

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 02-0278	Issue Date: <b>JUN 28 2002</b>	CBL 347 C039001
-----------------------	-----------------------------------	--------------------

Location of Construction: 1476 Washington Ave	Owner Name: Hurtubise Dana P &	Owner Address: 210 Coyle St	Phone: 773-0097
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Dwellings	Zone: <b>R-3</b>

Past Use: <del>Single</del> Family <b>Two</b>	Proposed Use: <b>Two D.U</b> Single Family / Replace summer kitchen stone foundation with new concrete foundation. Replace 16' x 24' with 16' x 34' structure. <i>legal Zunit per microfiche</i>	Permit Fee: \$163.00	Cost of Work: \$20,000.00	CEO District: 2
Proposed Project Description: Replace Foundation & Rebuild 16' x 34' Structure.		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied		INSPECTION: Use Group: <b>R-3</b> Type: <b>5-B</b> <b>BOCA 1999</b>
		Signature: <i>N/A</i>		Signature: <i>CM</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 03/29/2002	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Date: <i>5/29/02</i>	Date: _____	Date: _____	Date: _____

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6/27/02 - Owner addressed  
the following & agreed to  
do all:

- ① 4" floor ✓ - Will be 4"
- ② Anchor bolts ✓ - 6' oc
- ③ Drain tile w/fabric -
- ④ 2x10 Rafter - 14'-6" span } Rafter will be 2x12-16" oc
- ⑤ Headers - All - 3-2x10's - no openings over 3'-0"
- ⑥ Stairs to outside ✓ - OK - brought in sketch
- ⑦ Smoke S - will update building & add in bedrooms
- ⑧ Egress Windows - will be in bedrooms
- ⑨ 1 hour between floors ✓  
OK will do. left message  
to call -  
Spoke w/his  
wife.

Application ID Number: 2-0278

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 4/4/02 - actually on hold - I don't have enough info - see letter - What is a summer kitchen? - what is the use? I need floor plans and an accurate plot plan - spoke on phone with D.H. And re-explained my letter  
5/29/02 met with owner - received more information that I

Approval Date: 05/29/2002

Given On Date: 04/02/2002

OK to Issue Permit    Name: Marge Schmuckal    Date: 05/29/2002    Date 2: [ ]

**Conditions Section:**

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.

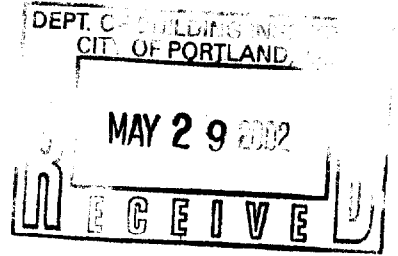
This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

Create Date: 04/01/2002 By: gg    Update Date: 05/29/2002 By: mes

Garage 24x26

Addition 16x34



27 Feet

53 Feet

25' to PL Per D.H.

Garage 24 x 26

26'

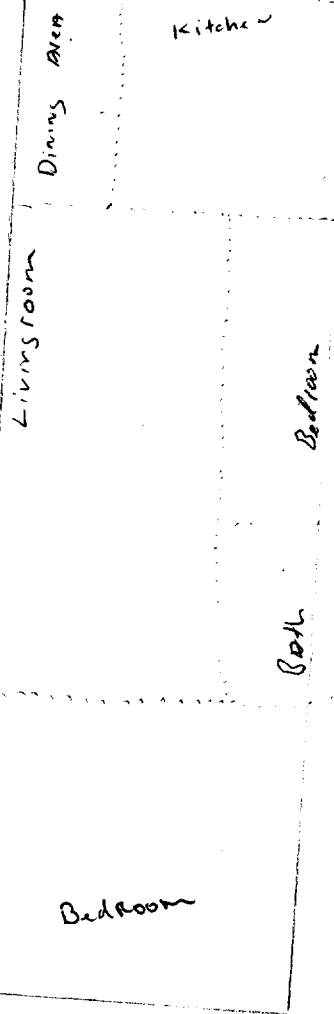
Addition TO Replace old Building which was 18 x 24

16 x 34

2 Bedrooms 1st 2 story proposed see floor plan

30 Feet

R-3 Zone  
 Rear: 25' req - 53' shown  
 Side: 14' req - 30' shown  
 Front: 25' req - 97' / 81' shown



LAWN

LAWN

Driveway

9x'

