u> Number of Bathrooms: <u>4</u> Number of Bedrooms: <u>3</u>
	Garage: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Detached <input type="checkbox"/> Sq. Ft.: <u>465</u>	
Tax Assessor's Chart, Block & Lot(s): Chart# <u>349</u> Block # <u>I</u> Lot # <u>001</u>		RECEIVED JAN 25 2013
Current legal use: <u>N/A</u>		Dept. of Building Inspections City of Portland Maine
Number of Residential Units <u>1</u>		
If vacant, what was the previous use? <u>N/A</u>		
Is property part of a subdivision? <u>Yes</u> If yes, please name <u>Skyhawk Commons - lot 14</u>		
Project Description: <u>New Construction of a 2826 sq Single Family home</u>		
APPLICANT -- (must be owner, Lessee or Buyer)		Work # Home# Cell # <u>207-831-2580</u> e-mail:
Name: <u>Jennifer Graves</u> Business Name, if applicable: Address: <u>661 Alton Ave</u> City/State: <u>Portland, ME</u> Zip Code: <u>04103</u>		
OWNER INFORMATION -- (if different from Applicant)		Work # Home# Cell # e-mail:
Name: Address: City/State: Zip Code:		
CONTRACTOR INFORMATION:		Contact when Building Permit is Ready: Name: <u>Matthew Brewer</u> Phone Number: <u>797-7534</u> <u>mat@mrbrewer.com</u>
Name: <u>M.R. Brewer, Inc.</u> Address: <u>91 Bell Street</u> City/State: <u>Portland, ME</u> Zip Code: <u>04103</u> Phone Number: <u>797-7534</u>		

DEVELOPMENT REVIEW FEES:

Payment may be made in cash, credit card or check addressed to the City of Portland.

<p>Level I Minor Residential Site Plan</p> <p>1. Application Fee - \$300.00</p> <p>2. Inspection Fee - \$100.00 (for site plan inspection by the Planning Division)</p> <p>3. Certificate of Occupancy Fee - \$75.00</p> <p>4. Building Permit (Cost of Work) <i>J. [Signature]</i></p> <p style="text-align: right;">Total Due:</p>	<p>Fees Paid:</p> <p>\$ <u>300.00</u></p> <p>\$ <u>100.00</u></p> <p>\$ <u>75.00</u></p> <p>\$ <u>2,520.00</u></p> <p>\$ <u>42,995.00</u></p>
<p>Building Permit Fee - \$30 for the first \$1,000 construction cost - \$10 every additional \$1,000</p>	
<p>Performance Guarantee - Exempt except for those projects that complete construction in the winter and the site work is incomplete.</p>	

Building Cost

Please submit all of the information outlined on the applicable Checklist, shown on Page 4 and 5 of this Application. In addition, a CD or PDF (e-mailed to buildinginspections@portlandmaine.gov) of the entire Application, including all plans, must be submitted with the Application. Failure to do so may result in the automatic denial of your permit.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.

Property Taxes:

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

Separate Permits:

Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

<p>Signature of Applicant:</p> <p><i>[Signature]</i></p>	<p>Date:</p> <p><i>1/19/15</i></p>
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This is not a permit - you may not commence any work until the permit is issued.

(A CD or PDF (e-mailed to buildinginspections@portlandmaine.gov) of the entire application, including all plans, must be submitted with the application.)

General Submittal Requirements – Level I Minor Residential			
Applicant Checklist	Planner Checklist (Internal)	Number of Copies	Submittal Requirement
✓		2	Completed application form and check list.
		1	Application fees.
		2	Evidence of right, title and interest.
		2	Copies of required state and/or federal permits.
		2	Written Description of existing and proposed easements or other burdens.
		2	Written requests for waivers from individual site plan and/or technical standards.
✓		2	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). Refer to Fire Department Checklist on page 6 of this application.

Site Plans and Boundary Survey Requirements – Level I Minor Residential			
Applicant Checklist	Planner Checklist (Internal)	Number of Copies	Submittal Requirement
✓		3	Boundary survey meeting the requirements of section 13 of the City of Portland Technical Manual with the site plan information listed below shown on the plan, including a north arrow and a scale greater than or equal to 1"=20'. (Photocopies of the plat or hand drawn building footprints will not be accepted.)
			▪ Zoning district, setbacks and dimensional requirements. Show zone lines and overlay zones that apply to the property, including Shoreland Zone &/or Stream Protection Zone.
			▪ Existing and proposed structures (including location of proposed piers, docks or wharves if in Shoreland Zone).
			▪ Location and dimension of existing and proposed paved areas.
			▪ Proposed ground floor area of building.
			▪ Finish floor elevation (FEE) or sill elevation.
			▪ Exterior building elevations (show all 4 sides).
			▪ Existing and proposed utilities (or septic system, where applicable)
			▪ Existing and proposed grading and contours.
			▪ Proposed stormwater management and erosion controls.
			▪ Total area and limits of proposed land disturbance.
			▪ Proposed protections to or alterations of watercourses.
			▪ Proposed wetland protections or impacts.
			▪ Existing vegetation to be preserved and proposed site landscaping and street trees (2 trees per unit for a single or two-family house).

		▪ Existing and proposed curb and sidewalk, except for a single family home.
		▪ Existing and proposed easements or public or private rights of way.
		▪ Show foundation/perimeter drain and outlet.
		▪ Additional requirements may apply for lots on unimproved streets.

Building Permit Submittal Requirements –Level I: Minor Residential Development			
Applicant Checklist	Planner Checklist (Internal)	Number of Copies	Submittal Requirement
		1	One (1) complete set of construction drawings must include:
✓			▪ Cross section with framing details
✓			▪ Floor plans and elevations to scale
✓			▪ Stair details including dimensions of : rise/run, head room, guards/handrails, baluster space
✓			▪ Window and door schedules
✓			▪ Foundation plans w/required drainage and damp proofing , if applicable
✓			▪ Detail egress requirements and fire separation, if applicable
✓			▪ Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
✓			▪ Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
✓			▪ As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)
✓			▪ Reduced plans or electronic files in pdf format are also required if original plans are larger than 11X17"

**** Reminder: ****

1. A CD or PDF of the entire application, including all plans, must be submitted with the application.
2. Separate permits are required for internal and external plumbing, HVAC, and electrical installations.
3. Please submit all of the information outlined in this application checklist.
4. If the application is incomplete, the application may be refused.
5. The Planning and Urban Development Department may request additional information prior to the issuance of a permit.

Applicant: Jennifer Fowler - Greaves

Date: 1/31/13

Address: 106 Skylark Rd. (lot 14)

C-B-L: 349-I-001

permit # - 2013-00162

CHECK-LIST AGAINST ZONING ORDINANCE

* revised plan 2/14/13 to locate bulkhead to left side of building

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build a new two story single family home - 42' x 40' (includes 20' x 20' garage) + 12' x 6' one story section

Sevage Disposal - public

Lot Street Frontage - 50' min - 90' scaled

Front Yard - 25' min - 27' scaled to porch (OK)

Rear Yard - 25' min - 56' scaled (OK) ~~20' to bulkhead (OK)~~ * bulkhead extends into part lot with District.

Side Yard - 2 spaces - 14' setback - 15' on left (OK) (scaled) 9.87' bulkhead - OK because R/W. correction for need minimum of 19' on right side - has 26'

Projections - - 26' on right (OK) (scaled)

Width of Lot - 65' min. - 90' scaled

Height - 35' max - 23.25' scaled

Lot Area - 6500 sq ft min - 11,132 sq ft min

Lot Coverage Impervious Surface - 35% = 4,071.2 sq ft

20 x 40 = 800

22 x 38 = 836

6 x 12 = 72

1708

20 x 6 = 120

1828 sq ft (OK)

+ 25.5 bulkhead

1853.5 (OK)

Area per Family - 6500 sq ft

Off-street Parking - 2 spaces required

Loading Bays - N/A

Site Plan - Level I Minor Residential

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 2 - zone X

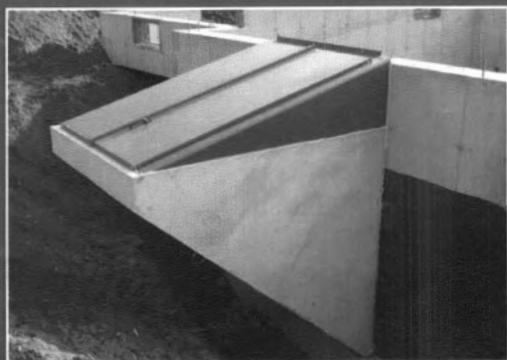
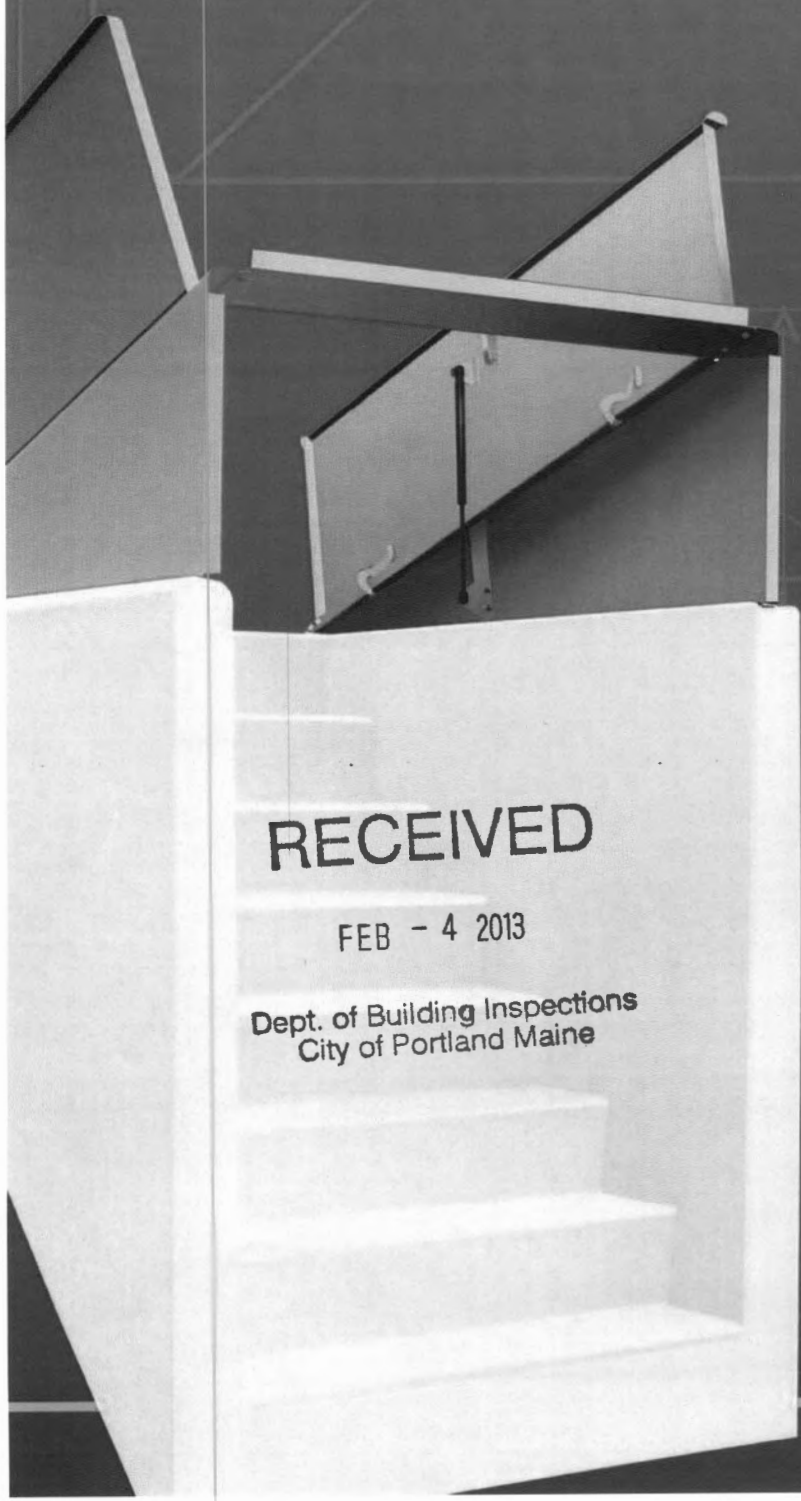
ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
Component	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1))	12x24" Footing 4" Thick slab 8" Thick Wall	obey
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Water proofing, 4" prep. Pipe	obey 1
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2 DIA @ 6'-0" @ 1'-0" corners	2
Lally Column Type (Section R407) Girder & Header Spans (Table R 502.5(2))	3 1/2" concrete filled pipe	3
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions	2x6" P.T.	obey
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x12" @ 24" O.C. 2x12" @ 16" O.C. ↑	obey as proposed 4
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))		→ By scuttle only 5

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	6	Matt Brewer will submit full plan view drawings of Roof Framing
Sheathing; Floor, Wall and Roof (Table R503.2.1.1(1))	Floor: 3/4 Wall: 7/16 Roof: 5/8	okay
Fastener Schedule (Table R602.3(1) & (2))		
Private Garage (Section R302.5) Living Space (Above or beside)? Table R302.6 Fire separation (Section R302.6)	5/8" Type X on ceiling 1/2" Gypsum on walls 7	okay
Opening Protection (Section R302.5.1)	8 (1) OFFICE TO Garage Fire Door	"20 min Fire Door" okay
Emergency Escape and Rescue Openings (Section R310)	9	"In each bedroom"
Roof Covering (Section R905)	10	Asphalt 20 yr
Safety Glazing (Section R308)	"In Stairwells" see Flr Plans	→ sub enclosure 12
Attic Access (Section R807)	"Attic Access" 11	Size? 22" x 30"
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
Header Schedule (Tables R502.5(1) & (2))	(3) 2x10" bearing walls?	Span? (2) 2x10" - 6'-4" Max Window (3) 2x10" - 7'-11" Max 13
Energy Efficiency IECC, 2009 R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration Ventilation of Space per ASRAE 62.2, 2007	"state code"	14

Type of Heating System		
Means of Egress (Sec R311 & R312) Basement	Bulkhead	
Number of Stairways		
Interior		
Exterior		
Treads and Risers (Section R311.5.3)	7 3/4" x 10" Net	
Width (Section R311.5.1)		
Headroom (Section R311.7.2)		
Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)	36" Railings	
Carbon Monoxide Alarms (R315) Smoke Alarms (Section R314) Location and Interconnected		→ Sec Notes (15)
Dwelling Unit Separation (Section R302.3)	N/A	
Deck Construction (Section R502.2)		→ Mott Brown will submit Specs (16)

PermEntry[®]

The Complete Basement Entrance



Imagine...
What Bilco can do for your basements

A PermEntry® Unit for Every Home

Pre-Installation Requirements:

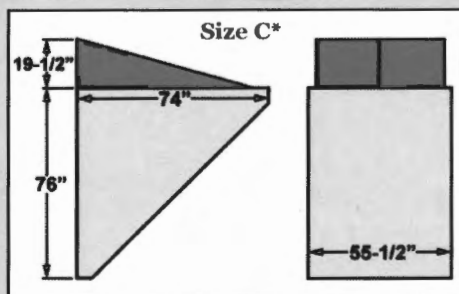
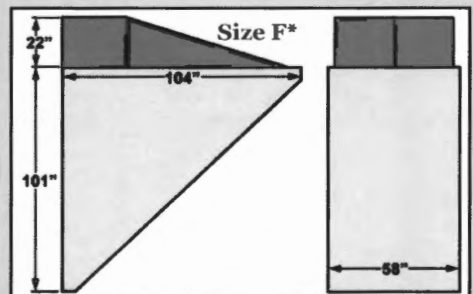
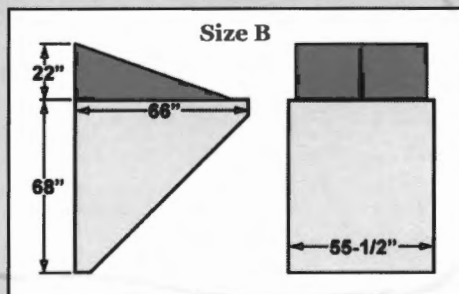
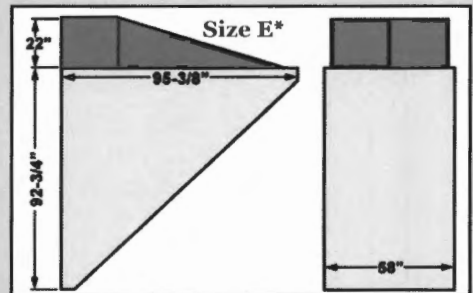
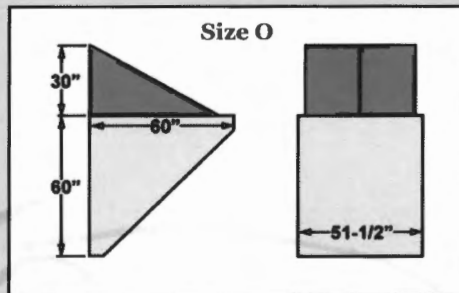
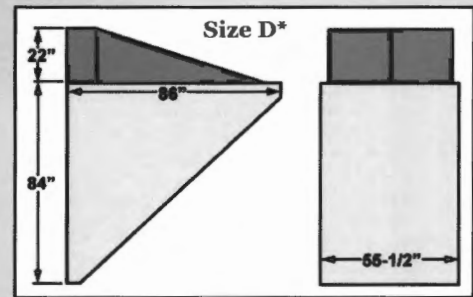
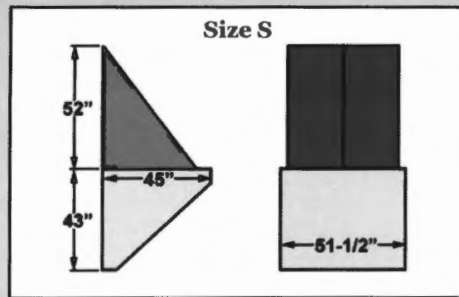
1. Provide truck access to within 10' of the center of the PermEntry unit.
2. Foundation footing and opening should be LEVEL, PLUMB and SQUARE.
3. Width of opening in foundation wall should be 40" maximum for all sizes.
4. Ensure proper soil drainage at base of unit. A footing drain to daylight is recommended.
5. When foundation is backfilled, leave minimum work area for PermEntry installation as shown.
6. Basement floor or equivalent slab should be poured in the concrete wall.
7. Hold foundation tar coating back minimum 12" each side of opening.

How to Measure:

1. Determine the measurement from the finished grade to the foundation footing.
2. Refer to table below to select proper size. Top of casting should be a minimum of 2" above finished grade.
3. Double check your pre-installation requirements and check site to determine that there is proper truck access to and from the PermEntry installation site.

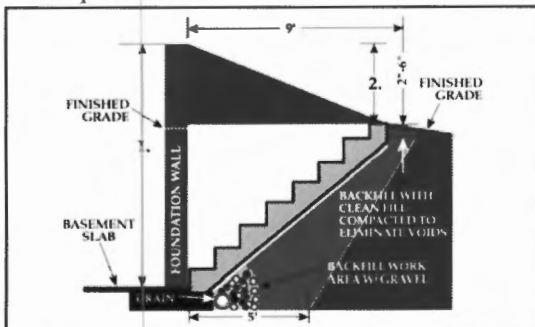
Post-Installation Requirements:

1. Properly backfill and compact excavation with clean, suitable fill and/or stone. NEVER USE CONSTRUCTION DEBRIS and NEVER backfill higher than 2" below top of concrete casting.
2. Final grade should be adjusted to leave 2"-6" of casting above finished grade, immediately slope grade away from the PermEntry unit in all directions.
3. Avoid locating down spouts or sump discharge near the PermEntry unit.
4. An insulated door at bottom of stairs is recommended to reduce heat loss.
5. A finish coat of acrylic latex in white or light color must be applied to all interior and exterior steel surfaces within forty-five (45) days of installation. Note: Bilco does not recommend the use of Rust Oleum products.

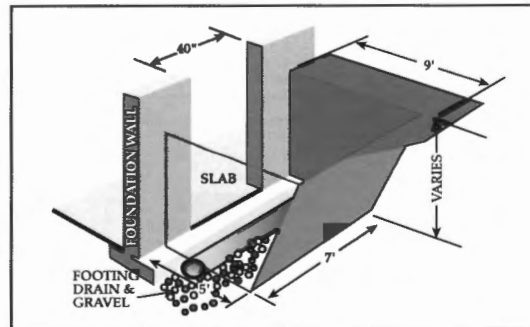


PermEntry Size	Footing to Grade
S	35" - 41"
O	52" - 58"
B	59" - 66"
C*	67" - 74"
D*	75" - 82"
E*	83" - 91"
F*	92" - 99"

Job Requirements



How to Order



* Optional Ultra Series Door available for sizes C, D, E and F only.



An optional basement door keyed lock kit is available for added home security.



Imagine...
What Bilco can do for your basements
(800) 854-9724 • www.bilco.com

Licensed Dealer

RECEIVED

FEB - 4 2013

Plan for it on New Homes

The PermEntry Basement Entrance adds sales appeal and value by giving homeowners access directly from the basement to the outdoors. When you plan for a PermEntry Basement Entrance, you open up your basement to a number of opportunities, including:

- External basement exit in case of an emergency.
- Access to mechanical equipment during construction, reducing traffic and damage to the main level of the home.
- Ability to move large furniture, bulky appliances and patio furniture easily through the basement.
- Additional quality selling features your customers will recognize and appreciate.
- A basement as convenient and easy to use as other rooms in the home.



RECEIVED
FEB - 4 2013

You supply the foundation opening... PermEntry does the rest!

- Holes for the special high-strength bolts are drilled through foundation.
- Facing surfaces are coated with self-sealing butyl resin strip sealant for a watertight seal. The PermEntry precast stairwell is then lowered into position onto the foundation footing.
- Precast stairwell is secured prior to backfill through foundation wall using built-in steel anchors. On a block or precast foundation, a permanent steel support is installed on a concrete slab underneath the precast unit.
- The Bilco door is anchored to the precast stairwell and caulked. The area is then backfilled and landscaped. For steel doors, a finish coat of acrylic latex in white or light color must be applied to all interior and exterior steel surfaces within forty-five (45) days of installation. Note: Bilco does not recommend the use of Rust Oleum products.

The complete installation of the precast stairwell and door is typically done in under two hours.

Model Home Program is available.
See www.bilco.com for more information



Dept. of Building Inspections
City of Portland, Maine

Ultra Basement

PermEntry is also available as an alternative to the traditional basement door. The Ultra



Features:

- High-density polyethylene resists rusts, rots or needs painting
- Attractive wood design
- Motion dampers provide smooth door operation
- Sturdy inside locking mechanism
- Interchangeable side panels for privacy or ventilation

RECEIVED

JAN 25 2013

Dept. of Building Inspections
City of Portland Maine

SUGGESTED DEED DESCRIPTION

LOT #14
SKYLARK ROAD
PORTLAND, MAINE

October 24, 2012

RECEIVED

Dept. of Building Inspections
City of Portland Maine

A certain lot or parcel of land located on the southeasterly sideline of Skylark Road, so-called, and on the northeasterly sideline of Oramell Avenue, so-called, in the City of Portland, County of Cumberland and State of Maine and shown as Lot #14 on the plan titled "Amendment To An Approved Subdivision Plat Dated July 22, 2008, Phase I, Skylark Commons, Skylark Road and Coolidge Avenue, Portland, Maine" for Frank DiDonato, dated December 2004, as revised through 9/24/10, by Berry Huff McDonald Milligan, Inc. and recorded in the Cumberland County Registry of Deeds in Plan Book 210, Page 345; said Lot #14 being more particularly described as follows:

Beginning at a capped iron rod to be set (PLS #2190) on the southeasterly sideline of said Skylark Road at the northwesterly corner of Lot #15 as shown on aforesaid plan;

thence S 32°-08'-42" E along Lot #15 a distance of 129.62 feet to a capped iron rod to be set (PLS #2190) and land now or formerly of Washington Crossing Condominiums;

thence S 56°-26'-13" W along the land of Washington Crossing Condominiums a distance of 40.01 feet to a capped iron rod to be set (PLS #2190);

thence S 62°-35'-19" W along the land of Washington Crossing Condominiums a distance of 50.17 feet to a capped iron rod to be set (PLS #2190) and the northeasterly sideline of said Oramell Avenue;

thence N 32°-08'-42" W along the northeasterly sideline of said Oramell Avenue a distance of 126.47 feet to a capped iron rod to be set (PLS #2190) and the southeasterly sideline of said Skylark Road;

thence N 57°-51'-18" E along the southeasterly sideline of said Skylark Road a distance of 90.00 feet to the point of beginning.

The above described Lot #14 contains 11,632 s.f.. All bearings refer to grid north (NAD 83).

The above described Lot #14 is subject to a Portland Water District Right of Way located over the southerly portion of the above described Lot #14 and shown on the aforesaid plan for a more particular description.

The above described Lot #14 is subject to a 10 foot wide utility easement to install, construct, use, maintain and repair utilities, together with a right of entry on foot or in vehicles with all the

equipment necessary or reasonably required to accomplish the purposes of this easement over, on, across and under a certain portion of Lot #14 located along the southeasterly sideline of said Skylark Road and being 10 feet wide as shown on aforesaid plan.

ddSkylarkRdLot14



WARRANTY DEED
Maine Statutory Short Form

KNOW ALL PERSONS BY THESE PRESENTS that, **F.D. & Sons Properties LLC**, a Maine limited liability company of Portland, County of Cumberland and State of Maine, for consideration paid, grants to Jennifer Fowler-Greaves of Portland, County of Cumberland and State of Maine, with a mailing address of 661 Allen Avenue WITH WARRANTY COVENANTS, the following:

A certain lot or parcel of land with any improvements thereon, located in the City of Portland, County of Cumberland, State of Maine, depicted as Lot 14 on plan entitled "Amendment to an Approved Subdivision Plat dated July 22, 2008 Phase I" made for Frank DiDonato, Sr. by BH2M as revised through September 24, 2010, (the "Plan") and recorded in the Cumberland County Registry of Deeds in Book 210, Page 345.

Subject to all notes, easements, restrictions and conditions as set forth or depicted on said Plan.

Subject to the terms and conditions of Notice of Sidewalk Waiver dated October 20, 2008 and recorded in said Registry of Deeds in Book 26405, Page 223.

Subject to and together with the terms, covenants, conditions, restrictions, reservations, and easements set forth in the Declaration of Restrictive Covenants dated May 4, 2012, and recorded in the Cumberland County Registry of Deeds in Book 29562, Page 23. Subject to and together with the terms, covenants, conditions, restrictions, reservations, and easements set forth on the Plan and as more particularly described in the "Declaration of Covenants, Conditions, Restrictions, and Easements of Skylark Common Private Sanitary Association" (the "Declaration") dated October 6, 2010, and recorded in the Cumberland County Registry of Deeds in Book 28148, Page 19. The within conveyed lot is served by a private sanitary system and is a member of said Private Sanitary Association (the "Association"). The ownership, maintenance and replacement duties of each member of the Association are described in the Declaration. The City of Portland is not responsible for the ownership, maintenance or replacements of the private sanitary system.

Meaning and intending to convey and hereby conveying a portion of the premises conveyed to F.D. & Sons Properties LLC by deed of Frank DiDonato dated July 25, 2005 and recorded in the Cumberland County Registry of Deeds in Book 23489, Page 306.

WITNESS our hands and seals as of this 14th day of May, 2012

MAINE REAL ESTATE TAX PAID

Carly Smith
Witness

F.D. & Sons Properties LLC
Frank DiDonato
By: Frank DiDonato its duly authorized Member
& Manager

STATE OF MAINE
CUMBERLAND, ss.

May 14th, 2012

Then personally appeared the above named Frank DiDonato and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said F.D. & Sons Properties LLC.

Before me,

Carly Smith
Notary Public
Print Name: Carly Smith
My Commission Expires: _____

**CARLY R. SMITH
ATTORNEY AT LAW, STATE OF MAINE
AUTHORIZED TO TAKE ACKNOWLEDGEMENTS
PURSUANT TO 4 MRSA SEC 1056**

Received
Recorded Register of Deeds
May 17, 2012 02:31:18P
Cumberland County
Pamela E. Lovley

Ann Machado - RE: 106 Skylark Road, new single family

From: Matt Brewer <Matt@mrbrewer.com>
To: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 2/1/2013 11:54 AM
Subject: RE: 106 Skylark Road, new single family
Attachments: CCF02012013_0000.pdf

Ann I have attached the Sprinkler Permit Info which I believe I filled out correctly. I should have the Deed information and plans to you hopefully by the beginning of the week.

Regards,

Matthew Brewer
Project Manager/Estimator

M.R. Brewer Fine Woodworking, Inc.
91 Bell Street
Portland, ME 04103
207-797-7534

www.mrbrewer.com

From: Ann Machado [mailto:AMACHADO@portlandmaine.gov]
Sent: Friday, February 01, 2013 9:05 AM
To: Matt Brewer
Subject: 106 Skylark Road, new single family

Matt -

I have attached a copy of the Warranty Deed that needs to be used and recorded for the property. In the meantime, I do need a copy of Jennifer Greaves current deed.

I have also attached a pdf of the One or Two-family Fire Sprinkler Permit.

As far as the bulkhead and porch go, the bulkhead will have to be added to the site plan. If you cannot get a hold of J. Call, you can submit drawings that show the bulkhead on the foundation and the front porch on the floor plan for the first floor.

Thanks.

Ann Machado
Zoning Specialist
207.874.8709

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

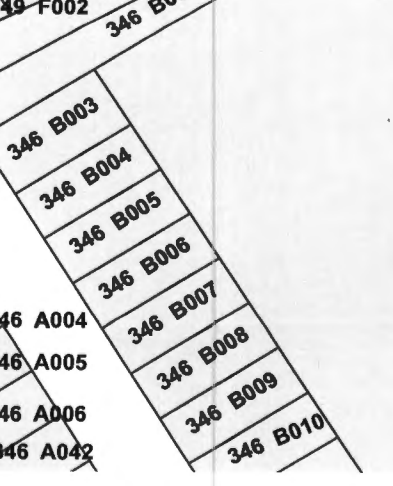
Gayle Guertin - 106 Skylark Road, abutters notice

From: Gayle Guertin
To: Ann Machado; Marge Schmuckal
Date: 2/1/2013 11:06 AM
Subject: 106 Skylark Road, abutters notice
CC: Gayle Guertin

Mailed out the abutters notices for 106 Skylark Road on 2-01-13.