13,200# x 256 = 3,300#

24 x 26 = 624  
 16 x 34 = 544  
 21 x 44 = 924  
 2092#

Street Washington Ave

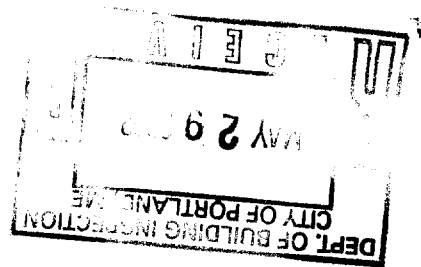
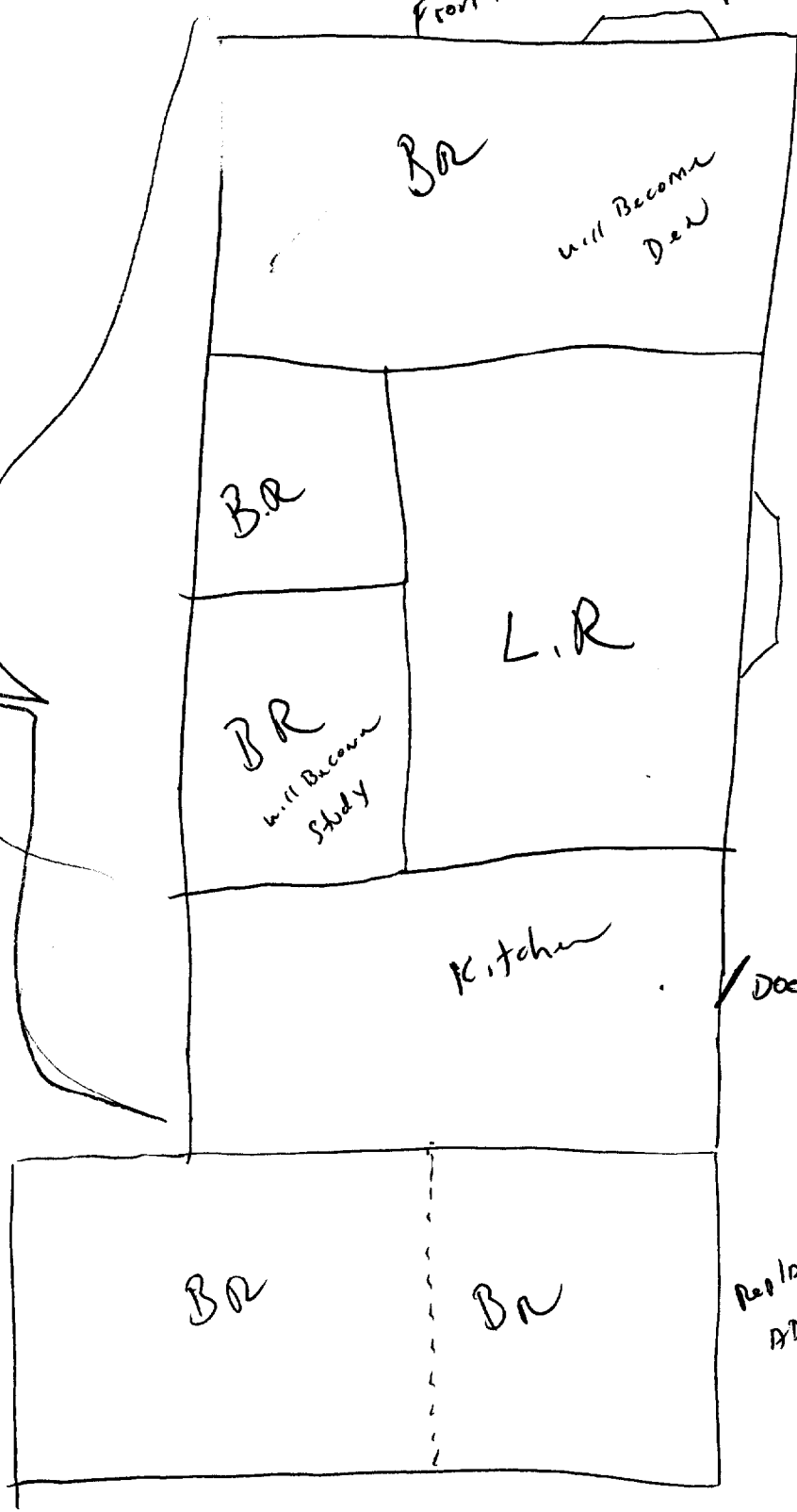
First Floor