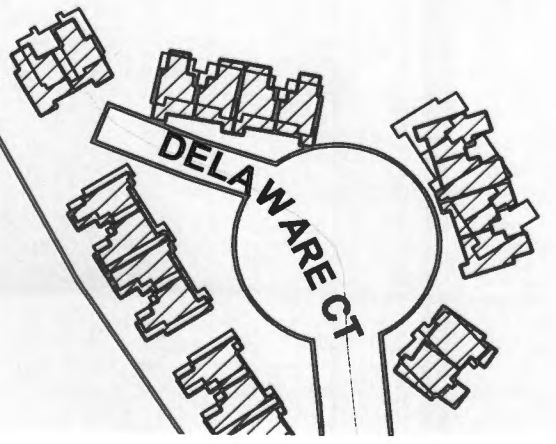
Gayle

350 G001



346 B026

346 B027



ANDERSON COURTNEY
183 DELAWARE CT
PORTLAND , ME 04103

ANDERSON HELEN F
180 DELAWARE CT
PORTLAND , ME 04103

BERUBE ROGER M
66 DELAWARE CT
PORTLAND, ME 04103

BLANCHETTE STEVEN R
88 DELAWARE CT
PORTLAND , ME 04103

BRILLIANT NORMA JEAN
83 DELAWARE CT
PORTLAND , ME 04103

CAIAZZO VITO L III
45 DELAWARE CT
PORTLAND, ME 04103

CHIASSEON LOUIS
73 DELAWARE CT
PORTLAND, ME 04103

COOPER BROOK
169 DELAWARE CT
PORTLAND , ME 04103

CORRIERO GUIDO S &
SHARON C CORRIERO JTS
179 DELAWARE CT
PORTLAND , ME 04103

DIDONATO SARAH
71 DELAWARE CT
PORTLAND , ME 04103

DIONNE ANN-MARIE V
59 DELAWARE CT
PORTLAND , ME 04103

DOOLEY PATRICIA A LIVING TRUST
87 DELAWARE CT
PORTLAND , ME 04103

DOOLEY PERRY
89 DELAWARE CT
PORTLAND , ME 04103

DOUGLASS LESLIE A
171 DELAWARE CT
PORTLAND , ME 04103

D'SOUZA JULIA M &
VICTOR DESOUZA JTS
47 DELAWARE CT
PORTLAND , ME 04103

DUFRESNE CAMILLA M
164 DELAWARE CT
PORTLAND , ME 04103

FD & SONS PROPERTIES LLC
87 SKYLARK RD
PORTLAND, ME 04103

FD & SONS PROPERTIES LLC
87 SKYLARK RD
PORTLAND, ME 04103

FOWLER-GREAVES JENNIFER
661 ALLEN AVE
PORTLAND, ME 04103

GILLIAN KATHLEEN D WID VN VET
25 DELAWARE CT
PORTLAND , ME 04103

GODZESKI CARL L
77 DELAWARE CT
PORTLAND , ME 04103

GRANNELL ANDREW P &
DOROTHY S GRANNELL JTS
43 DELAWARE CT
PORTLAND , ME 04103

GUIGON JOHN V &
DOROTHY S GUIGON JTS
186 DELAWARE CT
PORTLAND , ME 04103

HAMILTON TINA M
68 DELAWARE CT
PORTLAND, ME 04103

HART BRAD &
SUZANNE HART
33 WOODRIDGE DR
OAK RIDGE , NJ 07438

HART VALERIE
163 DELAWARE CT
PORTLAND , ME 04103

HIRSCH ALAN R &
GERALDINE G HIRSCH JTS
23 DELAWARE CT
PORTLAND , ME 04103

HORUTZ KATHRYN L
175 DELAWARE CT
PORTLAND , ME 04103

HUNTLEY DIANE W
7 DELAWARE CT
PORTLAND , ME 04103

HURTUBISE LEO K
192 DELAWARE CT
PORTLAND , ME 04103

JELLISON FRANCESCA V
10 DELAWARE CT
PORTLAND , ME 04103

JENSEN JOHN S &
DEBRA A JENSEN JTS
86 DELAWARE CT
PORTLAND, ME 04103

KELLEY JILL M
171 ALLEN AVE
PORTLAND , ME 04103

KINSELLA JOHN M &
CLAIRE M ST ONGE JTS
63 DELAWARE CT
PORTLAND, ME 04103

KNAUFF ROGER D &
CAROLE A GARDNER JTS
129 DELAWARE CT
PORTLAND , ME 04103

KREKORIAN PAULINE D WID WWII VET
80 DELAWARE CT
PORTLAND , ME 04103

LEE ANN M
29 DELAWARE CT
PORTLAND, ME 04103

LEONE FREDERICK WWII VET &
BETH A LEONE
75 DELAWARE CT
PORTLAND , ME 04103

LEQUE MARION E H
61 DELAWARE CT
PORTLAND , ME 04103

LYNCH ERIN M
222 7TH ST # 105
SANTA MONICA , CA 90402

MALM SCOTT C
173 DELAWARE CT
PORTLAND, ME 04103

MCGORTY JANET E
119 DELAWARE CT
PORTLAND , ME 04103

MCLEAN DORCAS F TRUSTEE
115 DELAWARE CT
PORTLAND , ME 04103

NICOLL DONALD E &
HILDA F NICOLL JTS
65 DELAWARE CT
PORTLAND , ME 04103

O'MALLEY GAIL
117 DELAWARE CT
PORTLAND, ME 04103

PAOLINO KRISTINE
62 DELAWARE CT
PORTLAND , ME 04103

PILEGGI BARBARA A VN VET TRUSTEE &
HONOR R HUTCHERSON VN VET
TRUSTEE
113 DELAWARE CT
PORTLAND, ME 04103

PLOURDE MARIE
11 DELAWARE CT
PORTLAND , ME 04103

RICCHIO DENISE L &
JOHN S RICCHIO JTS
27 DELAWARE CT
PORTLAND , ME 04103

RICHARD DIANE D
9 DELAWARE CT
PORTLAND , ME 04103

RODWAY CHARLES B JR &
NANCY A RODWAY JTS
41 DELAWARE CT
PORTLAND , ME 04103

SHAPIRO GREGORY C &
JILL E SHAPIRO JTS
165 DELAWARE CT
PORTLAND , ME 04103

SHULER BARBARA D
185 DELAWARE CT
PORTLAND , ME 04103

SIMMONS STEVEN
82 DELAWARE CT
PORTLAND , ME 04103

SNYDER ROBERT A
64 DELAWARE CT
PORTLAND, ME 04103

SPIRO RAYMOND WWII VET &
MARIELLEN SPIRO JTS
162 DELAWARE CT
PORTLAND , ME 04103

STERLING GLEN
184 DELAWARE CT
PORTLAND , ME 04103

STIMSON CONSTANCE E
107 PILGRIM RD
SOUTH PORTLAND, ME 04106

SWEETSER CHERYL A
166 DELAWARE CT
PORTLAND , ME 04103

TAPLIN WILLIAM B
160 DELAWARE CT
PORTLAND , ME 04103

THOMPSON W DOUGLAS &
GAIL S THOMPSON JTS
85 DELAWARE CT
PORTLAND , ME 04103

VERRILL DONNA J &
PETER J VERRILL TRUSTEES
6 BROAD COVE WAY
CUMBERLAND FORESIDE, ME 04110

WATKINSON J WESLEY &
PATRICIA S WATKINSON JTS
12 DELAWARE CT
PORTLAND , ME 04103

WILLIAMS FREDRIC W
6 DELAWARE CT
PORTLAND, ME 04103

YOUNG JONATHAN B
191 DELAWARE CT
PORTLAND , ME 04103

Labels Requested For CBL:

343 C014

349 F006

349 H015

349 I001

349 I003

IMPORTANT NOTICE FROM CITY OF PORTLAND

To residents and property owners: A Level I Minor Residential Development application was submitted to the Portland Inspections Division by Jennifer Fowler - Greaves to build a new single family home at 106 Skylark Road.

In accordance with the Portland Land Use Ordinance, notices of receipt of a Level I Minor Residential Development application must be sent to neighbors. This application will be reviewed administratively by City Staff.

Plans are available in the Portland Inspections Division, Room 315, City Hall. If you have any questions or wish to submit comments, contact Ann Machado, Zoning Specialist at 874-8709 or email amachado@portlandmaine.gov

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Ann Machado - Re: FW: Lot 14-Skylark Commons Subdivision

From: Ann Machado
To: Matt Brewer; Philip DiPierro
Date: 2/5/2013 8:15 AM
Subject: Re: FW: Lot 14-Skylark Commons Subdivision

Matt -

Thanks getting all the revisions in so quickly.

I have moved the permit forward in the review process, but there are two things that need to be addressed.

First, on the email from Andrew Morrell, he points out that the bulkhead encroaches on the PWD easement. We need something in writing from PWD that this is OK before the building permit can be issued.

Second, some of the wording on Jennifer Greaves' deed does not match the exact wording for the required deed for the lots in the subdivision. This will not hold up the issuing of the permit but the correct deed will have to be recorded before the certificate of occupancy is issued.

Ann have the exact same wording in

>>> Matt Brewer <Matt@mrbrewer.com> 2/4/2013 3:40 PM >>>

Please find attached the revised site plan as requested, please also read the notes below. Let me know if you need anything else.

Regards,

Matthew Brewer
Project Manager/Estimator

M.R. Brewer Fine Woodworking, Inc.
91 Bell Street
Portland, ME 04103
207-797-7534

www.mrbrewer.com

From: Andy Morrell [mailto:amorrell@bh2m.com]
Sent: Monday, February 04, 2013 2:53 PM
To: Matt Brewer
Subject: Lot 14-Skylark Commons Subdivision

Matthew,

Please find attached the revised plans for the above referenced project. I made the following revisions to the plans based on the City's Review comments:

- Note #2 was revised with the correct Applicants name
- Note #1 was revised with the correct owner's name

Ann Machado - FW: Lot 14-Skylark Commons Subdivision

From: Matt Brewer <Matt@mrbrewer.com>
To: "Ann Machado (AMACHADO@portlandmaine.gov)"
 <AMACHADO@portlandmaine.gov>, ...
Date: 2/4/2013 3:41 PM
Subject: FW: Lot 14-Skylark Commons Subdivision
Attachments: Lot 14 Skylark CommonsSubdivision-Revised Site Plan-2-4-2013.pdf

Please find attached the revised site plan as requested, please also read the notes below. Let me know if you need anything else.

Regards,

Matthew Brewer
Project Manager/Estimator

M.R. Brewer Fine Woodworking, Inc.
91 Bell Street
Portland, ME 04103
207-797-7534

www.mrbrewer.com

From: Andy Morrell [mailto:amorrell@bh2m.com]
Sent: Monday, February 04, 2013 2:53 PM
To: Matt Brewer
Subject: Lot 14-Skylark Commons Subdivision

Matthew,

Please find attached the revised plans for the above referenced project. I made the following revisions to the plans based on the City's Review comments:

- Note #2 was revised with the correct Applicants name
- Note #1 was revised with the correct owner's name
- Note #6 was revised with the correct deed reference
- Note #7 was revised with the correct tax map reference
- Please make the City aware that all of the property corners for this lot have been set by our office. The Building setback corners for this lot have also been staked out by our office.
- Note #19 was revised regarding street status
- The distances from the proposed foundation to the property line was shown on each side of the house as requested.
- Please inform the City that our office is submitting the revised plan to PWD for their input and acceptance of the proposed work within the existing easement.
- Note #20 was added to the plans regarding soil type
- The bulkhead was added to the plans as you requested.

Please review and let me know if you have any issues with this plan or if you would like to see any design

changes to this plan. Once you have endorsed the plan I will send it along to PWD. Please note that the addition of the bulkhead falls within the PWD easement along the Southern portions of the site. The PWD may not allow this structure to be located within the easement. I will work with PWD on this issue. Thanks

Andrew S. Morrell, E.I.
Berry Huff McDonald Milligan, Inc.
28 State Street
Gorham, Maine 04038
Phone-(207)839-2771 ext. 206
Fax-(207)839-8250
amorrell@bh2m.com
www.bh2m.com

Ann Machado - RE: 106 Skylark Road, new single family

From: Matt Brewer <Matt@mrbrewer.com>
To: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 2/4/2013 8:22 AM
Subject: RE: 106 Skylark Road, new single family
Attachments: P-10-10R1.pdf

The foundation plan shows an optional bulkhead which is where we will be installing the bulkhead, is that sufficient for the foundation plan? Also I have attached a copy of the bulkhead cut sheet we will be installing for the your records which is the Size B. I am working on getting the site plan adjusted as well as the first floor plan to show the frost piers for the front porch.

Regards,

Matthew Brewer
Project Manager/Estimator

M.R. Brewer Fine Woodworking, Inc.
91 Bell Street
Portland, ME 04103
207-797-7534

www.mrbrewer.com

From: Ann Machado [mailto:AMACHADO@portlandmaine.gov]
Sent: Friday, February 01, 2013 9:05 AM
To: Matt Brewer
Subject: 106 Skylark Road, new single family

Matt -

I have attached a copy of the Warranty Deed that needs to used and recorded for the property. In the meantime, I do need a copy of Jennifer Greaves current deed.

I have also attached a pdf of the One or Two-family Fire Sprinkler Permit.

As far as the bulkhead and porch go, the bulkhead will have to be added to the site plan. If you cannot get a hold of J. Call, you can submit drawings that show the bulkhead on the foundation and the front porch on the floor plan for the first floor.

Thanks.

Ann Machado

Ann Machado - RE: FW: Lot 14-Skylark Commons Subdivision

From: Matt Brewer <Matt@mrbrewer.com>
To: Ann Machado <AMACHADO@portlandmaine.gov>, Philip DiPierro <PD@portlandma...>
Date: 2/6/2013 8:27 AM
Subject: RE: FW: Lot 14-Skylark Commons Subdivision
Attachments: E One Indoor Pump Spec.doc; E One Indoor Pump Station.pdf

Ann I have attached the E One Pump Station we intend to use for the Greaves House and want to make sure that the city will approve it. We are opting for the indoor due to cost, please let me know your thoughts.

Regard's,

Matthew Brewer
Project Manager/Estimator

M.R. Brewer Fine Woodworking, Inc.
91 Bell Street
Portland, ME 04103
207-797-7534

www.mrbrewer.com

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FEB 06 2013

Dept. of Building Inspections
City of Portland Maine

From: Ann Machado [mailto:AMACHADO@portlandmaine.gov]
Sent: Tuesday, February 05, 2013 8:15 AM
To: Matt Brewer; Philip DiPierro
Subject: Re: FW: Lot 14-Skylark Commons Subdivision

Matt -

Thanks getting all the revisions in so quickly.

I have moved the permit forward in the review process, but there are two things that need to be addressed.

First, on the email from Andrew Morrell, he points out that the bulkhead encroaches on the PWD easement. We need something in writing from PWD that this is OK before the building permit can be issued.

Second, some of the wording on Jennifer Greaves' deed does not match the exact wording for the required deed for the lots in the subdivision. This will not hold up the issuing of the permit but the correct deed will have to be recorded before the certificate of occupancy is issued.

Ann have the exact same wording in

>>> Matt Brewer <Matt@mrbrewer.com> 2/4/2013 3:40 PM >>>

Please find attached the revised site plan as requested, please also read the notes below. Let me know if you need anything else.