917 W 19th St

Front Door

1st Floor

EXIST. BR'S

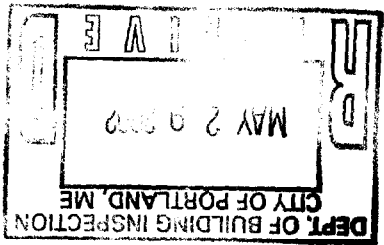
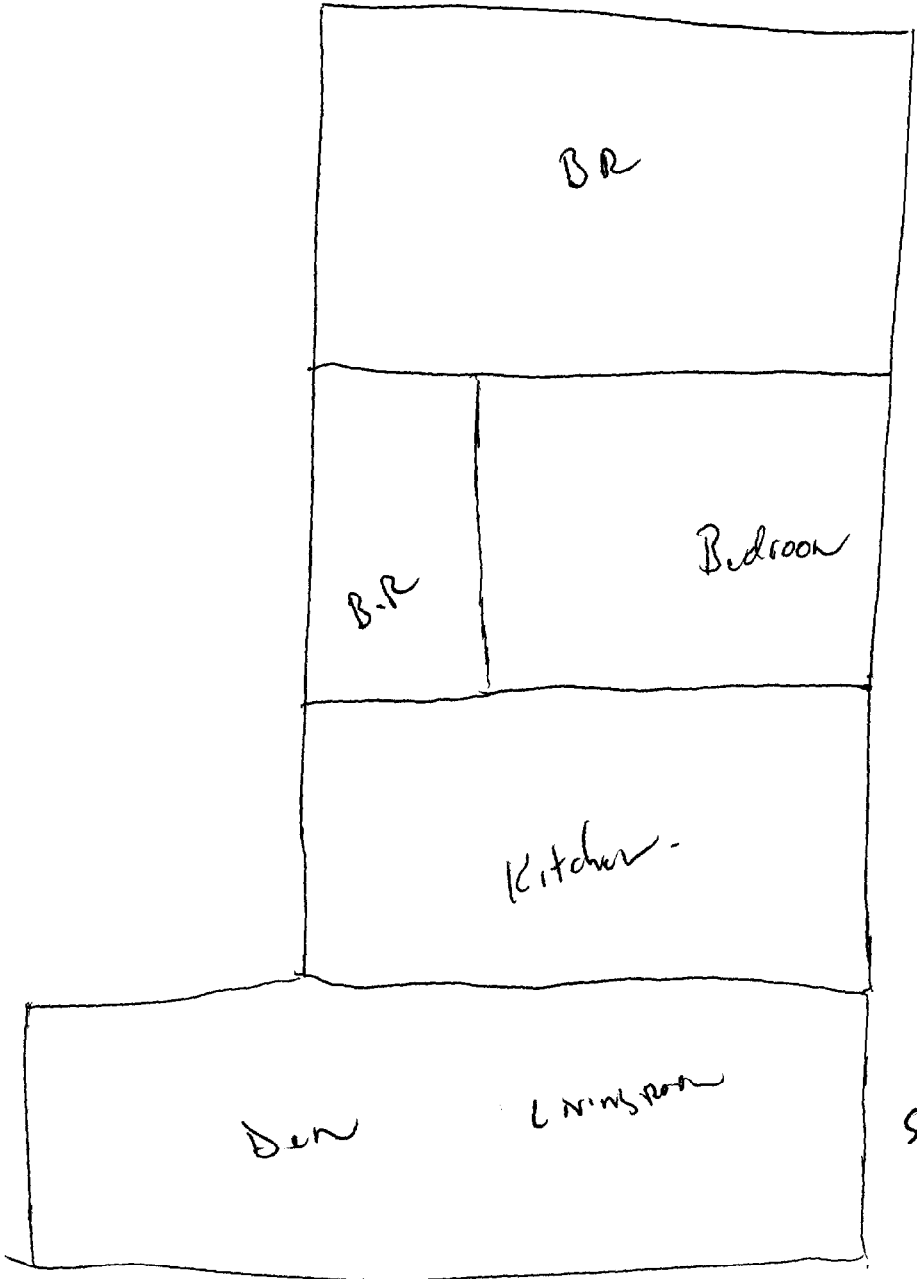