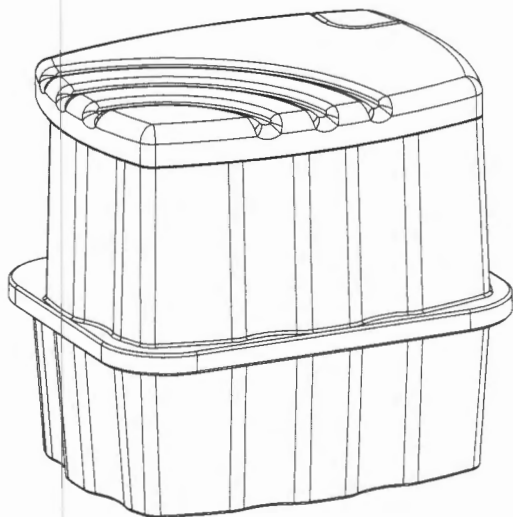
Regard's,

Matthew Brewer

E/ONE

EXTREME

S E R I E S



Indoor Unit
Grinder Pump Station
with
Wired Level Sensor

Typical Specifications

Semi-Positive
Displacement Type
Grinder Pump
Stations

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FEB 06 2013

Dept. of Building Inspections
City of Portland Maine

SECTION: INDOOR GRINDER PUMP STATIONS

1.0 GENERAL

1.01 GENERAL DESCRIPTION: The **MANUFACTURER** shall furnish complete factory-built and tested grinder pump station(s), each consisting of grinder pump(s) suitably mounted in a basin constructed of high density polyethylene (HDPE), pump removal system, discharge assembly/shut-off valve, anti-siphon valve/check valve assembled within the basin, electrical alarm panel and all necessary internal wiring and controls. Component type grinder pump systems that require field assembly will not be acceptable due to the potential problems that can occur during field assembly. All components and materials shall be in accordance with section 2.0 of this Product Specification. For ease of serviceability, all pump, motor/grinder units shall be of like type and horsepower throughout the system.

1.02 SUBMITTALS: After receipt of notice to proceed, the **MANUFACTURER** shall furnish a minimum of six sets of shop drawings detailing the equipment to be furnished including dimensional data and materials of construction. The **ENGINEER** shall promptly review this data, and return two copies as accepted, or with requested modifications. Upon receipt of accepted shop drawings, the **MANUFACTURER** shall proceed immediately with fabrication of the equipment.

1.03 MANUFACTURER: Grinder pump stations, complete with all appurtenances, form an integral system, and as such, shall be supplied by one grinder pump station manufacturer. The **CONTRACTOR** shall be responsible for the satisfactory operation of the entire system. The equipment specified shall be a product of a company experienced in the design and manufacture of grinder pumps for specific use in low pressure sewage systems. The company shall submit detailed installation and user instructions for its product, submit evidence of an established service program including complete parts and service manuals, and be responsible for maintaining a continuing inventory of grinder pump replacement parts. The **MANUFACTURER** shall provide, upon request, a reference and contact list from ten of its largest contiguous grinder pump installations of the type of grinder pumps described within this specification.

The **MANUFACTURER** of the grinder pump station shall be Environment One Corporation or Proposed Alternate.

Attention is directed to the fact that the drawings and overall system design are based on a particular piece of equipment from a particular manufacturer. These specifications are intended to provide guidelines for standard equipment of a recognized manufacturer who already meets all the requirements of this specification.

1.03a ALTERNATE EQUIPMENT: In the event that the **CONTRACTOR** or another supplier proposes an Alternate to the specified **MANUFACTURER**, the **ENGINEER** recognizes that it will be difficult to conform to certain details of this Specification due to different manufacturing techniques or grinder pump station designs. If proposing an Alternate, the **CONTRACTOR** (supplier) must submit, no less than 15 business days in advance of the bid date, a complete description of any changes that will be necessary to the system design, a complete submittal package as outlined in Section 1.02 SUBMITTALS, a system hydraulic analysis based on the proposed pump (including pipe sizes, flows, velocities, retention times and number and location of recommended valves and cleanouts, if any), a list of exceptions to this specification, and demonstration of compliance to Section 1.04 EXPERIENCE CLAUSE of this specification. The **CONTRACTOR** (supplier) must also complete the Manufacturer Disclosure Statement found at the end of this specification. This information must be submitted to the **ENGINEER** for pre-approval of the alternate equipment being proposed and determination of compliance with these Contract Documents. If the equipment differs materially or differs from the dimensions given on the Drawings, the **CONTRACTOR** (supplier) shall submit complete drawings showing elevations, dimensions, or any necessary changes to the Contract Documents for the proposed equipment and its installation. Pre-approval, if granted, will be provided in writing by the **ENGINEER** to the **CONTRACTOR** (supplier) at least five business days in advance of the bid date. If the **ENGINEER'S** approval is obtained for Alternate Equipment, the **CONTRACTOR** (supplier) must make any needed changes in the structures, system design, piping or electrical systems necessary to accommodate the proposed equipment at the expense of the **CONTRACTOR** (supplier).

- 1.04 EXPERIENCE CLAUSE:** The equipment furnished hereunder shall be the product of a company experienced in the design and manufacture of grinder pumps specifically designed for use in low pressure systems. All manufacturers proposing equipment for this project shall have at least 10 years of experience in the design and manufacture of units of identical size(s) and performance to the specified units. All manufacturers proposing equipment for this project must also have not less than 500 successful installations of low pressure sewer systems utilizing grinder pumps of like type to the grinder pumps specified herein. An installation is defined as a minimum of 25 pumps discharging into a common force main which forms a low pressure sewer system. The **CONTRACTOR** (supplier) proposing alternate equipment shall also submit, as part of the bid schedule, an installation list with contact person(s), phone number(s) and date(s) of installation of at least 10 installations of the type of pump specified herein that have been operating for at least 10 years.

In lieu of this experience clause, the **CONTRACTOR** (supplier) of alternate equipment will be required to submit a 5-year performance bond for 100 percent of the stipulated cost of the equipment as bid and as shown in the Bid Schedule. This performance bond will be used to guarantee the replacement of the equipment in the event that it fails within the bond period.

- 1.05 OPERATING CONDITIONS:** The pumps shall be capable of delivering 15 GPM against a rated total dynamic head of 0 feet (0 PSIG), 11 GPM against a rated total dynamic head of 92 feet (40 PSIG), and 7.8 GPM against a rated total dynamic head of 185 feet (80 PSIG). The pump(s) must also be capable of operating at negative total dynamic head without overloading the motor(s). Under no conditions shall in-line piping or valving be allowed to create a false apparent head.
- 1.06 WARRANTY:** The grinder pump **MANUFACTURER** shall provide a part(s) and labor warranty on the complete station and accessories, including, but not limited to, the panel for a period of 60 months after notice of **OWNER'S** acceptance, but no greater than 63 months after receipt of shipment. Any manufacturing defects found during the warranty period will be reported to the **MANUFACTURER** by the **OWNER** and will be corrected by the **MANUFACTURER** at no cost to the **OWNER**.
- 1.07 WARRANTY PERFORMANCE CERTIFICATION:** As a bid certification requirement, each bidder shall provide with their bid schedule a Warranty Performance Certification statement executed by the most senior executive officer of the grinder pump **MANUFACTURER**, which certifies a 60-month warranty. They must further detail any exclusions from the warranty or additional cost items required to maintain the equipment in warrantable condition, including all associated labor and shipping fees, and certify that the **MANUFACTURER** will bear all costs to correct any original equipment deficiency for the effective period of the warranty. All preventive maintenance type requirements shall be included in this form as exclusions. These requirements include, but are not limited to, unjamming of grinder mechanism, periodic motor maintenance, and periodic cleaning of liquid level controls. Should the **CONTRACTOR** (supplier) elect to submit a performance bond in lieu of the experience clause outlined above, this Warranty Performance Certification shall also be used as a criterion to evaluate the **CONTRACTOR'S** (supplier's) performance over the warranty period. A Warranty Performance Certification form is included with the bid schedule and must be completed and submitted as part of the bid package. Bids with incomplete forms or missing forms will be considered nonresponsive.

2.0 PRODUCT

- 2.01 PUMP:** The pump controls shall be installed on the pump (core unit) by the manufacturer. Field assembly of the pump and controls is not acceptable because of potential workmanship issues and increased installation time. The pump shall be a custom designed, integral, vertical rotor, motor driven, solids handling pump of the **progressing cavity type** with a single mechanical seal. Double radial O-ring seals are required at all casting joints to minimize corrosion and create a protective barrier. All pump castings shall be cast iron, fully epoxy coated to 8-10 mil Nominal dry thickness, wet applied. The rotor shall be through-hardened, highly polished, precipitation hardened stainless steel. The stator shall be of a specifically compounded ethylene propylene synthetic elastomer. The material shall be suitable for domestic wastewater service. Its physical properties shall include high tear and abrasion resistance, grease resistance, water and detergent resistance, temperature stability, excellent aging properties, and outstanding wear resistance. Buna-N is not acceptable as a stator material because it does not exhibit the properties as outlined above and required for wastewater service.

2.02 GRINDER: The grinder shall be placed immediately below the pumping elements and shall be direct-driven by a single, one-piece motor shaft. The grinder impeller (cutter wheel) assembly shall be securely fastened to the pump motor shaft by means of a threaded connection attaching the grinder impeller to the motor shaft. Attachment by means of pins or keys will not be acceptable. The grinder impeller shall be a one-piece, 4140 cutter wheel of the rotating type with inductively hardened cutter teeth. The cutter teeth shall be inductively hardened to Rockwell 50 – 60c for abrasion resistance. The shredder ring shall be of the stationary type and the material shall be white cast iron. The teeth shall be ground into the material to achieve effective grinding. The shredder ring shall have a staggered tooth pattern with only one edge engaged at a time, maximizing the cutting torque. These materials have been chosen for their capacity to perform in the intended environment as they are materials with wear and corrosive resistant properties.

This assembly shall be dynamically balanced and operate without objectionable noise or vibration over the entire range of recommended operating pressures. The grinder shall be constructed so as to minimize clogging and jamming under all normal operating conditions including starting. Sufficient vortex action shall be created to scour the tank free of deposits or sludge banks which would impair the operation of the pump. These requirements shall be accomplished by the following, in conjunction with the pump:

1. The grinder shall be positioned in such a way that solids are fed in an upward flow direction.
2. The maximum flow rate through the cutting mechanism must not exceed 4 feet per second. This is a critical design element to minimize jamming and as such must be adhered to.
3. The inlet shroud shall have a diameter of no less than 5 inches. Inlet shrouds that are less than 5 inches in diameter will not be accepted due to their inability to maintain the specified 4 feet per second maximum inlet velocity which by design prevents unnecessary jamming of the cutter mechanism and minimizes blinding of the pump by large objects that block the inlet shroud.
4. The impeller mechanism must rotate at a nominal speed of no greater than 1800 rpm.

The grinder shall be capable of reducing all components in normal domestic sewage, including a reasonable amount of "foreign objects," such as paper, wood, plastic, glass, wipes, rubber and the like, to finely-divided particles which will pass freely through the passages of the pump and the 1-1/4" diameter stainless steel discharge piping.

2.03 ELECTRIC MOTOR: As a maximum, the motor shall be a 1 HP, 1725 RPM, 240 Volt 60 Hertz, 1 Phase, capacitor start, ball bearing, air-cooled induction type with Class F installation, low starting current not to exceed 30 amperes and high starting torque of 8.4 foot pounds. The motor shall be press-fit into the casting for better heat transfer and longer winding life. Inherent protection against running overloads or locked rotor conditions for the pump motor shall be provided by the use of an automatic-reset, integral thermal overload protector incorporated into the motor. This motor protector combination shall have been specifically investigated and listed by Underwriters Laboratories, Inc., for the application. Non-capacitor start motors or permanent split capacitor motors will not be accepted because of their reduced starting torque and consequent diminished grinding capability. The wet portion of the motor armature must be 300 Series stainless. To reduce the potential of environmental concerns, the expense of handling and disposing of oil, and the associated maintenance costs, oil-filled motors will not be accepted.

2.04 MECHANICAL SEAL: The core shall be provided with a mechanical shaft seal to prevent leakage between the motor and pump. The seal shall have a stationary ceramic seat and carbon rotating surface with faces precision lapped and held in position by a stainless steel spring.

2.05 TANK: The wetwell/drywell design shall be made of rotationally molded high density polyethylene, with a grade selected to provide the necessary environmental stress cracking resistance. The tank shall have a nominal thickness of 0.50".

The tank shall be furnished with one 4", socket glue type inlet valve for connection to the PVC building sewer (4.650 OD). The Tank capacity shall be 91 gallons. The tank must be capable of withstanding static heads of 10 feet without leaking or causing permanent structural damage.

An aesthetically pleasing, rotationally molded cover shall be supplied with the tank to protect and conceal the pump core, discharge valve and Equalizer Diaphragm.

The station shall have all necessary penetrations molded in and factory sealed. No field penetrations shall be acceptable.

All discharge piping shall be constructed of SCH 80 PVC pipe and terminate with a 1 1/4" female NPT fitting. The discharge piping shall include a PVC ball valve rated for 235 psi WOG.

The tank shall also include a 2" PVC vent to prevent sewage gases from accumulating in the tank. A junction box shall not be permitted in the tank.

- 2.06 DISCHARGE DISCONNECT/VALVE:** All discharge fittings and piping shall be constructed of polypropylene, EPDM or PVC. The discharge assembly shall include a shut-off valve rated for 235 psi WOG and a quick disconnect feature to simplify installation and pump removal.
- 2.07 ELECTRICAL QUICK DISCONNECT:** The grinder pump core shall include a factory-installed NEMA 6P electrical quick disconnect (EQD) for all power and control functions. The EQD will be supplied with 12' electrical supply cable (ESC) to connect to the alarm panel. The EQD shall require no tools for assembly, seal against water before the electrical connection is made, and include radial seals to assure a watertight seal regardless of tightening torque. Plug-type connections of the power cable onto the pump housing will not be acceptable due to the potential for leaks and electrical shorts. Junction boxes are not acceptable due to the large number of potential leak points. The EQD shall be so designed to be conducive to field wiring as required.
- 2.08 CHECK VALVE:** The pump discharge shall be equipped with a factory installed, gravity operated, flapper-type integral check valve built into the discharge piping. The check valve will provide a full-ported passageway when open, and shall introduce a friction loss of less than 6 inches of water at maximum rated flow. Moving parts will be made of a 300 Series stainless steel and fabric reinforced synthetic elastomer to ensure corrosion resistance, dimensional stability, and fatigue strength. A nonmetallic hinge shall be an integral part of the flapper assembly providing a maximum degree of freedom to assure seating even at a very low back-pressure. The valve body shall be an injection molded part made of an engineered thermoplastic resin. The valve shall be rated for continuous operating pressure of 235 psi. Ball type check valves are unacceptable due to their limited sealing capacity in slurry applications.
- 2.09 ANTI-SIPHON VALVE:** The pump discharge shall be equipped with a factory-installed, gravity-operated, flapper-type integral anti-siphon valve built into the discharge piping. Moving parts will be made of 300 Series stainless steel and fabric-reinforced synthetic elastomer to ensure corrosion resistance, dimensional stability, and fatigue strength. A nonmetallic hinge shall be an integral part of the flapper assembly, providing a maximum degree of freedom to ensure proper operation even at a very low pressure. The valve body shall be injection-molded from an engineered thermoplastic resin. Holes or ports in the discharge piping are not acceptable anti-siphon devices due to their tendency to clog from the solids in the slurry being pumped. Anti-siphon port diameter shall be no less than 60% of the inside diameter of the pump discharge piping.
- 2.10 CORE UNIT:** The grinder pump station shall have a cartridge type, easily removable core assembly consisting of pump, motor, grinder, all motor controls, check valve, anti-siphon valve, level control, electrical quick disconnect and wiring. The core unit shall seal to the tank deck with stainless steel bolts. The watertight integrity of each core unit shall be established by a 100 percent factory test at a minimum of 5 PSIG.

2.11 CONTROLS: All necessary motor starting controls shall be located in the cast iron enclosure of the core unit secured by stainless steel fasteners. Locating the motor starting controls in a plastic enclosure is not acceptable. The wastewater level sensing controls shall be housed in a separate enclosure from motor starting controls. The level sensor housing must be sealed via a radial type seal; solvents or glues are not acceptable. The level sensing control housing must be integrally attached to pump assembly so that it may be removed from the station with the pump and in such a way as to minimize the potential for the accumulation of grease and debris accumulation, etc. The level sensing housing must be a high-impact thermoplastic copolymer over-molded with a thermo plastic elastomer. The use of PVC for the level sensing housing is not acceptable.