Replacement Boil/Din  
ADD Two Bedrooms

Back

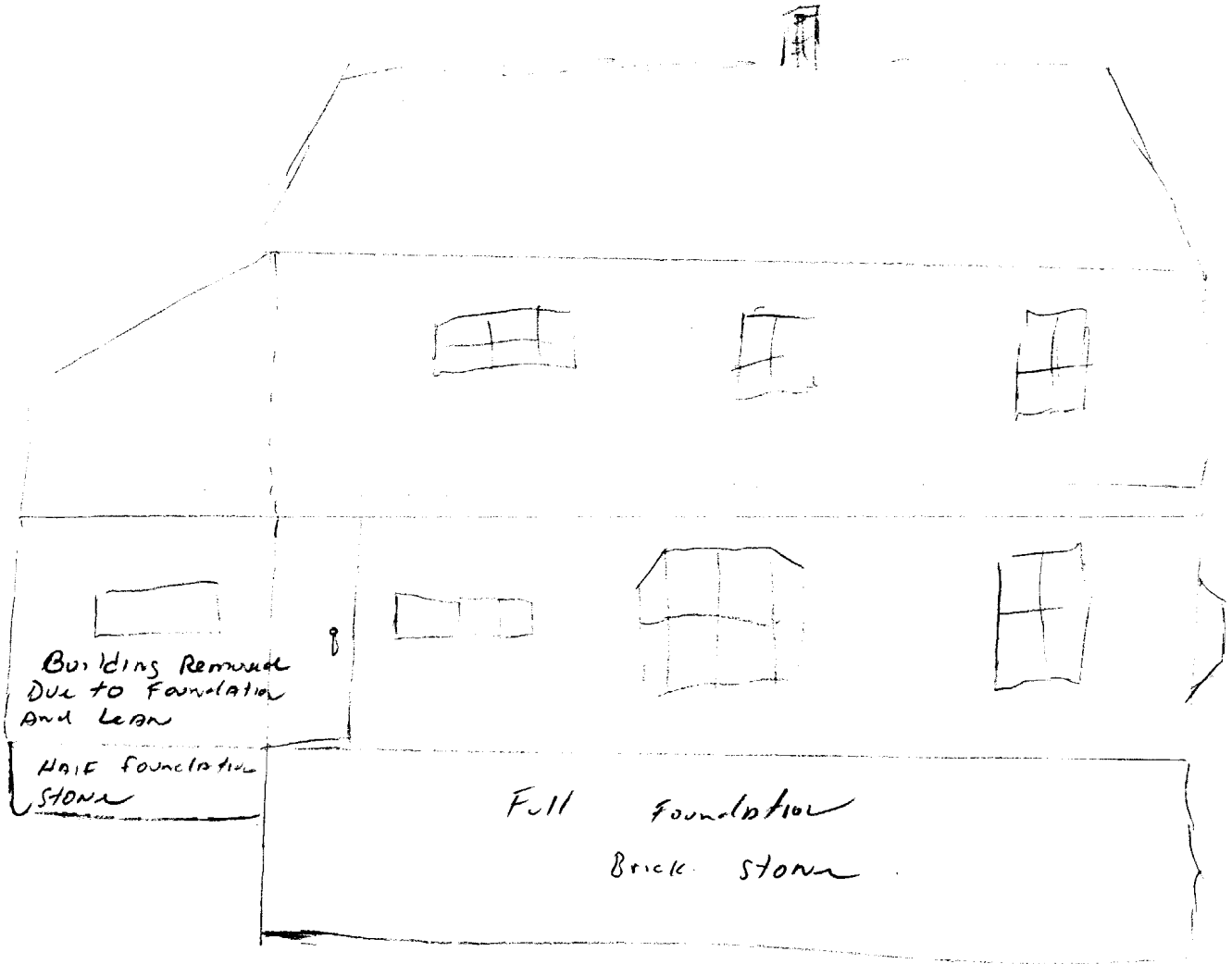
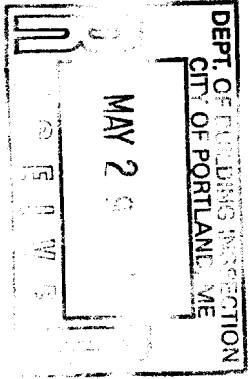
Second floor

ADDITION



Second floor  
Addition.

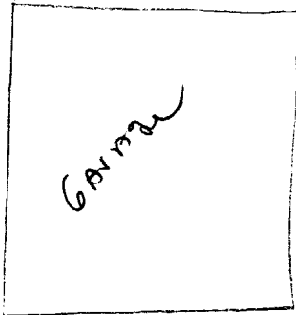
Set Back



Building Removed  
Due to Foundation  
And Lean

Half Foundation  
Stone

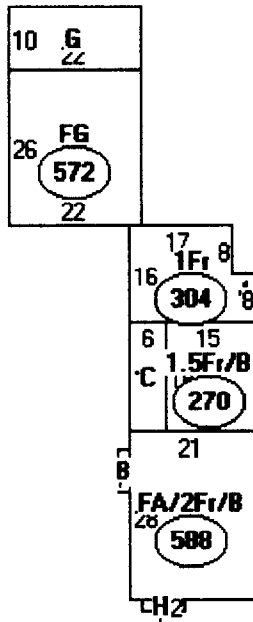
Full Foundation  
Brick Stone



Garage

Building at end of house removed was once called a summer kitchen  
 people would cook in here to keep house cool in summer  
 later they were converted to living room - dens. Bedrooms  
 ours was used as a bedroom and living room at times

Washington Ave



Descriptor/Area

- A: FA/2Fr/B  
588 sqft
- B: FBAY  
14 sqft
- C: EP/B  
108 sqft
- D: 1.5Fr/B  
270 sqft
- E: 1Fr  
304 sqft
- F: FG  
572 sqft
- G: WD  
220 sqft
- H: FBAY  
14 sqft

1  
28  
16

44 x 21





**CITY OF PORTLAND**

April 4, 2002

Dana Hurtubise  
210 Coyne Street  
Portland, ME 04103-4006

RE: 1476 Washington Avenue – R-3 zone – 347-C-039

Dear Mr. Hurtubise,

I am in receipt of your permit application to replace a section of structure that has already been demolished. I am confused about the proposed use of this structure. I found no floor plans attached to your submittal. I will require floor plans showing what the use of these floors are.

I am also uncertain as to what a "summer kitchen" is. I am unfamiliar with that term. Could you explain in writing just exactly what a summer kitchen is? This also makes me question as to what the full use of this property is. Could you please relate in this same letter to me as to the full use of this property? Your permit is stating that this is considered a single family. Under the Zoning Ordinance the number of kitchen facilities denote the number of dwelling units.

I will also need an accurate site plan. The one that was submitted can not be accurate. The rear setback given on this plan shows 150' from the rear of the building to the rear property line. The Assessor's plans show the entire lot to be 150' deep. Therefore the setback can not be the same length.

Your permit will be on hold until I receive this information. If you have any questions, please call.

Very truly yours,

Marge Schmuckal  
Zoning Administrator

*met with  
Dana Hurtubise  
5/29/02  
she submitted  
two floor plans*

*Kitchen not being replaced*

*Two  
units per  
municipal*

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1476 Washington AVE</u>		
Total Square Footage of Proposed Structure <u>600 sq. ft</u>	Square Footage of Lot <u>APPRX</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>347</u> Block# <u>C</u> Lot# <u>039</u>	Owner: <u>DANA HURTUBISE</u>	Telephone: <u>773 0097</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>20,000</u> Fee: \$
Current use: <u>Replace old Summer Kitchen &amp; fill foundation with structure</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Replace Summer Kitchen foundation with new</u> Project description: <u>Foundation structure</u>		
Contractor's name, address & telephone: <u>xx call</u>		
Who should we contact when the permit is ready: <u>DANA HURTUBISE 7730097</u>		
Mailing address: <u>210 COYLE ST PORTLAND, ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Dana H</u>	Date: <u>03/25/02</u>
---------------------------------------	-----------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**

**H**  
Dana P. Hurtubise  
210 Coyle St.  
Portland, ME 04103-4006

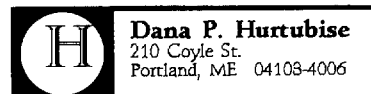
Inspection Services  
Michael J. Nugent  
Manager

Department of Urban Development  
Joseph E. Gray, Jr.  
Director



## CITY OF PORTLAND

September 26, 2001



Mr. Dana Hurtubise  
210 Coyle St.  
Portland, Maine 04103

RE: Dilapidated / Unsafe Building

CBL: 347-C-039

### **Certified Mail Receipt #7099 3400 0019 5716 2254**

Dear Mr. Hurtubise:

An evaluation of your property at 1476 Washington Ave. on September 26, 2001 revealed that the structure fails to comply with Chapter 6, Article V. of the Code of Ordinances of the City of Portland. The rear portion of the house must be repaired or removed within 30 days from September 27, 2001.

Sec. 6-120 Any structure or portion of, being used for human habitation, which is in violation of the provisions of this article to the extent that it is unsafe for human habitation according to the standards contained herein or other applicable standards may be condemned for habitation and posted against occupancy by the building authority. (1) Properties which are either damaged, decayed, dilapidated, insanitary, unsafe or vermin-infested in such a manner as to create a serious hazard to the health, safety, and general welfare of the occupants.

This is a notice of violation pursuant to Section 6-118 of the Code. All referenced violations shall be corrected within 30 days of the date of this notice. A re-inspection of the premises will occur on October 27, 2001 at which time compliance will be required. Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code.

This constitutes an appealable decision pursuant to Section 6-127 of the Code. Please feel free to contact Steve Wentworth @874-8709, if you wish to discuss the matter or have any questions. Please be advised that the Portland City Council has amended the Building regulations to include a \$75.00 re-inspection fee. This violation will automatically cause a re-inspection at no charge. If there are any subsequent inspections, however, the \$75.00 fee will be assessed for each inspection.

Sincerely,

Steve Wentworth  
Code Enforcement Officer

EXCAVATING BY

BRAD DILLMAN

Windham MAINE

- Excavator - Dillman Inc.

- Foundation, Falmouth Foundations

16 x 34 To Replace 16 x 24 structure

Sills PT 2 x 8

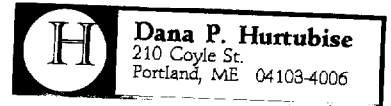
Replace old stone foundation with concrete

2 x 6 construction walls, 2 x 12 Floor Joist and Roof

5/8 CDX ROOF - 25 yr Asphalt shingles

5/8 CDX exterior walls

Construction Cost 20,000<sup>00</sup>



Foundation by;