Non-fouling wastewater level controls for controlling pump operation shall be accomplished by monitoring the pressure changes in an integral air column connected to a pressure switch. The air column shall be integrally molded from a thermoplastic elastomer suitable for use in wastewater and with excellent impact resistance. The air column shall have only a single connection between the water level being monitored and the pressure switch. Any connections are to be sealed radially with redundant O-rings. The level detection device shall have no moving parts in direct contact with the wastewater and shall be integral to the pump core assembly in a single, readily-exchanged unit. Depressing the push to run button must operate the pump even with the level sensor housing removed from the pump.

All fasteners throughout the assembly shall be 300 Series stainless steel. High-level sensing will be accomplished in the manner detailed above by a separate air column sensor and pressure switch of the same type. Closure of the high-level sensing device will energize an alarm circuit as well as a redundant pump-on circuit. For increased reliability, pump ON/OFF and high-level alarm functions shall not be controlled by the same switch. Float switches of any kind, including float trees, will not be accepted due to the periodic need to maintain (rinsing, cleaning) such devices and their tendency to malfunction because of incorrect wiring, tangling, grease buildup, and mechanical cord fatigue. To assure reliable operation of the pressure switches, each core shall be equipped with a factory installed equalizer diaphragm that compensates for any atmospheric pressure or temperature changes. Tube or piping runs outside of the station tank or into tank-mounted junction boxes providing pressure switch equalization will not be permitted due to their susceptibility to condensation, kinking, pinching, and insect infestation. The grinder pump will be furnished with a 6 conductor, type SJOW cable, pre-wired and watertight to meet UL requirements with a **FACTORY INSTALLED NEMA 6P EQD** half attached to it.

2.12 REMOTE SENTRY (OPTIONAL): The grinder pump manufacturer shall supply a remote, indoor mounted, high level alarm module with each grinder pump station. This module shall incorporate a visual and audible (70 Db) high level alarm, a membrane covered push to silence audible alarm button, and a membrane covered push to test visual and audible alarm button all housed in a low profile, neutral-colored case (similar to a programmable thermostat housing) to be placed in a conspicuous location within the residence by the installing contractor. The maximum dimension of the case shall be 5" W x 3" H x 1" D. This module shall be connected to the Indoor Grinder Pump Control Panel and will indicate a high-level alarm with or without AC power at the grinder pump. The indoor alarm unit shall have a renewable Lithium battery power source enabling its continued operation without AC power. The visual and audible alarm shall be automatically reset when the high level alarm condition is corrected. If the battery voltage is low, the LED will blink and the audible alarm will be pulsed to create short beeps. The push-to-silence will not change this condition until the batteries are replaced. When this option is selected, the station shall be provided with 100 feet of 22 gauge signal wire, factory-wired and sealed into the station's alarm panel.

2.13 ALARM PANEL: Each grinder pump station shall include a NEMA 4X, UL-listed alarm panel suitable for wall or pole mounting. The NEMA 4X enclosure shall be manufactured of thermoplastic polyester to ensure corrosion resistance. The enclosure shall include a hinged, lockable cover with padlock, preventing access to electrical components, and creating a secured safety front to allow access only to authorized personnel. The enclosure shall not exceed 10.5" W x 14" H x 7" D, or 12.5" W x 16" H x 7.5" D if certain options are included.

The alarm panel shall contain one 15-amp, double-pole circuit breaker for the pump core's power circuit and one 15-amp single-pole circuit breaker for the alarm circuit. The panel shall contain a push-to-run

feature, an internal run indicator, and a complete alarm circuit. All circuit boards in the alarm panel are to be protected with a conformal coating on both sides and the AC power circuit shall include an auto resetting fuse.

The alarm panel shall include the following features: external audible and visual alarm; push-to-run switch; push-to-silence switch; redundant pump start; and high level alarm capability. The alarm sequence is to be as follows when the pump and alarm breakers are on:

1. When liquid level in the sewage wet-well rises above the alarm level, the contacts on the alarm pressure switch activate, audible and visual alarms are activated, and the redundant pump starting system is energized.
2. The audible alarm may be silenced by means of the externally mounted, push-to-silence button.
3. Visual alarm remains illuminated until the sewage level in the wet-well drops below the "off" setting of the alarm pressure switch.

The visual alarm lamp shall be inside a red, oblong lens at least 3.75" L x 2.38" W x 1.5" H. Visual alarm shall be mounted to the top of the enclosure in such a manner as to maintain NEMA 4X rating. The audible alarm shall be externally mounted on the bottom of the enclosure, capable of 93 dB @ 2 feet. The audible alarm shall be capable of being deactivated by depressing a push-type switch that is encapsulated in a weatherproof silicone boot and mounted on the bottom of the enclosure (push-to-silence button).

The entire alarm panel, as manufactured and including any of the following options shall be listed by Underwriters Laboratories, Inc.

(OPTIONAL) Alarm Contacts Package – Note: The Alarm Contacts Package is included with Sentry Simplex PreSTAT Panels

- **Alarm Activated Dry Contacts** – Normally open relay contact closes upon alarm activation.
- **Alarm Activated Contacts for Remote Indoor Alarm Module** – Will work with or without power to the alarm panel and is designed to work with E/One's Remote Sentry.
- **Alarm Activated Remote (Powered) Contacts** – Normally open contacts that close on alarm, providing 120V on high level alarm.

(OPTIONAL) Generator Receptacle and Auto Transfer – The alarm panel shall include a 20 amp, 250 VAC generator receptacle with a spring-loaded, gasketed cover suitably mounted to provide access for connection of an external generator while maintaining a NEMA 4X rating. An automatic transfer switch shall be provided, which automatically switches from AC power to generator power. Power shall be provided to that alarm panel through the generator receptacle whenever power is present at the receptacle, allowing the audible and visual alarms to function normally in generator mode. When power is no longer applied to the generator receptacle, the panel is automatically switched back to the AC Mains power. (No manual switching within the panel enclosure is necessary to switch from generator power back to AC Mains, so the mode cannot be inadvertently left in the generator position after pumping down the station in generator mode as is the case with a manual transfer switch).

(OPTIONAL) Service Equipment/Main Service Disconnect Breaker – A separate, internal breaker rated and approved for use as "service equipment" and acts as a main service disconnect of the grinder pump station shall be provided.

(OPTIONAL) Remote Sentry Indoor Alarm Module – A separate, remote indoor alarm module shall be provided to indicate a high level alarm with or without AC power to the grinder pump station. The Remote Sentry indoor alarm module shall have an internal power source enabling its continued operation without AC power. The Remote Sentry shall have an audible alarm and a visual alarm, both of which shall automatically reset if the high level alarm condition is eliminated. The Remote Sentry

indoor alarm module shall include a Silence button for the audible alarm and a Test button.

(OPTIONAL) Run-time/Hour Meter – A run-time or hour meter to display the total run-time or operation time for the pump core shall be provided.

(OPTIONAL) Event/Cycle Counter – An event or cycle counter to display the number of operations of the pump core shall be provided.

(OPTIONAL) SENTRY SIMPLEX PROTECT:

Provides protection from the following operating conditions:

- **Low Voltage (Brownout) Protection** – A lockout cycle will prevent the motor from operating and will illuminate an LED if:
 - the incoming AC Mains voltage drops below a predetermined minimum, typically 12% of nameplate (211 volts for a 240 volt system) for 2 to 3 seconds, regardless of whether the motor is running or not
 - the lockout cycle will end if the incoming AC Mains voltage returns to a predetermined value, typically 10% of nameplate (216 volts for a 240 volt system)The system continues to retest the voltage every second indefinitely. If the lockout cycle has been initiated and the voltage comes back above the predetermined starting voltage, the system will function normally. The LED remains illuminated during a Brownout condition and remains latched until the pump breaker is turned off and then on again (reset). The audible and visual alarm will not be activated unless there is a high wastewater level in the tank.
- **Run Dry Protection** – A 20-minute lockout cycle will prevent the motor from operating and will illuminate an LED when the wastewater level in the tank is below the pump inlet level. The condition is rechecked every 20 minutes. If the lockout cycle has been initiated and the condition is satisfied, the pump is not allowed to cycle normally but the LED remains latched. The LED will remain latched until the pump breaker is turned off and then on again (reset). If the condition is not satisfied after 3 consecutive attempts, the visual alarm will be activated until the pump breaker is turned off and on (reset) or until there is one cycle of normal operation. If a high level condition is presented at any time, a pump run cycle will be activated.
- **High System Pressure Protection** – A 20-minute lockout cycle will prevent the motor from operating and will illuminate an LED when the pressure in the discharge line is atypically high (closed valve or abnormal line plug). The condition is rechecked every 20 minutes. If the condition is satisfied, the pump is allowed to cycle normally but the LED remains latched. If the condition is not satisfied after 3 consecutive attempts, the pump is locked out indefinitely until the condition is removed and power is reset. The LED will remain latched until the pump breaker is turned off and then on again (reset). The audible and visual alarm will be activated.

In all of the above cases, if more than one error condition is presented, the LED depicting the most recent error condition will be displayed.

Other included features:

- Alarm Activated Dry Contacts – Normally open relay contact closes upon alarm activation.
- Alarm Activated Contacts for Remote Indoor Alarm Module – Will work with or without power to the alarm panel and is designed to work with E/One's Remote Sentry.
- Includes Inner Door Dead Front
- Separate LED's for each condition

(OPTIONAL) SENTRY SIMPLEX PROTECT PLUS:

- All Sentry Protect features (as detailed above)
- High/Low Voltage monitoring with Trouble indication
- High/Low Wattage (wattage is used instead of current because it is a better indicator of pump performance) monitoring with Trouble indication
- Extended Run Time monitoring with Trouble indication

- Cycle/Event Counter
- Run Time Counter (Hour Meter)
- Run Time Limit (time adjustable, user selected options: 10 minutes (default) to 120 minutes in 1-minute intervals)
- Power-up Delay (time adjustable, user selected options: None (default), to 300 minutes in 1-minute intervals)
- Alarm Delay (time adjustable, user selected options: None (default) or adjustable in 1-minute intervals)
- System self-test diagnostic
- User selectable Alarm latch
- User Selectable Protect Mode disable
- User selectable buzzer timer

Specific Protect PLUS indicators and programming features shall include:

- Ready LED to indicate AC power to the station is satisfactory
- Pump Run LED to indicate pump is operating
- Trouble LED indicator and predictive Visual Alarm notification (“blinking” alarm lamp; clears on Normal cycle)
- High Level Alarm LED indicator
- Manual Run switch to manually activate pump
- Menu-driven programmable controller with navigation overlay-type buttons (Enter, Scroll, Up, Down)
- Normal Operation LED and Mode button for Mode status
- Pump Performance menu LED with LCD Display of the following pump performance statistics:
 - Real-time Voltage
 - Real-time Amperage
 - Real-time Wattage
 - Minimum/Maximum/Average Voltage
 - Minimum/Maximum/Average Amperage
 - Minimum/Maximum/Average Wattage
 - Minimum/Maximum Run-time
 - Average Run-time
 - Last Run-time
 - Cycle/Event Counter
 - Run Time Counter (Hour Meter)
- Diagnostics Menu LED
- Initialize System Menu LED
- Run Limit Menu LED
- Alarm Delay Menu LED
- Power Delay Menu LED

2.14 SERVICEABILITY: The grinder pump core, including level sensor assembly, shall have two lifting handles connected to its top housing to facilitate easy core removal when necessary. The level sensor assembly must be easily removed from the pump assembly for service or replacement. All mechanical and electrical connections must provide easy disconnect capability for core unit removal and installation. Each EQD half must include a water-tight cover to protect the internal electrical pins while the EQD is unplugged. A pump push-to-run feature will be provided for field trouble shooting. The push-to-run feature must operate the pump even if the level sensor assembly has been removed from the pump assembly. All motor control components shall be mounted on a readily replaceable bracket for ease of field service.

2.15 OSHA CONFINED SPACE: All maintenance tasks for the grinder pump station must be possible without entry into the grinder pump station (as per **OSHA 1910.146**, permit-required confined spaces). *“Entry means the action by which a person passes through an opening into a permit-required confined space. Entry includes ensuing work activities in that space and is considered to have occurred as soon as any part of the entrant’s body breaks the plane of an opening into the space.”*

- 2.16 SAFETY:** The grinder pump shall be free from electrical and fire hazards as required in a residential environment. As evidence of compliance with this requirement, the completely assembled and wired grinder pump station shall be listed by Underwriters Laboratories, Inc., to be safe and appropriate for the intended use. UL listing of components of the station, or third-party testing to UL standard are not acceptable.

The grinder pump shall meet accepted standards for plumbing equipment for use in or near residences, shall be free from noise, odor, or health hazards, and shall have been tested by an independent laboratory to certify its capability to perform as specified in either individual or low pressure sewer system applications. As evidence of compliance with this requirement, the grinder pump shall bear the seal of NSF International. Third-party testing to NSF standard is not acceptable.

3.0 EXECUTION

- 3.01 FACTORY TEST:** Each grinder pump shall be submerged and operated for 1.5 minutes (minimum). Included in this procedure will be the testing of all ancillary components such as, the anti-siphon valve, check valve, discharge assembly and each unit's dedicated level controls and motor controls. All factory tests shall incorporate each of the above listed items. Actual appurtenances and controls which will be installed in the field shall be particular to the tested pump only. A common set of appurtenances and controls for all pumps is not acceptable. Certified test results shall be available upon request showing the operation of each grinder pump at two different points on its curve. Additional validation tests include: integral level control performance, continuity to ground and acoustic tests of the rotating components.

The **ENGINEER** reserves the right to inspect such testing procedures with representatives of the **OWNER**, at the **GRINDER PUMP MANUFACTURER'S** facility.

- 3.02 CERTIFIED SERVICE PROGRAM:** The grinder pump **MANUFACTURER** shall provide a program implemented by the **MANUFACTURER'S** personnel as described in this specification to certify the service company as an authorized serviced center. As evidence of this, the **MANUFACTURER** shall provide, when requested, sufficient evidence that they have maintained their own service department for a minimum of 30 years and currently employ a minimum of five employees specifically in the service department.

As part of this program, the **MANUFACTURER** shall evaluate the service technicians as well as the service organization annually. The service company will be authorized by the **MANUFACTURER** to make independent warranty judgments. The areas covered by the program shall include, as a minimum:

1. Pump Population Information — The service company will maintain a detailed database for the grinder pumps in the territory that tracks serial numbers by address.
2. Inventory Management — The service company must maintain an appropriate level of inventory (pumps, tanks, panels, service parts, etc.) including regular inventory review and proper inventory labeling. Service technicians will also maintain appropriate parts inventory and spare core(s) on service vehicles.
3. Service Personnel Certification — Service technicians will maintain their level-specific certification annually. The certifications are given in field troubleshooting, repair, and training.
4. Service Documentation and Records — Start up sheets, service call records, and customer feedback will be recorded and available by the service company.
5. Shop Organization — The service company will keep its service shop organized and pumps will be tagged with site information at all times. The shop will have all required equipment, a test tank, and cleaning tools necessary to service pumps properly.