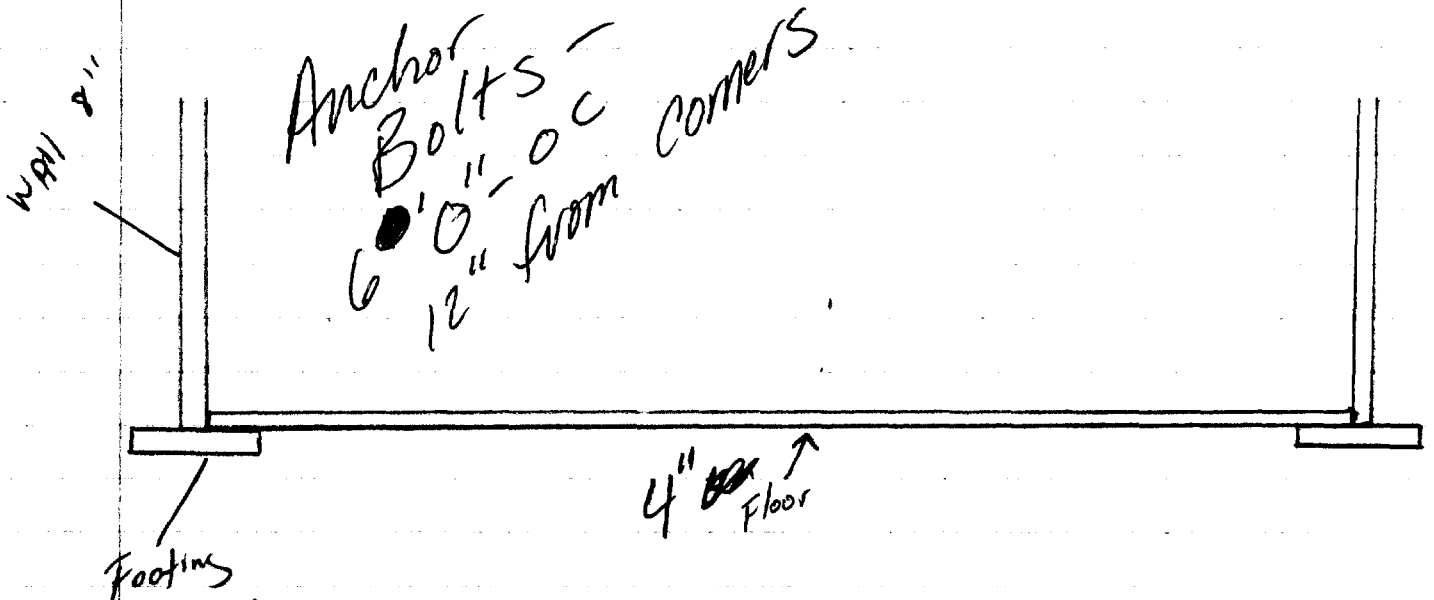
Falmouth Foundation

Full Foundation 16 x 34

✓ Footing 10" Deep 20" Wide

✓ 8" Walls

Pins Attach New Wall to Old Foundation 4-5 Pins ea. wall.



Covered w/fabric

- ✓ - Basement walls waterproof and insulate
- ✓ - Drain pipes around Foundation walls Floor Drainage under floor

- ✓ Sill plate 2x6 PT
- ✓ Floors 3/4 CDX
- ✓ Walls 2x6 16" oc
- ✓ Floor Joist 2x12 x 16 16" oc
- ✓ Roof Rafters 2x10 16" OC
- ✓ Ridge Beam 2x10
- ✓ Roof Sheathing 5/8 TandG CDX
- ✓ Wall Sheathing 5/8 TandG CDX
- Roof Paper 30 yr Asphalt Shingles
- Div edge 6"
- Anderson EGlass Windows TW 3046