- 3.03 DELIVERY:** All grinder pump core units, including level controls, will be delivered to the job site 100 percent completely assembled, including testing, ready for installation. Grinder pump cores will be shipped separately from the tanks. Installing the cores into the tanks is the only assembly step required and allowed due to the workmanship issues associated with other on-site assembly. Grinder pump cores must be boxed for ease of handling.
- 3.04 INSTALLATION:** Shall be per all **MANUFACTURER'S** installation instructions. User instructions shall be given to the homeowner.
- 3.05 START-UP AND FIELD TESTING:** The **MANUFACTURER** shall provide the services of qualified factory trained technician(s) who shall inspect the placement and wiring of each station, perform field tests as specified herein, and instruct the **OWNER'S** personnel in the operation and maintenance of the equipment before the stations are accepted by the **OWNER**.

All equipment and materials necessary to perform testing shall be the responsibility of the **INSTALLING CONTRACTOR**. This includes, as a minimum, a portable generator and power cable (if temporary power is required), water in each basin (filled to a depth sufficient to verify the high level alarm is operating), and opening of all valves in the system. These steps shall be completed prior to the qualified factory trained technician(s) arrival on site.

The services of a trained factory-authorized technician shall be provided at a rate of 40 hours for every 100 grinder pump stations supplied.

Upon completion of the installation, the authorized factory technician(s) will perform the following test on each station:

1. Make certain the discharge shut-off valve in the station is fully open.
2. Turn ON the alarm power circuit and verify the alarm is functioning properly.
3. Turn ON the pump power circuit. Initiate the pump operation to verify automatic "on/off" controls are operative. The pump should immediately turn ON.
4. Consult the Manufacturer's service manual for detailed start-up procedures.

Upon completion of the start-up and testing, the **MANUFACTURER** shall submit to the **ENGINEER** the start-up authorization form describing the results of the tests performed for each grinder pump station. Final acceptance of the system will not occur until authorization forms have been received for each pump station installed and any installation deficiencies corrected.

4.0 OPERATION AND MAINTENANCE

- 4.01 SPARE CORE:** The **MANUFACTURER** will supply one spare grinder pump core for every 50 grinder pump stations installed, complete with all operational controls, level sensors, check valve, anti-siphon valve, pump/motor unit, and grinder.
- 4.02 MANUALS:** The **MANUFACTURER** shall supply four copies of Operation and Maintenance Manuals to the **OWNER**, and one copy of the same to the **ENGINEER**.

END OF SECTION

WARRANTY PERFORMANCE CERTIFICATION

As a pre-bid certification requirement, each bidder shall provide a Warranty Performance Certification executed by the most senior executive officer, which certifies a minimum of a two (2) year warranty. They must further detail any exclusions from the warranty or additional cost items required to maintain the equipment in warrantable condition, including all associated labor and shipping fees, and certify that the manufacturer will bear **all** costs to correct original equipment deficiency for the effective period of the warranty.

I, _____, by and through my duly authorized signature below as its most senior operating executive, certify that _____ will provide a two (2) year warranty on grinder pump equipment manufactured and supplied by _____

_____ for the _____ project. I further certify that, other than failure to install equipment in accordance with manufacturer's instructions, no exclusions and/or cost items to maintain said equipment in warrantable condition, including labor, travel and shipping fees, exist except as detailed immediately below:

- EXCLUSIONS: 1. _____
 2. _____
 3. _____

COST ITEMS TO MAINTAIN EQUIPMENT IN WARRANTABLE CONDITION:	Required Frequency (mos)	Avg. monthly cost (\$) times warranty period
1. _____	_____	\$ _____
2. _____	_____	\$ _____
3. _____	_____	\$ _____
4. _____	_____	\$ _____
5. _____	_____	\$ _____

Total labor/material cost to maintain equipment in warrantable condition for warranty period (\$):

For any items not identified as exclusions or additional cost items above, OR for additional labor & material costs required to maintain equipment in warrantable condition that exceed the Avg. monthly cost (\$) detailed above, _____ will bear all costs to correct such original equipment deficiency for the effective period of the warranty including all applicable labor, travel and shipping fees.

Signature

Date

Title

MANUFACTURER'S DISCLOSURE STATEMENT

Note: To be completed if proposing an alternate

1.0 GENERAL:

1.01 General Description

Describe all non-conforming aspects to the specification:

1.04 Experience

List 10 low pressure sewer system installations *of the type of pump/station specified (progressive cavity type)* that have been in operation for a period of no less than ten years with a minimum of 100 pumps pumping into a "common" low pressure sewer system. Provide Name and Location, Contact Name, Phone Number, Number of Pumps, and Install Date for each.

1.05 Operating Conditions

Describe all non-conforming aspects to the specification:

1.06 Warranty

Fully state the manufacturer's warranty:

2.0 PRODUCT:

2.01. Pump

Describe all non-conforming aspects to the specification:

2.02. Grinder

Describe all non-conforming aspects to the specification:

2.03 Motor

Describe all non-conforming aspects to the specification:

2.05 Tank

Describe all non-conforming aspects to the specification:

2.07 Electrical Quick Disconnect

Describe all non-conforming aspects to the specification:

2.08 Check Valve

Describe all non-conforming aspects to the specification:

2.09 Anti-Siphon Valve

Describe all non-conforming aspects to the specification:

2.11 Controls

Describe all non-conforming aspects to the specification:

2.16 Safety

Describe all non-conforming aspects to the specification:

3.0 EXECUTION:

3.01. Factory Test

Describe all non-conforming aspects to the specification:

I attest that all questions are answered truthfully and all non-conforming aspects to the specifications have been described where requested.

Manufacturer: _____

By: _____ Date: _____
Name of Corporate Officer Signature

Title of Corporate Officer

Witness: _____ Date: _____
Name Signature



Environment One Corporation
2773 Balltown Road
Niskayuna, New York 12309
www.eone.com
A Precision Castparts Company

IH091

General Applications

The size, efficiency and operating economy of the IH091 make it your best choice for indoor installations for single dwellings, waterfront property and subdivision developments. The IH091 is ideally suited for new communities.

General Features

The IH091 is a complete unit that includes: the grinder pump, check valve, inlet and discharge valves, HDPE (high density polyethylene) tank and controls. The IH091 is packaged into a complete unit, ready for installation.

All solids are ground into fine particles, allowing them to pass easily through the pump, check valve and small diameter pipelines. Even objects that are not normally found in sewage, such as plastic, rubber, fiber, wood, etc. are ground into fine particles.

The 1 1/4-inch discharge connection is adaptable to any piping material, thereby allowing us to meet your local code requirements.

The tough, corrosion resistant tank is made of HDPE. The 91-gallon tank capacity is based on computer studies of water usage patterns and provides for additional storage.

The internal check valve assembly, located in the grinder pump, is custom designed for non-clog, trouble-free operation.

The grinder pump is automatically activated. It runs infrequently for very short periods. The annual energy

consumption is typically that of a 40-watt light bulb. The unit is designed for indoor installation.

Operational Information

Motor

1 hp, 1725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase.

Inlet Connections

4-inch PVC socket weld.

Discharge Connections

Pump discharge terminates in 1 1/4-inch NPT female thread. Can easily be adapted to 1 1/4-inch PVC pipe or any other material required by local codes.

Discharge*

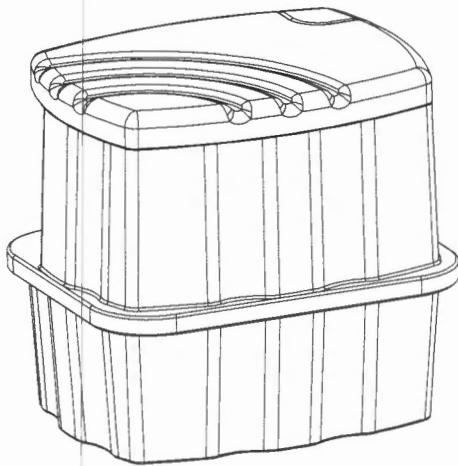
15 gpm at 0 psig

11 gpm at 40 psig

7.8 gpm at 80 psig

Overload Capacity

The maximum pressure that the pump can generate is limited by the motor characteristics. The motor generates a pressure well below the rating of the piping and appurtenances. The automatic reset feature does not require manual operation following overload.

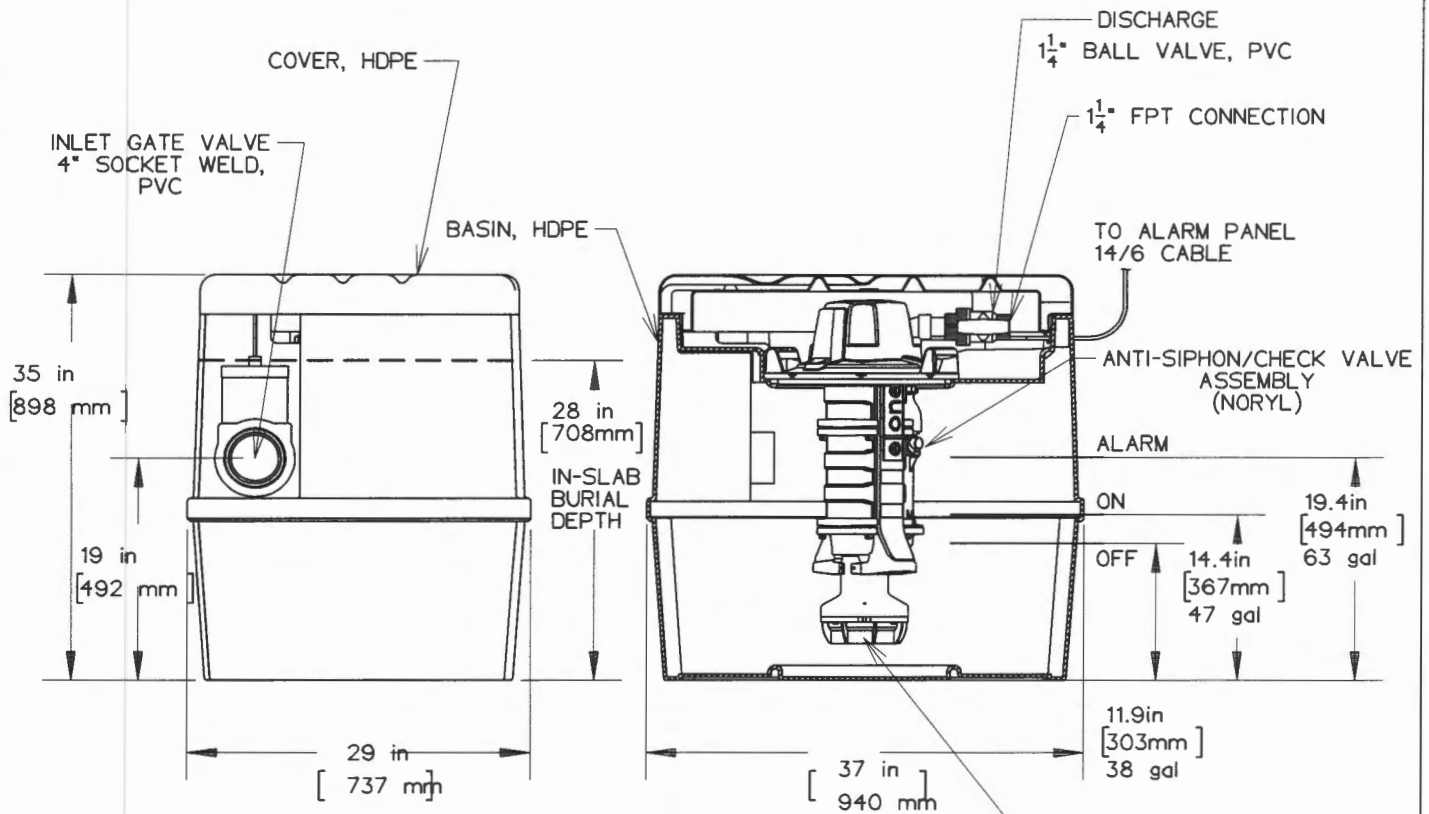


Patent Numbers: 5,752,315
5,562,254 5,439,180

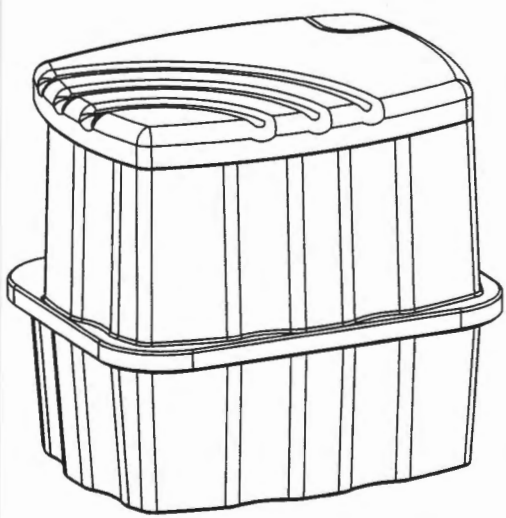
* Discharge data includes loss through check valve, which is minimal.

NA0056P01

IH091



SEMI-POSITIVE DISPLACEMENT TYPE PUMP DIRECTLY DRIVEN BY A 1 HP MOTOR



BASIN CAPACITY = 91 GALLONS



SGS		4-26-07	-	1/16
DR BY	CHK'D	DATE	ISSUE	SCALE



IH091 STATION, DETAIL SHEET

NA0056P02

CBL: 349 I00100 **Permit ID:** 2013-00162

Additional Comments:

1/31/2013-AMACHADO/Zoning:

Finished zoning review. Need a copy of Jennifer Fowler -Greaves deed. Recorded deed will have to follow the format for all deeds for this subdivision. Floor plans for first floor does not show the footprint of the porch.

2/1/2013-PD/DRC:

Sent review letter to Matt Brewer. Waiting for revised site plan.

2/1/2013-AMACHADO/Zoning:

Spoke to Matt Brewer. Matt emailed the Sprinkler permit application and a copy of the current deed. The current deed does not exactly match the required deed for each lot in the subdivision. He will add the bulkhead and porch to the floor plans and add the bulkhead to the site plan. I'm moving the permit forward in the review process but can't sign off yet.

2/5/2013-AMACHADO/Zoning:

Received revised site plan that shows bulkhead. Received revised floor plan that shows the porch (deck) on the first floor plan. Received copy of Jennifer Greaves' deed. The proposed bulkhead encroaches into the PWD easement. Need something in writing from the PWD stating that this is OK. Will need recorded deed that exactly matches the deed required by the subdivision before the certificate of occupancy is issued.

2/27/2013-JRIOUX/Building:

Met with Matt Brewer, he will submit Engineered Drawings from Truss Designer and front porch plans, prior to construction.

PLAN NOTES
 IT IS THE RESPONSIBILITY OF THE BUILDER OF THIS PROJECT TO SEE THAT IT IS BUILT IN COMPLIANCE WITH ALL OF THE STATE AND LOCAL CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION.

THE BUILDER AND OWNER WILL MAKE THE DECISIONS ON ALL OPTIONS ON THE HOME SUCH AS SIDING, ROOFING, WINDOW AND DOOR STYLES AND SIZES, TRIM DETAILS, FLOOR COVERINGS, CABINETS, APPLIANCES, DECK AND PORCH STYLES AND MATERIALS, LANDSCAPING DETAILS AND/OR ANY OTHER ITEMS NOT SPECIFIED ON THESE PLANS.

THE WINDOW AND DOOR LOCATIONS AND SIZES SHOWN ARE RECOMMENDATIONS ONLY AND MAY BE CHANGED AT THE DIRECTION OF THE BUILDER OR OWNER.

ALL BATHROOM WINDOWS MUST BE SAFETY GLASS. ALL BEDROOMS ARE TO HAVE AT LEAST ONE EGRESS WINDOW. THERE ARE WINDOWS AT WINDOW SEATS, OR IN STAIRWAYS THAT MUST BE SAFETY GLASS.

INSULATION INCLUDING THE BASEMENT MUST MEET THE REQUIREMENTS OF THE STATE AND/OR LOCAL CODES AT THE TIME OF CONSTRUCTION.

ALL SPANNING FRONTS (CIRCLES MARKED BY) ARE TO BE SOLIDLY BLOCKED TO THE FOUNDATION OR CARRYING MEMBER SUPPORT POST. ALL OPENINGS OVER 6' ARE TO HAVE DOUBLE JACKS SUPPORTING THE HEADERS, THE BEAMS, AND DOOR HEADERS IN BRICK WALLS ARE TO BE 13/16" UNLESS SPECIFIED DIFFERENTLY. ANY LAM BEAMS SHOWN ON THE PLAN ARE TO BE SPECIFIED BY THE SUPPLIER OR AN INDEPENDENT ENGINEER. ROOF AND/OR FLOOR JOISTS ARE TO BE ENGINEERED BY THE MANUFACTURER AND ARE TO BE INSTALLED AND BRACED ACCORDING TO THE MANUFACTURER'S DIRECTIONS.

STAIRS ARE TO BE MAX 1 3/4" RISE AND 11 1/4" TREAD WITH RAILINGS AT 36" OR AS LOCAL CODES DICTATE.

THE BUILDER WILL GO OVER THESE DRAWINGS AND VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND THAT THE MEASUREMENTS ARE WHAT THEY WANT. SHOULD ANY CHANGES BE NEEDED, WE WILL BE GLAD TO DO THEM BEFORE ANY CONSTRUCTION STARTS.

WE DO OUR BEST TO SEE THAT ALL DRAWINGS ARE ERROR FREE, HOWEVER, IF ANY ERRORS ARE FOUND, WE WILL BE HAPPY TO CORRECT THEM BEFORE ANY CONSTRUCTION STARTS.

WINDOWS SHOWN ON PLANS: A) DIMENSIONLESS, B) DIMENSIONLESS, C) DIMENSIONLESS, D) CASIM/TIMPERED, E) DIMENSIONLESS, G) DIMENSIONLESS, H) DIMENSIONLESS, I) DIMENSIONLESS, J) DIMENSIONLESS, K) DIMENSIONLESS, L) DIMENSIONLESS, M) DIMENSIONLESS, N) DIMENSIONLESS, O) DIMENSIONLESS, P) DIMENSIONLESS, Q) DIMENSIONLESS, R) DIMENSIONLESS, S) DIMENSIONLESS, T) DIMENSIONLESS, U) DIMENSIONLESS, V) DIMENSIONLESS, W) DIMENSIONLESS, X) DIMENSIONLESS, Y) DIMENSIONLESS, Z) DIMENSIONLESS.

WINDOW SCHEDULE

NO.	SIZE AND STYLE	ROUGH OPENING	QUAN.
(1A)			4
(1B)			2
(1C)			3
(1D)			2
(1E)			1
(1F)			1
(1G)			1
(1H)			1
(1I)			1

EXTERIOR DOOR SCHEDULE

NO.	SIZE AND STYLE	ROUGH OPENING	QUAN.
(1)	3 FRONT AND OFFICE ENTRIES		2
(2)	4' S. DRG. DOOR		1
(3)	3 - WALL TO GARAGE FIRE DOOR		1
(4)	3 OFFICE TO GARAGE FIRE DOOR		1
(5)	3 GARAGE SIDE DOOR		1
(6)	6'x7' GARAGE D.O.		1

INTERIOR DOOR SCHEDULE

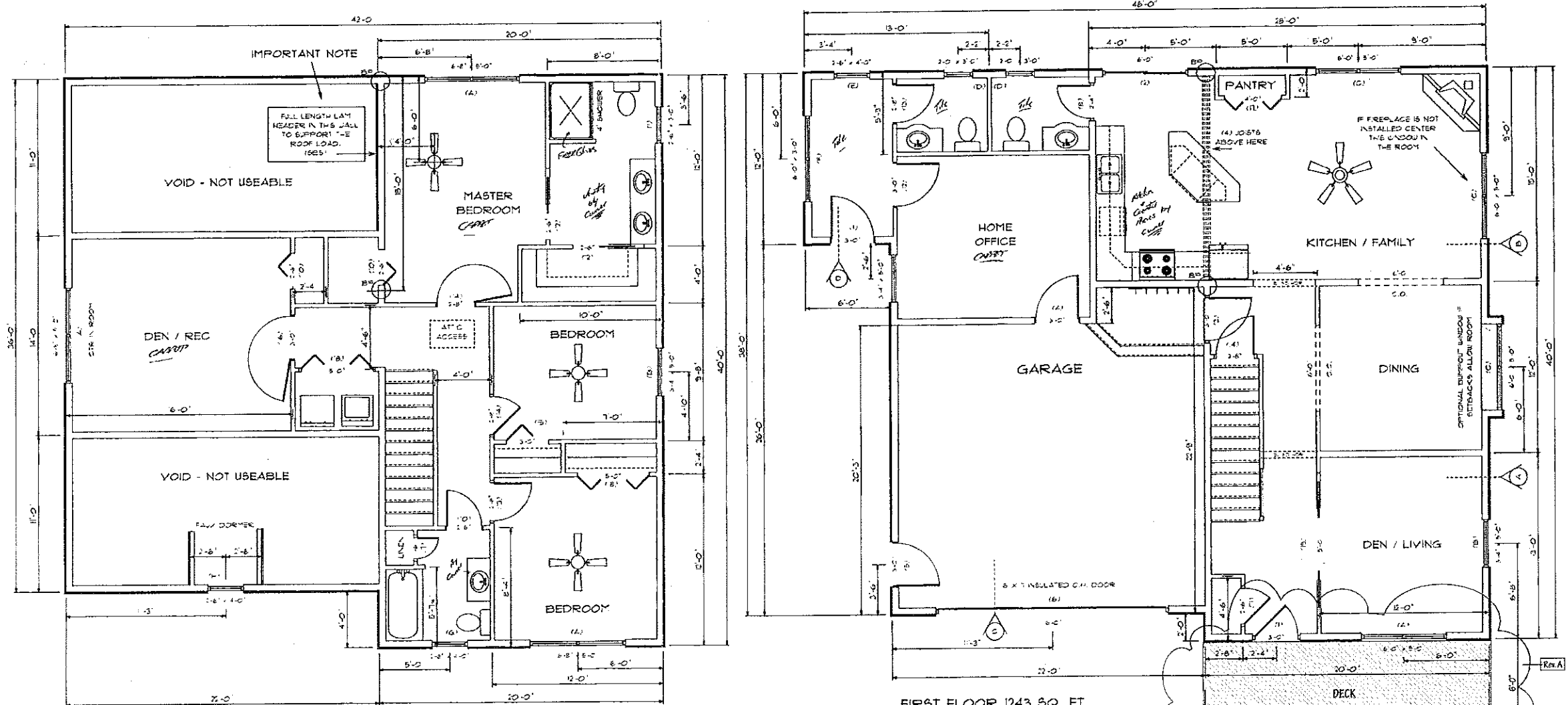
NO.	SIZE AND STYLE	ROUGH OPENING	QUAN.
(1)	1-6" L		1
(2)	2-4" R		1
(3)	2-6" B		2
(4)	2-5" L		1
(5)	2-5" R		1
(6)	2-6" RKT		2
(7)	2-8" L		2
(8)	2-8" R		3
(9)	3-0" B		1
(10)	3-0" L		1
(11)	4-0" B		1
(12)	6-0" B		2
(13)	6-0" DEL. PKT		1

VERIFY ALL WINDOW AND DOOR STYLES, SIZES, FINISHES, AND QUANTITIES BEFORE ORDERING. SOME DOORS ARE IN 1/2" WALLS AND SOME ARE IN 5/8" WALLS - BUILDER TO VERIFY.

RECEIVED

FEB - 5 2013

Dept. of Building Inspections
 City of Portland Maine



FIRST FLOOR 1243 SQ. FT.
 SECOND FLOOR 1118 SQ. FT.
 GARAGE 465 SQ. FT.

THESE PLANS ARE FOR BIDS APPRAISAL OR CONSTRUCTION FOR THIS ONE PROJECT ONLY FOR THE ORIGINAL NAME OR ADDRESS ON THESE PLANS. THEY ARE NOT TO BE USED FOR BUILDING PERMITS.

IF THIS STAMP IS NOT RED, THIS IS AN ILLEGAL SET OF PLANS. USE OR REPRODUCTION OF THESE PLANS WITHOUT PERMISSION IS PROHIBITED BY FEDERAL AND STATE LAWS. TO OBTAIN LEGAL COPIES OF THESE PLANS, CONTACT JOHN OR POHNA CALL 207-892-2810.

© J. CALL DESIGN

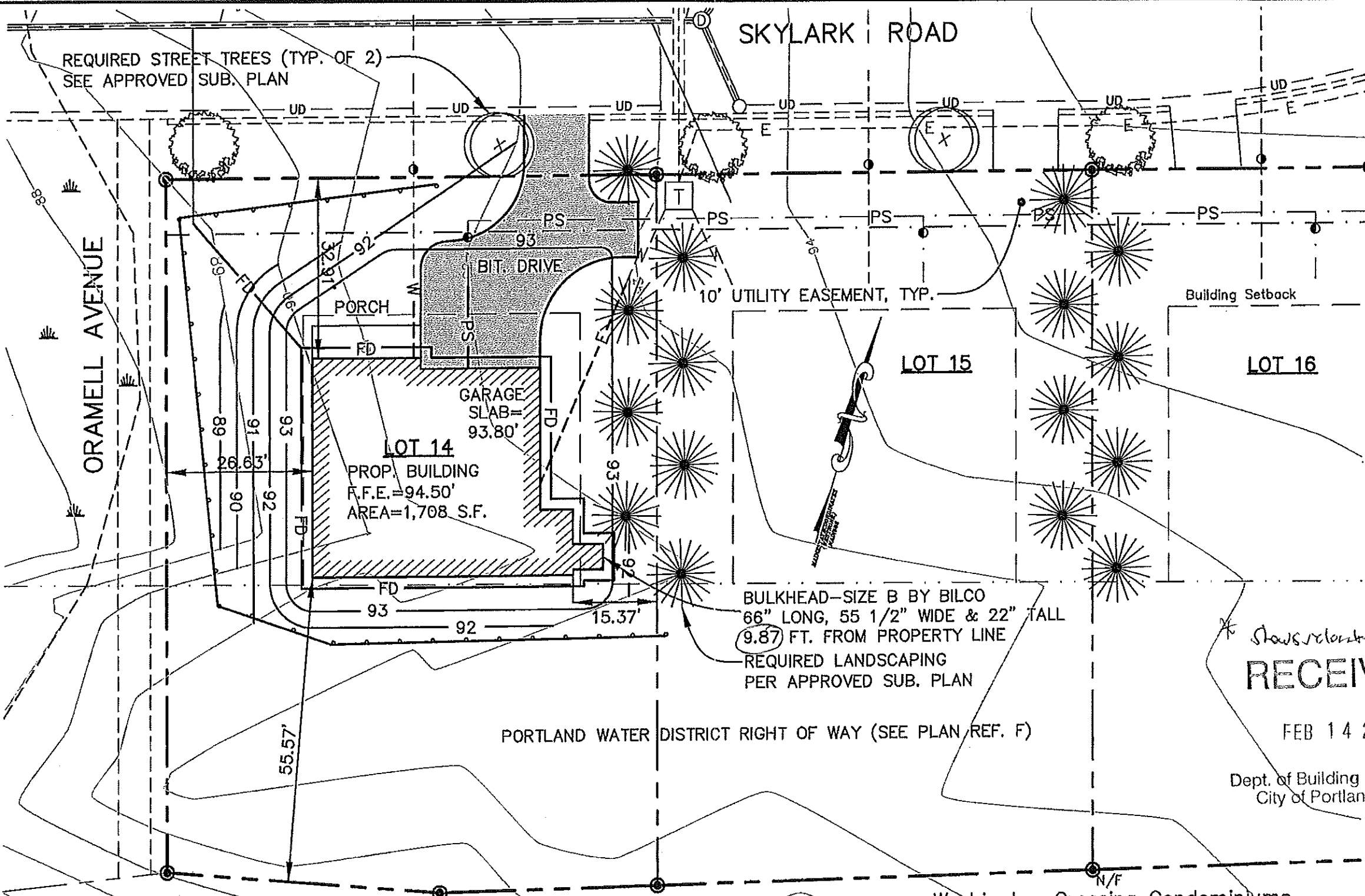
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J. CALL DESIGN
 PLANNING AND DESIGN SERVICES FOR RESIDENTIAL AND COMMERCIAL
 151 ROOSEVELT TRAIL, WINDHAM, ME. 207-892-2810

SCALE 1/4" = 1'
 DRAWN BY J. CALL
 DATE 11/2012 PAGE 2 OF 4

BY ACCEPTING THESE DRAWINGS, OWNERS REALIZE THAT THEY ARE FOR PICTORIAL REFERENCE ONLY. THEY FURTHER UNDERSTAND THAT J. CALL DESIGN IS NOT AN ARCHITECTURAL OR ENGINEERING COMPANY. THEY FURTHER UNDERSTAND THAT IT IS THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THIS PROJECT IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION. THE OWNERS AND THE BUILDER WILL GO OVER THESE DRAWINGS BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND TO VERIFY THAT ALL MEASUREMENTS ARE WHAT THEY WANT. IF ANY ERRORS ARE FOUND, JCD WILL GLADLY CORRECT THEM BEFORE CONSTRUCTION STARTS.

GREAVES RESIDENCE
 106 SKYLARK AVE., PORTLAND, ME.
 DRAWING FLOOR PLANS



REQUIRED STREET TREES (TYP. OF 2)
SEE APPROVED SUB. PLAN

SKYLARK ROAD

ORAMELL AVENUE

LOT 14
PROP. BUILDING
R.F.E. = 94.50'
AREA = 1,708 S.F.

GARAGE
SLAB =
93.80'

LOT 15

LOT 16

10' UTILITY EASEMENT, TYP.