✓ All Floor Joist will span 16' 2x12 x 16 16" OC

SAFE DIG Notified  
# 20021307244

Addition  
Replace old  
start and 1/2

3-2" x 10" 1/2  
for headers

✓  
Roof Sheathing  
5/8 T&G

Ridge Beam  
2x10

Roof Rafters 2x10 16" OC

✓  
Wall Sheathing  
5/8 T&G

Floors 3/4 CDX

open

2x12 16" OC  
Floor Joist

Walls 2x6 16" OC

✓  
Floor Joist  
2x12 16" OC

✓  
8" Foundation  
Wall

Pins to Attach  
TO OLD  
Foundation

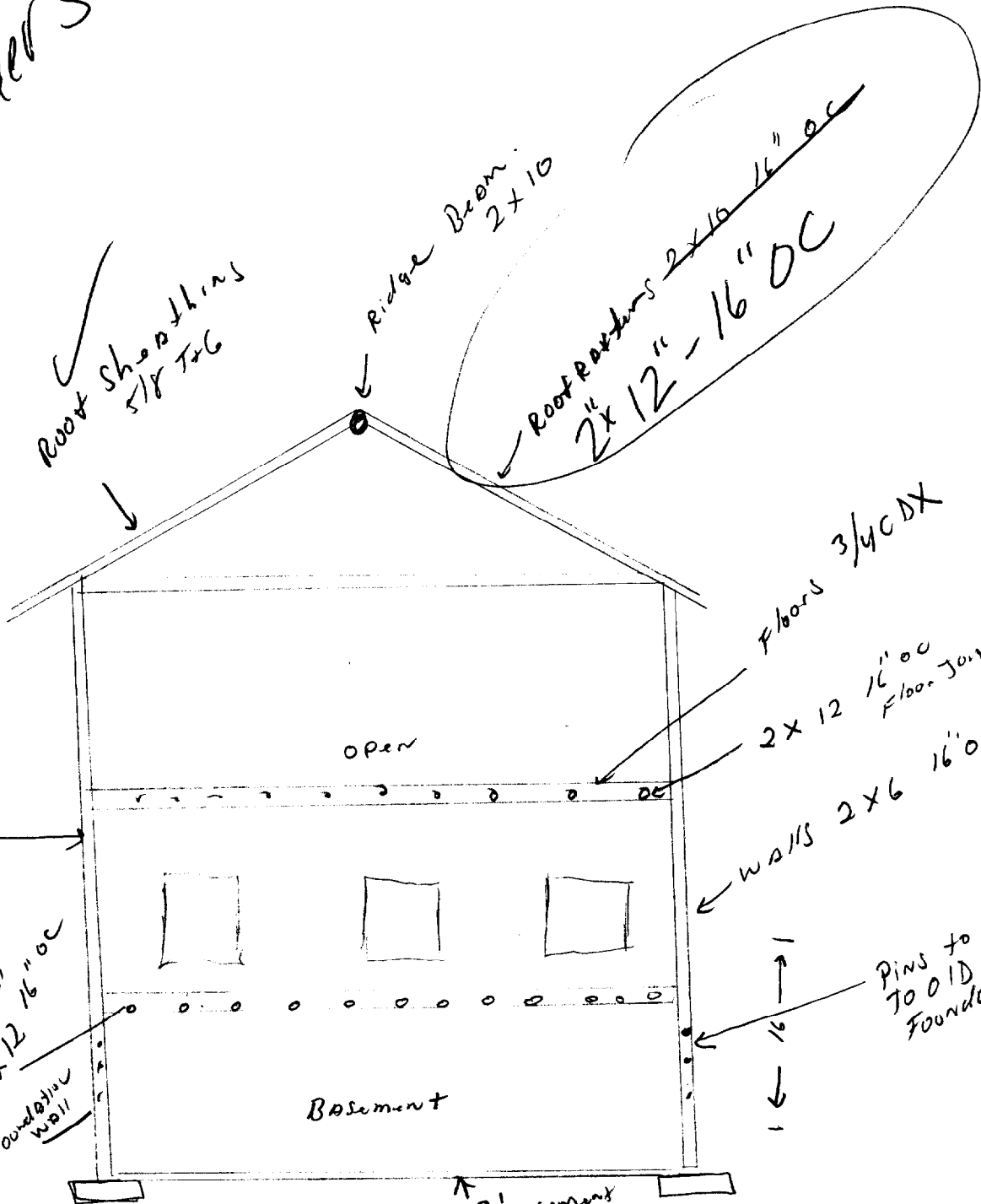
✓  
Footings  
10" Dia  
20" wide

Basement

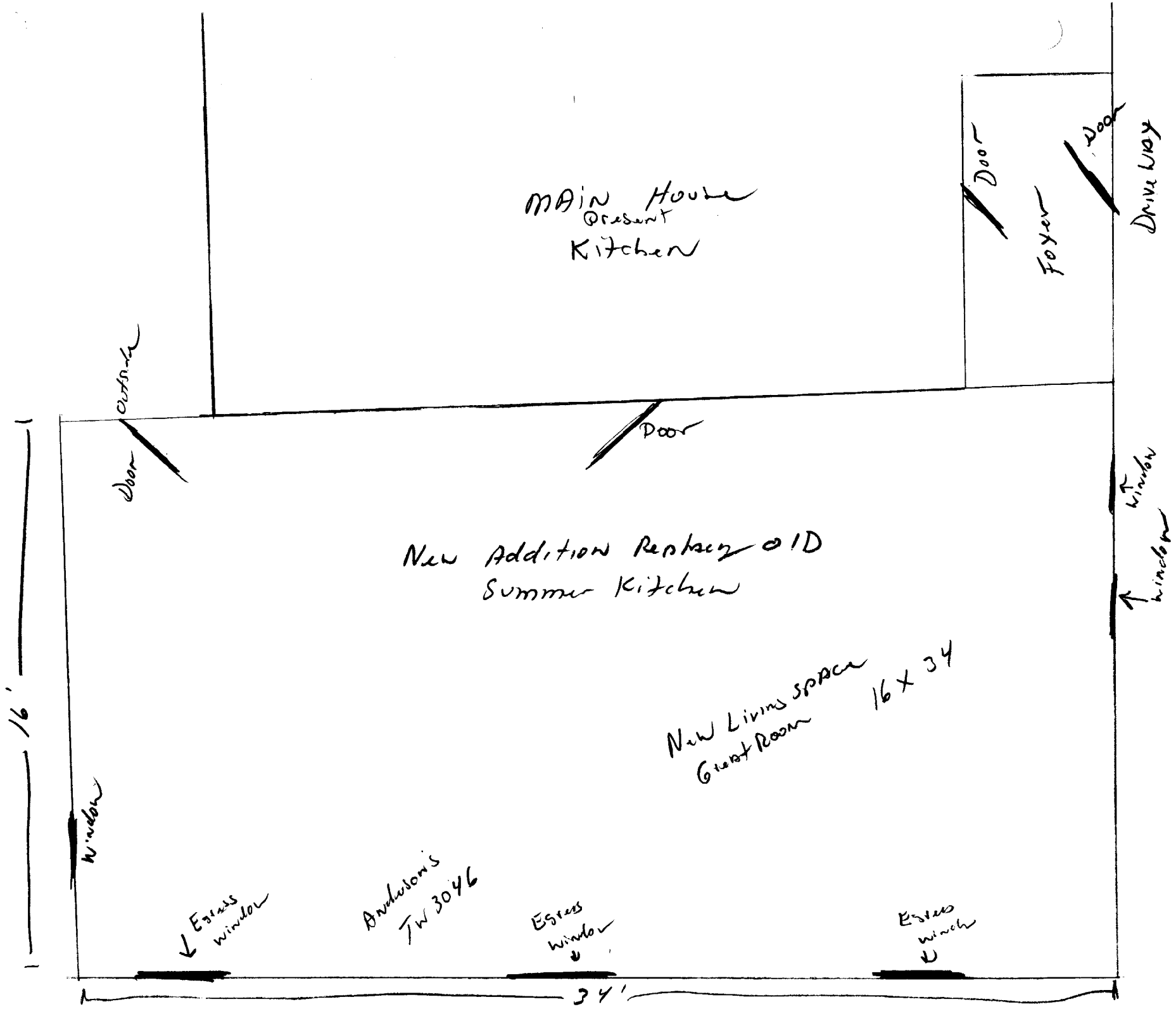
3' Basement  
floor

Span 16 feet  
Length 34

34'







MAIN House  
Present  
Kitchen

Door

Foyer

Door

Driveway

Porch

Door