Building Setback

BULKHEAD—SIZE B BY BILCO
66" LONG, 55 1/2" WIDE & 22" TALL
9.87 FT. FROM PROPERTY LINE
REQUIRED LANDSCAPING
PER APPROVED SUB. PLAN

PORTLAND WATER DISTRICT RIGHT OF WAY (SEE PLAN REF. F)

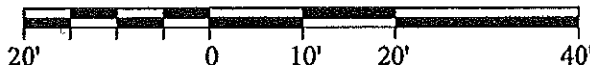
Washington Crossing Condominiums

Shows related to which
RECEIVED
FEB 14 2013
Dept. of Building Inspections
City of Portland Maine

LEGEND

SYMBOL	DESCRIPTION
NA	LIMITS OF WETLANDS NOW OR FORMERLY ABOVE GROUND
AA	BUILDING SETBACKS
---	WATER SERVICE
---	SANITARY SEWER
---	STORM DRAIN
---	PRESSURE SEWER
---	SILT FENCE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	UTILITY POLE
---	SANITARY SEWER MANHOLE
---	CATCH BASIN
---	5/8" CAPPED IRON ROD SET (PLS #2190)

Scale: 1" = 20'



NOTES

1. OWNER:	JENNIFER GREAVES 581 ALLEN AVENUE PORTLAND, MAINE 04103
2. APPLICANT:	M.R. BREWER INC. 51 BELL STREET PORTLAND, MAINE 04103
3. ENGINEER:	LESTER S. LIBBY JR., PLS #2190 BERRY HUFF McDONALD MULLIGAN 28 STATE STREET GONIAVA, MAINE
4. SURVEYOR:	ROBERT C. LIBBY JR., PLS #2190 BERRY HUFF McDONALD MULLIGAN
5. WETLANDS:	JAMES LOGAN ALBERT FRICK ASSOCIATES GONIAVA, MAINE
6. DEED REFERENCES:	BC 29584, PG. 107
7. TAX MAP REFERENCE:	HMSW 348 001

8. ZONING: R-3 RESIDENTIAL ZONE

9. PROJECT AREA:	11,832 S.F.
10. PROPOSED USE:	1 SINGLE FAMILY HOUSE LOT
11. MINIMUM STANDARDS:	LOT SIZE - 6,500 S.F. FRONTAGE - 20' SETBACKS - 25' FRONT AND REAR 14' SIDE (2-STORY)
12. SEWER SERVICE:	PUBLIC
13. WATER SERVICE:	PUBLIC
14. ELECTRIC/TELEPHONE:	UNDERGROUND
16. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE EROSION PREVENTION PROVISIONS OUTLINED IN THE MAINE EROSION CONTROL AND SEDIMENTATION CONTROL, DMP'S, LATEST REVISION.	
18. PLAN REFERENCES:	A. PORTLAND HIGHWAYS PORTLAND CUMBERLAND COUNTY, MAINE OWNED BY H.R. LODGE LAND CO. INC., DATED JULY 22, 1924 BY ERNEST W. BRANCH CIVIL ENGINEER AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 16, PAGE 10. B. THE HOMESTEADS PORTLAND, MAINE OWNED BY THE CITY AND SUBURBAN LAND TRUST DATED SEPTEMBER 1921 BY E.C. JORDAN & COMPANY, AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 14, PAGE 70. C. PLAN OF HANSON MANOR PORTLAND, MAINE FOR CHARLES M. HANSON DATED MARCH 1891 BY GEORGE WHEATEN AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 87, PAGE 89. D. STANDARD BOUNDARY SURVEY PENWELL AVENUE PORTLAND, MAINE FOR OVERSIGHT PROPERTIES DATED 8/30/01 BY TITCOB ASSOCIATES. E. AMENDED MASTER PLAN OF WASHINGTON CROSSING CONDOMINIUMS ALLEN AVENUE PORTLAND, MAINE FOR ALO DEVELOPMENT CORP. DATED 10/10/97 BY SEBAGO TECHNICS AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 200, PAGE 91. F. PLAN OF RIGHT OF WAY TAKEN BY THE PORTLAND WATER DISTRICT PORTLAND, MAINE, DATED APRIL 27, 1964 BY THE PORTLAND WATER DISTRICT PLAN NO. D-38. G. NORTHWOOD CONDOMINIUMS PORTLAND, MAINE FUTURE LAND PLUSES FOR RISBARA CONSTRUCTION CO. INC. DATED 8/2/83 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 139, PAGE 61. H. AMENDMENT TO AN APPROVED SUBDIVISION PLAN DATED JULY 22, 2008, SKYLARK COMMONS, SKYLARK ROAD AND COOLIDGE AVENUE, PORTLAND BY BHZM FOR FRANK DEONATO SR. DATED DECEMBER 2001 WITH REVISIONS THROUGH SEPTEMBER 24, 2010 AND RECORDED IN THE REGISTRY OF DEEDS AS PLAN BOOK 210 PAGE 345.

17. BENCHMARK:
PK NAIL FOUND IN UTILITY POLE #13 AT THE NORTHWESTERLY CORNER OF FEARNESS DRIVE AND SKYLARK DRIVE, ELEV. = 100.02 (OVHD 1824), BASED ON CITY BENCHMARK TOP OF 3" OFFSET MONUMENT ON WESTERLY SIDE OF ALLEN AVENUE AT 1ST ANGLE POINT, SOUTHERLY OF WASHINGTON AVE., ELEV. 83.049' (OVHD 1829).

COORDINATES:
BEARING AND NORTH ORIENTATION SHOWN HEREON ARE BASED UPON MAINE STATE COORDINATES SYSTEM WEST ZONE (NAD 1983), USING CITY OF PORTLAND POINTS 1125-48-1962 AND 1125-48-1960.

18. LAND DISTURBANCE: 6,200 S.F.

19. STREET STATUS: SKYLARK ROAD-UNACCEPTED

20. SOIL TYPE: BELGRADE (HSO B)

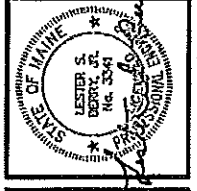
I CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS TECHNICAL STANDARDS OF PRACTICE FOR A STANDARD BOUNDARY SURVEY WITH THE FOLLOWING EXCEPTIONS:

1. NO SURVEYORS REPORT

ROBERT C. LIBBY JR. PLS #2190

REVISION

NO.	DATE	DESCRIPTION
1	1/29/13	Show Footprint Easement
2	2/14/13	Revisions Per City Comments
3	2/27/13	Revisions Based Per City Comments



BHZM
Bertoff, Luff, McDonald, Milligan, Inc.
Engineers, Surveyors
28 State Street
Portland, Maine 04103
Tel: (207) 877-5259

FOR
M.R. Brewer Inc.
51 Bell Street
Portland, Maine 04103

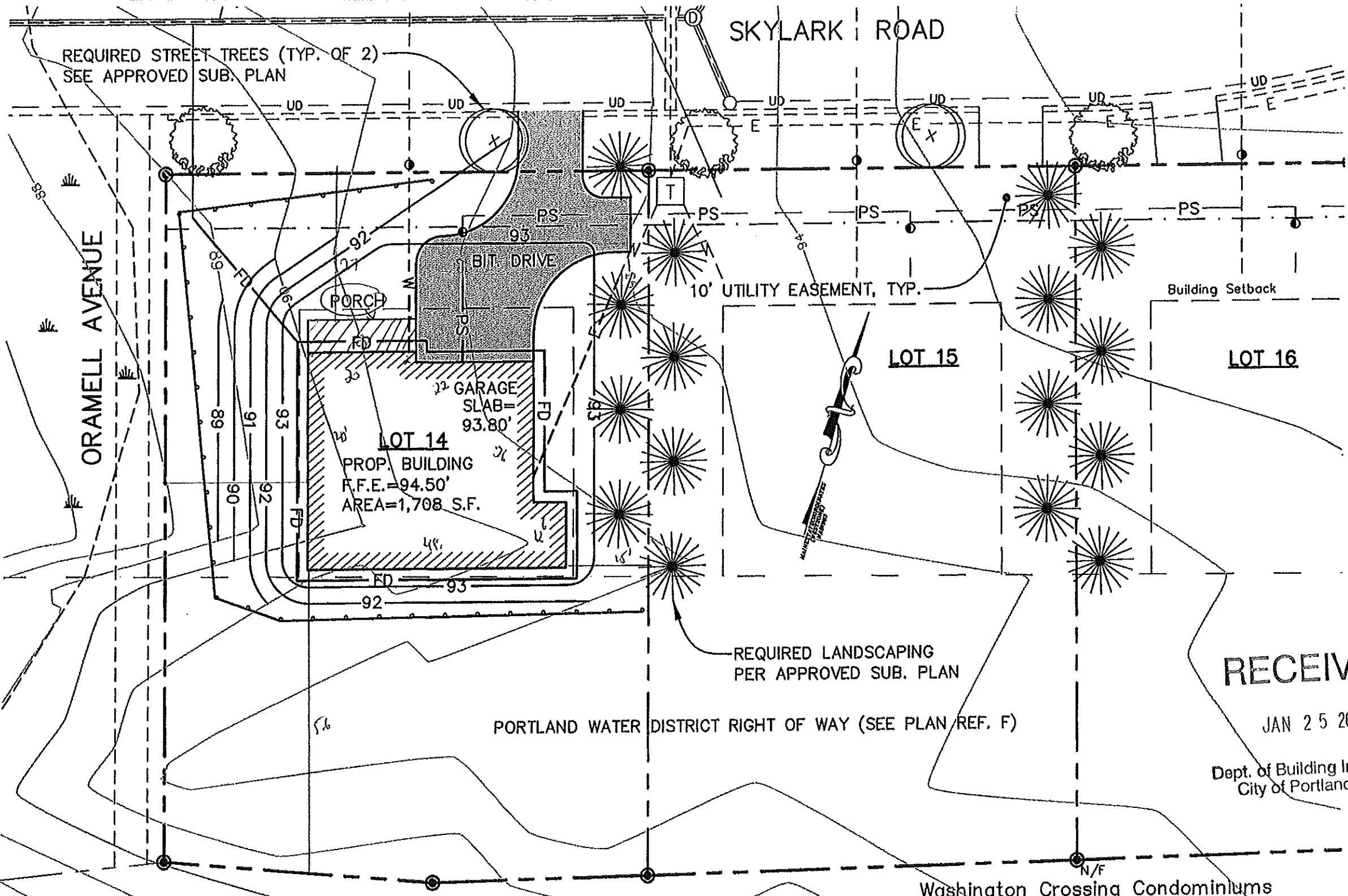
SITE PLAN-LOT 14
SKYLARK COMMONS
SKYLARK ROAD AND COOLIDGE AVENUE
PORTLAND, MAINE

DESIGNED	DATE
A. Morrill	Oct. 2012
DRAWN	SCALE
A. Morrill	As Noted
CHECKED	JOB. NO.
R. Libby	12103

SHEET
1

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SYMBOL DESCRIPTION

--- (dashed)	LIMITS OF WETLANDS
--- (dotted)	HOW OR FORMERLY ABOVE GROUND
--- (dash-dot)	BUILDING SETBACKS
--- (long dash)	WATER SERVICE
--- (short dash)	BANITARY SEWER
--- (dash-dot-dot)	STORM DRAIN
--- (long dash-dot)	PRESSURE SEWER
--- (dash-dot-dot-dot)	SILT FENCE
--- (dotted)	EXISTING CONTOUR
--- (dashed)	PROPOSED CONTOUR
--- (dash-dot)	UTILITY POLE
--- (dash-dot-dot)	SANITARY SEWER MANHOLE
--- (dash-dot-dot-dot)	CATCH BASIN
--- (dash-dot-dot-dot-dot)	5/8" CAPPED IRON ROD SET (PLS #2190)

Scale: 1" = 20'

NOTES

- OWNER: FRANK DICHIATO SR. 87 SKYLARK ROAD PORTLAND, MAINE
- ENGINEER: LESTER S. BERRY, PE #3341 BERRY HUFF MOODRARD MILLIGAN 28 STATE STREET OORHAM, MAINE
- SURVEYOR: ROBERT G. LIBBY JR., PLS #2190 BERRY HUFF MOODRARD MILLIGAN OORHAM, MAINE
- WETLANDS: JAMES LOGAN ALBERT FRICK ASSOCIATES OORHAM, MAINE
- DEED REFERENCER: BK 3192, PG. 374 BK 3086, PG. 363 BK 10072, PG. 163 BK 2888, PG. 324 BK 23106, PG. 98
- TAX MAP REFERENCER: MAP 347, LOTS 1-3 AND 8-15, BLOCK D MAP 348, LOTS 1-5, BLOCK I MAP 349, LOTS 1-2 & 4-8 & 8-16, BLOCK H MAP 345, LOTS 7-12, BLOCK G MAP 344, LOTS 2-7, BLOCK A

7. ZONING: R-3 RESIDENTIAL ZONE

8. PROJECT AREA: 11,632 S.F.

9. PROPOSED USE: 1 SINGLE FAMILY HOUSE LOT

10. MINIMUM STANDARDS: LOT SIZE - 6,500 S.F. FRONTAGE - 50' SETBACKS - 25' FRONT AND REAR (1' SIDE (2-STORY))

11. SEWER SERVICE: PUBLIC

12. WATER SERVICE: PUBLIC

13. ELECTRIC/TELEPHONE: UNDERGROUND

14. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE EROSION PREVENTION PROVISIONS OUTLINED IN THE MAINE EROSION CONTROL AND SEDIMENTATION CONTROL, BMP'S, LATEST REVISION.

15. PLAN REFERENCER:

A. PORTLAND HIGHLANDS PORTLAND, CUMBERLAND COUNTY, MAINE OWNED BY HIL LOWE LAND CO. INC. DATED JULY 22, 1923 BY ERNEST W. BRANCH CIVIL ENGINEER AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 16, PAGE 10.

B. THE HOMESTEADS PORTLAND, MAINE OWNED BY THE CITY AND SUBURBAN LAND TRUST DATED SEPTEMBER 1921 BY E.G. JORDAN & COMPANY, AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 14, PAGE 70.

C. PLAN OF HANSON MANOR PORTLAND, MAINE FOR CHARLES M. HANSON DATED MARCH 1961 BY GEORGE WHEATON AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 87, PAGE 88.

D. STANDARD BOUNDARY SURVEY PENNELL AVENUE PORTLAND, MAINE FOR DIVERSIFIED PROPERTIES DATED 6/30/01 BY TITCOMB ASSOCIATES.

E. AMENDED MASTER PLAN OF WASHINGTON CROSSING CONDOMINIUMS ALLEN AVENUE PORTLAND, MAINE FOR ALC DEVELOPMENT CORP. DATED 10/10/97 BY SERGIO TEBERAS AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 204, PAGE 81.

F. PLAN OF RIGHT OF WAY TAKEN BY THE PORTLAND WATER DISTRICT PORTLAND, MAINE, DATED APRIL 27, 1954 BY THE PORTLAND WATER DISTRICT PLAN NO. D-36.

G. NORTHWOOD CONDOMINIUMS PORTLAND, MAINE FUTURE LAND PHASES FOR RESHARA CONSTRUCTION CO. INC. DATED 6/2/83 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 136, PAGE 81.

16. BENCHMARK: PK NAIL FOUND IN UTILITY POLE #13 AT THE NORTHWESTELY CORNER OF HEDDERSSY DRIVE AND SKYLARK DRIVE, ELEV.=100.02 (MVD 1929). BASED ON CITY BENCHMARK TOP OF 3" OFFSET MONUMENT ON WESTELY SIDE OF ALLEN AVENUE AT 1ST ANGLE POINT, SOUTHWELY OF WASHINGTON AVE., ELEV. 83.044 (MVD 1929).

COORDINATES: BEARING AND NORTH ORIENTATION BEHON HENSON ARE BASED UPON MAINE STATE COORDINATED SYSTEM WEST ZONE (MAD 1983), USING CITY OF PORTLAND POINTS 1125-48-1992 AND 1125-48-1993.

17. LAND DISTURBANCE: 6,500 S.F.

18. STREET STATUS: SKYLARK ROAD-ACCEPTED

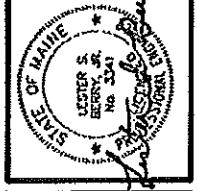
I CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS TECHNICAL STANDARDS OF PRACTICE FOR A STANDARD BOUNDARY SURVEY WITH THE FOLLOWING EXCEPTIONS:

- NO SURVEYORS REPORT

ROBERT G. LIBBY JR.

ROBERT G. LIBBY JR. PLS #2190

NO.	DATE	REVISION DESCRIPTION
1	1/8/13	Issue Finalment Revision



BH2M
 Barry, Huff, McDonald, Milligan Inc.
 Engineers, Surveyors
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 Oorham, Maine 04268
 Tel: (207) 869-3771
 Fax: (207) 869-3750

RECEIVED
 JAN 25 2013
 Dept. of Building Inspections
 City of Portland Maine

SITE PLAN-LOT 14
 SKYLARK COMMONS
 SKYLARK ROAD AND COOLIDGE AVENUE
 PORTLAND, MAINE

DESIGNED	DATE
A. Morrill	Oct. 2012
DRAWN	SCALE
A. Morrill	As Noted
CHECKED	JOB. NO.
R. Libby	12108

SHEET
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