Door

New Addition Pentagon 1D  
Summer Kitchen

Window

Window

New Living space  
Great Room 16 x 34

16'

Window

Egress window

Anderson's  
TW 3046

Egress window

Egress window

34'



Dana Hurtubise  
210 Coyle St.  
Portland, ME 04103

Roof Rafter will be 2 x 12 16' on center.

Window Hardware will be 3 2 x 10<sup>3</sup> coated steel.

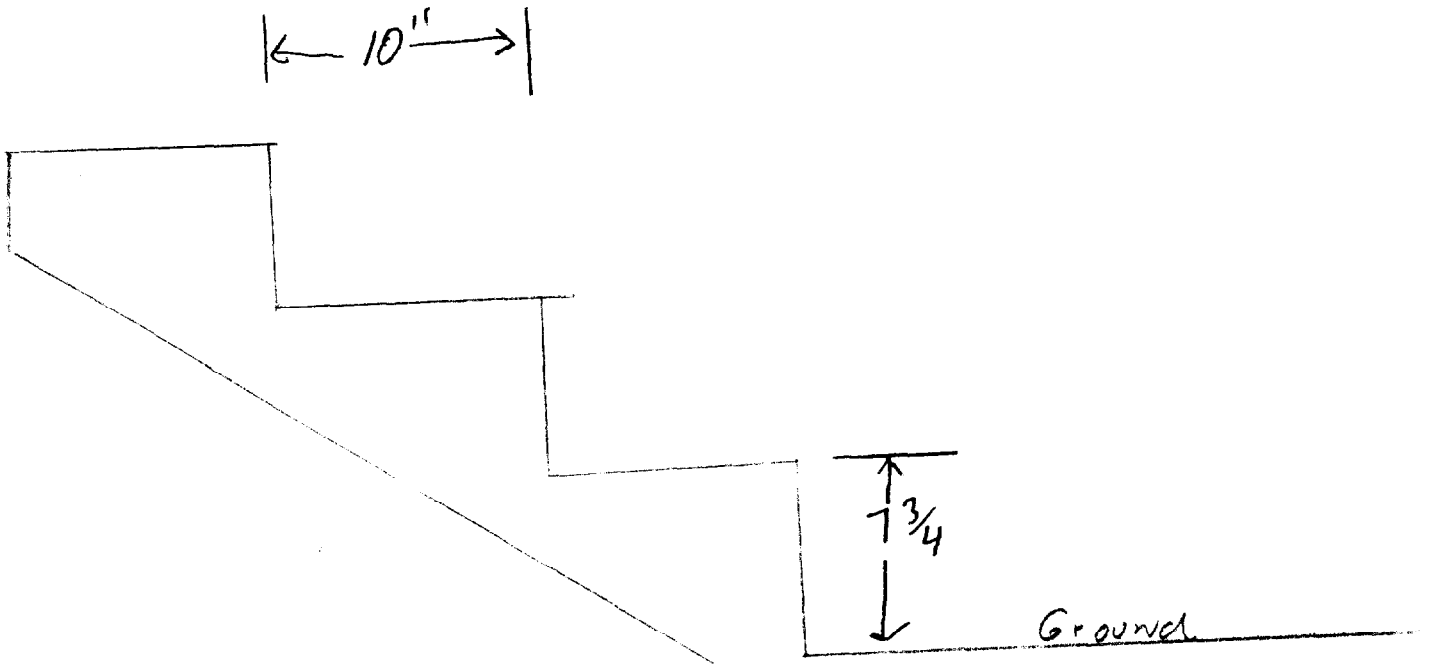
Each Bedroom will have a Hardwire Smoke detector

A 1 hour burn ceiling between floors

the Basement floor will be 4" coated steel mesh



Dana Hurtubise  
210 Coyle St.  
Portland, ME 04103



3 Steps

36" Guardrail with Bolsters less than 4" apart

Steps off Back of Horn & min 30' to Back

